



Chester Upland School District Toby Farms Intermediate School

Renovations

Addenda No. 02

Issued 04-06-23

Please be advised that Addenda No. 01 is hereby released for the above listed solicitation. This addendum addresses the following items:

- **Add Alternate No.#6: Solid Wood Cabinets added to Pennbid General Construction - Pricing Section**
- **Revised Alternates Bid Form**
- **Preliminary Phasing Plan F added to documents.**

DOCUMENT 004323 - ALTERNATES FORM –REVISED 4-5-23

1.1 BID INFORMATION

- A. Bidder: _____.
- B. Project Name: **Toby Farms Intermediate School, HVAC and Window Upgrades**
- C. Project Location: 201 Bridgewater Road, Brookhaven, PA 19015
- D. Owner: **Chester Upland School District**

1.2 BID FORM SUPPLEMENT

- A. This form is required to be attached to the Bid Form.

1.3 DESCRIPTION

- A. The undersigned Bidder proposes the amount below be added to or deducted from the Base Bid if particular alternates are accepted by Owner. Amounts listed for each alternate include costs of related coordination, modification, or adjustment.
- B. If the alternate does not affect the Contract Sum, the Bidder shall indicate "NO CHANGE."
- C. If the alternate does not affect the Work of this Contract, the Bidder shall indicate "NOT APPLICABLE."
- D. The Bidder shall be responsible for determining from the Contract Documents the affects of each alternate on the Contract Time and the Contract Sum.
- E. Owner reserves the right to accept or reject any alternate, in any order, and to award or amend the Contract accordingly within [60] days of the Notice of Award unless otherwise indicated in the Contract Documents.
- F. Acceptance or non-acceptance of any alternates by the Owner shall have no affect on the Contract Time unless the "Schedule of Alternates" Article below provides a formatted space for the adjustment of the Contract Time.

1.4 SCHEDULE OF ALTERNATES

A. Alternate No.#1: Deduct Gymnasium Rooftop Units and Window Treatments

1. Description: Reduce project scope by elimination of the proposed HVAC and window work within both Gymnasiums. Includes elimination of all proposed ductwork, lighting and any electrical work associated with the new rooftop units. Includes any lighting work associated with both gymnasiums. All existing windows within the Gymnasiums will remain.

2. DEDUCT ALTERNATE

3. _____ Dollars (\$_____).

B. Alternate No.#2: Elimination of Lighting Control System.

1. Description: Work includes elimination of lighting control system for new light fixtures.

2. DEDUCT ALTERNATE

3. _____ Dollars (\$_____).

C. Alternate No.#3: Repainting of all classroom walls.

1. Description: The scope of work includes moving of all classroom furniture and fixed wall mounted wall coverings to prepare and repaint classroom that are proposed to receive new window treatments. Once painting is completed, all furniture and wall coverings shall be put back in place.

2. ADD ALTERNATE

3. _____ Dollars (\$_____).

D. Alternate No.#4: Repainting of all hallway common areas.

1. Description: The scope of work includes moving of all furniture and fixed wall mounted wall coverings to prepare and repaint common hallway areas that are proposed to receive new window treatments. Once painting is completed, all furniture and wall coverings shall be put back in place.
2. ADD ALTERNATE
3. _____ Dollars (\$_____).

E. Alternate No.#5: Floor Tile Removal and Replacement

1. Description: The scope of work includes removal of all Floor Tile within classrooms, hallways and multi-purpose rooms and replacement with new floor tile coverings. Contractor is required to abate all asbestos containing floor tile and mastic as part of the installation. Contractor shall assume that all 9" x 9" floor tile is asbestos containing and abide by all indoor air quality measure as part of the abatement. All abatement work shall be completed by a Licensed Asbestos Abatement contractor in the Commonwealth of Pennsylvania.
2. ADD ALTERNATE
3. _____ Dollars (\$_____).

F. Alternate No.#6: Solid Wood Cabinets

1. Description: Alternate to Supplement Solid Wood Cabinets in lieu of the proposed PLAM cabinets.
2. ADD ALTERNATE
3. _____ Dollars (\$_____).

