

1350 EDGMONT AVENUE RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

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CS.1 COVER SHEET

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FS-1.1	FOODSERVICE UTILITIES PLANS AND SCHEDULES



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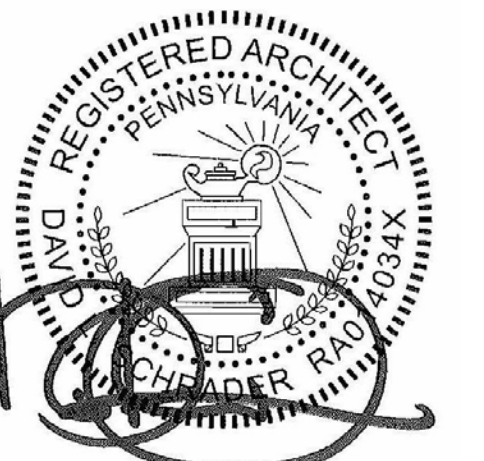
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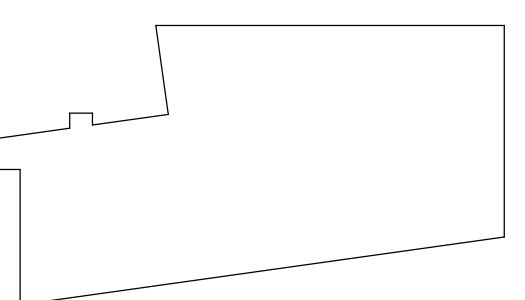
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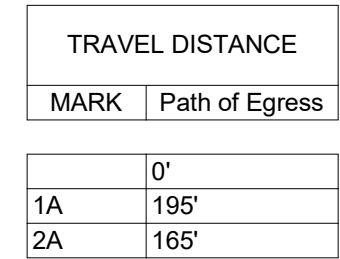
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SECOND FLOOR FIRE SAFETY AND EGRESS PLAN

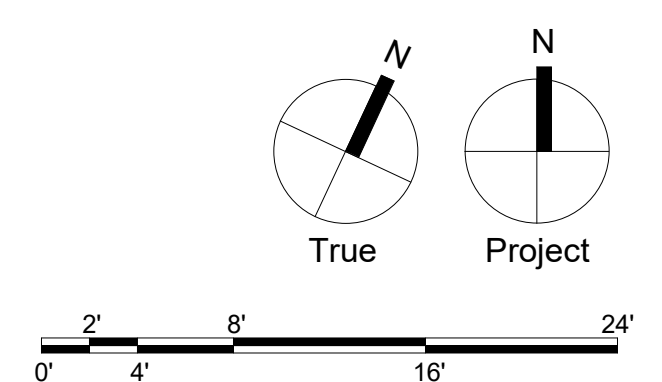
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A002



1 SECOND FLOOR EGRESS PLAN

A002	SCALE: 1/8" = 1'-0"
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1. THE CONTRACTOR SHALL INVESTIGATE JOB SITE TO COMPARE CONTRACT DOCUMENTS AND EXISTING CONDITIONS. INCLUDE COST FOR ALL WORK TO BE DONE IN CONFORMANCE WITH CONTRACT DOCUMENTS AND EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
2. THE CONTRACTOR SHALL COMPLY AND COORDINATE ALL WORK WITH BUILDING OWNER REGARDING HEAT, WATER, ELECTRICITY, DELIVERIES, ACCESS, EGRESS AVAILABLE TO ALL TRADES, MATERIALS STORAGE, REMOVAL, HOISTING, AND ANY OTHER UTILITIES OR OWNER'S RULES AND REGULATIONS CONCERNING THE PROJECT SITE.
3. THE CONTRACTOR SHALL COORDINATE SCHEDULING, PROVISIONS FOR INSTALLATION, LOCATIONS AND THE ACTUAL INSTALLATION OF ITEMS FURNISHED BY OWNER.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND IS RESPONSIBLE FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS.
5. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
6. THE CONTRACTOR SHALL SUBMIT FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION OR PRIOR TO START OF WORK: SHOP DRAWINGS FOR ALL MILLWORK, CUSTOM METALWORK, CUSTOM CASEWORK, AND ALL OTHER ITEMS AS REQUESTED BY THE ARCHITECT FOR ALL ABOVE BUILDING STANDARD ITEMS.
7. CHANGES IN DRAWINGS OR ACTUAL WORK MUST BE ISSUED BY THE ARCHITECT.
8. PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARD OF WORKMANSHIP.
9. THE CONTRACTOR SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES PRIOR TO INSTALLATION. STAFF SHALL BE RESPONSIBLE FOR IDENTIFYING DEFECTS IN SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS. ADVISE ARCHITECT OF ANY EXISTING CONSTRUCTION NOTED IN PROCTTY AND PLUMB WITH INDUSTRY STANDARD PRIOR TO START OF CONSTRUCTION.
10. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS AND DUST BARRIERS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES FROM RELOCATION OF WORK. ALL PROTECTIVE MEASURES TO BE USED BY OWNER AND LOCAL CODE OFFICIALS FOR EGRESS CONFORMANCE. PRIOR TO COMMENCING WORK, WORKER IN COMPLIANCE WITH PROGRESSION OF WORK SCHEDULE. PERFORM WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR CAUSE ANY OF THE FOLLOWING: DAMAGE TO OR REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTIONS AT NO ADDITIONAL CHARGE TO OWNER.
11. WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCES OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED, BY THE CONTRACTOR, AT NO ADDITIONAL CHARGE TO THE OWNER.
12. THE CONTRACTOR SHALL MAINTAIN ALL WORKS, EXIT LIGHTING, FIRE PROTECTION AND LIFE SAFETY SYSTEMS IN WORKING ORDER. CONTRACTOR TO PROVIDE TEMPORARY FIRE EXTINGUISHERS DURING THE COURSE OF CONSTRUCTION AS REQ'D BY THE AUTHORITIES HAVING JURISDICTION.
13. EXIT DOORS, EGRESS DOORS, AND OTHER DOORS REQUIRED FOR MEANS OF EGRESS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.
14. CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS OF THE CONTRACT, LOCAL CONDITIONS RELATING TO LOCATION, ACCESSIBILITY AND GENERAL CHARACTER OF THE CONSTRUCTION SITE AND LOCAL LABOR CONDITIONS SO THAT HE UNDERSTANDS THE NATURE, EXTENT, DIFFICULTIES AND RESTRICTIONS OF THE WORK. CONTRACTOR SHALL BE AWARE OF ARCHITECT OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK.
15. ALL WOOD BLOCKING IN FIRE RATED ASSEMBLIES TO BE FIRE RETARDANT.
16. ALL WOOD ON EXTERIOR WALLS AND ROOF TO BE MOISTURE RESISTANT.
17. IN ALL INSTANCES WHERE WORK IS BEING CORRECTED OR REPAIRED, CONTRACTOR IS TO REPAIR OR REPLACE TO NEAREST CORNER OR BREAK-LINE WHERE WALL CHANGES DIRECTION.
18. CONTRACTOR TO COORDINATE WITH E.C. THE MOUNTING HEIGHT OF ALL SWITCHES AND OUTLETS AT MILLWORK, COUNTERS, SHELVING, SINKS, ETC.

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- CONTRACTOR IS TO PROVIDE ALL MISC. TRAILING, BLOCKING, ETC. TO HANG
SCREENS, BULLETIN BOARDS, RAILS, TOOL ACCESSORIES, WOODWORK, ETC.
20. ALL MASONRY VENEER SHELVES TO TERMINATE A MINIMUM OF 8" BELOW
PROPOSED FINISHED GRADE. REFERENCE CITY DRAWINGS FOR PROPOSED
GRADE.
21. CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AND GYPSUM BOARD
CEILINGS SHALL BE SPACED AS FOLLOWS:
- | | PARTITIONS | |
|--|-------------------|--|
| | INTERIOR CEILINGS | - 30 FT. MAXIMUM IN EITHER DIRECTION,
- 30 FT. MAXIMUM IN EITHER DIRECTION. |
| | EXTERIOR CEILINGS | - 30 FT. MAXIMUM IN EITHER DIRECTION. |
22. ALL PENETRATIONS THROUGH RATED WALLS TO BE SEALED TO MAINTAIN
INTEGRITY OF WALL CONSTRUCTION AND RATING (ASTM E814 SYSTEM BY 3M,
HILTI, OR SIM).
23. ALL INSULATION EXPOSED TO CEILING PLENUM IS TO BE FIRE AND DUST PROOF.
24. ALL NEW SUPPLY AIR AND RETURN GRILLES SHALL BE LOCATED IN THE CENTER
LINE OF ACOUSTICAL TILES UNLESS OTHERWISE INDICATED ON PLANS.
25. CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS WHEN
RELOCATING AND/OR INSTALLING ANY EQUIPMENT AND FURNISHINGS.
26. CONTRACTOR SHALL VERIFY EQUIPMENT LOCATIONS WITH OWNER PRIOR TO
INSTALLATION.
27. ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING
BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICES
OR HANGER ROD ETC., SHALL HAVE THEIR COMMON JOINTS WITH
DRYWALL AND MASONRY CAULKED TO PROVIDE AN AIR-TIGHT SEAL.
28. CONTRACTOR TO REMOVE ANY STRAY PAINT, DIRT, OR STAINS INCURRED
DURING THE CONSTRUCTION PROCESS. CONTRACTOR SHALL BE RESPONSIBLE
FOR REMOVING ALL TEMPORARY EQUIPMENT COVERINGS USED DURING
CONSTRUCTION AND THE SHOP ALSO BE RESPONSIBLE FOR REMOVING HIS
TRASH OFF OF THE JOB SITE DAILY.
29. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND WELDING IN
COMPLIANCE WITH THE PUBLISHED STANDARDS OF NFPA. THE CONTRACTOR
SHALL PROVIDE FIRE WATCHES FOR ALL CUTTING, GRINDING, AND WELDING
OPERATIONS. THE TRAINING OF THESE FIRE WATCHES AND THE USE OF THE
CONTRACTOR'S SUPPLIED FIRE EXTINGUISHERS IS THE RESPONSIBILITY OF
THE CONTRACTOR.
30. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR DETAILS
OF UTILITY WALL PENETRATIONS.
31. ALL FIXTURES LABELED " * " INDICATE HANGABLE CABINET APPLIANCE FIXTURES.
32. WHERE TWO DISSIMILAR METALS MEET, PAINT FACE OF ONE WITH BITUMINOUS
PAINT.
33. ALL EXTERIOR ENTRANCE DOORS AND FRAMES TO RECEIVE PERIMETER
WEATHER STRIPPING AS PER SPECIFICATIONS.
34. CONTRACTOR IS TO PROVIDE STUD BRACING AS REQUIRED FOR METAL STUD
PARTITIONS ABOVE 10'-0".
35. ALL MASONRY WEEP HOLES MUST BE LOCATED ABOVE GRADE, CONCRETE
WALKS, PAVEMENT MULCH, ETC. DO NOT COVER UNDER ANY CIRCUMSTANCES
CONTRACTOR IN CHARGE OF MASONRY WORK IS RESPONSIBLE FOR
COORDINATING WITH ALL CIVIL WORK (TYPICAL).
36. ANY AREA OUTSIDE THE LIMITS OF CONSTRUCTION DISTURBED BY OPERATION
OF THE CONTRACTOR SHALL BE RESTORED AT THE CONTRACTORS EXPENSE.
37. ALL CONCRETE WALKS, ASPHALT, CURBS AND LANDSCAPING DAMAGED DURING
CONSTRUCTION ARE TO BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL
COST TO THE OWNER.
38. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL WEED JOINTS AROUND
WINDOWS AND EXTRUDED ALUM. STORE FRONTS FREE OF CAULK.
39. 2 x 6 CONTINUOUS WOOD BLOCKING SHALL BE PROVIDED AT DRYWALL
PARTITIONS FOR ALL CABINET WORK AT TOP AND BOTTOM OF WALL MOUNTED
CABINETS AND UNDER ALL MASONRY WORK AT LEVEL OF BASE CABINET. ALL OPEN-FACE
SHELVING UNITS SHALL HAVE CONCEALED ANCHOR BRACKETS.
40. ALL EXTERIOR WINDOWS, DOORS, LOUVERS, VENTS, EXHAUST FANS, PIPE
PENETRATIONS, AND ALL OTHER PENETRATIONS THRU EXTERIOR WALLS SHALL
BE SEALED AROUND ENTIRE PERIMETER WITH SEALANT. (BOTH ON EXTERIOR
AND INTERIOR SIDE) (SEE DETAIL NOTED IN NOTE 38)
41. ALL INTERIOR PARTITIONS WHICH RECEIVE CERAMIC TILE SHALL BE FRAMED
WITH 20 GA. MIN. STUDS AT 12" O.C. (HORIZONTAL COLD ROLLED STIFFENER
CHANNELS AT 4'-0" O.C. (MAX.) AND EXGEND FROM FINISHED FLOOR TO
TOP OF EVERY OTHER VERTICAL STUD. STUD KICKERS MUST ALSO BE INSTALLED
AT EVERY OTHER VERTICAL STUD.
42. FIRE EXTINGUISHER CABINETS TO BE MOUNTED 4'-0" A.F.F. TO TOP MAXIMUM IN
ACCORDANCE ACCESSIBILITY REQUIREMENTS. (FIRE EXTINGUISHERS WITH
GROSS WEIGHT ABOVE 40LBS. MUST BE MOUNTED 3'-6" MAX.). CLEARANCE
BETWEEN THE BOTTOM OF THE FLOOR AND THE EXTINGUISHER MAY NOT BE
LESS THAN 4").

