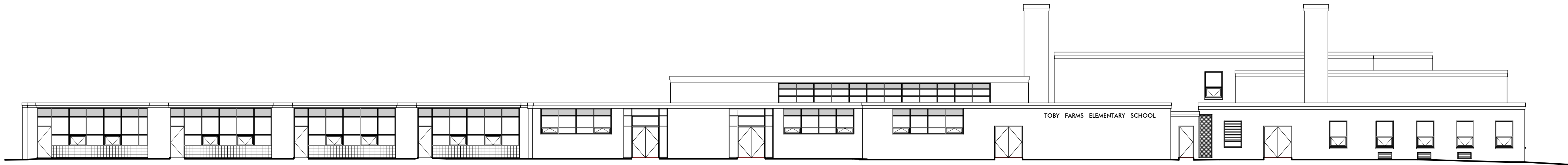


Project Image:



Project Information:

PROJECT ADDRESS: 201 BRIDGEWATER ROAD
TOWNSHIP: CHESTER TOWNSHIP, PA
COUNTY: DELAWARE
CLIMATE ZONE: ZONE 4A
ZONING: (SC) SHOPPING CENTER
BUILDING CODES: IBC 2018

Contact Information:

Owner:

CHESTER-UPLAND SCHOOL DISTRICT
232 W. 9th Street
Chester, PA 19013
CONTACT:
TEL:
FAX:
EMAIL:

Project Manager:

MG ENGINEERING ASSOCIATES, LLC
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Media, PA 19063
CONTACT: Michael Galante
TEL: 1.856.404.540
EMAIL: mgassociates@gmail.com

Architect:

PHILLIPS + ASSOCIATES ARCHITECTS
87 East Butler Avenue
Ambler, PA 19002
CONTACT: Peter Phillips
John Smith
215.646.7878
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MPE Engineer:

MCHUGH ENGINEERING
136 Poplar Street
Ambler, PA 19002
CONTACT: RAPHAEL CARRERO
TEL: 215-641-1158
EMAIL: rcarrero@mchugheng.com

General Notes:

- PRIOR TO ANY DIGGING, CALL THE PENNSYLVANIA PA 1 CALL SYSTEM AT 811.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS & CONDITIONS ON SITE. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER.
- THE CONTRACTOR SHALL PERFORM ALL OPERATIONS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS, CODES AND ORDINANCES AND UTILITY COMPANY REQUIREMENTS.
- SHOULD LOCAL CODES AND/OR ORDINANCES DIFFER FROM THESE PLANS, A DETERMINATION SHALL BE MADE BY THE GENERAL CONTRACTOR AND/OR LOCAL BUILDING OFFICIAL AS TO WHICH IS THE MOST STRINGENT. THE MOST STRINGENT REQUIREMENTS SHALL RULE. SHOULD A CHANGE IN THESE PLANS BE NECESSARY OR DESIRED WHICH WILL ALTER THE DESIGN OR STRUCTURAL INTEGRITY OF THE STRUCTURE(S), CONSULT WITH A QUALIFIED STRUCTURAL ENGINEER OR ARCHITECT TO VERIFY THAT SUCH A CHANGE WILL NOT BE DETRIMENTAL TO THE STRUCTURAL INTEGRITY OF THE STRUCTURE(S) PRIOR TO IMPLEMENTING THE CHANGE.
- ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- ALL PERMITS SHALL BE ACQUIRED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION AND CONSTRUCTION.
- CONTRACTOR IS TO CONFIRM REGISTRATION REQUIREMENTS WITH THE MUNICIPALITY PRIOR TO CONSTRUCTION.
- CONTRACTOR TO BE RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS - COORDINATE WITH THE MUNICIPALITY FOR APPROVED INSPECTORS LISTS.
- PRIOR TO DEMOLITION ALL CONTRACTORS TO COORDINATE WITH OWNER ON ALL ITEMS TO BE REMOVED AND STORED FOR LATER USE.
- PROVIDE APPROPRIATE PATCHING AND/OR SEALANT TO MAINTAIN APPROPRIATE FIRE SEPARATION IN ANY FOUND WORK.
- ALL WORK TO BE PLUMB, LEVEL AND SQUARE. COORDINATE AND ALIGN STRUCTURE, FLOOR ELEVATIONS WITH EXISTING CONDITIONS WHERE REQUIRED.
- CONCEALED SURFACES OF DISSIMILAR MATERIALS TO HAVE APPLIED COATING OR BARRIER TO PREVENT CORROSION EFFECT OF GALVANIC ACTION.
- P+A DOES NOT GUARANTEE THE PERFORMANCE OF AND HAS NO RESPONSIBILITY FOR THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, SUPPLIER OR ANY OTHER ENTITY FURNISHING MATERIALS OR PERFORMING ANY WORK ON THIS PROJECT.
- OBSERVATIONS PERFORMED BY P+A SHALL NOT BE CONSIDERED A SUBSTITUTE FOR THE QUALITY CONTROL PROGRAMS AND PROCEDURES OF ANY CONTRACTOR, SUBCONTRACTOR, SUPPLIER OR ANY OTHER ENTITY FURNISHING MATERIALS OR PERFORMING ANY WORK ON THIS PROJECT.
- WHEN ENGAGED FOR CONSTRUCTION OBSERVATIONS, P+A SHALL PROVIDE OBSERVATION REPORTS TO THE CLIENT FOLLOWING EACH VISIT TO THE JOB SITE. DEFICIENCIES OR DEVIATIONS LISTED IN THE REPORT MUST BE RESOLVED TO THE SATISFACTION OF P+A. P+A SHALL NOTIFY THE CODE OR BUILDING OFFICIAL IN WRITING OF ANY OUTSTANDING OR UNRESOLVED DEFICIENCIES OR DEVIATIONS PRIOR TO THE COMPLETION OF CONSTRUCTION.
- ALL EXTERIOR LUMBER TO BE PRESERVATIVE TREATED.

Abbreviations:

&	AND	EQ.	EQUAL	PLAS.	PLASTER
@	AT	EQUIP.	EQUIPMENT	PLYWD.	PLYWOOD
CL	CENTERLINE	FE	FINISHED EDGE	PT.	POINT, PAINT
#	POUND OR NUMBER	F.O.	FACE OF	PTD.	PAINTED
A	ALIGN	F.O.F.	FACE OF FINISH	QT.	QUARRY TILE
ADJ.	ADJUSTABLE	F.S.	FRAME SIZE	R.	RISER
A.F.F.	ABOVE FINISH FLOOR	FIN.	FINISH	RAD.	RADIUS
AL.	ALUMINUM	FIXT.	FIXTURES	REF.	REFERENCE
ARCH.	ARCHITECTURAL	FL.	FLOOR	RGTR.	REGISTER
BD.	BOARD	FLUOR.	FLUORESCENT	RSV.	ROLL SHEET VINYL
BLDG.	BUILDING	FRC	FIBERGLASS REINFORCED CONCRETE	REQ'D.	REQUIRED
BLK.	BLOCK	FRG.	FIBERGLASS REINFORCED GYPSUM	RESIL.	RESILIENT
BLKG.	BLOCKING	FT.	FEET	RESP.	RESPONSIBLE
BM.	BEAM	G.B.	GRAB BAR	RM.	ROOM
B.O.	BOTTOM OF	G.A.	GAUGE	R/S	HANGING ROD & SHELF ABOVE
BOT.	BOTTOM	GC	GENERAL CONTRACTOR	RWC	RAINWATER CONDUCTOR
CAB.	CABINET	GFI	GROUND FAULT PROTECTED	RWD.	REDWOOD
C.B.B.	CEMENTITIOUS BACKER BOARD	GL.	GLASS	S.	SOUTH
		GLAZ.	GLAZING	S.C.	SOLID CORE
CER.	CERAMIC	H.C.	HOLLOW CORE	S/S	STAINLESS STEEL
CLG.	CEILING	HORIZ.	HORIZONTAL	SCHED.	SCHEDULE
CLKG.	CAULKING	HT.	HEIGHT	SHT.	SHEET
CLR.	CLEAR	HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	SIM.	SIMILAR
COL.	COLUMN	JT.	JOINT	SPEC.	SPECIFICATION
CONC.	CONCRETE	LAM.	LAMINATE	SQ.	SQUARE
CONT.	CONTINUOUS	LT.	LIGHT	STD.	STANDARD
CONTR.	CONTRACTOR	MAX.	MAXIMUM	STL.	STEEL
COORD.	COORDINATE	MECH.	MECHANICAL	STOR.	STORAGE
CPT	CARPET	MFR.	MANUFACTURER	SUSP.	SUSPENDED
CT	CERAMIC TILE	MIN.	MINIMUM	T.O.	TOP OF
CTR.	CENTER	MISC	MISCELLANEOUS	TEL.	TELEPHONE
DBL.	DOUBLE	MLWK.	MILLWORK	THK.	THICK
DIA.	DIAMETER	MT.	MARBLE THRESHOLD	TYP.	TYPICAL
DIM.	DIMENSION	MTL.	METAL	U.O.N.	UNLESS OTHERWISE NOTED
DL.	DAMP LOCATIONS	N.	NORTH	VERT.	VERTICAL
DN.	DOWN	N.I.C.	NOT IN CONTRACT	V.I.F.	VERIFY IN FIELD
DR.	DOOR	N.T.S.	NOT TO SCALE	VYL.	VINYL
DS.	DOWNSPOUT	NO.	NUMBER	W.	WEST
DTL.	DETAIL	NOM.	NOMINAL	W/	WITH
DWG.	DRAWING	O.C.	ON CENTER	WC	WATER CLOSET, WALL COVERING
E	EAST	OPNG.	OPENING	W/O	WITHOUT
EXG.	EXISTING	OPP.	OPPOSITE	WR	WATER RESISTANT
E.P.	ELECTRICAL PANEL BOARD	P. LAM	PLASTIC LAMINATE	WP	WEATHER PROOF FIXTURE
EA.	EACH	PL.	PLATE	WD.	WOOD
EL.	ELEVATION			WS.	WALL STIFFENERS
				W.O.W.	WIDTH OF WALL

Drawing List:

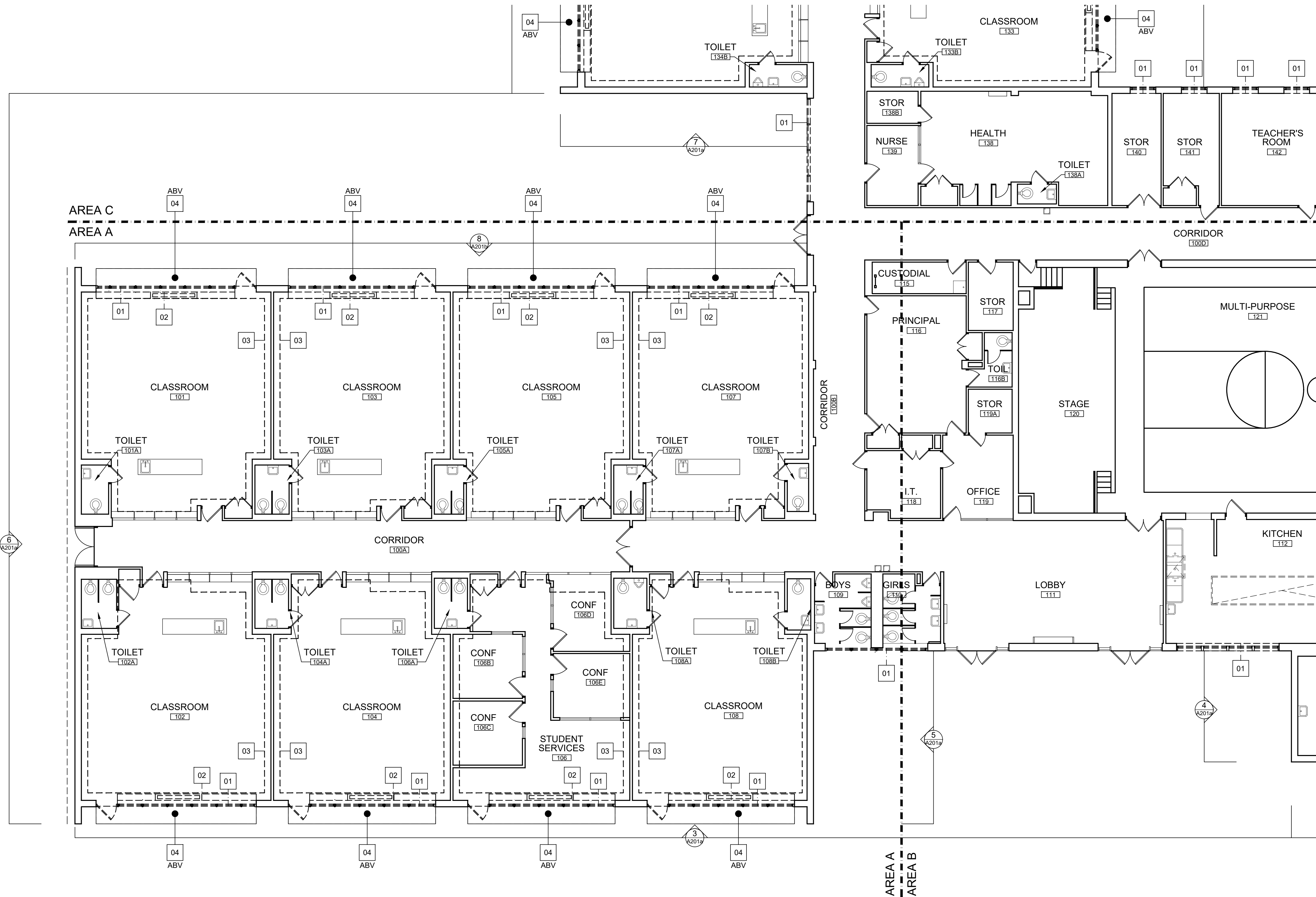
CS1- COVER SHEET	
A101a	PARTIAL GROUND FLOOR DEMOLITION PLAN AREA A
A101b	PARTIAL GROUND FLOOR DEMOLITION PLAN AREA B
A101c	PARTIAL GROUND FLOOR DEMOLITION PLAN AREA C
A101d	PARTIAL GROUND FLOOR DEMOLITION PLAN AREA D
A102b	PARTIAL SECOND FLOOR DEMOLITION PLAN AREA B
A102d	PARTIAL SECOND FLOOR DEMOLITION PLAN AREA D
A201a	DEMOLITION ELEVATIONS A
A201b	DEMOLITION ELEVATIONS B
A201c	DEMOLITION ELEVATIONS C
A300a	OVERALL GROUND FLOOR PLAN
A300b	OVERALL SECOND FLOOR PLAN
A311a	PARTIAL GROUND FLOOR AREA A
A311b	PARTIAL GROUND FLOOR AREA B
A311c	PARTIAL GROUND FLOOR AREA C
A311d	PARTIAL GROUND FLOOR AREA D
A321b	PARTIAL SECOND FLOOR AREA B
A321d	PARTIAL SECOND FLOOR AREA D
A501	EXTERIOR ELEVATIONS
A502	EXTERIOR ELEVATIONS
A503	EXTERIOR ELEVATIONS
A601	SECTIONS
A602	SECTIONS
A701	DETAILS AND INTERIOR ELEVATIONS
A801	DETAILS
A901	WINDOW SCHEDULE
(SEE M/E/P FOR MECHANICAL DRAWINGS)	