1.5 SUBMISSION OF BID SUPPLEMENT

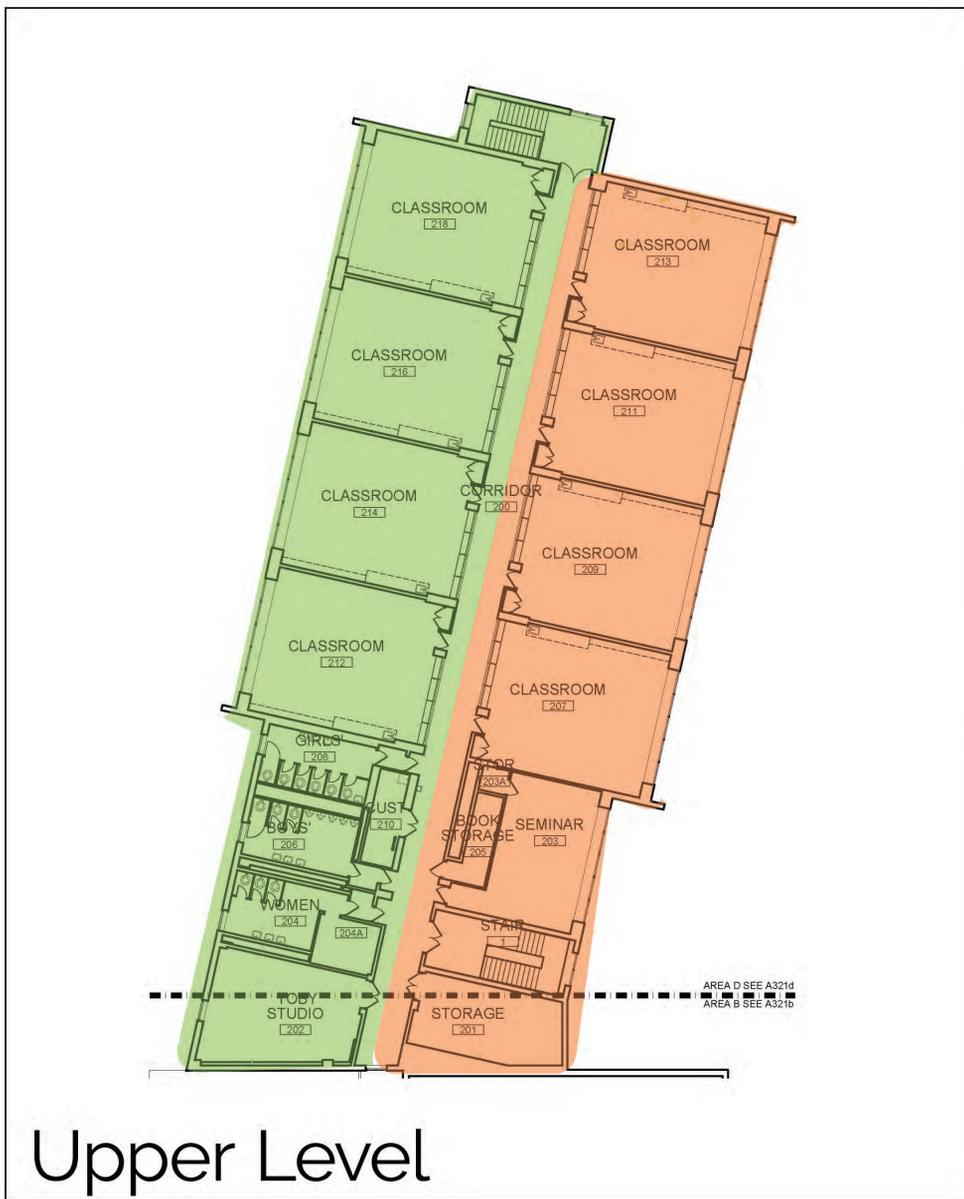
- A. Respectfully submitted this ____ day of _____, 2023
- B. Submitted By: _____ (Insert name of bidding firm or corporation).
- C. Authorized Signature: _____ (Handwritten signature).
- D. Signed By: _____ (Type or print name).
- E. Title: _____ (Owner/Partner/President/Vice President).