AP	ACOUSTICAL PANEL	F.F. / FIN. FL.	FINISH FLOOR
ACT	ACOUSTICAL CEILING TILE	FIN	FINISH
AFF	ABOVE FINISHED FLOOR	FL	FLOOR
AHU	AIR HANDLING UNIT	FLSH	FLASHING
ALUM. AL	ALUMINUM	FLSHR	FLUORESCENT
ARCH	ARCHITECTURAL	F.O.S.	FACE OF STUDS
ASPH	ASPHALT	FR(G)	FRAME(ING)
ATTCHMT	ATTACHMENT	FRTW	FIRE RATED TREATED WOOD
BD	BOARD	FT	FEET OR FOOT
BLD(G)	BUILDING	FUR	FURING
BLK	BLOCK(ING)	FVC	FIRE VALVE CABINET
BM	BEAM	GA	GAGE OR GAUGE
B.O.S.	BOTTOM OF SLAB	GALV	GALVANIZE
BRG	BEARING	GC	GENERAL CONTRACTOR
BRK	BRICK	G.I.	GALVANIZED IRON
BTM	BOTTOM	GL	GLASS
BYND	BEYOND	GM	GALVANIZED METAL
CJ	CONTROL OR CONSTRUCTION JOINT	GR	GRADE
CLT	CLOSET	GWB	GYP(SUM) WALL BOARD
CLR	CEILING	GYP.BD / GWB	GYP(SUM) BOARD
CLM	CLEAR	H.B.	HOSE BIB
CON	CONCRETE MASONRY UNIT	H.C.	HOLLOW CORE
C/O	CLEAN OUT	H.C.W.	HANDICAPPED ACCESSIBLE
COL	COLUMN	HD	HARDWARE
CONC	CONCRETE	HDWD	HARDWOOD
CONT	CONTINUOUS	H.M.	HOLLOW METAL
CORR	CORRIDOR	HOR	HORIZONTAL
COV	COVER	HT	HEIGHT
CPT	CARPET	HTER	HEADER
CTYCR	CERAMIC TILE/CERAMIC	ID	INSIDE DIAMETER
C.U.H.	CABINET UNIT HEATER	INFO	INFORMATION
CW	CURTAINWALL	INSUL	INSULATION OR INSULATED
D (ø) DRN	DRAIN	INT	INTERIOR
DBL	DOUBLE	INV	INVERT
DET	DETAIL	JAN	JANITOR
D.F.	DRINKING FOUNTAIN	JO	JOINT
DIA	DIAMETER		
DM	DIMENSION	KO	KNOCKOUT
DIV. STRIP	DIVIDER STRIP	LAM	LAMINATE
DN	DOWN	LAV	LAVATORY
DP	DAMP(POOF)(ING)	LP	LOW POINT
DR	DOOR	LT	LIGHT
D.S.	DRAIN SPOUT		
DT	DRAIN TILE	MFR / MANUF.	MANUFACTURER
D.W.	DISH WASHER	MAS	MASONRY
DWG	DRAWING	MATL	MATERIAL
EJ	EACH	MAX	MAXIMUM
EAC	EXPANSION JOINT	MB	METAL BUILDING MANUFACTURER
EJC	EXPANSION JOINT COVER	MCM	MECHANICAL CONTRACTOR
EIFS	EXTERIOR INSUL. FINISH SYSTEM	MECH	MECHANICAL
ELEC	ELECTRICAL	MEMB	MEMBRANE
ELEV	ELEVATION	MLP	MECHANICAL, ELECTRICAL,
ELEV	ELEVATOR	MIN	MINIMUM
ENCL	ENCLOSURE	MIR	MIRROR
EQ	EQUAL	MISC	MISCELLANEOUS
EQUIP	EQUIPMENT	M.O.	MASONRY OPENING
EW	ELECTRIC WATER COOLER	MOV	MOVABLE
ENG	EXISTING	M.T.	MARBLE THRESHOLD
EXP	EXPANSION	MTL	METAL
EXT	EXTERIOR		
		N	NORTH
FA	FRESH AIR	NIC	NOT IN CONTRACT
FU	FAN COIL UNIT	NOM	NOMINAL
FD	FLOOR DRAIN	NO	NUMBERS
FIRE	FIRE EXTINGUISHER	NTS	NOT TO SCALE
FEC	FIRE EXTINGUISHER CABINET		

- | | | | |
|------------|-------------------------------|-----------------|-----------------------------|
| AP | ACOUSTICAL PANEL | F.F. / FIN. FL. | FINISH FLOOR |
| ACT | ACOUSTICAL CEILING TILE | FIN | FINISH |
| AFF | ABOVE FINISHED FLOOR | FL | FLOOR |
| AHU | AIR HANDLING UNIT | FLSH | FLASHING |
| ALUM. AL | ALUMINUM | FLSHR | FLUORESCENT |
| ARCH | ARCHITECTURAL | F.O.S. | FACE OF STUDS |
| ASPH | ASPHALT | FR(G) | FRAME(ING) |
| ATTCHMT | ATTACHMENT | FRTW | FIRE RATED TREATED WOOD |
| BD | BOARD | FT | FEET OR FOOT |
| BLD(G) | BUILDING | FUR | FURING |
| BLK | BLOCK(ING) | FVC | FIRE VALVE CABINET |
| BM | BEAM | GA | GAGE OR GAUGE |
| B.O.S. | BOTTOM OF SLAB | GALV | GALVANIZE |
| BRG | BEARING | GC | GENERAL CONTRACTOR |
| BRK | BRICK | G.I. | GALVANIZED IRON |
| BTM | BOTTOM | GL | GLASS |
| BYND | BEYOND | GM | GALVANIZED METAL |
| CJ | CONTROL OR CONSTRUCTION JOINT | GR | GRADE |
| CLT | CLOSET | GWB | GYP(SUM) WALL BOARD |
| CLR | CEILING | GYP.BD / GWB | GYP(SUM) BOARD |
| CLM | CLEAR | H.B. | HOSE BIB |
| CMU | CONCRETE MASONRY UNIT | H.C. | HOLLOW CORE |
| C/O | CLEAN OUT | H.C.W. | HANDICAPPED ACCESSIBLE |
| COL | COLUMN | HD | HARDWARE |
| CONC | CONCRETE | HDWD | HARDWOOD |
| CONT | CONTINUOUS | H.M. | HOLLOW METAL |
| CORR | CORRIDOR | HOR | HORIZONTAL |
| COV | COVER | HT | HEIGHT |
| CPT | CARPET | HTER | HEATER |
| CTYCR | CERAMIC TILE/CERAMIC | ID | INSIDE DIAMETER |
| C.U.H. | CABINET UNIT HEATER | INFO | INFORMATION |
| CW | CURTAINWALL | INSUL | INSULATION OR INSULATED |
| D (ø) DRN | DRAIN | INT | INTERIOR |
| DBL | DOUBLE | INV | INVERT |
| DET | DETAIL | JAN | JANITOR |
| D.F. | DRINKING FOUNTAIN | JO | JOINT |
| DIA | DIAMETER | | |
| DM | DIMENSION | KO | KNOCKOUT |
| DIV. STRIP | DIVIDER STRIP | LAM | LAMINATE |
| DN | DOWN | LAV | LAVATORY |
| DP | DAMP(POOF)(ING) | LP | LOW POINT |
| DR | DOOR | LT | LIGHT |
| D.S. | DRAIN SPOUT | | |
| DT | DRAIN TILE | MFR / MANUF. | MANUFACTURER |
| D.W. | DISH WASHER | MAS | MASONRY |
| DWG | DRAWING | MATL | MATERIAL |
| EJ | EACH | MAX | MAXIMUM |
| EAC | EXPANSION JOINT | MB | METAL BUILDING MANUFACTURER |
| EJC | EXPANSION JOINT COVER | MCM | MECHANICAL CONTRACTOR |
| EIFS | EXTERIOR INSUL. FINISH SYSTEM | MECH | MECHANICAL |
| ELEC | ELECTRICAL | MEMB | MEMBRANE |
| ELEV | ELEVATION | MLP | MECHANICAL, ELECTRICAL, |
| ELEV | ELEVATOR | MIN | MINIMUM |
| ENCL | ENCLOSURE | MIR | MIRROR |
| EQ | EQUAL | MISC | MISCELLANEOUS |
| EQUIP | EQUIPMENT | M.O. | MASONRY OPENING |
| EW | ELECTRIC WATER COOLER | MOV | MOVABLE |
| ENG | EXISTING | M.T. | MARBLE THRESHOLD |
| EXP | EXPANSION | MTL | METAL |
| EXT | EXTERIOR | | |
| | | N | NORTH |
| FA | FRESH AIR | NIC | NOT IN CONTRACT |
| FU | FAN COIL UNIT | NOM | NOMINAL |
| FD | FLOOR DRAIN | NO | NUMBERS |
| FIRE | FIRE EXTINGUISHER | NTS | NOT TO SCALE |
| FEC | FIRE EXTINGUISHER CABINET | | |

- | | | | |
|-------------|-------------------------|--------|---------------------------------|
| O.C. | ON CENTER | T | TEMPERED |
| O.F.F | OFFICE | T&B | TOP AND BOTTOM |
| O.P.F | OPPOSITE HAND | T&G | TONGUE AND GROOVE |
| OPNG | OPENING | TB | TACKBOARD |
| OPP | OPPOSITE | TEMP | TEMPORARY |
| O.S.B | ORIENTED STRAND BOARD | TH | THRESHOLD |
| OVHD | OVERHEAD | THK | THICKNESS |
| | | THRU | THROUGH |
| P.I.M. | PLASTIC LAMINATE | T.O.C. | TOP OF CURB |
| PTN | PARTITION | T.O.M. | TOP OF MASONRY |
| P.C.PL | PORTLAND CEMENT PLASTER | T.O. | TOP OF |
| P.H. | PAPER HOLDER | T.O.S. | TOP OF STEEL |
| P.L. | PROPERTY LINE | TPFS | THROUGH-PENETRATION FIRE SAFING |
| PLAS | PLASTER | TRTD | TREATED |
| PLUM | PLUMBING | TYP | TYPICAL |
| P.N.L | PANEL | | |
| PNT | PAINT | U.L. | UNDERWRITERS LABORATORY |
| POL | POLISHED | UNFIN | UNFINISHED |
| PR | PAIR | U.N.O. | UNLESS NOTED OTHERWISE |
| PSF | POUNDS PER SQUARE FOOT | | |
| PSI | POUNDS PER SQUARE INCH | V | VENT |
| PTS | PTS | V.C.T | VENT COMPOSITION TILE |
| P.T. | PRESSURE TREATED | VENT. | VENTILATE |
| PWD | PLYWOOD | VERT | VERTICAL |
| | | VEST | VESTIBULE |
| Q.T. | QUARRY TILE | V.I.F. | VERIFY IN FIELD |
| | | V.W.C. | VINYL WALL COVERING |
| R | RADIUS | VOL | VOLUME |
| R. VENT | RANGE VENT | | |
| | REFERENCE | W | WIDTH |
| REINF | REINFORCE, REINFORCED | W | WITH |
| REQ'D | REQUIRED | W&H | WIDTH & HEIGHT |
| RETUR | RETURN | WB | WHITE BOARD |
| REV | REVISE, REVISION | WC | WATER CLOSET |
| RM | ROOM | WD | WOOD |
| R.O. | ROUGH OPENING | WDW | WINDOW |
| RSTRM | RESTROOM | WH | WATER HEATER |
| | | WK | WORK |
| SA | SELF-ADHERED | WP | WORK POINT |
| SAN. | SANITARY | WPF | WATERPROOF |
| SAN. ST. | SANITARY STACK | WSHP | WATER SOURCE HEAT PUMP |
| SCR | SCREEN | W | WEIGHT |
| SEC | SECTION | & | AND |
| SCHED | SCHEDULE(D) | @ | AT |
| SCU | SELF-CONTAINED UNIT | . | FEET |
| SF | SQUARE FOOT (FEET) | # | POUNDS |
| SG | SCHRAEDERGROUP | | |
| SHT | SHEET | | |
| SIM | SIMILAR | | |
| SGG | SLAB ON GRADE | | |
| SP | STANDPIPE | | |
| SPLSH. BLK. | SPLASH BLOCK | | |
| SPEC | SPECIFICATION | | |
| SPR | SPRINKLER | | |
| SQ | SQUARE | | |
| S.S. | SPR SURFACE | | |
| SSTL | STAINLESS STEEL | | |
| SSD | SEE STRUCTURAL DRAWINGS | | |
| STN | STAINED | | |
| STL | STEEL | | |
| STG&STOR | STORAGE | | |
| STRFRNT | STOREFRONT | | |
| STRUCT | STRUCTURAL STRUCTURE | | |
| SUSP | SUSPEND(ED) | | |