Symbol Key:

	DOOR NUMBER		ELEVATION TAG
	WINDOW NUMBER		SECTION TAG
	CEILING HEIGHT		ROOM ELEVATION TAG
	REFERENCE NOTE TAG (DEMO, GENERAL NOTES, ETC.)		PLAN DETAIL TAG
	REVISION NUMBER		
	ELEVATION MARKER		
	FLOOR ELEVATION		
	WALL TAG		
	COLUMN TAG		
	EXISTING DOOR		
	NEW DOOR		

Disclaimer:

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1 PARTIAL GROUND FLOOR AREA - A
SCALE: 1/8" = 1'-0"

GENERAL DEMO NOTES

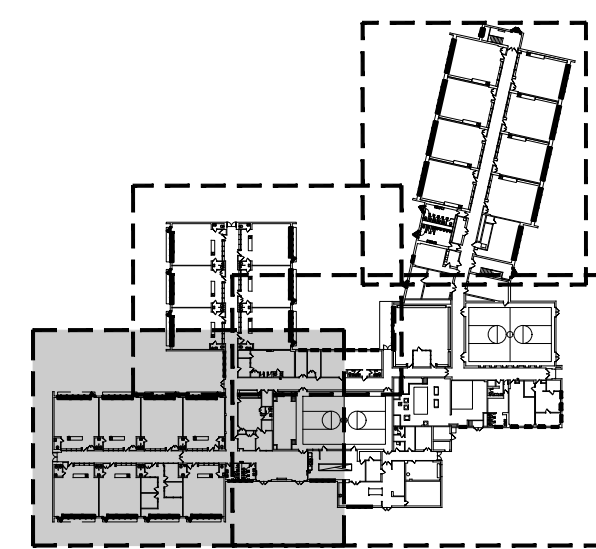
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- REMOVALS SHALL BE PERFORMED WITHOUT DAMAGE TO ADJACENT RETAINED WORK. HOWEVER WHERE SUCH WORK IS DAMAGED, THE CONTRACTOR SHALL PATCH, REPAIR OR OTHERWISE RESTORE DAMAGED ITEMS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE WALLS, PARTITIONS, DOORS, WINDOWS, AND EQUIPMENT AS INDICATED ON FLOOR PLANS. REMOVE ALL DEBRIS FROM BUILDING AND LEAVE CLEAN.
- MASONRY WALLS AND PORTIONS OF MASONRY WALLS FOR NEW OPENINGS AND NEW STEEL COLUMNS: WHERE NEW OPENINGS ARE TO BE PROVIDED IN EXISTING MASONRY WALLS, EXISTING MASONRY BLOCK SHALL BE REMOVED AS WHOLE UNITS OR CUT EVENLY; VERTICAL EDGES SHALL BE PLUMB AND HORIZONTAL EDGES SHALL BE LEVEL. MASONRY UNITS TO BE REMOVED SHALL BE REMOVED FLUSH WITH WALL OR TO THE LIMITS NECESSARY TO PROVIDE OPENINGS OF THE SIZES INDICATED.
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- WHERE EXISTING ELECTRICAL WORK IS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION, RELOCATE AS REQUIRED. COORDINATE WITH NEW ELECTRICAL WORK.
- WHERE MECHANICAL AND ELECTRICAL EQUIPMENT HAS BEEN REMOVED, REMOVE EXISTING HANGERS FOR EACH EQUIPMENT.
- VERIFY WITH OWNER ON EXTENT OF FLOOR FINISH REMOVAL AND/OR REFINISHING.
- REMOVE CEILING FINISHES AS REQUIRED IN AREAS OF WORK. PATCH AS REQUIRED UPON COMPLETION.

DEMOLITION NOTES

- REMOVE EXISTING WINDOW, FRAME, SILL, AND DOOR (IF PRESENT). INCLUDED BUT NOT LIMITED TO SHIMS, SEALANT, HVAC LOUVER, AND BLOCKING BACK TO ROUGH OPENING. PREPARE OPENING FOR NEW WINDOW SYSTEM.
- REMOVE EXISTING COUNTERTOP, BASE CABINETS, HVAC UNIT IF PRESENT AND BASE. PREPARE FOR NEW WORK.
- REMOVE EXISTING CEILING IN IT'S ENTIRETY, INCLUDING BUT NOT LIMITED TO SUSPENSION GRID, TILE, GWS, HANGERS. PREPARE ROOM FOR NEW CEILING AND SOFFIT AT WINDOWS.
- REMOVE EXISTING SOFFIT PANELS ONLY AS REQUIRED FOR WINDOW INSTALLATIONS. CONSULT ARCHITECT IF DEMO IS TO INCLUDE REMOVAL OF ANY FRAMING, SUSPENSION GRID, OR HANGERS. MAIN CANOPY STRUCTURE TO REMAIN.
- REMOVE CABINET HEATER AND ASSOCIATED EXTERIOR LOUVER.

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- ITEMS TO BE DEMOLISHED
- EXISTING ELEVATION
- DEMOLITION TAG



KEY PLAN AREA - A
SCALE: N.T.S.

TOBY FARMS IMD SCHOOL

HVAC & WINDOW UPGRADES

201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015

PARTIAL GROUND FLOOR
DEMOLITION AREA A

PROJECT NO: 022 105

DRAWN BY:

DATE: 15 MAR 2023

SCALE: AS NOTED

phillips | associates

architects / interiors / planners

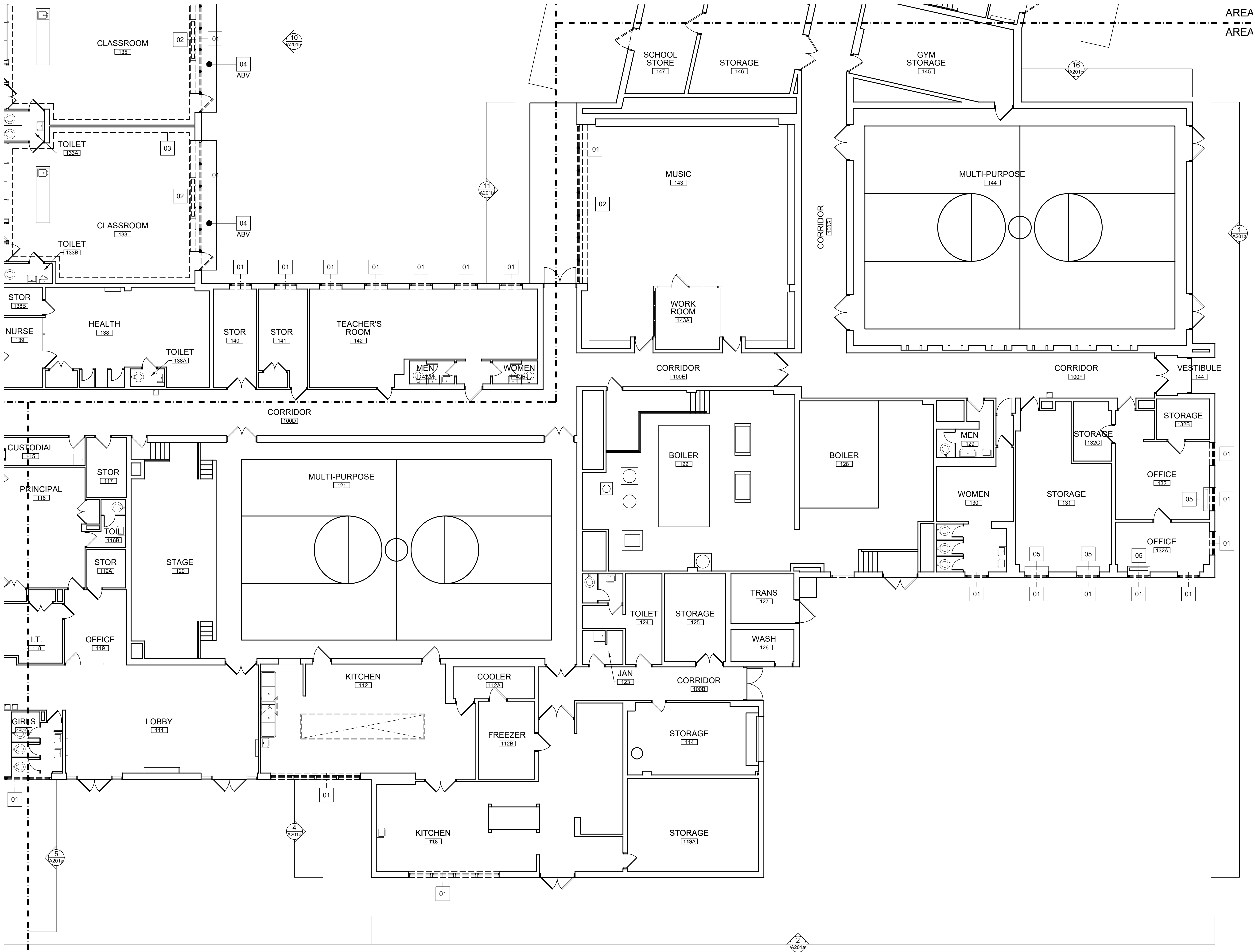
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BID SET 15 MAR 2023

PA Registration: RA015197X

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GENERAL DEMO NOTES

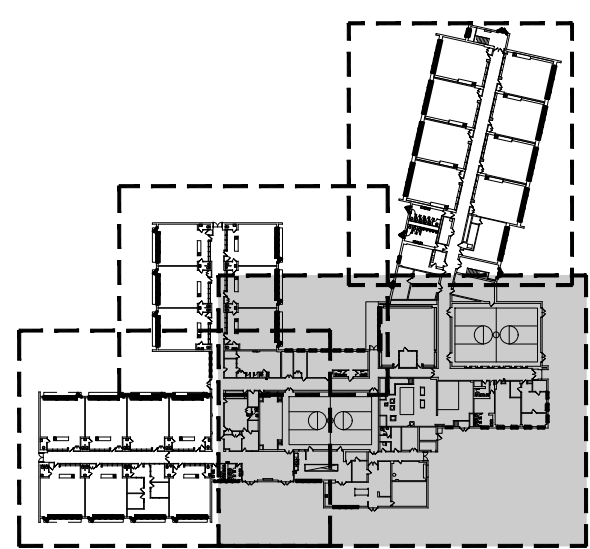
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- VERIFY WITH OWNER ON EXTENT OF FLOOR FINISH REMOVAL AND/OR REFINISHING
- REMOVE CEILING FINISHES AS REQUIRED IN AREAS OF WORK. PATCH AS REQUIRED UPON COMPLETION

DEMOLITION NOTES

01	REMOVE EXISTING WINDOW, FRAME, SILL, AND DOOR (IF PRESENT). INCLUDED BUT NOT LIMITED TO SHIMS, SEALANT, HVAC LOUVER, AND BLOCKING BACK TO ROUGH OPENING. PREPARE OPENING FOR NEW WINDOW SYSTEM. PREPARE FOR NEW WORK.
02	REMOVE EXISTING COUNTERTOP, BASE CABINETS, HVAC UNIT IF PRESENT AND BASE. PREPARE FOR NEW WORK.
03	REMOVE EXISTING CEILING IN IT'S ENTIRETY, INCLUDING BUT NOT LIMITED TO SUSPENSION GRID, TILE, GWB, HANGERS. PREPARE ROOM FOR NEW CEILING AND SOFFIT AT WINDOWS.
04	REMOVE EXISTING SOFFIT PANELS ONLY AS REQUIRED FOR WINDOW INSTALLATIONS. CONSULT ARCHITECT IF DEMO IS TO INCLUDE REMOVAL OF ANY FRAMING, SUSPENSION GRID, OR HANGERS. MAIN CANOPY STRUCTURE TO REMAIN.
05	REMOVE CABINET HEATER AND ASSOCIATED EXTERIOR LOUVER

DEMOLITION LEGEND

---	EXISTING CONSTRUCTION TO REMAIN
- - -	ITEMS TO BE DEMOLISHED
▲ XX'-XX"	EXISTING ELEVATION
XX	DEMOLITION TAG



KEY PLAN AREA - B
SCALE: N.T.S.

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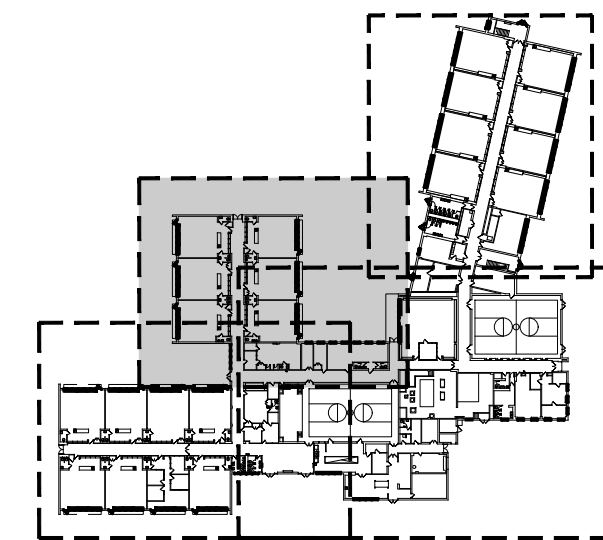
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TOBY FARMS IMD SCHOOL
HVAC & WINDOW UPGRADES
201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015
PARTIAL GROUND FLOOR
DEMOLITION AREA B
PROJECT NO: 022 105
DRAWN BY:
DATE: 15 MAR 2023
SCALE: AS NOTED

A101b
SCALE: N.T.S.



KEY PLAN AREA - C
SCALE: N.T.S.