END OF DOCUMENT 004323

Preliminary Phasing Plan F - April 5, 2023

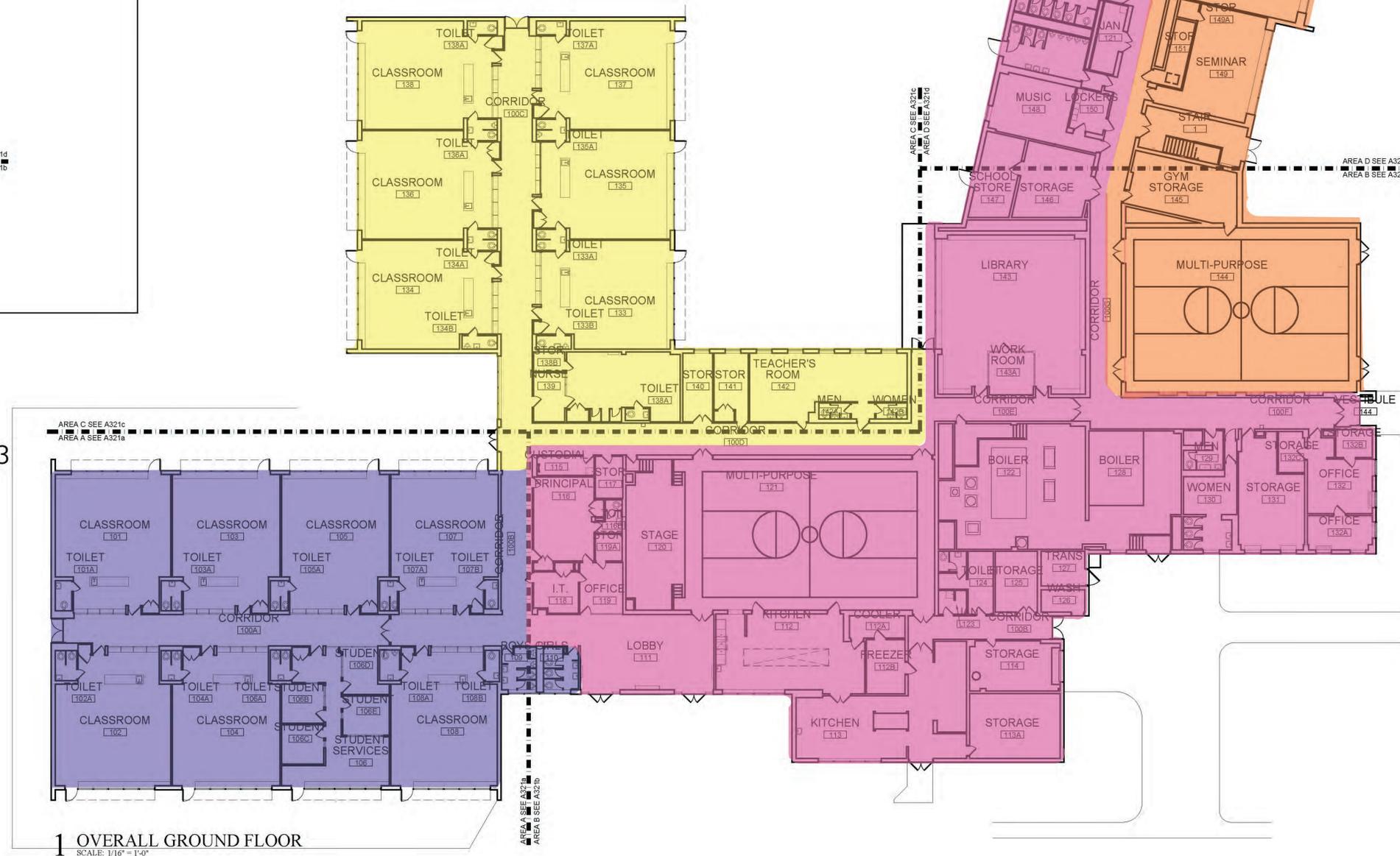
Notes:

- > Assuming RTU not available for Phase 1 & 2 start.
- > Assuming no prepurchase.
- > Curtain Wall subject to weather.
- > Staggard start all trades.
- > Approximate anticipated phasing cost exposure +/-15%.
- > CUSD or selected vendor is responsible for moving furniture out of the spaces before construction and in to the spaces after construction. Assume that this work will be done on the weekends so that there will be no impact to the flow of work, or demobilization.
- > Any delays to relo could impact schedule and budget.
- > CUSD or selected vendor is responsible for cleaning the spaces after each construction phase.



Upper Level

- Phase 1 - September 2023 - October 2023
- Phase 2 - November 2023 - December 2023
- Phase 3 - January 2024 - February 2024
- Phase 4 - March 2024 - April 2024
- Phase 5 - April 2024 - July 2024
- Phase 6 - May 2024 - July 2024



1 OVERALL GROUND FLOOR
SCALE: 1/16" = 1'-0"

REV#	DATE	BY	CHKD	DESCRIPTION
1				ISSUED FOR PERMITTING
2				REVISED PER COMMENTS
3				REVISED PER COMMENTS
4				REVISED PER COMMENTS
5				REVISED PER COMMENTS
6				REVISED PER COMMENTS
7				REVISED PER COMMENTS
8				REVISED PER COMMENTS
9				REVISED PER COMMENTS
10				REVISED PER COMMENTS

PA Registration: RA015197X

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87 East Butler Avenue, Amber, PA 19002 | 610.666.2928 | www.phillips.com
DESIGN DEV 20 Jan 2023

CHESTER UPLAND S.D.
TOBY FARMS WINDOW REPLACE.
201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015
OVERALL GROUND FLOOR