- | | | | |
|-------------|-------------------------|--------|---------------------------------|
| O.C. | ON CENTER | T | TEMPERED |
| O.F.F | OFFICE | T&B | TOP AND BOTTOM |
| O.P.F | OPPOSITE HAND | T&G | TONGUE AND GROOVE |
| OPNG | OPENING | TB | TACKBOARD |
| OPP | OPPOSITE | TEMP | TEMPORARY |
| O.S.B | ORIENTD STRD BOARD | TH | THRESHOLD |
| OVHD | OVERHEAD | THK | THICKNESS |
| | | THRU | THROUGH |
| P.L.M. | PLASTIC LAMINATE | T.O.C. | TOP OF CURB |
| PTN | PARTITION | T.O.M. | TOP OF MASONRY |
| P.C.PL | PORTLAND CEMENT PLASTER | T.O. | TOP OF |
| P.H. | PAPER HOLDER | T.O.S. | TOP OF STEEL |
| P.L | PROPERTY LINE | TPFS | THROUGH-PENETRATION FIRE SAFING |
| PLAS | PLASTER | TRTD | TREATED |
| PLUM | PLUMBING | TYP | TYPICAL |
| P.N.L | PANEL | | |
| PNT | PAINT | U.L. | UNDERWRITERS LABORATORY |
| POL | POLISHED | UNFIN | UNFINISHED |
| PR | PAIR | U.N.O. | UNLESS NOTED OTHERWISE |
| PSF | POUNDS PER SQUARE FOOT | V | VENT |
| PSI | POUNDS PER SQUARE INCH | V.C | VENT COMPOSITION TILE |
| PTS | PTS | VENT. | VENTILATE |
| P.T. | PRESSURE TREATED | VERT | VERTICAL |
| PWD | PLYWOOD | VEST | VESTIBULE |
| | | V.I.F. | VERIFY IN FIELD |
| Q.T. | QUARRY TILE | V.W.C. | VINYL WALL COVERING |
| | | VOL | VOLUME |
| R | RADIUS | | |
| R. VENT | RANGE VENT | W | WIDTH |
| | REFERENCE | W | WITH |
| REINF | REINFORCE, REINFORCED | W&H | WIDTH & HEIGHT |
| REQ'D | REQUIRED | WB | WHITE BOARD |
| RETUR | RETURN | WC | WATER CLOSET |
| REV | REVISE, REVISION | WD | WOOD |
| RM | ROOM | WDW | WINDOW |
| R.O. | ROUGH OPENING | WH | WATER HEATER |
| RSTRM | RESTROOM | WK | WORK |
| | | WP | WORK POINT |
| SA | SELF-ADHERED | WPF | WATERPROOF |
| SAN. | SANITARY | WSHP | WASH SOURCE HEAT PUMP |
| SAN. ST. | SANITARY STACK | | WEIGHT |
| SCR | SCREEN | & | AND |
| SEC | SECTION | @ | AT |
| SCHED | SCHEDULE(D) | - | FEET |
| SCU | SELF-CONTAINED UNIT | # | POUNDS |
| SF | SQUARE FOOT (FEET) | | |
| SG | SCHRAEDERGROUP | | |
| SHT | SHEET | | |
| SIM | SIMILAR | | |
| SGG | SLAB ON GRADE | | |
| SP | STANDPIPE | | |
| SPLSH. BLK. | SPLASH BLOCK | | |
| SPEC | SPECIFICATION | | |
| SPR | SPRINKLER | | |
| SQ | SQUARE | | |
| S.S. | SPR SURFACE | | |
| SSTL | STAINLESS STEEL | | |
| SSD | SEE STRUCTURAL DRAWINGS | | |
| STN | STAINED | | |
| STL | STEEL | | |
| STG&STOR | STORAGE | | |
| STRFRNT | STOREFRONT | | |
| STRUCT | STRUCTURAL STRUCTURE | | |
| SUSP | SUSPEND(ED) | | |

- | | |
|--------|---------------------------------|
| T&B | TEMPERED
TOP AND BOTTOM |
| T&G | TONGUE AND GROOVE |
| TB | TACKBOARD |
| TEMP | TEMPORARY |
| TH | THRESHOLD |
| THK | THICK(NESS) |
| THRU | THROUGH |
| T.O.C. | TOP OF CURB |
| T.O.M. | TOP OF MASONRY |
| T.O. | TOP OF |
| T.O.S. | TOP OF STEEL |
| TPFS | THROUGH PENETRATION FIRE SAFING |
| TRTD | TREATED |
| TYP | TYPICAL |
| U.L. | UNDERWRITERS LABORATORY |
| UNFIN | UNFINISHED |
| U.N.O. | UNLESS NOTED OTHERWISE |
| V | VENT |
| VCT | VINYL COMPOSITION TILE |
| VENT. | VENTILATE |
| VERT | VERTICAL |
| VEST | VESTIBULE |
| V.I.F. | VERIFY IN FIELD |
| V.W.C. | VINYL WALL COVERING |
| VOL | VOLUME |
| W | WIDTH |
| WI | WITH |
| W/H | WIDTH x HEIGHT |
| WB | WHITE BOARD |
| WC | WATER CLOSET |
| WD | WOOD |
| WDW | WINDOW |
| WH | WATER HEATER |
| WK | WORK |
| WP | WORK POINT |
| WPF | WATERPROOF |
| WSP | WATER SOURCE HEAT PUMP |
| WT | WEIGHT |
| & | AND |
| @ | AT |
| ' | FEET |
| " | INCHES |
| # | POUNDS |
- | | |
|---|----------------------------------|
|  | CASEWORK |
|  | TOILET (WALL MOUNTED) |
|  | TOILET (FLOOR MOUNTED) |
|  | URINAL |
|  | SINK / LAVATORY |
|  | WASH BASIN |
|  | MOP SINK |
|  | ELECTRIC WATER COOLER |
|  | ROOF DRAIN |
|  | EMERGENCY OVERFLOW
ROOF DRAIN |
|  | REVISION CLOUD & TAG |

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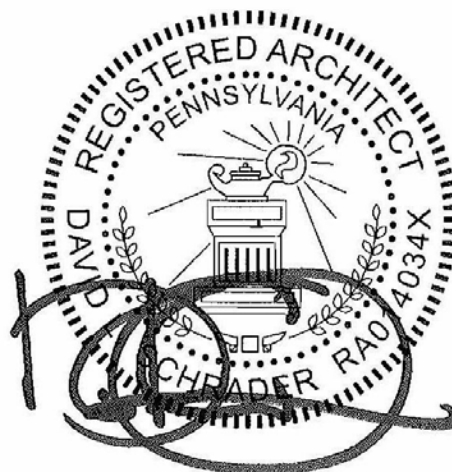
MEP:

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Structural Engineer

SCHRADERGROUP
153 East King Street, Suite 211-212
Lancaster, PA 17602
717.299.8965

Professional Seal



Owner

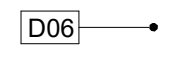
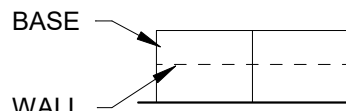
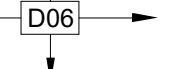
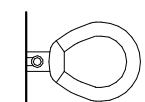
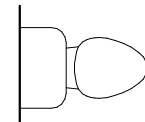
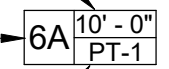

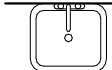
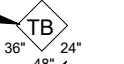
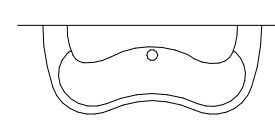
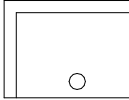

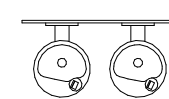
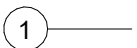



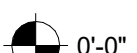



**CHESTER UPLAND
SCHOOL DISTRICT**
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE RENOVATIONS

1350 EDMONT AVENUE
CHESTER PA 19013

	NEW STUD WALL		TYPICAL	EXTERIOR ELEVATION TAG
	NEW MASONRY WALL		1	INTERIOR ELEVATION TAG
	EXISTING WALL / CONSTRUCTION		TYPICAL	DETAIL TAG
	NEW DOOR			WALL SECTION TAG
	EXISTING DOOR			BUILDING SECTION TAG
	EXISTING WALL / CONSTRUCTION TO BE DEMOLISHED			DETAIL CALL-OUT TAG
	EXISTING DOOR TO BE DEMOLISHED			
	NEW WINDOW, STOREFRONT OR CURTAINWALL			
	COLUMN GRID LINE		ROOM NAME	ROOM TAG
	ELEMENT ABOVE OR HIDDEN LINE			PARTITION TAG
	CENTERLINE			DOOR TAG
	BREAKLINE			WINDOW TAG
	DIMENSION (TO CENTER LINE)			
	DIMENSION (TO FRAMING)			

- | | | | | |
|--|---|--|-----------|------------------------|
| | NEW STUD WALL | | TYPICAL | EXTERIOR ELEVATION TAG |
| | NEW MASONRY WALL | | 1 | INTERIOR ELEVATION TAG |
| | EXISTING WALL / CONSTRUCTION | | TYPICAL | DETAIL TAG |
| | NEW DOOR | | | WALL SECTION TAG |
| | EXISTING DOOR | | | BUILDING SECTION TAG |
| | EXISTING WALL / CONSTRUCTION TO BE DEMOLISHED | | | DETAIL CALL-OUT TAG |
| | EXISTING DOOR TO BE DEMOLISHED | | | |
| | NEW WINDOW, STOREFRONT OR CURTAINWALL | | | |
| | COLUMN GRID LINE | | ROOM NAME | ROOM TAG |
| | ELEMENT ABOVE OR HIDDEN LINE | | | PARTITION TAG |
| | CENTERLINE | | | DOOR TAG |
| | BREAKLINE | | | WINDOW TAG |
| | DIMENSION (TO CENTER LINE) | | | |
| | DIMENSION (TO FRAMING) | | | |

- | | | | |
|---|---|---|----------------------------------|
|  | DEMO TAG - OBJECT(S) |  | CASEWORK |
|  | DEMO TAG - EXTENTS |  | TOILET (WALL MOUNTED) |
| HEIGHT
TYPE
FINISH | |  | TOILET (FLOOR MOUNTED) |
|  | CEILING TAG |  | URINAL |
| TYPE
WIDTH
HEIGHT
MOUNTING
HEIGHT | |  | SINK / LAVATORY |
|  | VISUAL DISPLAY UNIT TAG |  | WASH BASIN |
| TYPE
WIDTH
HEIGHT
DEPTH | |  | MOP SINK |
|  | LOCKER TAG |  | ELECTRIC WATER COOLER |
|  | TOILET ACCESSORY TAG |  | ROOF DRAIN |
|  | ELEVATION MARKER |  | EMERGENCY OVERFLOW
ROOF DRAIN |
|  | SPOT ELEVATION |  | REVISION CLOUD & TAG |
|  | NEW PARTIALLY RECESSED
FIRE EXTINGUISHER CABINET | | |
|  | DENOTES ADA
ACCESSIBILITY | | |

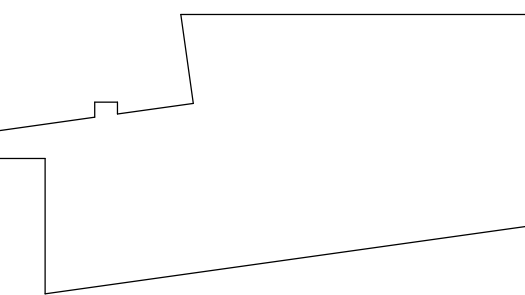
ISSUED FOR:

NO.	DESCRIPTION	DATE
	BUILDING PERMIT SET	01/30/2023
	ISSUED FOR BIDDING	01/30/2023

DATE: 01/30/2023

SG PROJECT NUMBER: 22-023.1

Key Plan:

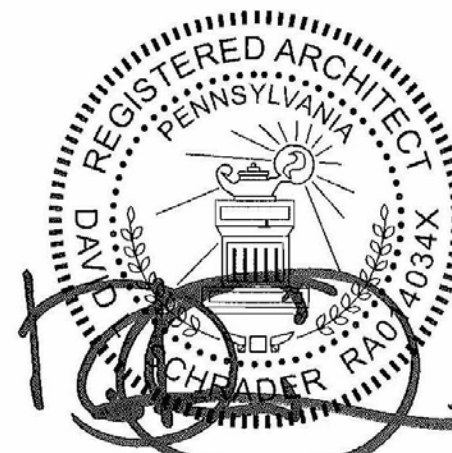


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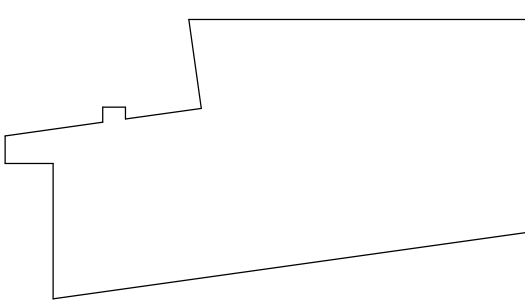
GENERAL NOTES AND ABBREVIATION

Drawing Number:

A003



NO.	DESCRIPTION	DATE
1	BUILDING PERMIT SET	01/30/2023
2	ISSUED FOR BIDDING	01/30/2023



DEMOLITION GENERAL NOTES

- EXISTING BUILDING INFORMATION WAS OBTAINED FROM DRAWINGS OF "UNIVERSITY TECHNOLOGY PARK BUILDING II 95% CONSTRUCTION DOCUMENTS." EXISTING INFORMATION IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- BEFORE STARTING WORK, MAKE A THOROUGH EXAMINATION OF THOSE PORTIONS OF THE STRUCTURE IN WHICH THE WORK IS TO BE PERFORMED. CHECK ALL THE WORK ADJOINING OR AT UNDERLYING LOCATIONS. REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK. DO NOT START THE WORK UNTIL SUCH CONDITIONS HAVE BEEN EXAMINED AND A COURSE OF ACTION MUTUALLY AGREED UPON.
- CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION AS REQUIRED FOR INSTALLATION OF NEW WORK AS SHOWN ON THE DRAWINGS. ALL DEMOLITION NOT SPECIFICALLY SHOWN BUT NECESSARY TO COMPLETE THE PROJECT AS SHOWN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO THE START OF DEMOLITION, THE CONTRACTOR SHALL CALL TO THE ATTENTION OF THE OWNER: ANY DAMAGE, CRACKS OR OTHER IMPERFECTIONS IN THE WORK ADJACENT TO DEMOLITION AREAS.
- CONTRACTORS SHALL INSPECT AND ASSESS EACH SPACE AND FULFILL THE INTENT OF THE WORK REQUIRED BY THE CONTRACT DOCUMENTS. DEVIATIONS REQUIRED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- ANY CUTTING AND REMOVAL INDICATED ON THE DRAWINGS ARE GENERAL INDICATIONS ONLY AND DO NOT NECESSARILY SHOW THE FULL EXTENT OF CUTTING AND REMOVAL WHICH MAY BE REQUIRED BY JOB CONDITIONS.
- CONSTRUCTION AND EXISTING FINISHES SHALL REMAIN UNLESS NOTED OTHERWISE. DURING DEMOLITION WORK, PROPERLY PROTECT ALL EXISTING WORK SHOWN TO REMAIN. EXERCISE CARE WHEN REMOVING ADJACENT WORK. PROPERLY REPAIR TO THE ORIGINAL CONDITIONS. ANY DAMAGE TO ITEMS SHOWN TO REMAIN, CAUSED BY DEMOLITION PROCEDURES, TO THE SATISFACTION OF, AND AT NO ADDITIONAL COST, TO THE OWNER. PATCH SURFACE FINISHES BEHIND DEMOLITION WORK (I.E. FLOORS, WALLS, CEILINGS, ETC.) TO MATCH SURROUNDING CONDITIONS.
- BEFORE STARTING DEMOLITION OPERATIONS, PROVIDE THE NECESSARY PROTECTIVE BARRIERS AROUND TRAFFIC AREAS NEAR INTERIOR WORK AS REQUIRED AND IN STRICT ACCORDANCE WITH OSHA RULES AND REGULATIONS. PROTECT ALL REMAINING EQUIPMENT NOT DESIGNATED TO BE REMOVED. PERFORM ALL WORK REQUIRED TO PROTECT THE PUBLIC AND UTILITIES.
- TAKE NECESSARY PRECAUTIONS TO PREVENT DUST AND DIRT FROM RISING BY WETTING DEMOLISHED DEBRIS. EXCESSIVE USE OF WATER WILL NOT BE PERMITTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY, TEMPORARY BRACING AND / OR SHORING REQUIRED TO MAINTAIN THE INTEGRITY AND STRUCTURAL STABILITY OF THE BUILDING AND ITS INDIVIDUAL ELEMENTS.
- EXCEPT WHERE NOTED OTHERWISE, REMOVE ALL DEMOLISHED MATERIALS FROM THE SITE. DO NOT BURN OR BURY MATERIALS ON THE SITE. AT THE COMPLETION OF WORK FOR EACH DAY, CLEAN THE ENTIRE AREA INVOLVED AND LEAVE IT IN A NEAT CONDITION, FREE OF DEBRIS AND RUBBISH. KEEP ALL ADJOINING PUBLIC AREAS CLEAN AND FREE OF DEBRIS OR CONSTRUCTION MATERIALS DURING WORKING HOURS. AND MAKE AN EFFORT TO PROVIDE SAFE CONDITIONS FOR THE GENERAL PUBLIC AND WORKMEN. REFERENCE DIVISION 01 SPECIFICATION SECTION "CONSTRUCTION WASTE MANAGEMENT" FOR CONTRACTORS RESPONSIBILITY FOR WASTE REMOVAL / DISPOSAL.
- THE OWNER WILL REMOVE ALL EXISTING ITEMS THAT THE OWNER WISHES TO SALVAGE PRIOR TO START OF DEMOLITION. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL REMAINING ITEMS.
- ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, LAND DEVELOPMENT DRAWINGS, AND PROJECT SPECIFICATIONS MAY PROVIDE ADDITIONAL DEMOLITION REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DRAWINGS AND PROJECT SPECIFICATIONS AND ANY REQUIREMENTS PROVIDED BY THEM.
- PRIOR TO THE DEMOLITION OF THOSE ITEMS WHICH HAVE UTILITY CONNECTIONS (WATER, GAS, ELECTRICITY, STEAM, ETC.) THE CONTRACTOR SHALL ARRANGE WITH THE OWNER TO LOCATE SHUTOFF VALVES, PANEL BOXES AND OTHER CONTROL ELEMENTS, SO THAT WATER DAMAGE AND OTHER POTENTIALLY INCONVENIENT OR DANGEROUS SITUATIONS ARE AVOIDED.
- REFERENCE PARTIAL DEMOLITION PLANS FOR SPECIFIC DEMOLITION REQUIREMENTS.
- REFERENCE DIVISION 01 SPECIFICATION SECTIONS FOR SELECTIVE DEMOLITION, CUTTING, AND PATCHING, TEMPORARY FACILITIES AND CONTROLS, SITE AND BUILDING DEMOLITION, CONSTRUCTION WASTE MANAGEMENT, AND RELATED SECTIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION REQUIREMENTS WITH PROJECT PHASING. NOTIFY ARCHITECT PRIOR TO START OF WORK WITH ANY CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT PROPER EXECUTION OF THE WORK.
- THE OWNER PERFORMED ASBESTOS ABATEMENT UNDER A SEPARATE CONTRACT. NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY OF ANY SUSPECTED ASBESTOS CONTAINING MATERIALS PRIOR TO THE START OF WORK UNLESS OTHERWISE NOTED HEREIN.

DEMOLITION KEY	
KEY VALUE	KEYNOTE TEXT
D01	REMOVE INTERIOR PARTITION SYSTEM WHERE INDICATED.
D02	REMOVE EXISTING DOOR SYSTEM.
D03	REMOVE ALL EXISTING CASEWORK, COUNTERTOP, PLUMBING FIXTURE AND ACCESSORIES.
D07	REMOVE DECORATIVE TRIM FINISH IN LOBBY IN ITS ENTIRETY. PATCH AS REQUIRED FOR NEW WALL FINISH.
D08	REMOVE PLUMBING FIXTURE IN ITS ENTIRETY. PREP FOR NEW PLUMBING FIXTURE AS REQUIRED. COORDINATE WITH NEW CONSTRUCTION.
D09	REMOVE COUNTERTOP AND COUNTERTOP SUPPORT IN ITS ENTIRETY. PREP AND PATCH DRYWALL AS NEEDED FOR NEW CONSTRUCTION.
D10	REMOVE PORTION OF EXISTING EXTERIOR WINDOW SYSTEM. PREP AND PATCH AS NEEDED FOR NEW CONSTRUCTION. PROTECT ALL AREAS TO REMAIN.
D11	REMOVE PORTION OF EXISTING EXTERIOR WALL SYSTEM. PREP AND PATCH AS NEEDED FOR NEW CONSTRUCTION. PROTECT ALL AREAS TO REMAIN.
D13	REMOVE EXISTING DOOR. EXISTING DOOR FRAME TO REMAIN.
D14	REMOVE EXISTING SILL. PATCH AND PREP AS REQUIRED FOR NEW SILL.
D15	REMOVE EXISTING FLOOR FINISH IN ITS ENTIRETY. REMOVE ANY WALL BASE ON ALL WALLS THAT ARE TO REMAIN. PATCH AND PREP FOR NEW FLOOR FINISH. PROTECT ALL AREAS TO REMAIN.

TYPICAL DEMO NOTES:

DEMO FLOOR AND ROOF AS REQ. COORDINATE W/ NEW MEP CONSTRUCTION.

DISTRICT ADMINISTRATION AREA - NOT IN SCOPE.

2 | DEMOLITION ELEVATION @ LOADING DOCK

AD101 SCALE: 1/4" = 1'-0"

3 | DEMOLITION WALL SECTION @ LOADING DOCK DOOR

AD101 SCALE: 3/4" = 1'-0"

1 | FIRST FLOOR DEMOLITION PLAN

AD101 SCALE: 1/8" = 1'-0"

Civil

T&M Associates
74 West Broad Street, Suite 530
Bethlehem, PA 18018
(610) 625-2999

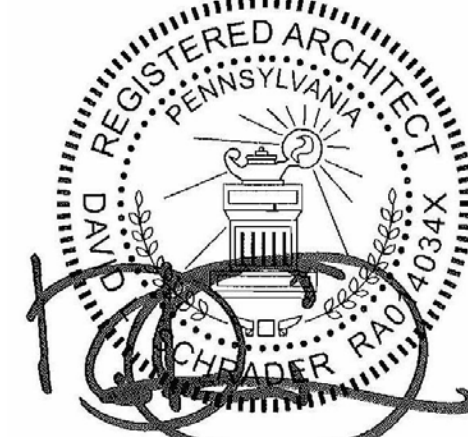
MEP

SNYDER HOFFMAN
1005 West Lehigh Street
Bethlehem, PA 18018
(610) 694-8020

Structural Engineer

SCHRADERGROUP
153 East King Street, Suite 211-212
Lancaster, PA 17602
717.299.8965

Professional Seal:



Owner:

**CHESTER UPLAND
SCHOOL DISTRICT**
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

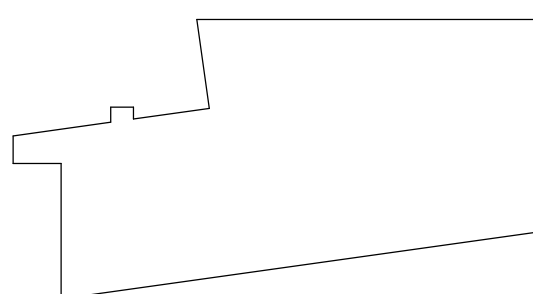
ISSUED FOR:

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DATE: 01/30/2023

SG PROJECT NUMBER: 22-023.1

Key Plan:



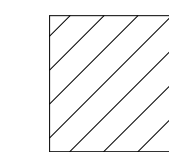
Drawing Title:

SECOND FLOOR DEMOLITION PLAN

Drawing Number:

AD102

TYPICAL DEMO NOTES:
REMOVE FLOOR AND ROOF AS REQUIRED. COORDINATE WITH MEP

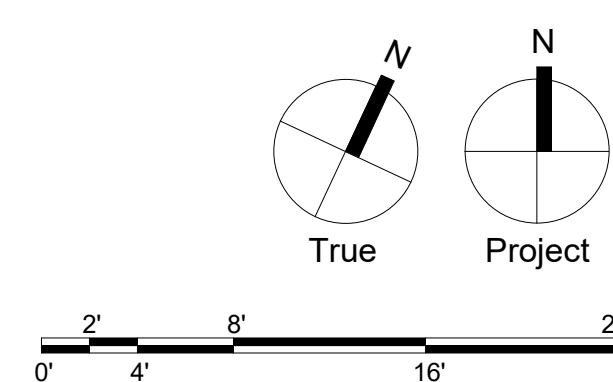


DISTRICT ADMINISTRATION AREA -
NOT IN SCOPE .



1 SECOND FLOOR DEMOLITION PLAN

AD102 SCALE: 1/8" = 1'-0"



Civl:

T&M Associates
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Lancaster, PA 17602
717.299.8965

**CHESTER UPLAND
SCHOOL DISTRICT**
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

1330 EDMONT AVENUE
CHESTER, PA 19013

[illegible]

DATE:	01/30/2023
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SG PROJECT NUMBER:	22-023.1
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DEMO FIRST FLOOR
REFLECTED CEILING
PLAN

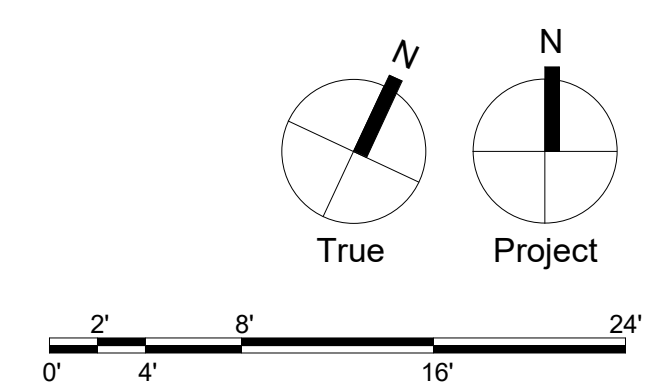
Drawing Number:

AD121

DEMOLITION KEY	
KEY VALUE	KEYNOTE TEXT
D04	REMOVE EXISTING CEILING TILE AND GRID. PATCH AS REQUIRED FOR NEW CONSTRUCTION.