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BID SET 15 MAR 2023

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HVAC & WINDOW UPGRADES

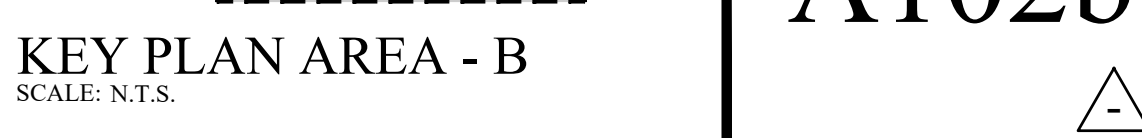
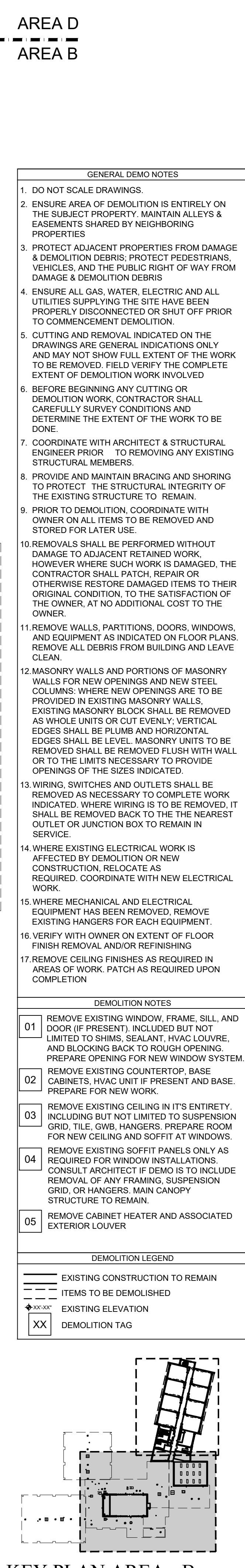
201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015

PARTIAL GROUND FLOOR

DEMOLITION AREA C

A101c





PARTIAL SECOND FLOOR DEMOLITION AREA B

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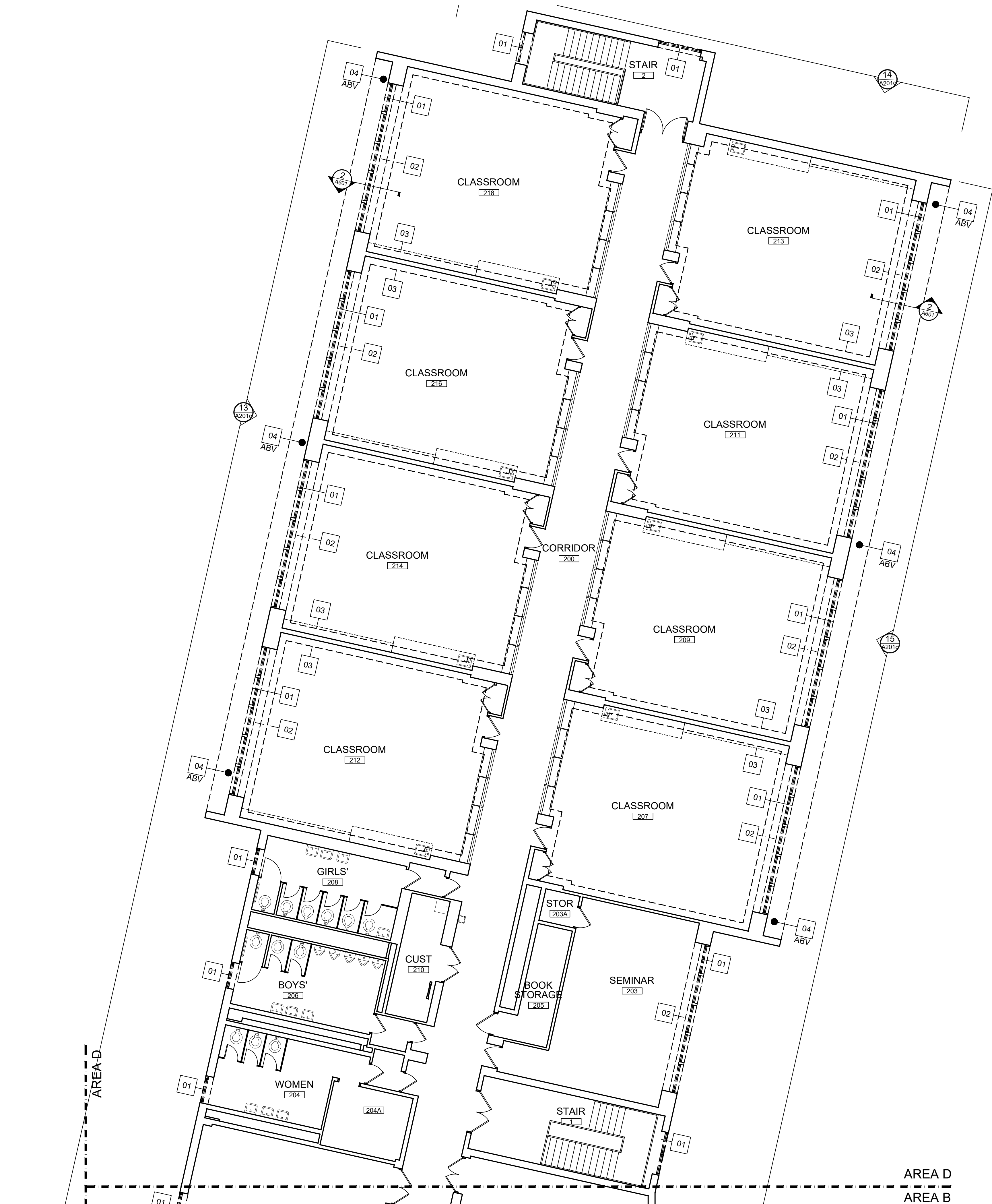
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Do not scale drawings



1 PARTIAL SECOND FLOOR AREA D
SCALE: 1/8" = 1'-0"

GENERAL DEMO NOTES

1. DO NOT SCALE DRAWINGS.

2. ENSURE AREA OF DEMOLITION IS ENTIRELY ON THE SUBJECT PROPERTY. MAINTAIN ALLEYS & EASEMENTS SHARED BY NEIGHBORING PROPERTIES

3. PROTECT ADJACENT PROPERTIES FROM DAMAGE & DEMOLITION DEBRIS; PROTECT PEDESTRIANS, VEHICLES, AND THE PUBLIC RIGHT OF WAY FROM DAMAGE & DEMOLITION DEBRIS

4. ENSURE ALL GAS, WATER, ELECTRIC AND ALL UTILITIES SUPPLYING THE SITE HAVE BEEN PROPERLY DISCONNECTED OR SHUT OFF PRIOR TO COMMENCEMENT DEMOLITION.

5. CUTTING AND REMOVAL INDICATED ON THE DRAWINGS ARE GENERAL INDICATIONS ONLY AND MAY NOT SHOW FULL EXTENT OF THE WORK TO BE REMOVED. FIELD VERIFY THE COMPLETE EXTENT OF DEMOLITION WORK INVOLVED

6. BEFORE BEGINNING ANY CUTTING OR DEMOLITION WORK, CONTRACTOR SHALL CAREFULLY SURVEY CONDITIONS AND DETERMINE THE EXTENT OF THE WORK TO BE DONE.

7. COORDINATE WITH ARCHITECT & STRUCTURAL ENGINEER PRIOR TO REMOVING ANY EXISTING STRUCTURAL MEMBERS.

8. PROVIDE AND MAINTAIN BRACING AND SHORING TO PROTECT THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE TO REMAIN.

9. PRIOR TO DEMOLITION, COORDINATE WITH OWNER ON ALL ITEMS TO BE REMOVED AND STORED FOR LATER USE.

10. REMOVALS SHALL BE PERFORMED WITHOUT DAMAGE TO ADJACENT RETAINED WORK. HOWEVER WHERE SUCH WORK IS DAMAGED, THE CONTRACTOR SHALL PATCH, REPAIR OR OTHERWISE RESTORE DAMAGED ITEMS TO THEIR ORIGINAL CONDITION. TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE OWNER.

11. REMOVE WALLS, PARTITIONS, DOORS, WINDOWS, AND EQUIPMENT AS INDICATED ON FLOOR PLANS. REMOVE ALL DEBRIS FROM BUILDING AND LEAVE CLEAN.

12. MASONRY WALLS AND PORTIONS OF MASONRY WALLS FOR NEW OPENINGS AND NEW STEEL COLUMNS: WHERE NEW OPENINGS ARE TO BE PROVIDED IN EXISTING MASONRY WALLS, EXISTING MASONRY BLOCK SHALL BE REMOVED AS WHOLE UNITS OR CUT EVENLY; VERTICAL EDGES SHALL BE PLUMB AND HORIZONTAL EDGES SHALL BE LEVEL. MASONRY UNITS TO BE REMOVED SHALL BE REMOVED FLUSH WITH WALL OR TO THE LIMITS NECESSARY TO PROVIDE OPENINGS OF THE SIZES INDICATED.

13. WIRING, SWITCHES AND OUTLETS SHALL BE REMOVED AS NECESSARY TO COMPLETE WORK INDICATED. WHERE WIRING IS TO BE REMOVED, IT SHALL BE REMOVED BACK TO THE THE NEAREST OUTLET OR JUNCTION BOX TO REMAIN IN SERVICE.

14. WHERE EXISTING ELECTRICAL WORK IS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION, RELOCATE AS REQUIRED. COORDINATE WITH NEW ELECTRICAL WORK.

15. WHERE MECHANICAL AND ELECTRICAL EQUIPMENT HAS BEEN REMOVED, REMOVE EXISTING HANGERS FOR EACH EQUIPMENT.

16. VERIFY WITH OWNER ON EXTENT OF FLOOR FINISH REMOVAL AND/OR REFINISHING.

17. REMOVE CEILING FINISHES AS REQUIRED IN AREAS OF WORK. PATCH AS REQUIRED UPON COMPLETION

DEMOLITION NOTES

01 REMOVE EXISTING WINDOW, FRAME, SILL, AND DOOR (IF PRESENT). INCLUDED BUT NOT LIMITED TO SHIMS, SEALANT, HVAC LOUVER, AND BLOCKING BACK TO ROUGH OPENING. PREPARE OPENING FOR NEW WINDOW SYSTEM.

02 REMOVE EXISTING COUNTERTOP, BASE CABINETS, HVAC UNIT IF PRESENT AND BASE. PREPARE FOR NEW WORK.

03 REMOVE EXISTING CEILING IN IT'S ENTIRETY, INCLUDING BUT NOT LIMITED TO SUSPENSION GRID, TILE, GWB, HANGERS. PREPARE ROOM FOR NEW CEILING AND SOFFIT AT WINDOWS.

04 REMOVE EXISTING SOFFIT PANELS ONLY AS REQUIRED FOR WINDOW INSTALLATIONS. CONSULT ARCHITECT IF DEMO IS TO INCLUDE REMOVAL OF ANY FRAMING, SUSPENSION GRID, OR HANGERS. MAIN CANOPY STRUCTURE TO REMAIN.

05 REMOVE CABINET HEATER AND ASSOCIATED EXTERIOR LOUVER

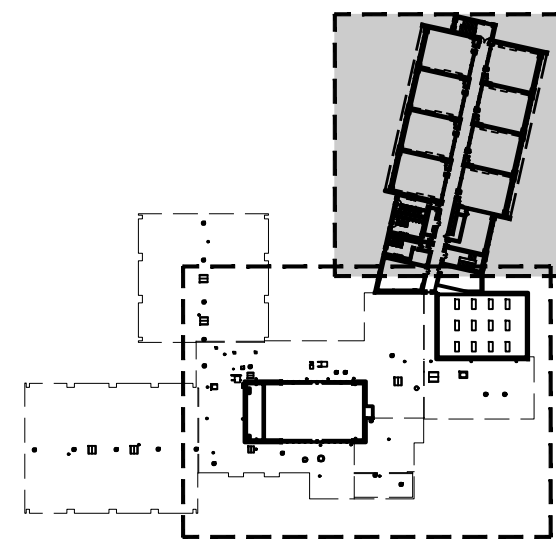
DEMOLITION LEGEND

EXISTING CONSTRUCTION TO REMAIN

ITEMS TO BE DEMOLISHED

EXISTING ELEVATION

DEMOLITION TAG



KEY PLAN AREA - D
SCALE: N.T.S.

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TOBY FARMS IMD SCHOOL
HVAC & WINDOW UPGRADES

201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015

PARTIAL SECOND FLOOR
DEMOLITION AREA D

PROJECT NO: 022 105

DRWN BY: 15 MAR 2023

DATE: 15 MAR 2023

SCALE: AS NOTED

A102d

Do not scale drawings

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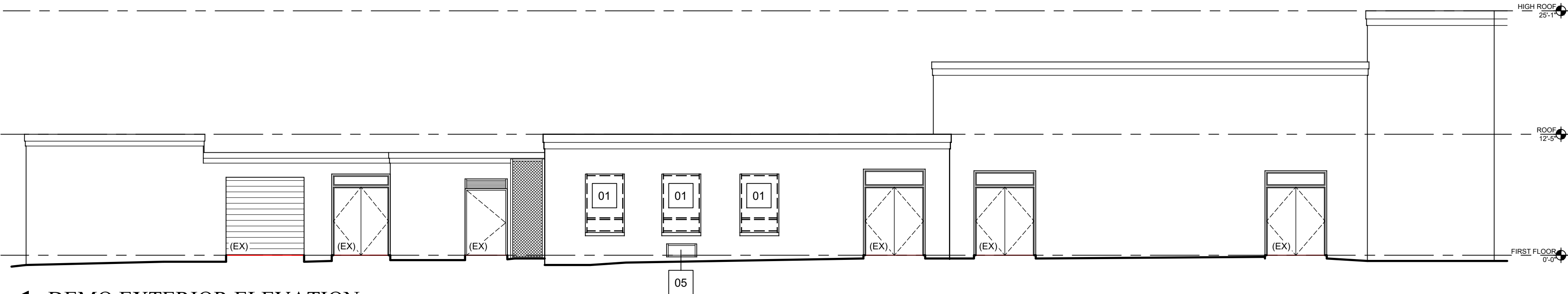
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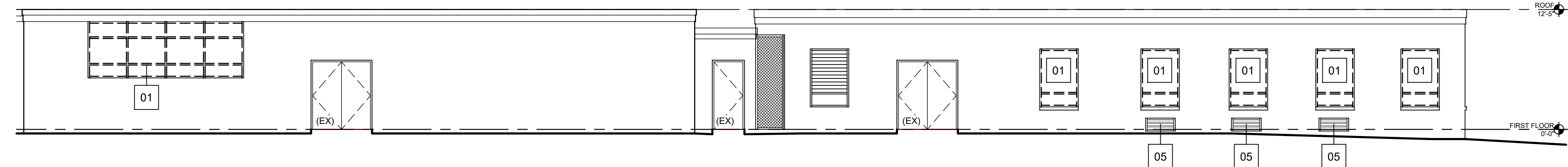
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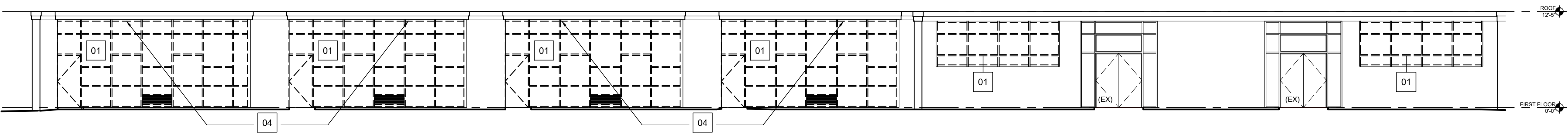
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1 DEMO EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