A300a

Preliminary Phasing Plan F - April 5, 2023

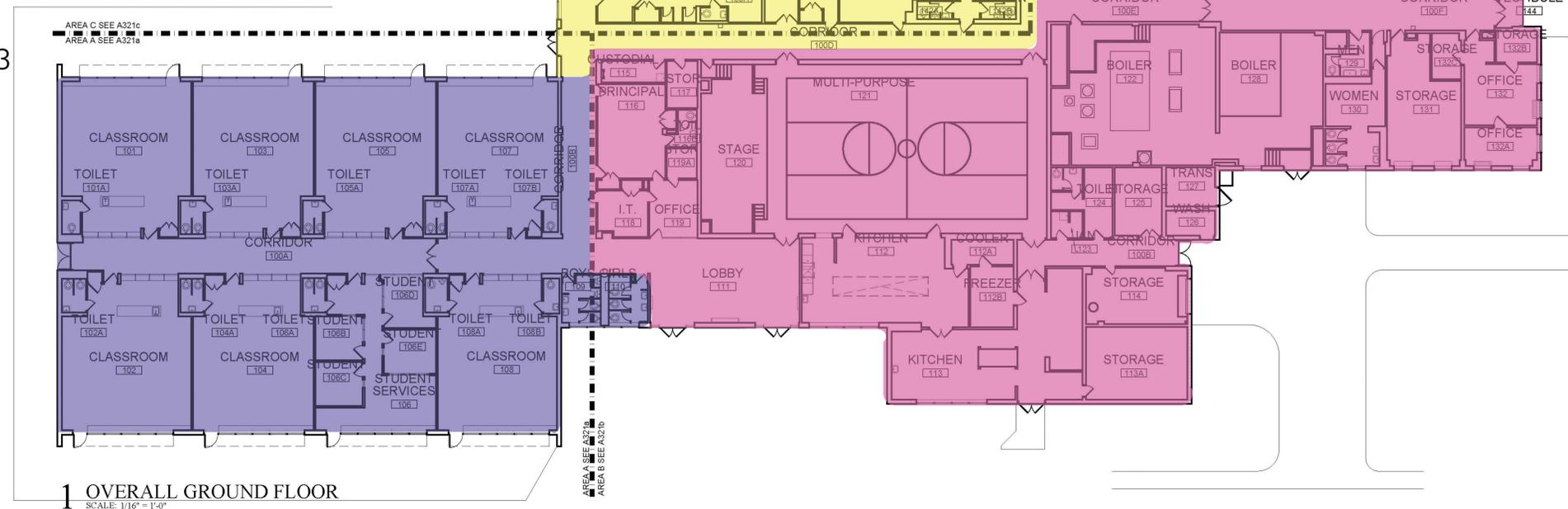
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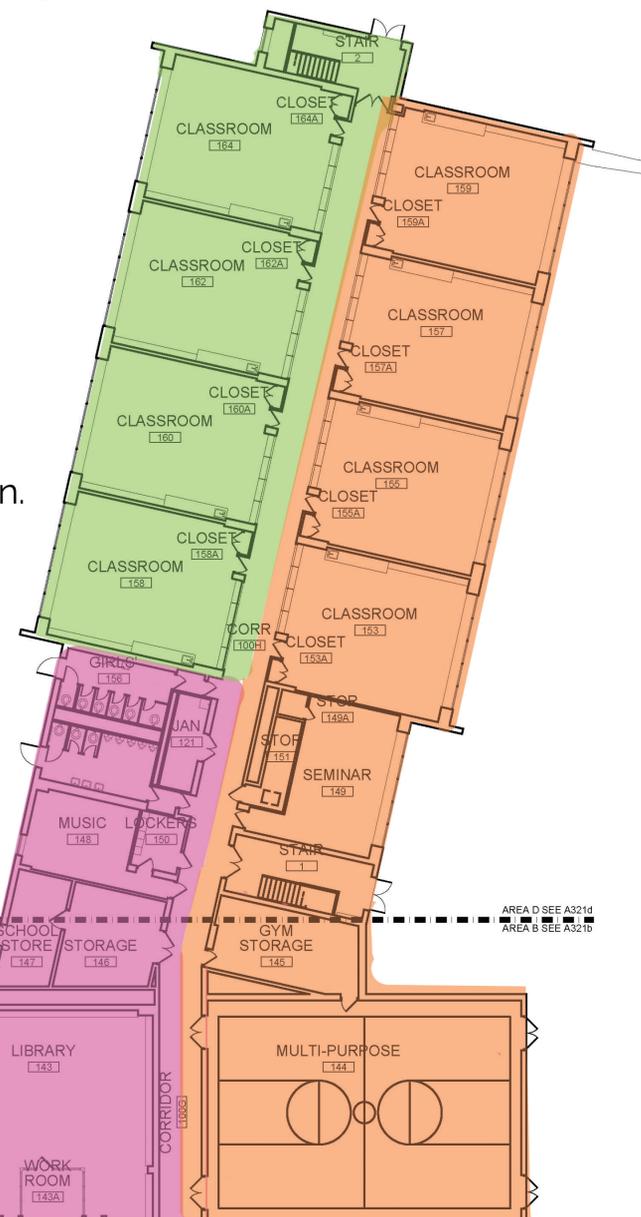


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