1 | FIRST REFLECTED CEILING PLAN
AD121 SCALE: 1/8" = 1'-0"



Civil:

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Structural Engineer

SCHRADERGROUP
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Lancaster, PA 17602
717.299.8965

Owner:

**CHESTER UPLAND
SCHOOL DISTRICT**
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

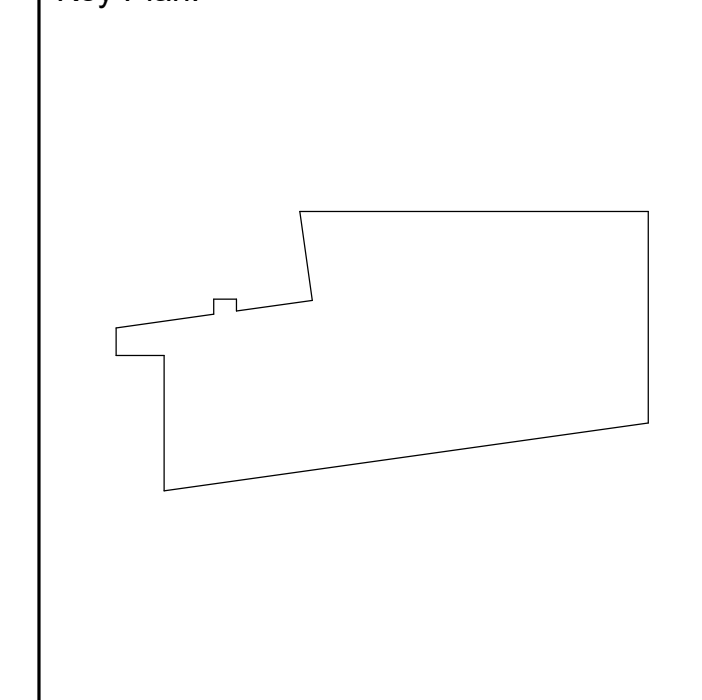
ISSUED FOR:

[illegible]

DATE: 01/30/2023

SG PROJECT NUMBER: 22-023.1

Key Plan:



Drawing Title:

DEMO SECOND FLOOR
REFLECTED CEILING
PLAN

Drawing Number:

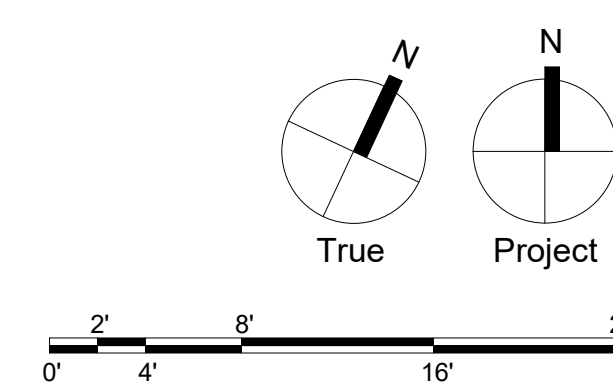
AD122

DEMOLITION KEY	
KEY VALUE	KEYNOTE TEXT
D04	REMOVE EXISTING CEILING TILE AND GRID. PATCH AS REQUIRED FOR NEW CONSTRUCTION



1 | DEMO SECOND FLOOR REFLECTED CEILING PLAN

AD122 SCALE: 1/8" = 1'-0"



Civil

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Bethlehem, PA 18018
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Lancaster, PA 17602
717.299.8965

**CHESTER UPLAND
SCHOOL DISTRICT**
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

[illegible]

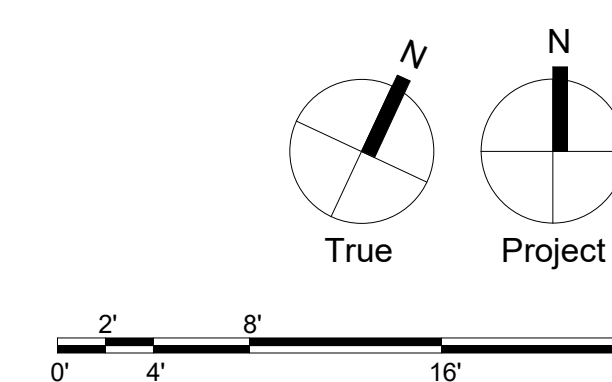
SG PROJECT NUMBER: 22-023.1

FIRST FLOOR PLAN

A101

-
- Architectural floor plan of a school building. The plan shows various rooms including classrooms (A101, A102, A103, A104, A106, A107, A108), a principal's office (A100.4), a conference room (A100.5), a counselor's office (A100.3), a kitchen (A110), a kitchenette (A100.2), a copy/work room (A100.1), a learning specialists room (A112), a multi-purpose/caterina (A111), a lobby (A001), a vestibule (V001), a waiting area, a stair (S1), a stair (S2), a service area, a storage room, a janitor's room, a girls' toilet, a boys' toilet, a locker room (A109.1), a toilet (T104), an office (A109.2), a kitchen storage (A109), a toilet (T103), a toilet (T102), a toilet (T101), a toilet (T100), a toilet (T105), a toilet (T106), a toilet (T107), a toilet (T108), a toilet (T109), a toilet (T110), a toilet (T111), a toilet (T112), a toilet (T113), a toilet (T114), a toilet (T115), a toilet (T116), a toilet (T117), a toilet (T118), a toilet (T119), a toilet (T120), a toilet (T121), a toilet (T122), a toilet (T123), a toilet (T124), a toilet (T125), a toilet (T126), a toilet (T127), a toilet (T128), a toilet (T129), a toilet (T130), a toilet (T131), a toilet (T132), a toilet (T133), a toilet (T134), a toilet (T135), a toilet (T136), a toilet (T137), a toilet (T138), a toilet (T139), a toilet (T140), a toilet (T141), a toilet (T142), a toilet (T143), a toilet (T144), a toilet (T145), a toilet (T146), a toilet (T147), a toilet (T148), a toilet (T149), a toilet (T150), a toilet (T151), a toilet (T152), a toilet (T153), a toilet (T154), a toilet (T155), a toilet (T156), a toilet (T157), a toilet (T158), a toilet (T159), a toilet (T160), a toilet (T161), a toilet (T162), a toilet (T163), a toilet (T164), a toilet (T165), a toilet (T166), a toilet (T167), a toilet (T168), a toilet (T169), a toilet (T170), a toilet (T171), a toilet (T172), a toilet (T173), a toilet (T174), a toilet (T175), a toilet (T176), a toilet (T177), a toilet (T178), a toilet (T179), a toilet (T180), a toilet (T181), a toilet (T182), a toilet (T183), a toilet (T184), a toilet (T185), a toilet (T186), a toilet (T187), a toilet (T188), a toilet (T189), a toilet (T190), a toilet (T191), a toilet (T192), a toilet (T193), a toilet (T194), a toilet (T195), a toilet (T196), a toilet (T197), a toilet (T198), a toilet (T199), a toilet (T200).
- Annotations include: "NEW CANE STRIKE", "PNT ALL MTL RAILINGS, INFILL, STRINGERS, ECT ON EXISTING STAIRS", "EXPANSION JOINT AT BUILDING FACE - TYPICAL BOTH WALLS", "EXISTING MECH EQUIPMENT", "LOCATE WALL TO AVOID CONFLICT WITH EXISTING FOOTINGS", "COORDINATE TOP OF RAMP WITH GRADE", "CONCRETE RAMP ON GRADE (COORDINATE ALL GEOMETRY AND LOCATIONS WITH CIVIL DWGS AND EXISTING CONDITIONS)", "STEEL GUARDRAIL AND HANDRAIL", "PROVIDE LANDINGS AS REQUIRED BY CODE. RAMP SLOPE TO BE MAX 1:12, MIN 1:20", "ELEV. MACH. ROOM", "ELEV. MACH. ROOM", "TOILET T101", "TOILET T102", "TOILET T103", "TOILET T104", "TOILET T105", "TOILET T106", "TOILET T107", "TOILET T108", "TOILET T109", "TOILET T110", "TOILET T111", "TOILET T112", "TOILET T113", "TOILET T114", "TOILET T115", "TOILET T116", "TOILET T117", "TOILET T118", "TOILET T119", "TOILET T120", "TOILET T121", "TOILET T122", "TOILET T123", "TOILET T124", "TOILET T125", "TOILET T126", "TOILET T127", "TOILET T128", "TOILET T129", "TOILET T130", "TOILET T131", "TOILET T132", "TOILET T133", "TOILET T134", "TOILET T135", "TOILET T136", "TOILET T137", "TOILET T138", "TOILET T139", "TOILET T140", "TOILET T141", "TOILET T142", "TOILET T143", "TOILET T144", "TOILET T145", "TOILET T146", "TOILET T147", "TOILET T148", "TOILET T149", "TOILET T150", "TOILET T151", "TOILET T152", "TOILET T153", "TOILET T154", "TOILET T155", "TOILET T156", "TOILET T157", "TOILET T158", "TOILET T159", "TOILET T160", "TOILET T161", "TOILET T162", "TOILET T163", "TOILET T164", "TOILET T165", "TOILET T166", "TOILET T167", "TOILET T168", "TOILET T169", "TOILET T170", "TOILET T171", "TOILET T172", "TOILET T173", "TOILET T174", "TOILET T175", "TOILET T176", "TOILET T177", "TOILET T178", "TOILET T179", "TOILET T180", "TOILET T181", "TOILET T182", "TOILET T183", "TOILET T184", "TOILET T185", "TOILET T186", "TOILET T187", "TOILET T188", "TOILET T189", "TOILET T190", "TOILET T191", "TOILET T192", "TOILET T193", "TOILET T194", "TOILET T195", "TOILET T196", "TOILET T197", "TOILET T198", "TOILET T199", "TOILET T200".

A101 SCALE: 1/8" = 1'-0"



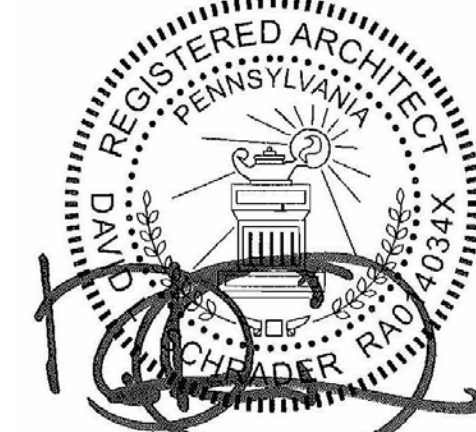
Consultants:
Civil:

T&M Associates
74 West Broad Street, Suite 530
Bethlehem, PA 18018
(610) 625-2999

MEP:
SNYDER HOFFMAN
1005 West Lehigh Street
Bethlehem, PA 18018
(610) 694-8020

Structural Engineer
SCHRADERGROUP
153 East King Street, Suite 211-212
Lancaster, PA 17602
717.299.8965

Professional Seal:



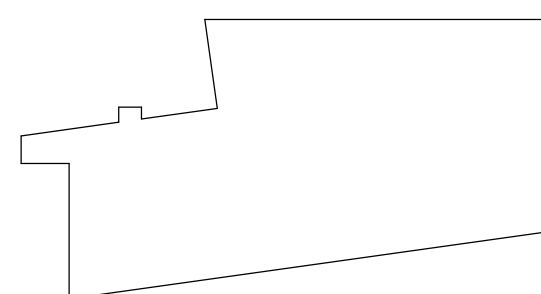
Owner:
CHESTER UPLAND
SCHOOL DISTRICT
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

[illegible]

Key Plan:




Drawing Title:

SECOND FLOOR PLAN

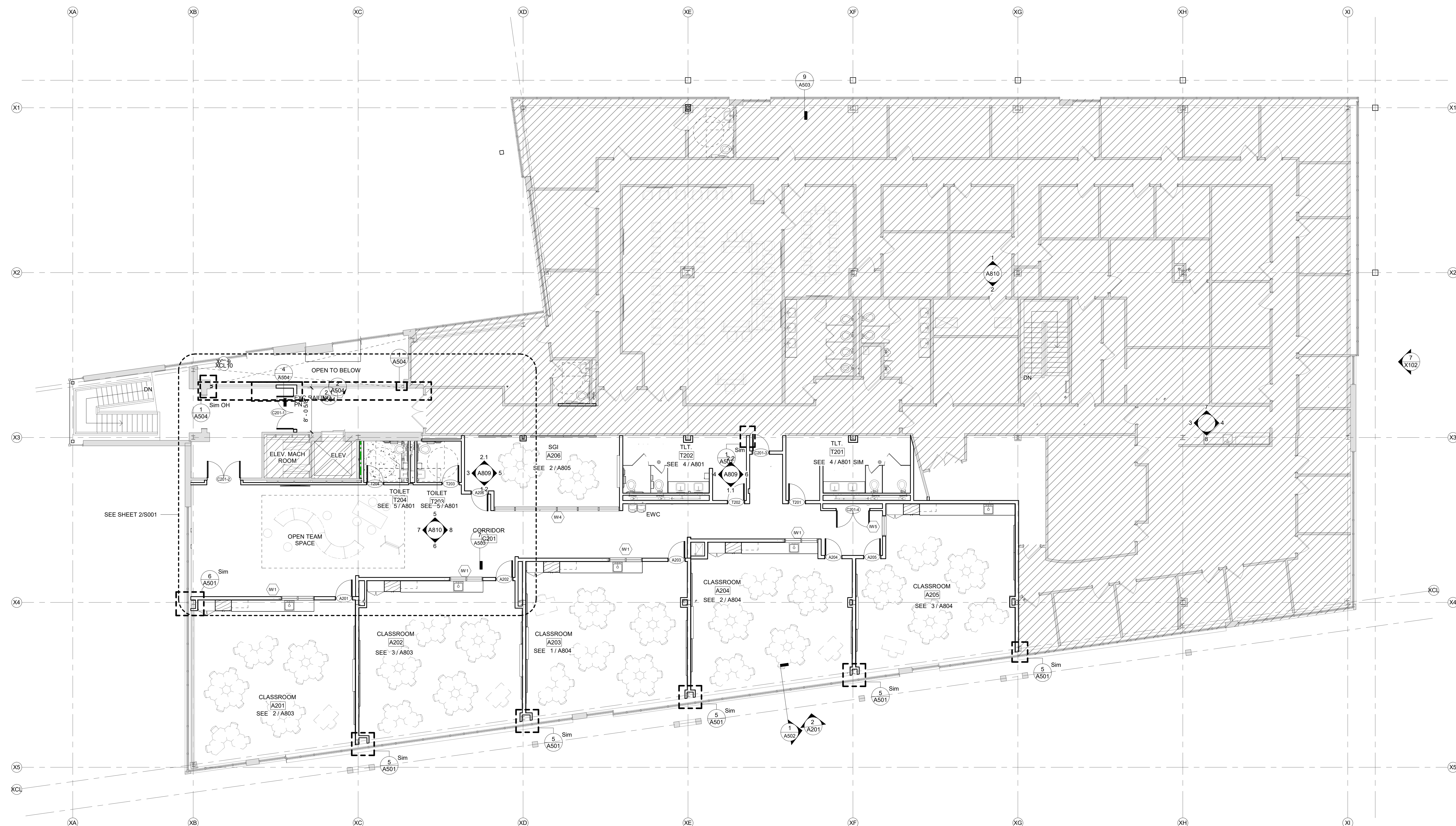
Drawing Number:

A102

- GENERAL PLAN NOTES
1. ALL DIMENSIONS ARE TO OUTSIDE FACE OF FOUNDATIONS, COLUMN LINE, OR FACE OF FRAMING UNLESS NOTED OTHERWISE. CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 2. SEE ENLARGED PLANS FOR TYPICAL INTERIOR ELEVATIONS
 3. PATCH AND REPAIR FLOOR SLAB AS NEEDED. MATCH THICKNESS OF EXISTING SLAB TO ENSURE SMOOTH FINISH WITH ADJACENT EXISTING FLOOR SLAB. COORDINATE EXTENT OF WORK WITH MEP.
 4. PATCH AND REPAIR ROOF AS NEEDED. COORDINATE WITH MEP.