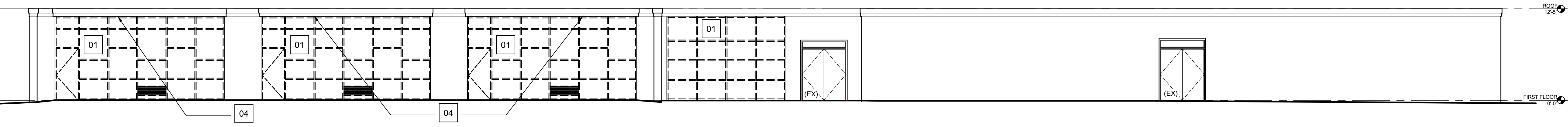
2 DEMO EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



3 DEMO EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

4 DEMO EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

5 DEMO EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



6 DEMO EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

7 DEMO EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES	
01	REMOVE EXISTING WINDOW, FRAME, SILL, AND DOOR (IF PRESENT). INCLUDED BUT NOT LIMITED TO SHIMS, SEALANT, AND BLOCKING BACK TO ROUGH OPENING. PREPARE OPENING FOR NEW WINDOW SYSTEM.
02	REMOVE EXISTING COUNTERTOP, BASE, CABINETS, HVAC UNIT IF PRESENT AND BASE. PREPARE FOR NEW WORK.
04	REMOVE EXISTING SOFFIT PANELS ONLY AS REQUIRED FOR WINDOW INSTALLATIONS. CONSULT ARCHITECT IF DEMO IS TO INCLUDE REMOVAL OF ANY FRAMING, SUSPENSION GRID, OR HANGERS. MAIN CANOPY STRUCTURE TO REMAIN.
05	REMOVE CABINET HEATER AND ASSOCIATED EXTERIOR LOUVER
DEMOLITION LEGEND	
---	ITEMS TO BE DEMOLISHED
XX	DEMOLITION TAG

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201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015
PROJECT NO: 022 105
DRAWN BY: DATE: 15 MAR 2023
SCALE: AS NOTED

DEMOLITION ELEVATIONS
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ALT. NO. 1 - NO WORK
THIS AREA SEE
SPECIFICATIONS



DEMOLITION NOTES	
01	REMOVE EXISTING WINDOW, FRAME, SILL, AND DOOR (IF PRESENT). INCLUDED BUT NOT LIMITED TO SHIMS, SEALANT, AND BLOCKING BACK TO ROUGH OPENING. PREPARE OPENING FOR NEW WINDOW SYSTEM.
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05	REMOVE CABINET HEATER AND ASSOCIATED EXTERIOR LOUVER

DEMOLITION LEGEND	
---	ITEMS TO BE DEMOLISHED
XX	DEMOLITION TAG

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HVAC & WINDOW UPGRADES

201 BRIDGewater ROAD

BROOKHaven, PA. 19015

DEMOLIITION ELEVATIONS

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PROJECT NO:

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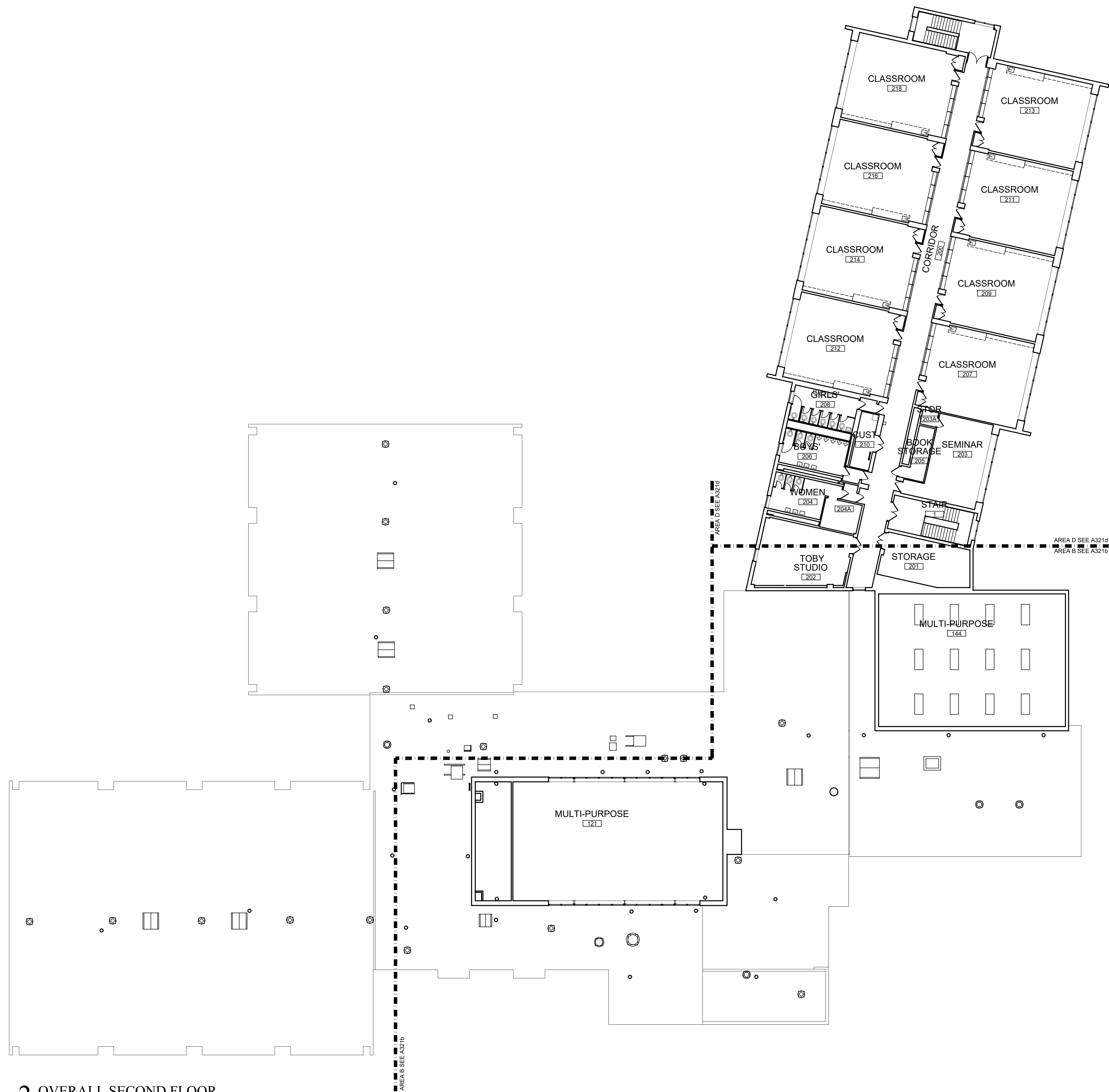
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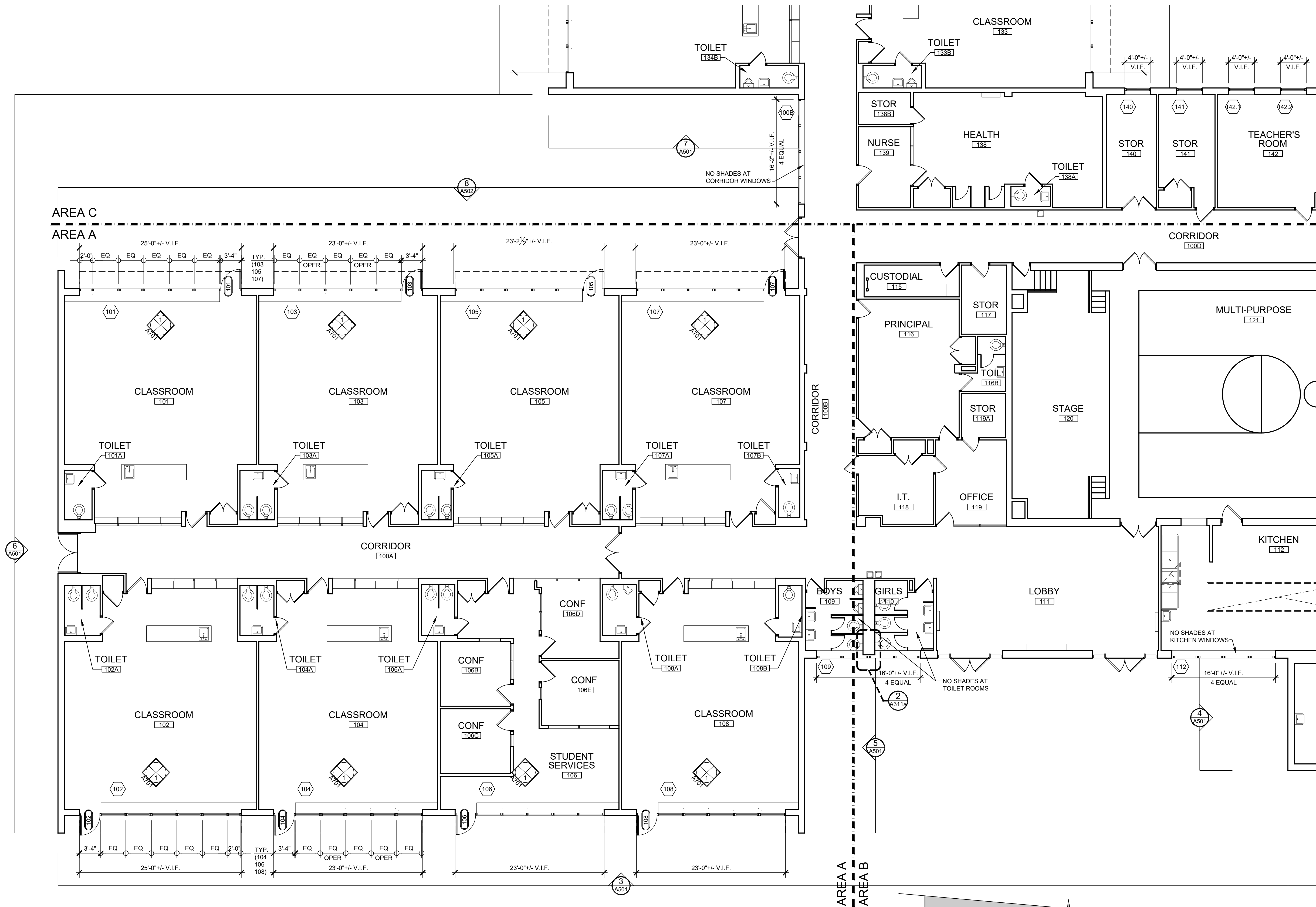
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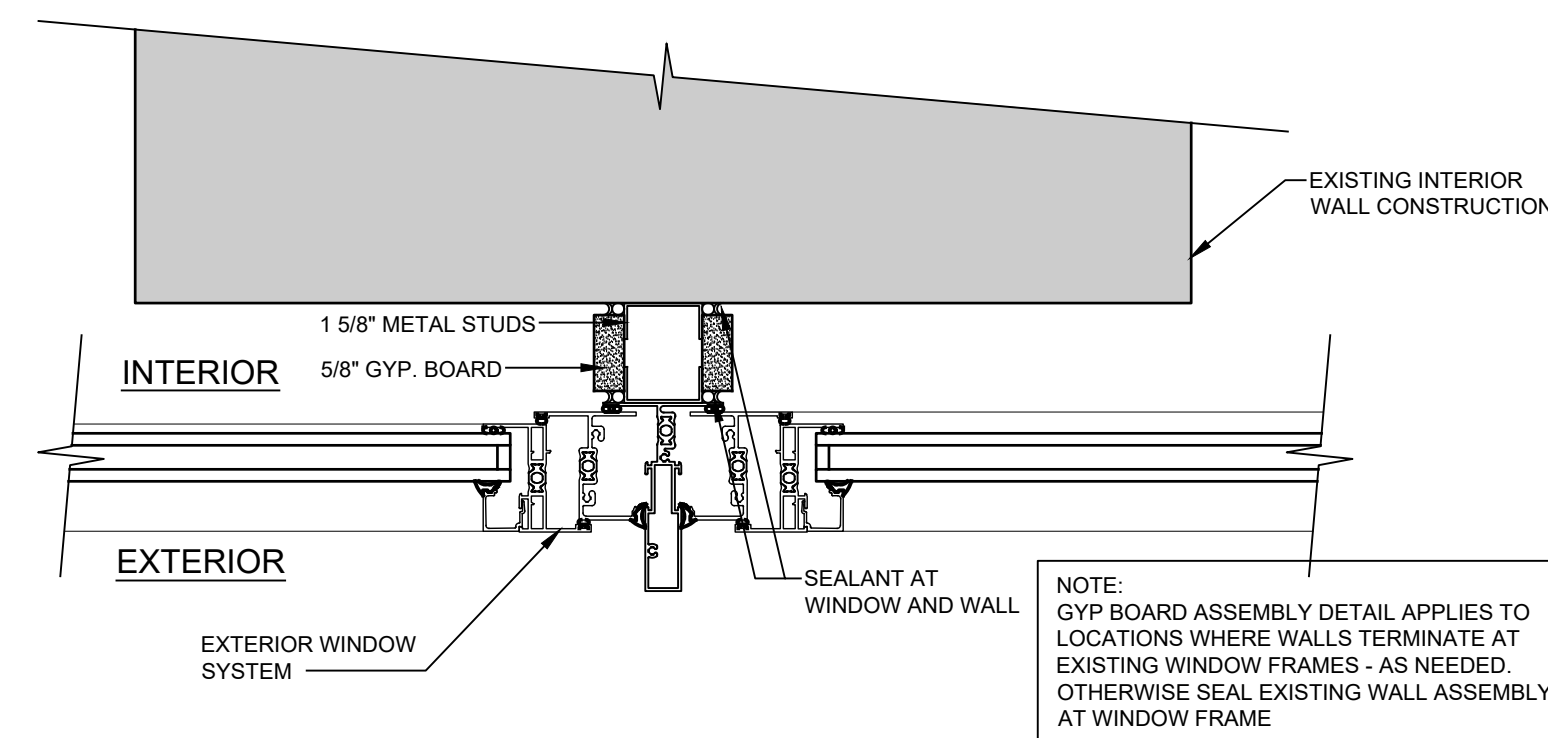
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HVAC & WINDOW UPGRADES
201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015
OVERALL SECOND FLOOR

A300b



1 PARTIAL GROUND FLOOR AREA - A
SCALE: 1/8" = 1'-0"



2 GYP BOARD WINDOW DETAIL
SCALE: 3" = 1'-0"

GENERAL NOTES

1. WHERE EXISTING CONSTRUCTION IS TO REMAIN AND IS ALTERED, PROVIDE FINISHES TO MATCH EXISTING

2. REMOVE PROJECTIONS, HANGERS, BOLTS, FASTENERS, NAILS, HOOKS, LEDGERS, FURRING, BLOCKING, FROM ALL EXISTING SURFACES. FILL GAPS AND PREPARE SURFACES TO RECEIVE WORK AND FINISHES

3. PROTECT, PATCH, AND REPAIR ALL ADJACENT SURFACES WHICH ARE IMPACTED BY THE DEMOLITION, THE WORK, OR REMOVAL OF ACCESSORIES TO THEIR ORIGINAL FORM AND FINISH (UNLESS NOTED OTHERWISE)

4. REMOVE AND REINSTALL ALL EXISTING WALL MOUNTED ITEMS TO REMAIN

5. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEANUP OF ALL CONSTRUCTION DEBRIS. CONTRACTOR TO PROVIDE DUMPSTERS ON SITE THROUGHOUT THE PROJECT. DO NOT USE OWNER'S DISPOSAL RECEPTACLES DUMPSTERS. COORDINATE LOCATION WITH OWNER AT PROJECT KICKOFF MEETING

6. V.I.F. (VERIFY IN FIELD BY CONTRACTOR) ALL ON SITE DIMENSIONS AND EXISTING CONSTRUCTION DETAILS. NEW WINDOW ELEVATIONS TO MATCH EXISTING. VERIFY HEIGHT DIMENSION OF EXISTING INSULATED PANEL

7. EXISTING WINDOW SHADES SHALL BE REMOVED AND REPLACED AT ALL LOCATIONS WHERE METAL TRACKS ARE TO BE REMOVED. CONTRACTOR TO PATCH, REPAIR, AND PAINT WALL AFTER DEMO. PROVIDE ROLLER SHADES AT ALL LOCATIONS UNLESS NOTED OTHERWISE

8. EXISTING AIR CONDITIONERS TO BE REMOVED

9. CAREFULLY REMOVE ANY MEP ITEMS THAT ARE INSTALLED IN THE EXISTING WINDOW SYSTEM. TEMPORARILY SECURE AND REINSTALL IN NEW WINDOW SYSTEM IN THE SAME EXISTING LOCATION

10. REFER TO M/E/P DRAWINGS FOR FULL EXTENT OF CEILING DEMOLITION AND LAYOUT OF NEW CEILINGS

PLAN LEGEND

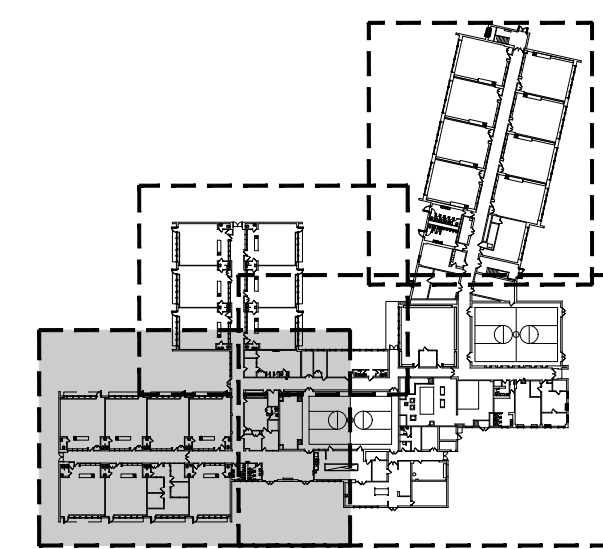
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WINDOW TAG

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DOOR TAG

PROJECT NORTH

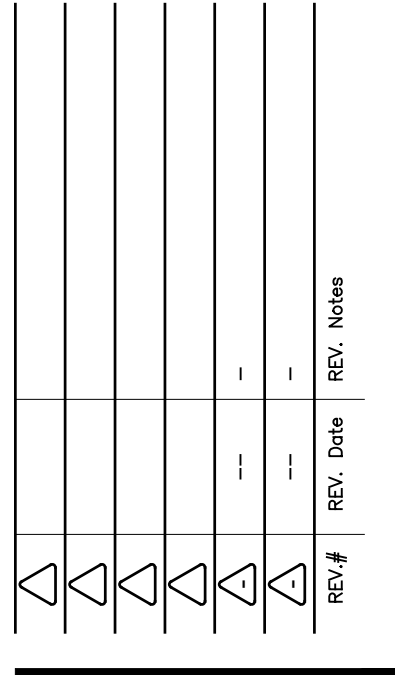


KEY PLAN AREA - A
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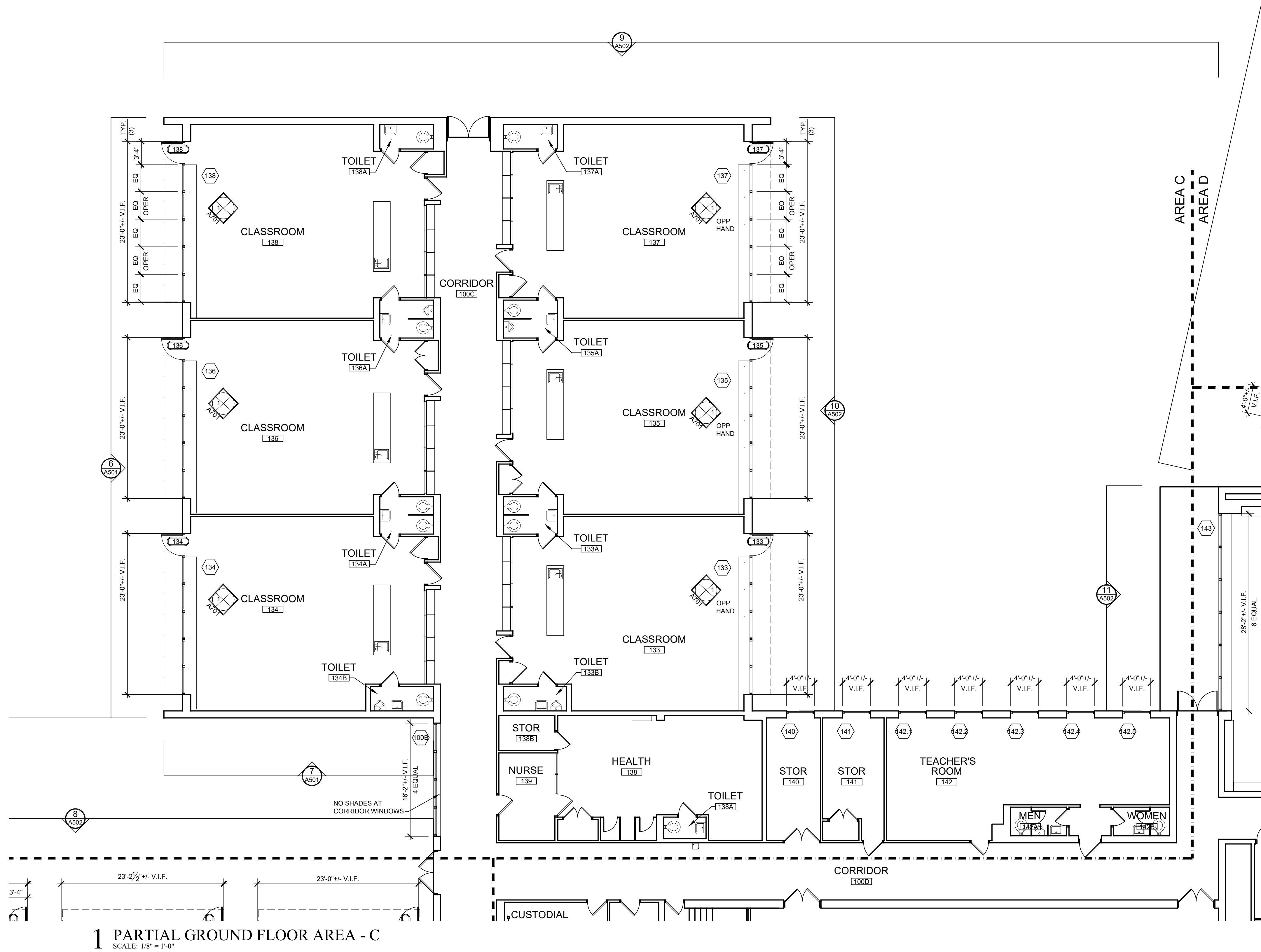
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TWOBY FARMS IMD SCHOOL
HVAC & WINDOW UPGRADES
201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015
PARTIAL GROUND FLOOR
AREA B
PROJECT NO: 022 105
DRAWN BY:
DATE: 15 MAR 2023
SCALE: AS NOTED

A311b

 Δ



1 PARTIAL GROUND FLOOR AREA - C
SCALE: 1/8" = 1'-0"

GENERAL NOTES

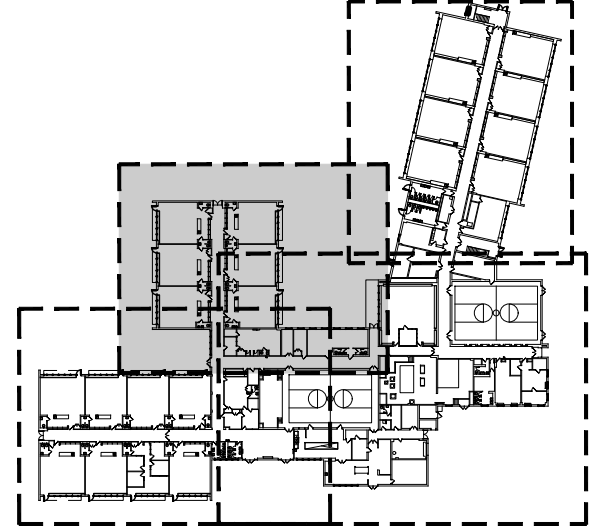
- WHERE EXISTING CONSTRUCTION IS TO REMAIN AND IS ALTERED. PROVIDE FINISHES TO MATCH EXISTING
- REMOVE PROJECTIONS, HANGERS, BOLTS, FASTENERS, NAILS, HOOKS, LEDGERS, FURRING, BLOCKING, FROM ALL EXISTING SURFACES. FILL GAPS AND PREPARE SURFACES TO RECEIVE WORK AND FINISHES
- PROTECT, PATCH, AND REPAIR ALL ADJACENT SURFACES WHICH ARE IMPACTED BY THE DEMOLITION, THE WORK, OR REMOVAL OF ACCESSORIES TO THEIR ORIGINAL FORM AND FINISH (UNLESS NOTED OTHERWISE)
- REMOVE AND REINSTALL ALL EXISTING WALL MOUNTED ITEMS TO REMAIN
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEANUP OF ALL CONSTRUCTION DEBRIS. CONTRACTOR TO PROVIDE DUMPSTERS ON SITE THROUGHOUT THE PROJECT. DO NOT USE OWNER'S DISPOSAL RECEPTACLES DUMPSTERS. COORDINATE LOCATION WITH OWNER AT PROJECT KICKOFF MEETING
- V.I.F. (VERIFY IN FIELD BY CONTRACTOR) ALL ON SITE DIMENSIONS AND EXISTING CONSTRUCTION DETAILS. NEW WINDOW ELEVATIONS TO MATCH EXISTING. VERIFY HEIGHT DIMENSION OF EXISTING INSULATED PANEL
- EXISTING WINDOW SHADES SHALL BE REMOVED AND REPLACED AT ALL LOCATIONS WHERE METAL TRACKS ARE TO BE REMOVED. CONTRACTOR TO PATCH, REPAIR, AND PAINT WALL AFTER DEMO. PROVIDE ROLLER SHADES AT ALL LOCATIONS UNLESS NOTED OTHERWISE
- EXISTING AIR CONDITIONERS TO BE REMOVED
- CAREFULLY REMOVE ANY MEP ITEMS THAT ARE INSTALLED IN THE EXISTING WINDOW SYSTEM. TEMPORARITL SECURE AND REINSTALL IN NEW WINDOW SYSTEM IN THE SAME EXISTING LOCATION
- REFER TO M/E/P DRAWINGS FOR FULL EXTENT OF CEILING DEMOLITION AND LAYOUT OF NEW CEILINGS

PLAN LEGEND

102 WINDOW TAG

102 DOOR TAG

PROJECT NORTH



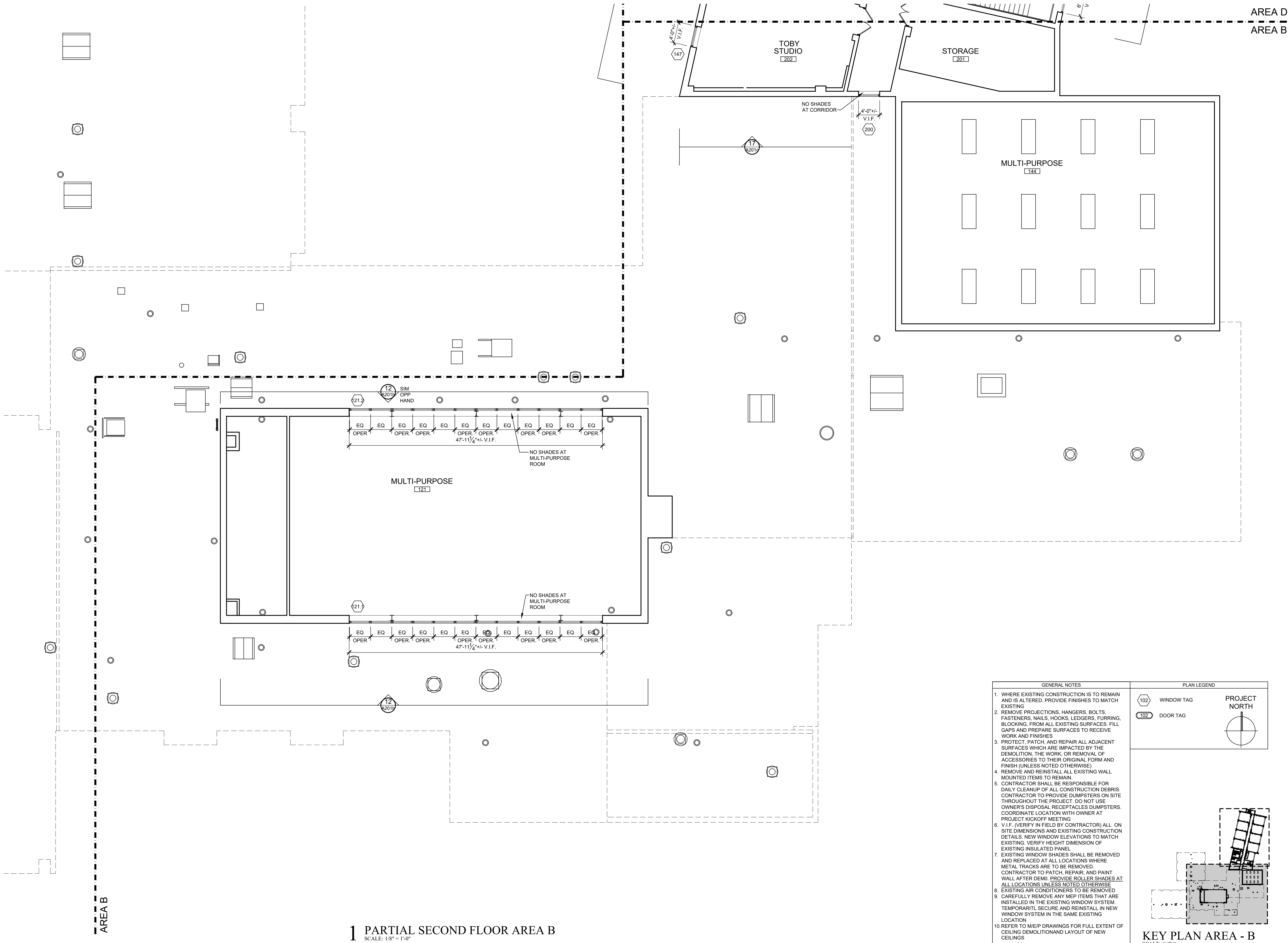
KEY PLAN AREA - C
SCALE: N.T.S.