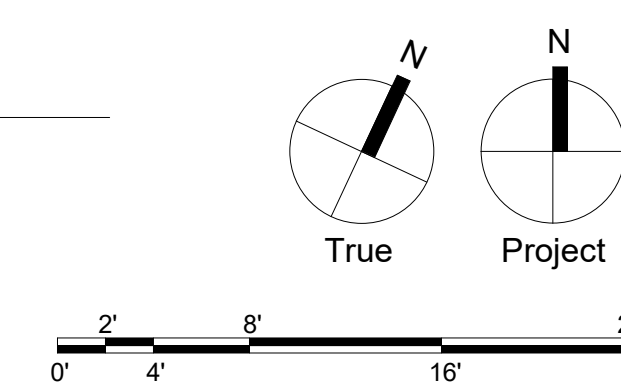


DISTRICT ADMINISTRATION AREA -
NOT IN SCOPE .



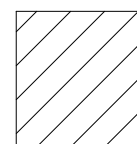
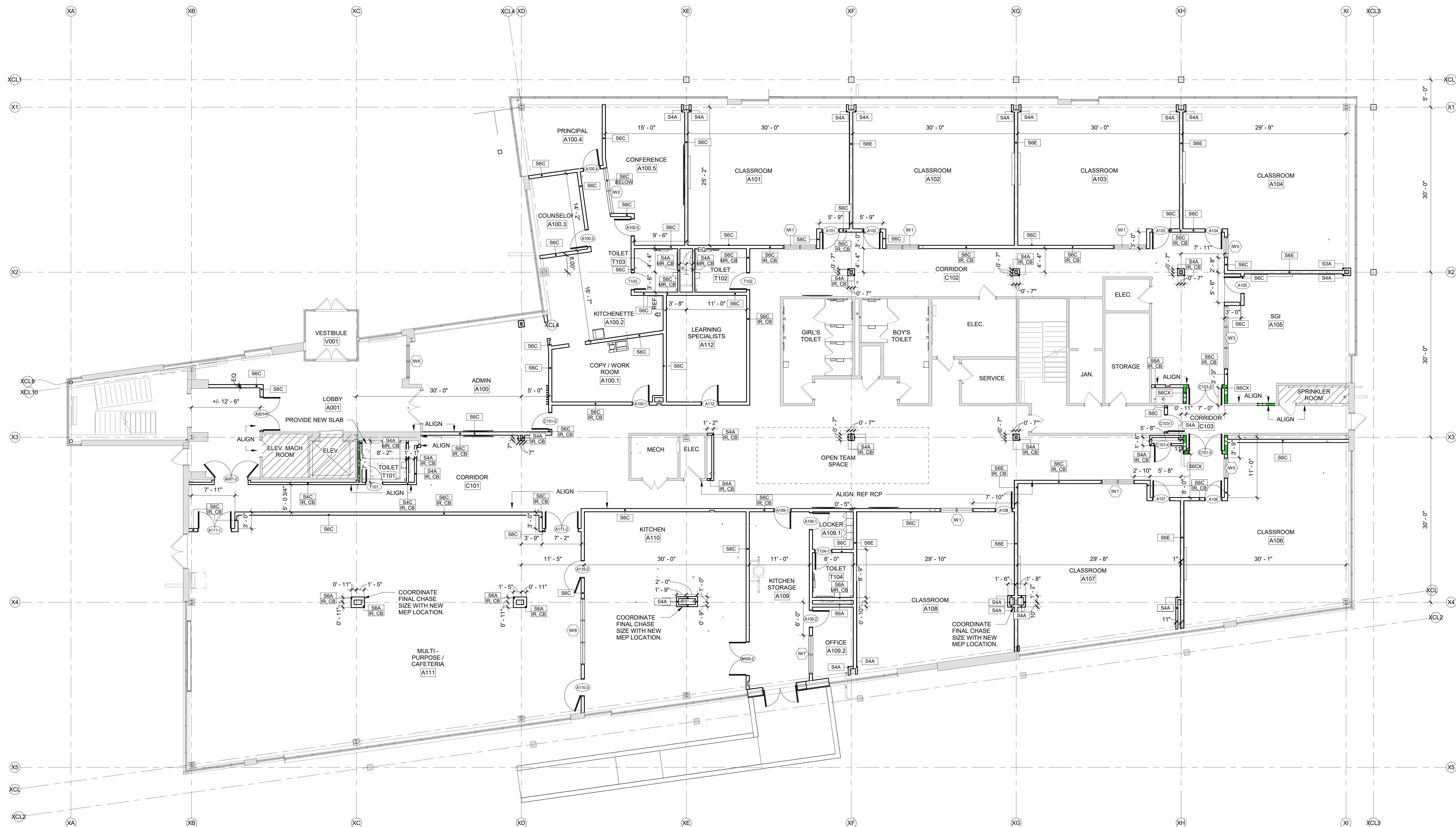
1 | SECOND FLOOR PLAN

A102 SCALE: 1/8" = 1'-0"



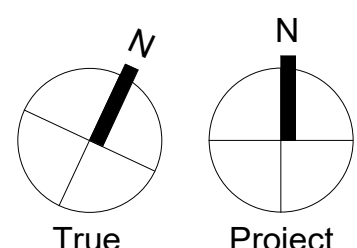
GENERAL PLAN NOTES

- ALL DIMENSIONS ARE TO OUTSIDE FACE OF FOUNDATIONS, COLUMN LINE, OR FACE OF FRAMING UNLESS NOTED OTHERWISE. CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- SEE ENLARGED PLANS FOR TYPICAL INTERIOR ELEVATIONS.
- PATCH AND REPAIR FLOOR SLAB AS NEEDED. MATCH THICKNESS OF EXISTING SLAB TO ENSURE SMOOTH FINISH WITH ADJACENT EXISTING FLOOR SLAB. COORDINATE EXTENT OF WORK WITH MEP.
- PATCH AND REPAIR ROOF AS NEEDED. COORDINATE WITH MEP.

DISTRICT ADMINISTRATION AREA -
NOT IN SCOPE.

1 FIRST FLOOR PLAN

A110 SCALE: 1/8" = 1'-0"



SCHRADERGROUP

161 Leverington Ave, Suite 105
Philadelphia, PA 19127
p: 215 482 7440
f: 215 482 7441
www.sgarc.comConsultants:
Civil:T&M Associates
74 West Broad Street, Suite 530
Bethlehem, PA 18018
(610) 625-2999

MEP:

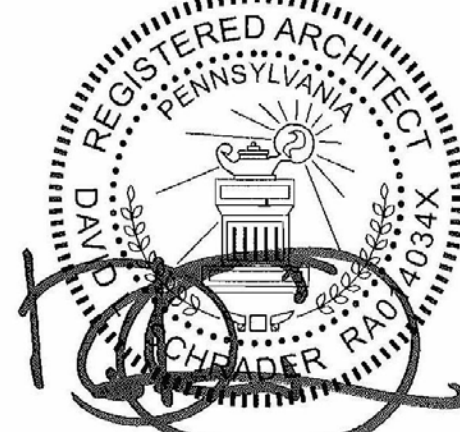
SNYDER HOFFMAN
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(610) 694-8020

Structural Engineer

SCHRADERGROUP

153 East King Street, Suite 211-212
Lancaster, PA 17602
717.299.8965

Professional Seal:



Owner:

CHESTER UPLAND
SCHOOL DISTRICT
232 W. 9th Street
Chester, PA 190131350 EDMONT AVENUE
RENOVATIONS1350 EDMONT AVENUE
CHESTER, PA 19013

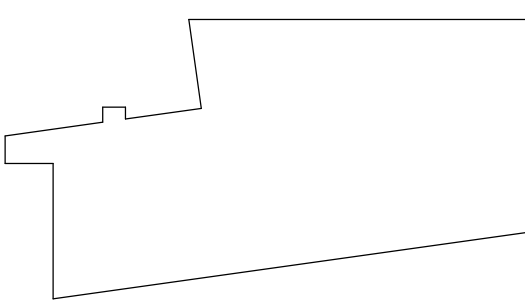
ISSUED FOR:

NO.	DESCRIPTION	DATE
1	BUILDING PERMIT SET	01/30/2023
2	ISSUED FOR BIDDING	01/30/2023

DATE: 01/30/2023

SG PROJECT NUMBER: 22-023.1

Key Plan:



Drawing Title:

FIRST FLOOR
DIMENSION PLAN

Drawing Number:

A110

Civil:

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717.299.8965

Owner:
CHESTER UPLAND
SCHOOL DISTRICT
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

CHESTER, PA 19013

[illegible]


DATE:	01/30/2023
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SG PROJECT NUMBER:	22-023.1
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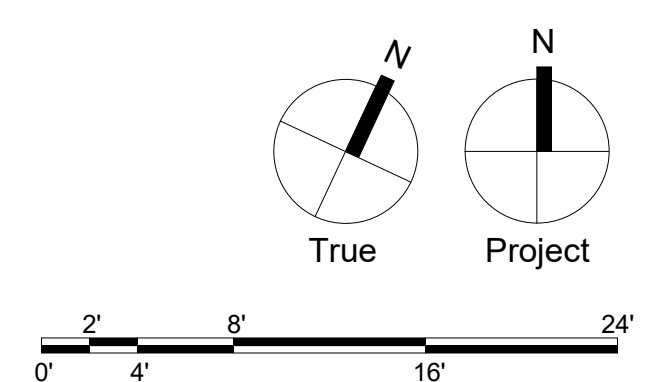
SECOND FLOOR DIMENSION PLAN

A111

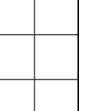
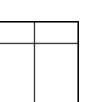

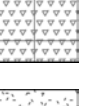
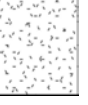

- GENERAL PLAN NOTES
1. ALL DIMENSIONS ARE TO OUTSIDE FACE OF FOUNDATIONS, COLUMN LINE, OR FACE OF FRAMING UNLESS NOTED OTHERWISE. CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 2. SEE ENLARGED PLANS FOR TYPICAL INTERIOR ELEVATIONS.
 3. PATCH AND REPAIR FLOOR SLAB AS NEEDED. MATCH THICKNESS OF EXISTING SLAB TO ENSURE SMOOTH FINISH WITH ADJACENT EXISTING FLOOR SLAB. COORDINATE EXTENT OF WORK WITH MEP.
 4. PATCH AND REPAIR ROOF AS NEEDED. COORDINATE WITH MEP.

 DISTRICT ADMINISTRATION AREA - NOT IN SCOPE .

A111 SCALE: 1/8" = 1'-0"

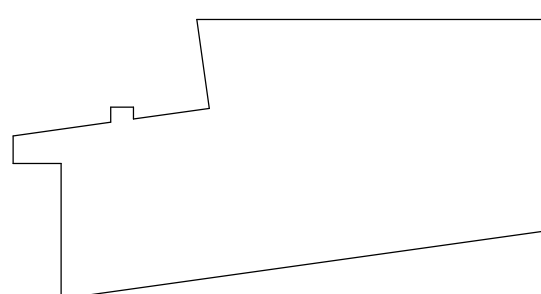




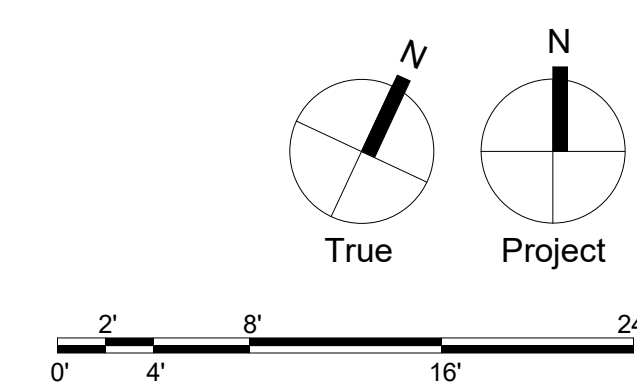
- | <u>CEILING LEGEND</u> | |
|---|---|
|  | 1A 2x2 ACOUSTICAL CEILING TILE SYSTEM |
|  | 2A 2x4 ACOUSTICAL CEILING TILE SYSTEM |
|  | 2D 2x4 CLEAN ROOM CEILING TILE SYSTEM |
|  | 3A GWB CEILING FINISH |
|  | 3B 1 HR FIRE RATED GWB CEILING FINISH (NER 258) |
|  | DISTRICT ADMINISTRATION AREA -
NOT IN SCOPE |

1350 EDMONT AVENUE
CHESTER, PA 19013

Key Plan:



A122



Consultants:

Civil:

T&M Associates

74 West Broad Street, Suite 530
Bethlehem, PA 18018
(610) 625-2999

MEP

SNYDER HOFFMAN

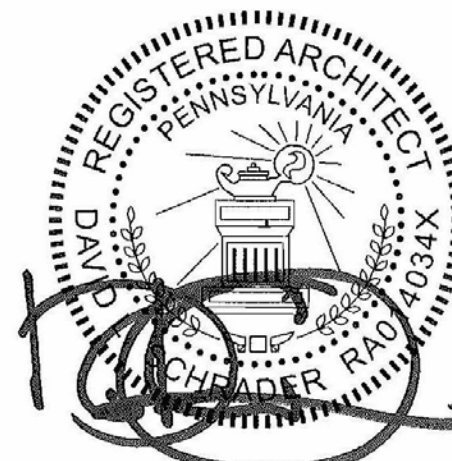
1005 West Lehigh Street
Bethlehem, PA 18018
(610) 694-8020