TOBY FARMS IMD SCHOOL
HVAC & WINDOW UPGRADES
201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015
PROJECT NO: 022 105
DRAWN BY:
DATE: 15 MAR 2023
SCALE: AS NOTED

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www.pa-act.com
p215.644.7878
BID SET 15 MAR 2023

PA Registration: RA015197X

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GENERAL NOTES

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PLAN LEGEND

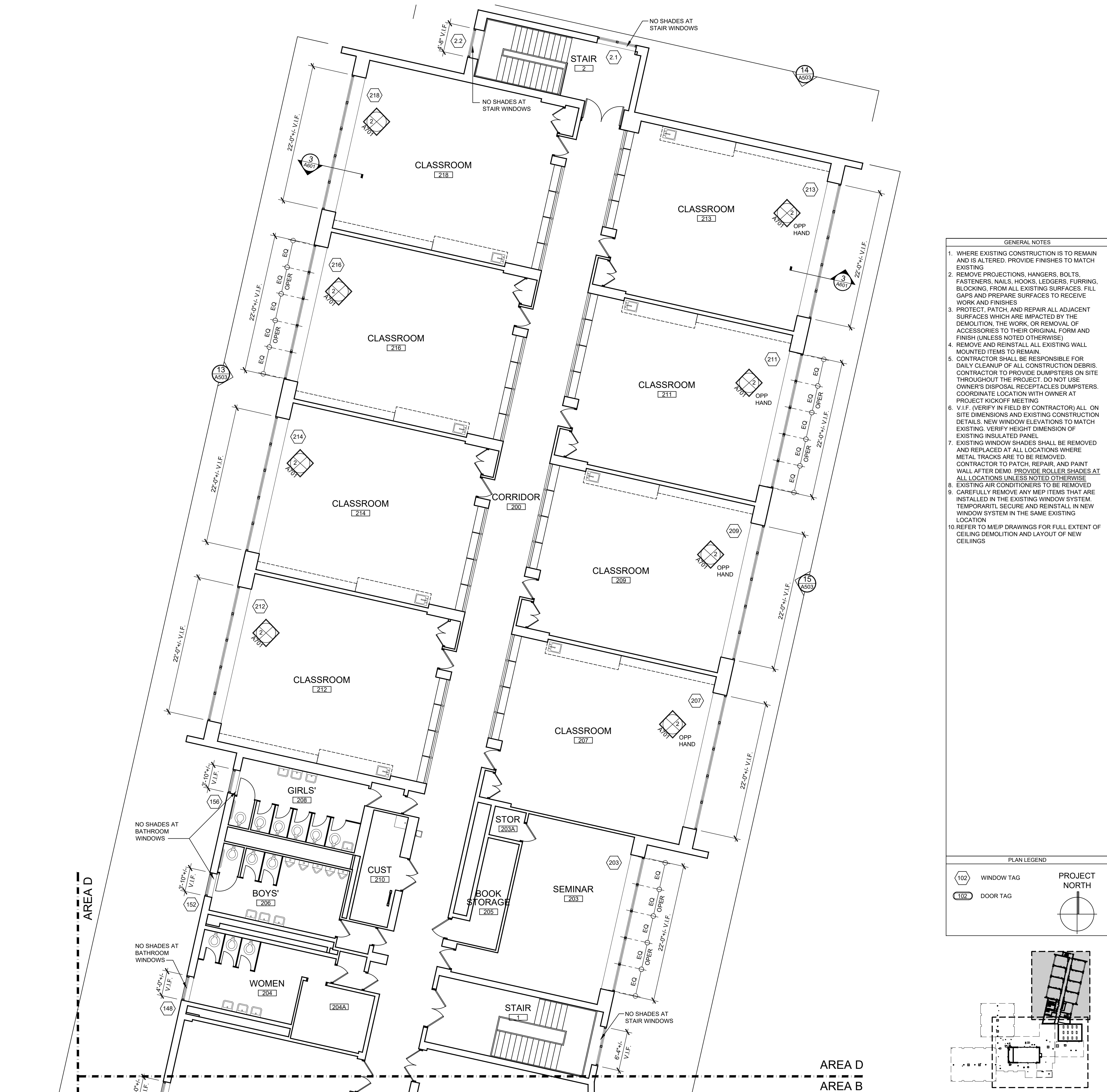
WINDOW TAG

DOOR TAG

PROJECT NORTH

KEY PLAN AREA - B

SCALE: N.T.S.



1 PARTIAL SECOND FLOOR AREA D
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. WHERE EXISTING CONSTRUCTION IS TO REMAIN AND IS ALTERED, PROVIDE FINISHES TO MATCH EXISTING

2. REMOVE PROJECTIONS, HANGERS, BOLTS, FASTENERS, NAILS, HOOKS, LEDGERS, FURRING, BLOCKING, FROM ALL EXISTING SURFACES. FILL GAPS AND PREPARE SURFACES TO RECEIVE WORK AND FINISHES

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9. CAREFULLY REMOVE ANY MEP ITEMS THAT ARE INSTALLED IN THE EXISTING WINDOW SYSTEM. TEMPORARITL SECURE AND REINSTALL IN NEW WINDOW SYSTEM IN THE SAME EXISTING LOCATION

10. REFER TO M/E/P DRAWINGS FOR FULL EXTENT OF CEILING DEMOLITION AND LAYOUT OF NEW CEILINGS

PLAN LEGEND

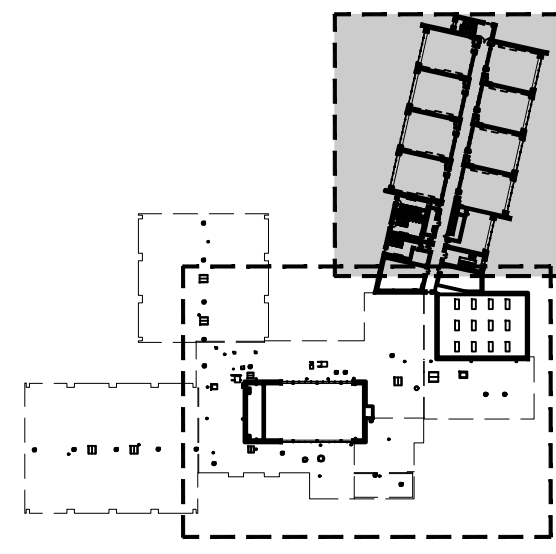
102

WINDOW TAG

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DOOR TAG

PROJECT NORTH



KEY PLAN AREA - D
SCALE: N.T.S.

TOBY FARMS IMD SCHOOL
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BROOKHAVEN, PA 19015
PROJECT NO: 022 105
DRAWN BY:
DATE: 15 MAR 2023
SCALE: AS NOTED

PARTIAL SECOND FLOOR
AREA D

A321d

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FINAL WINDOW UNIT DIMENSIONS TO
BE CONFIRMED W/ FIELD
CONDITIONS PRIOR TO FABRICATION

7 NOT USED
SCALE: 1/8" = 1'-0"

A Registration: RA015197X

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215.646.7878 www.pa-arch.com
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TOBY FARMS IMD SCHOOL
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201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015
PROJECT NO: 022 105
DRAWN BY:
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SCALE: AS NOTED

A501





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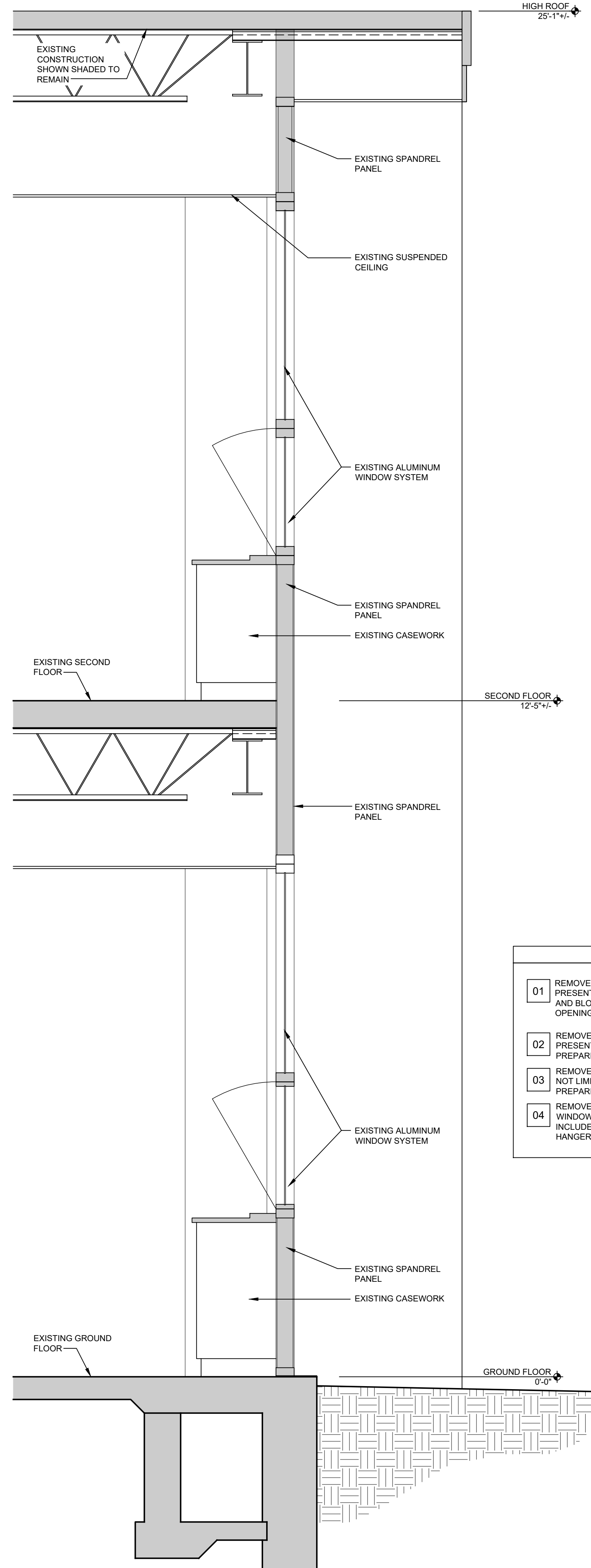
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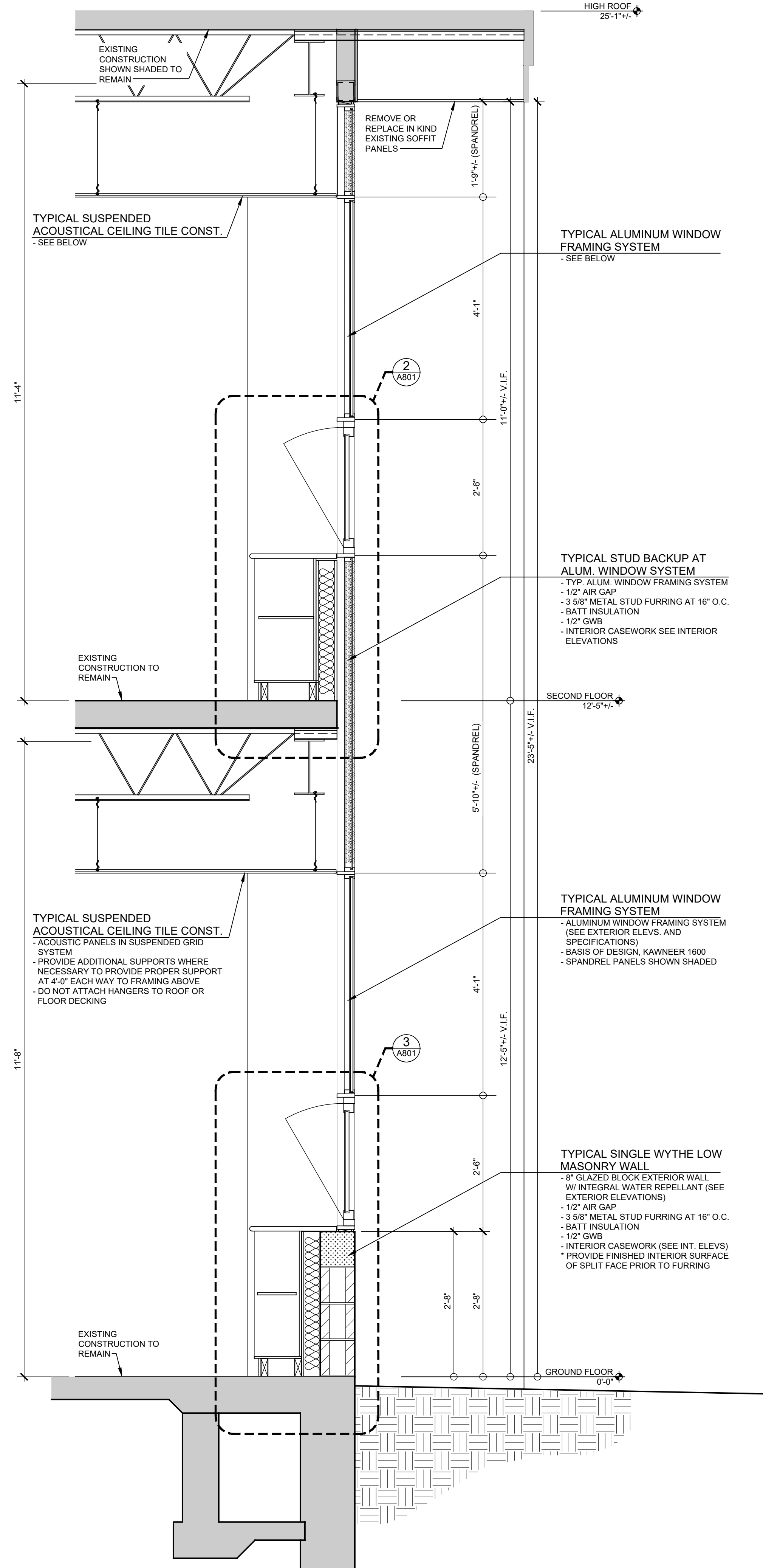
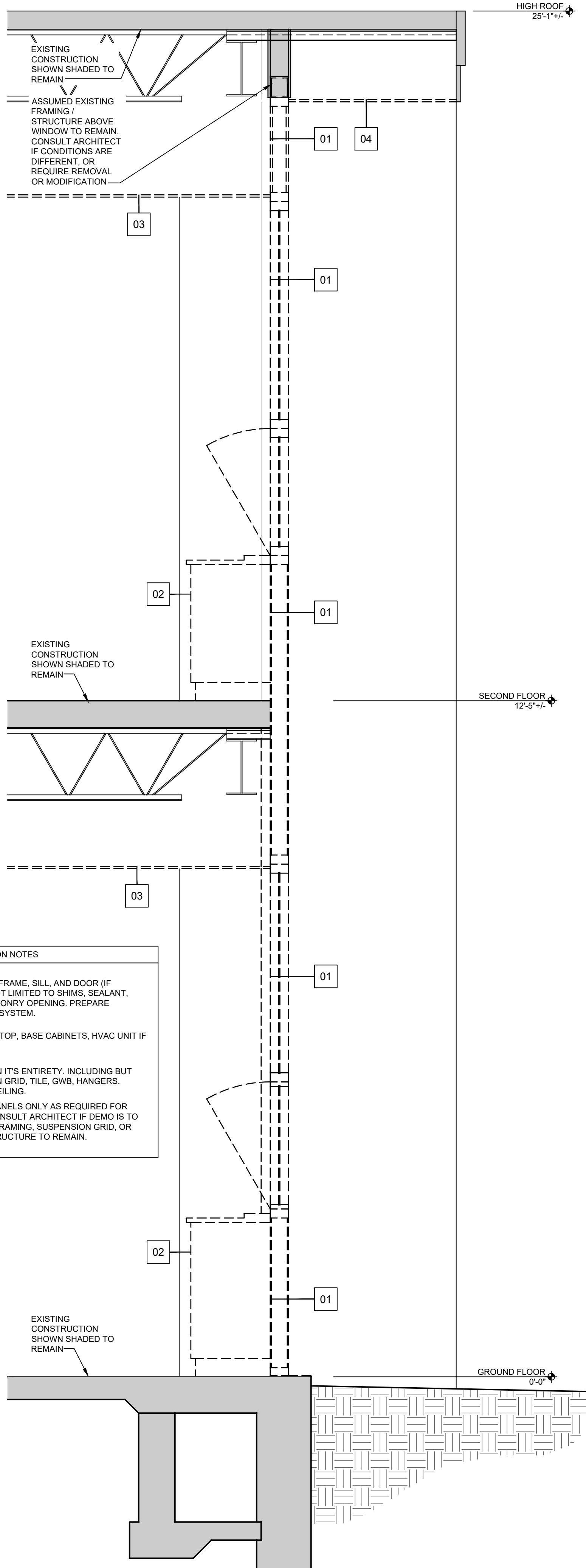
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HVAC & WINDOW UPGRADES
201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015
PROJECT NO: _____
DRAWN BY: _____
DATE: 15 _____

A502





DEMOLITION NOTES	
01	REMOVE EXISTING WINDOW, FRAME, SILL, AND DOOR (IF PRESENT), INCLUDED BUT NOT LIMITED TO SHIMS, SEALANT, AND BLOCKING BACK TO MASONRY OPENING. PREPARE OPENING FOR NEW WINDOW SYSTEM.
02	REMOVE EXISTING COUNTERTOP, BASE CABINETS, HVAC UNIT IF PRESENT AND BASE. PREPARE FOR NEW WORK.
03	REMOVE EXISTING CEILING IN IT'S ENTIRETY, INCLUDING BUT NOT LIMITED TO SUSPENSION GRID, TILE, GWB, HANGERS. PREPARE ROOM FOR NEW CEILING.
04	REMOVE EXISTING SOFFIT PANELS ONLY AS REQUIRED FOR WINDOW INSTALLATIONS. CONSULT ARCHITECT IF DEMO IS TO INCLUDE REMOVAL OF ANY FRAMING, SUSPENSION GRID, OR HANGERS. MAIN CANOPY STRUCTURE TO REMAIN.



TOBY FARMS IMD SCHOOL

HVAC & WINDOW UPGRADES

201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015

SECTIONS

PROJECT NO: 022 105

DRAWN BY: SAS

DATE: 15 MAR 2023

SCALE: AS NOTED

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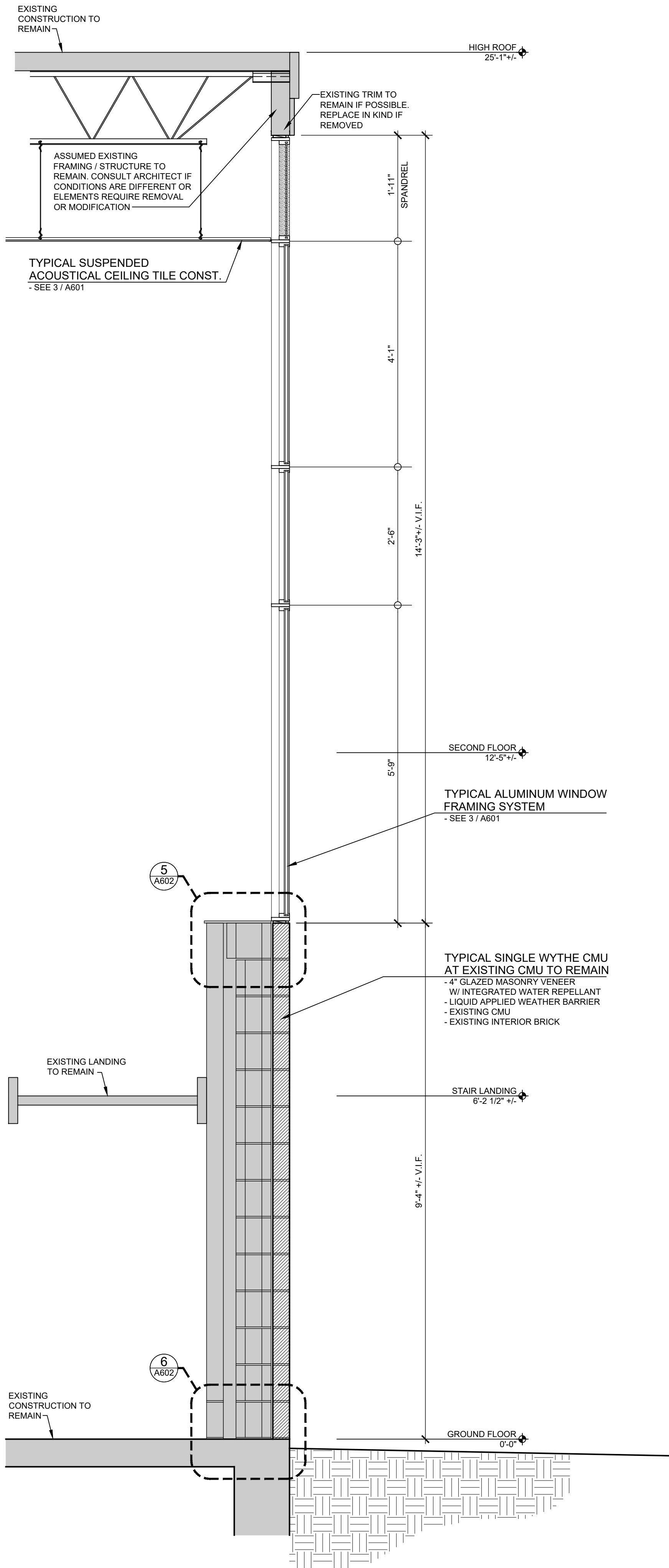
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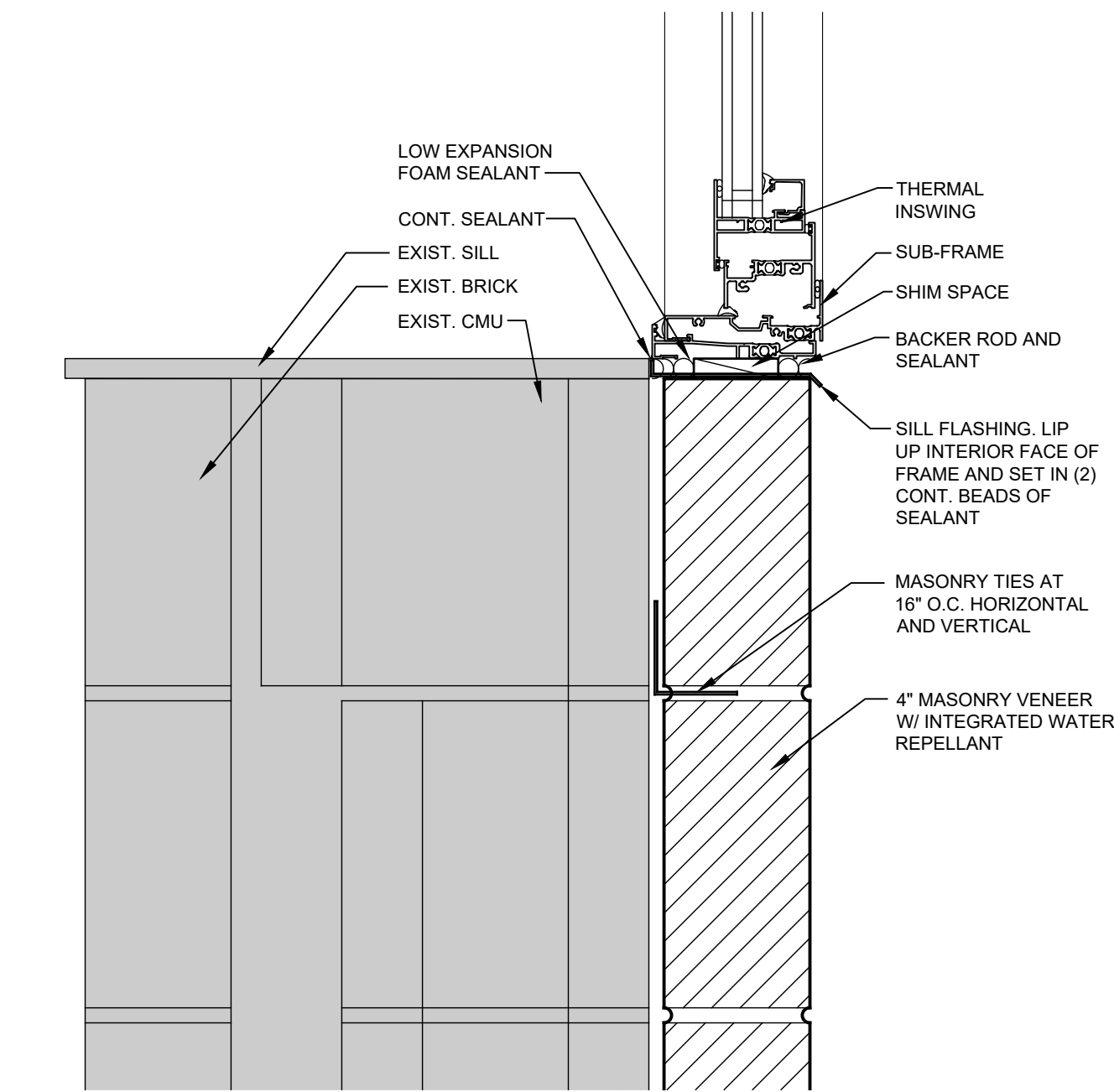
BID SET 15 MAR 2023

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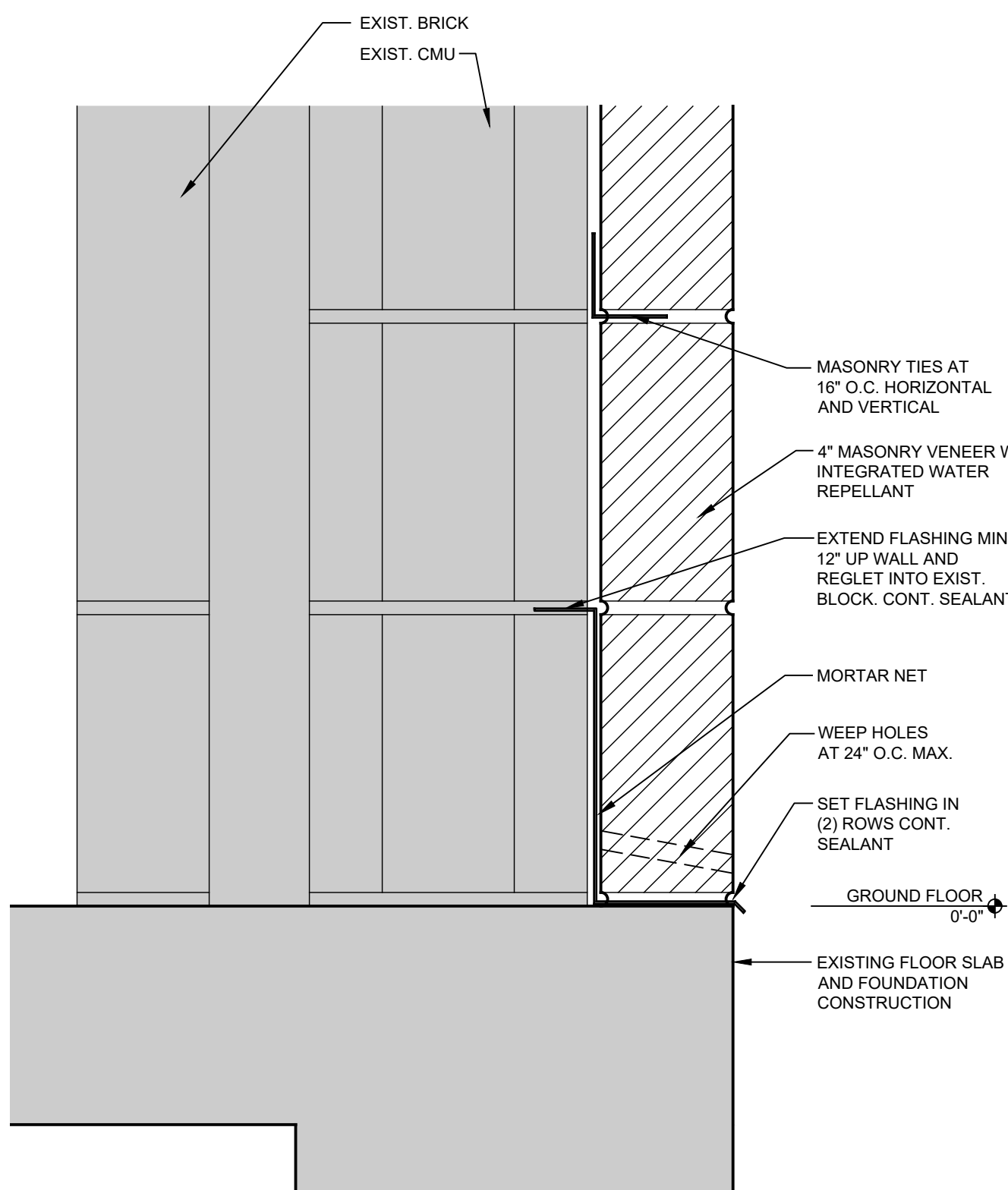
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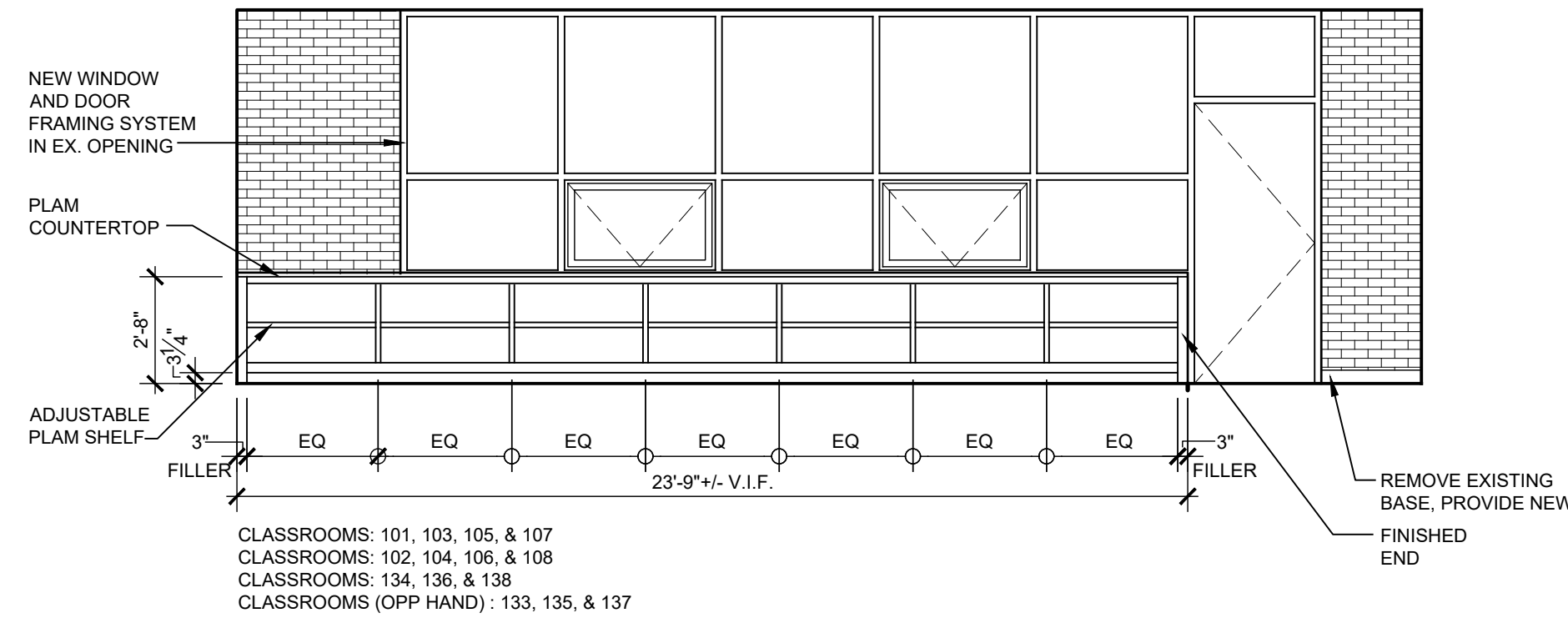
4 WALL SECTION
SCALE: 3/4" = 1'-0"