Structural Engineer

SCHRADERGROUP

153 East King Street, Suite 211-212
Lancaster, PA 17602
717.299.8965

Professional Seal:



Owner:

CHESTER UPLAND
SCHOOL DISTRICT

232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

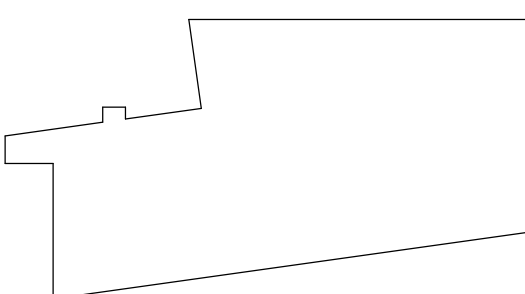
ISSUED FOR:

[illegible]

DATE: 01/30/2023

SG PROJECT NUMBER: 22-023.1

Key Plan:

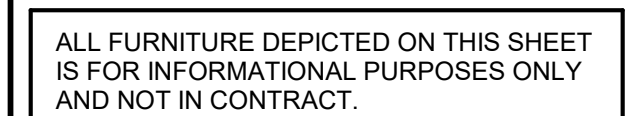


Drawing Title:

FURNITURE PLAN

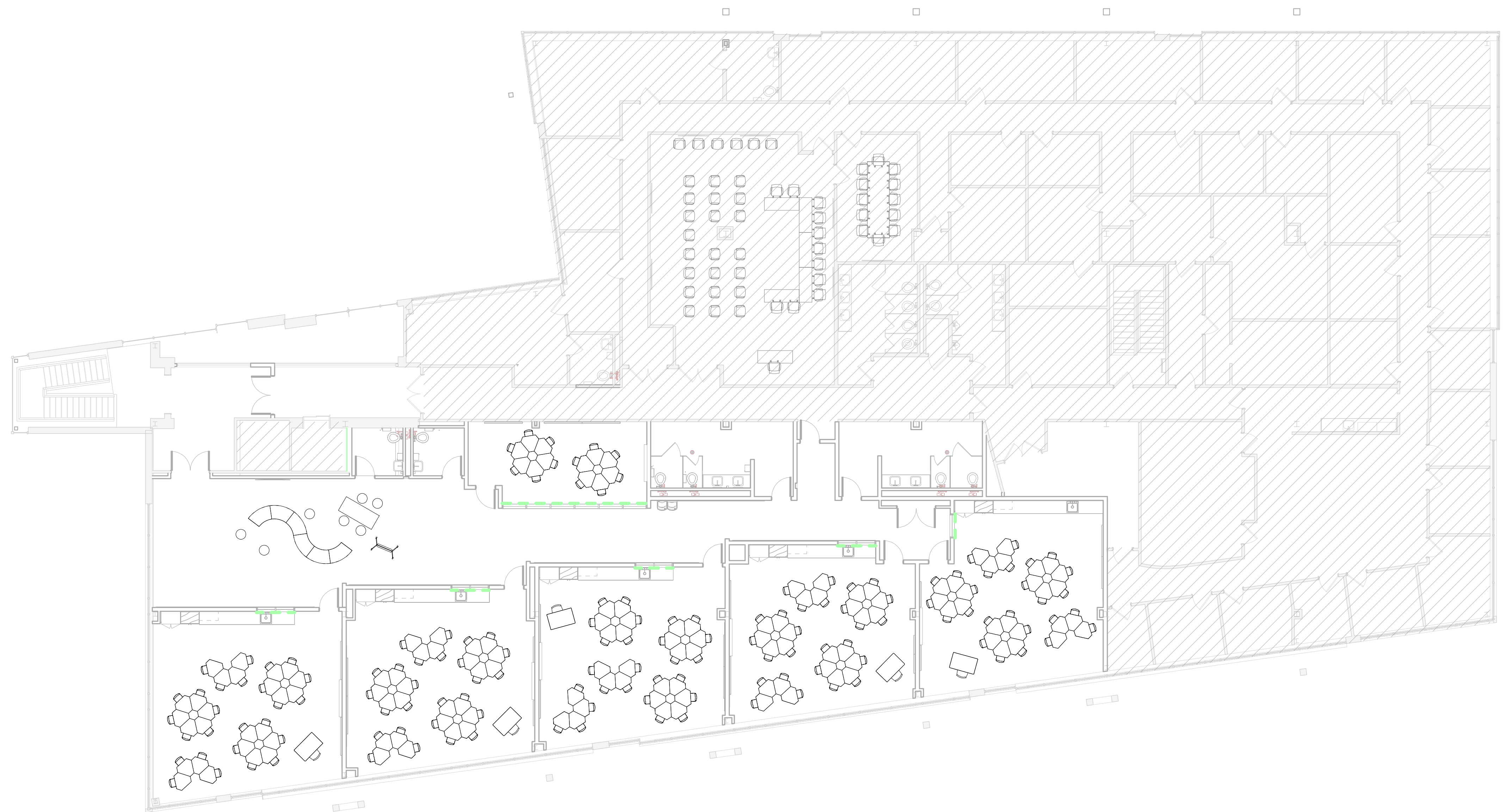
Drawing Number:

A150



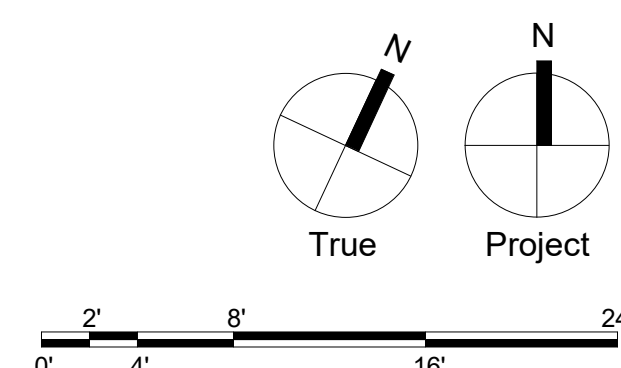
1 COMPOSITE FIRST FLOOR FURNITURE PLAN

A150	SCALE: 3/32" = 1'-0"
------	----------------------



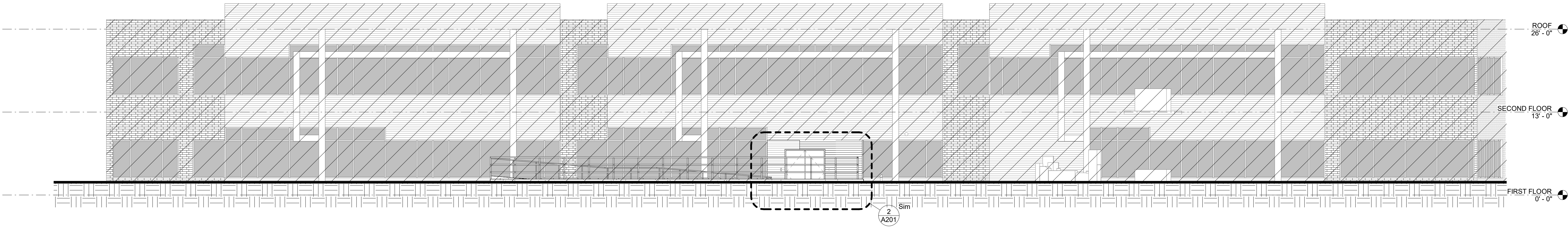
2 | COMPOSITE SECOND FLOOR FURNITURE PLAN

A150	SCALE: 3/32" = 1'-0"
------	----------------------



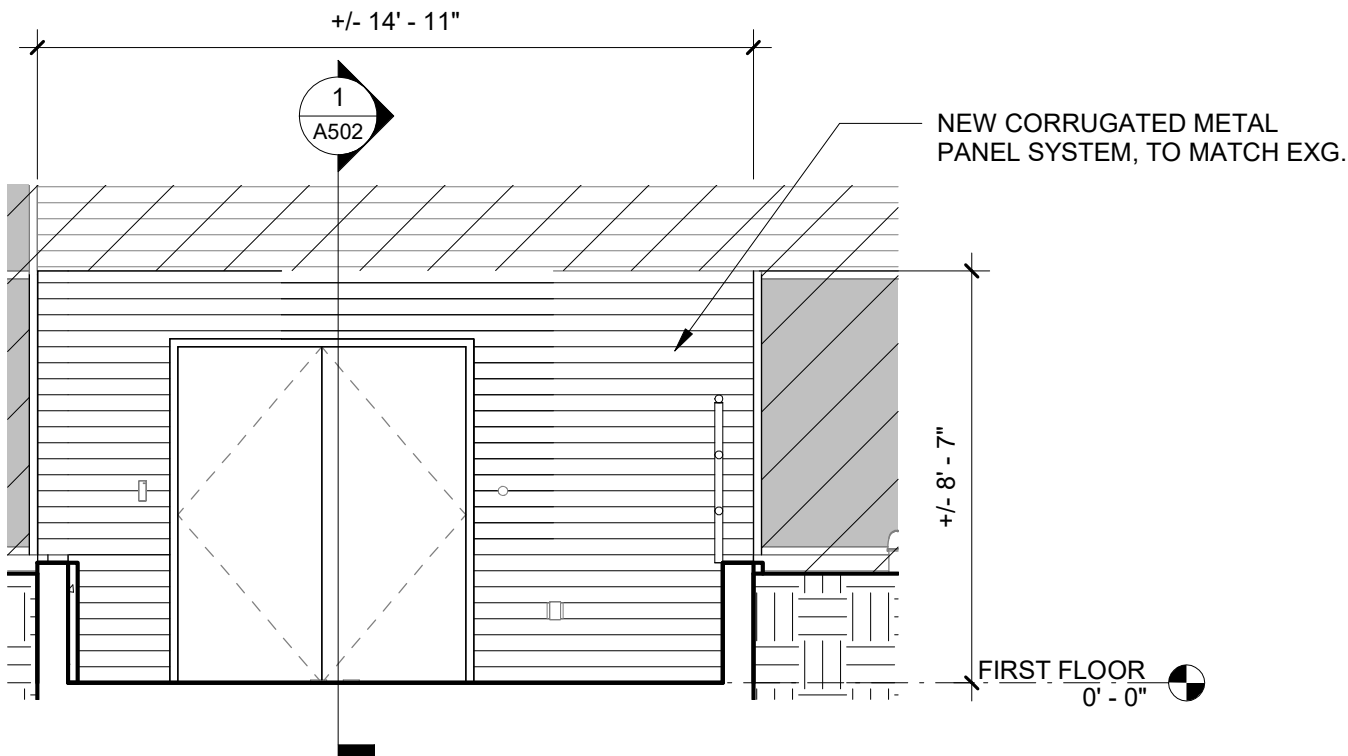
ELEVATION KEY

- CLEAR GLAZING
- SPANDREL GLAZING
- NOT IN SCOPE



1 SOUTH ELEVATION

A201 SCALE: 1/8" = 1'-0"



2 ENLARGED PARTIAL SOUTH ELEVATION

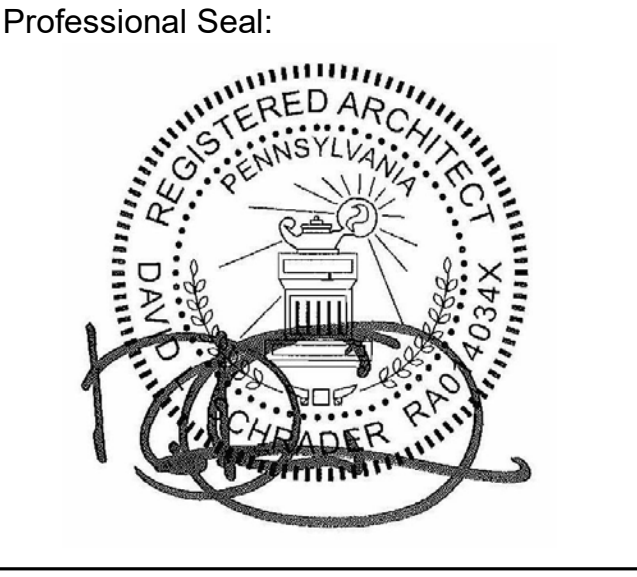
A201 SCALE: 1/4" = 1'-0"

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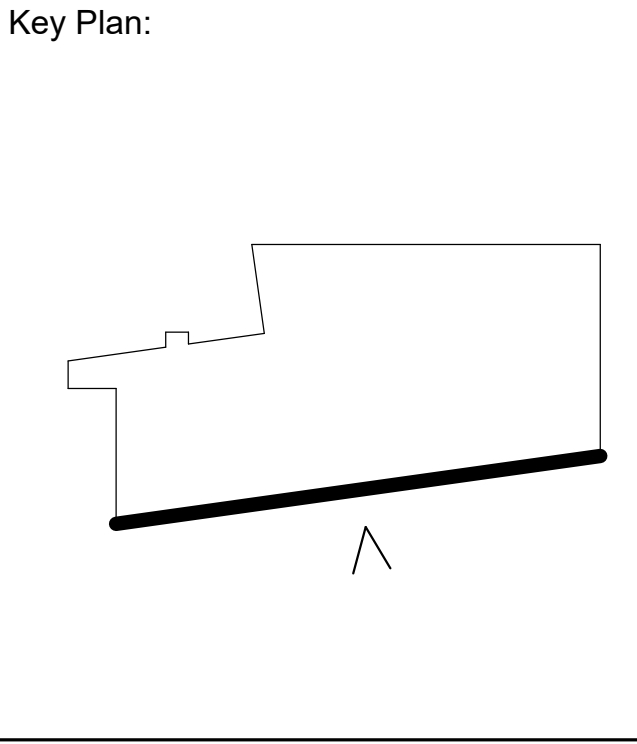


Owner:
**CHESTER UPLAND
SCHOOL DISTRICT**
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