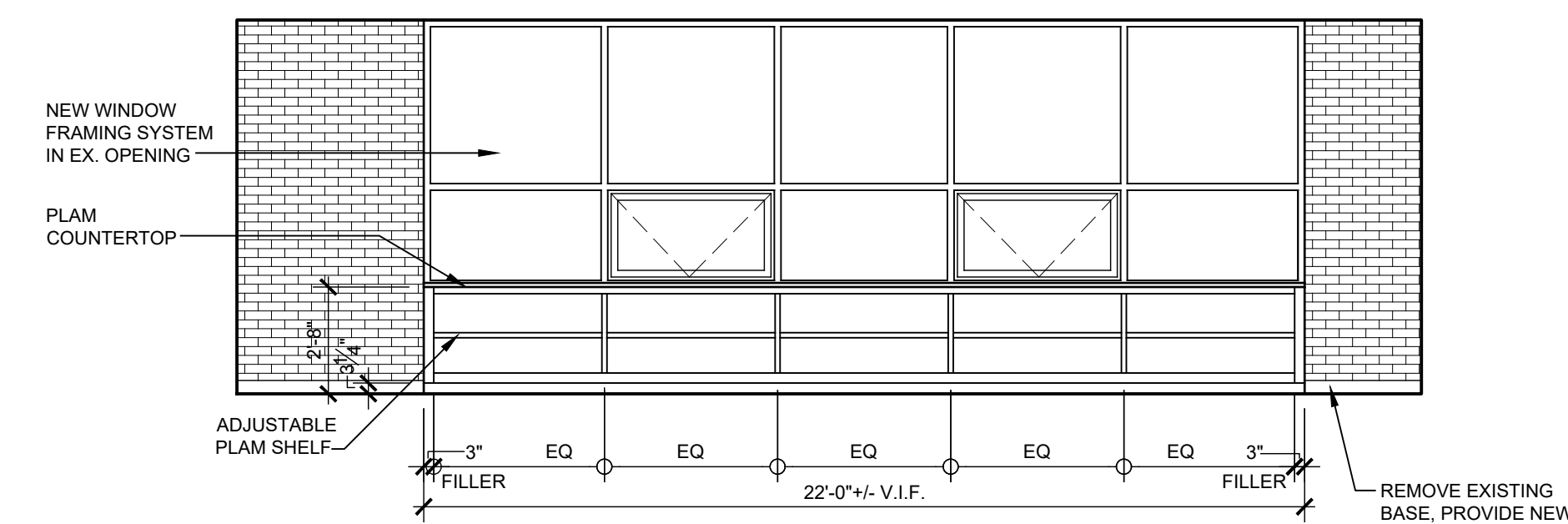
5 SECTION DETAIL
SCALE: 3" = 1'-0"



6 SECTION DETAIL
SCALE: 3" = 1'-0"

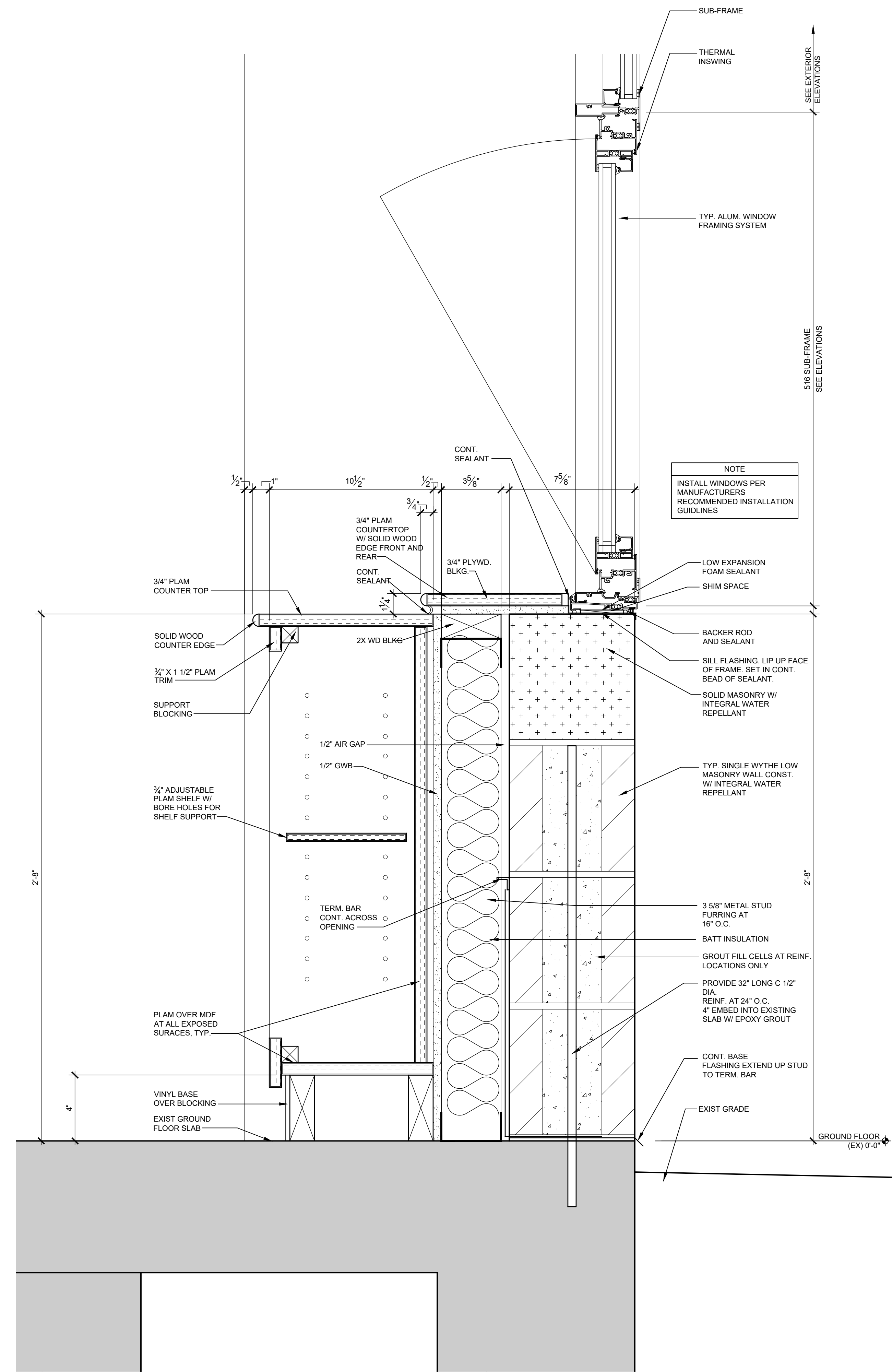
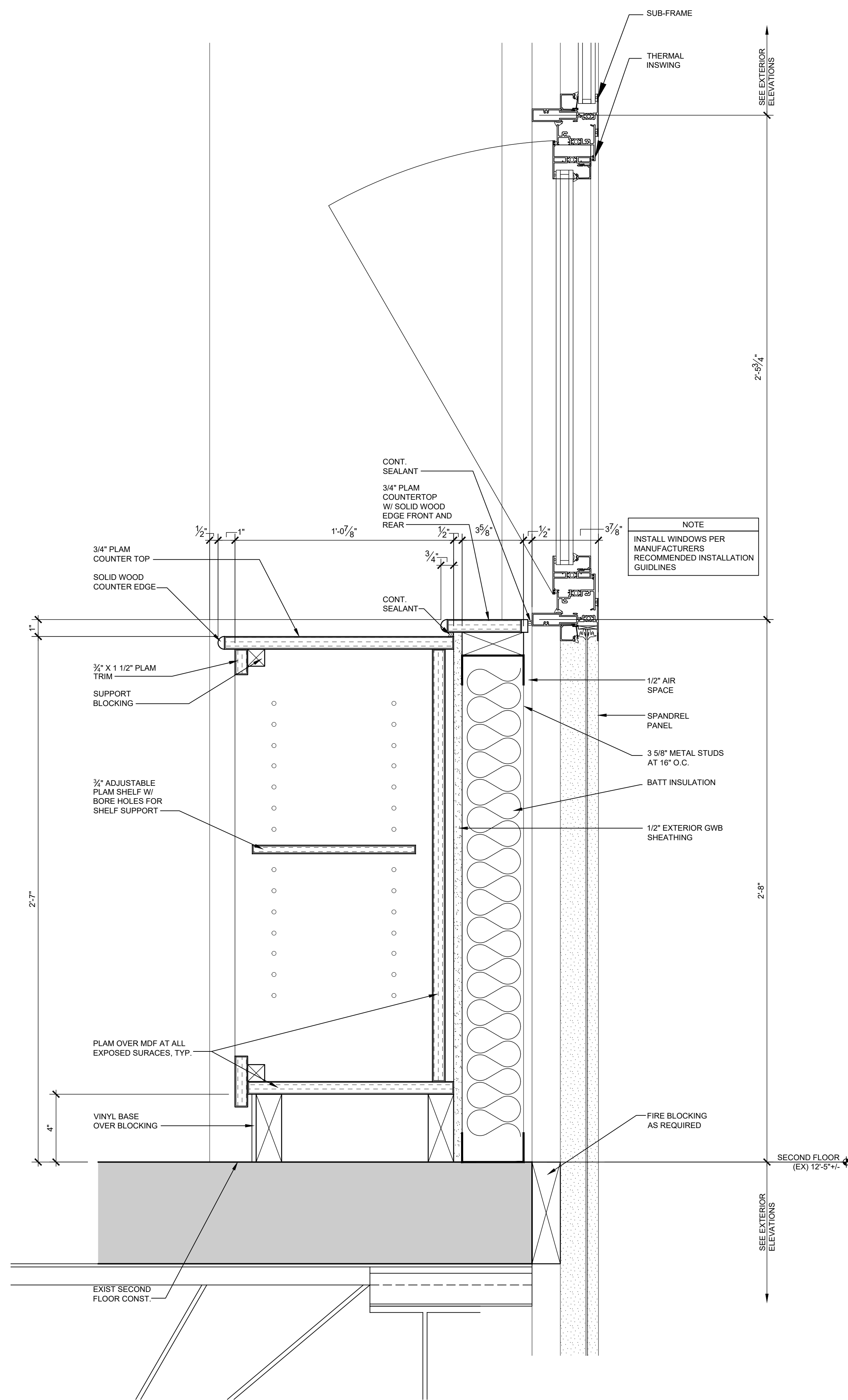


7 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



8 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

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BID SET 15 MAR 2023

BID SET 15 MAR 2023

TOBY FARMS IMD SCHOOL

HVAC & WINDOW UPGRADES

201 BRIDGEWATER ROAD
BROOKHAVEN, PA 19015

DETAILS

DATE _____

PROJECT NO:	022 105
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DRAWN BY: SAS
DATE: 15 MAR 2023

DATE: 13 MAY 2023

SCALE: AS NOTED

A801



DOOR TYPES

Diagram illustrating two door types, A and B, with dimensions and labels.

Type A is a solid door.

Type B is a glass door with a central glass panel labeled "GL". The maximum height of the glass panel is indicated as 3'-7" MAX. The width of the glass panel is indicated as 1'-1".

T = TEMPERED GLAZING

INDICATES GL-3

4'-0" +/- V.I.F.

6'-0" +/- V.I.F.

1'-2"

EQ

EQ

SILL (EX)

MATCH EXIST.

A

INDICATES GL-3

4'-0" +/- V.I.F.

6'-0" +/- V.I.F.

3'-5"

2'-5"

SILL (EX)

B

INDICATES GL-3

4'-0" +/- V.I.F.

8'-5" +/- V.I.F.

1'-11"

4'-1"

2'-3"

SILL (EX)

C

NOTES:

1. SPANDREL PANEL SHOWN SHADED
2. BASIS OF DESIGN. KAWNEER 516 SUB FRAME W/ 528 THERMAL INSULATING WINDOWS

 \wedge