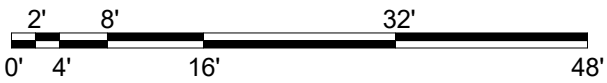
1350 EDMONT AVENUE
CHESTER, PA 19013

ISSUED FOR:		
NO.	DESCRIPTION	DATE
1	BUILDING PERMIT SET	01/30/2023
2	ISSUED FOR BIDDING	01/30/2023
DATE:		01/30/2023
SG PROJECT NUMBER:		22-023.1



Drawing Title:
**COMPOSITE BUILDING
ELEVATIONS**

Drawing Number:
A201



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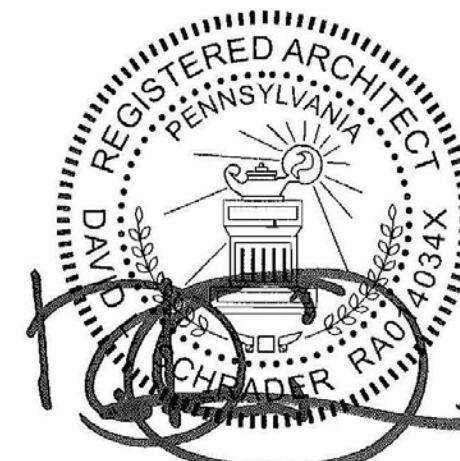
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Professional Seal



Owner

**CHESTER UPLAND
SCHOOL DISTRICT**
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER PA 19013

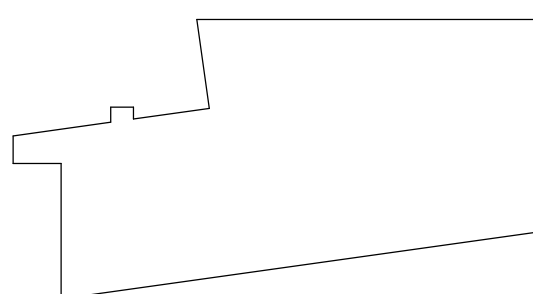
ISSUED FOR:

[illegible]

DATE: 01/30/2023

SG PROJECT NUMBER: 22-023.1

Key Plan:



Drawing Title:

PLAN DETAILS

Drawing Number:

A501



A501 SCALE: 1 1/2" = 1'-0"



A501 SCALE: 1 1/2" = 1'-0"



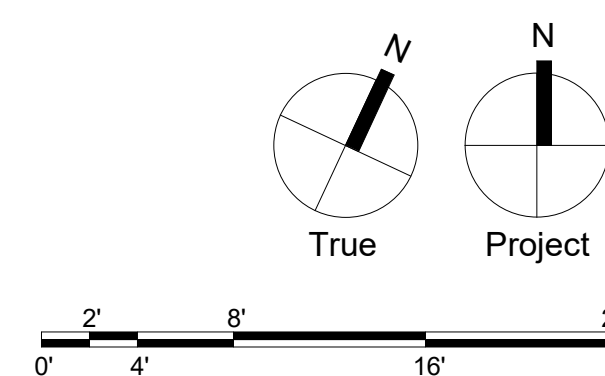
A501 SCALE: 1 1/2" = 1'-0"



A501 SCALE: 1 1/2" = 1'-0"



A501 SCALE: 1 1/2" = 1'-0"



Civil:

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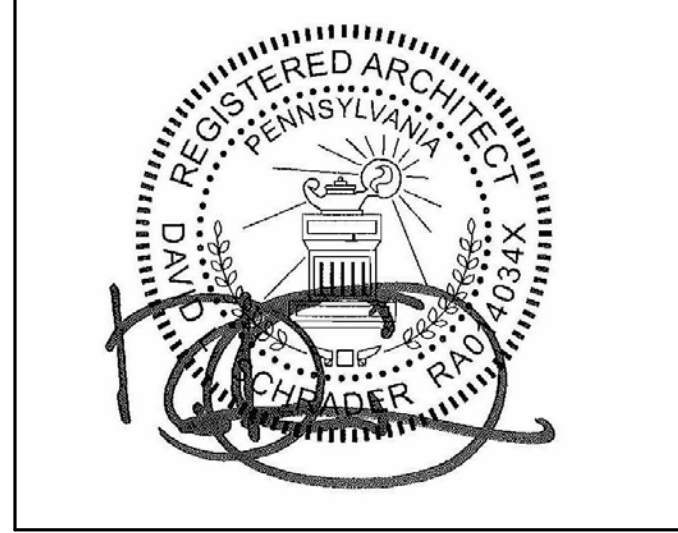
MEP

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Owner:

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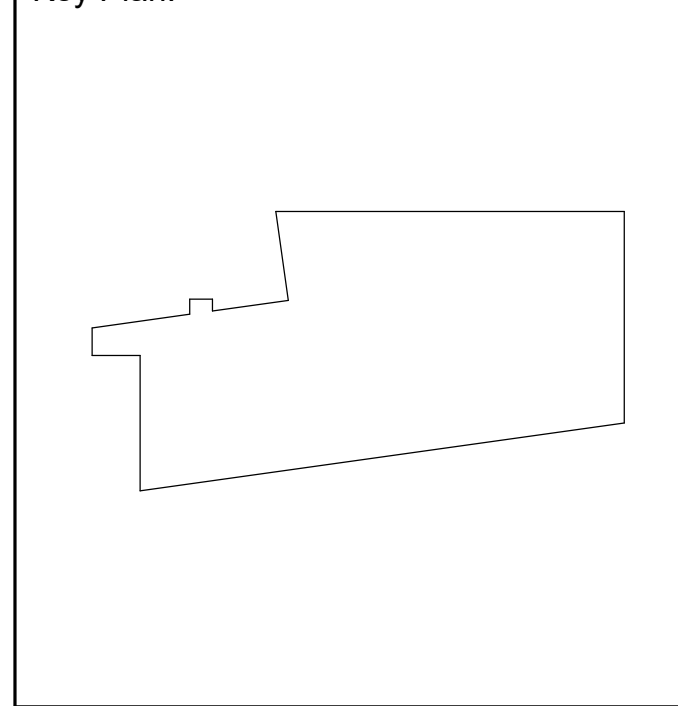
ISSUED FOR:

[illegible]

DATE: 01/30/2023

SG PROJECT NUMBER: 22-023.1

Key Plan:



Drawing Title:

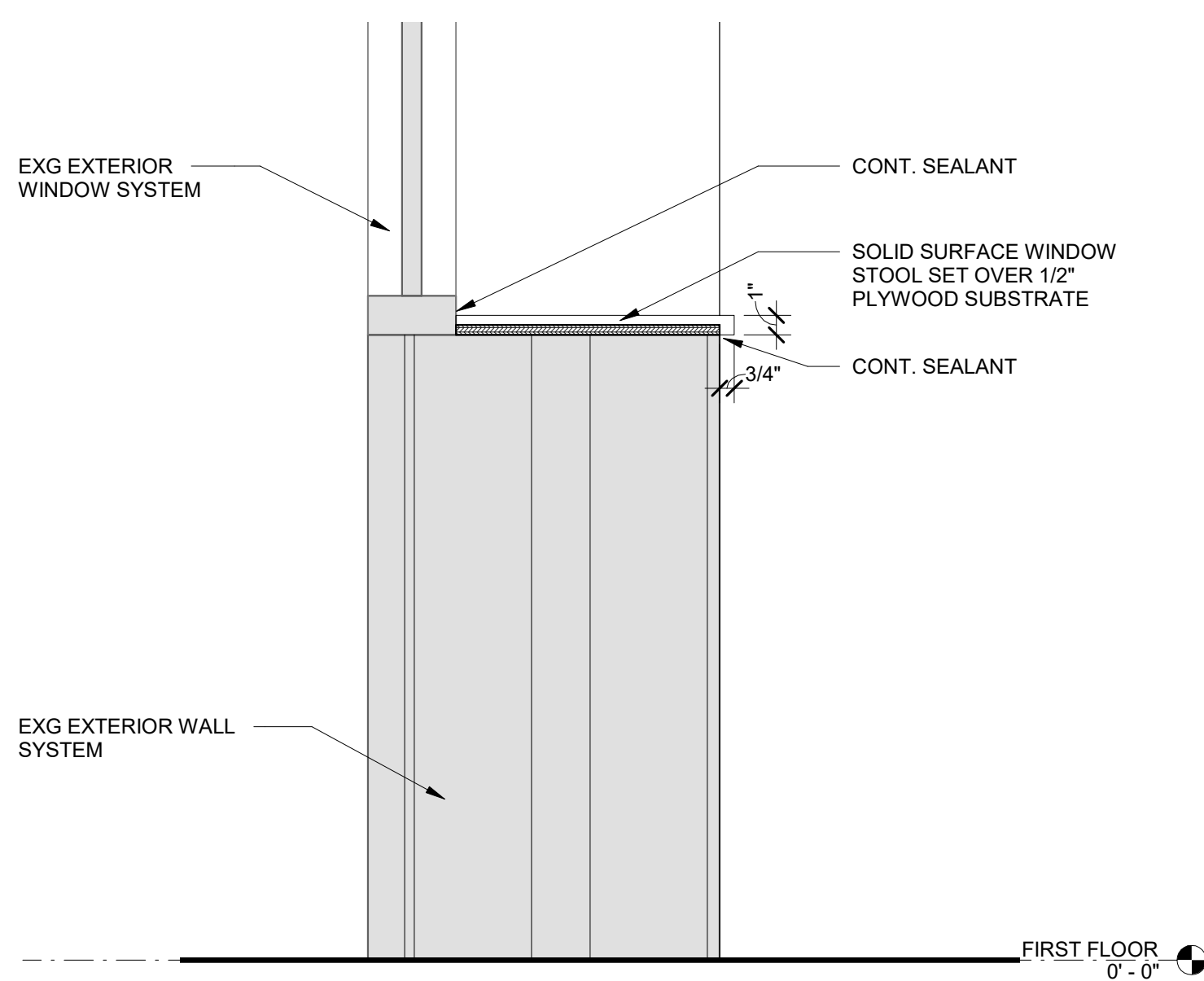
SECTION DETAILS

Drawing Number:

A502

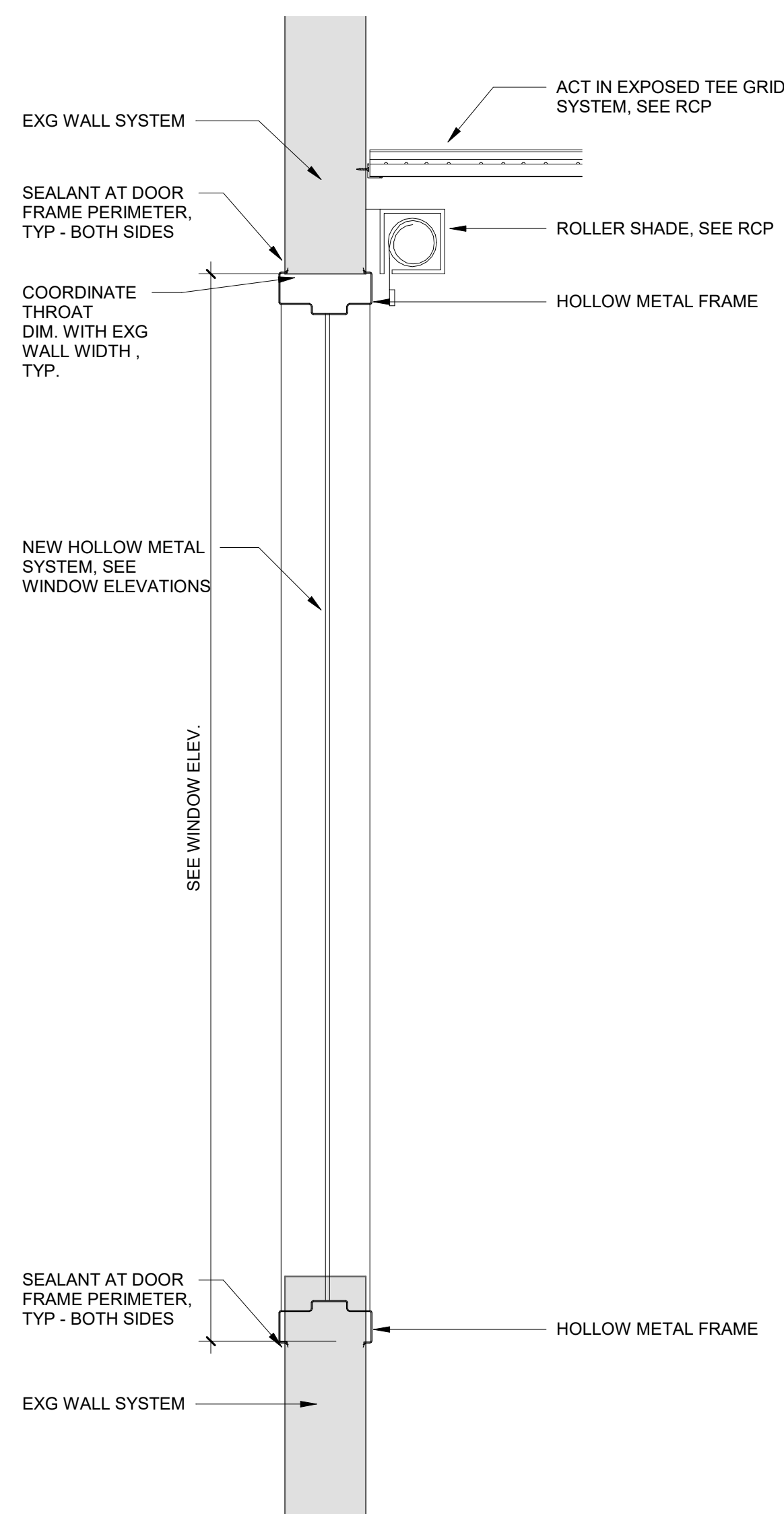


A502 SCALE: 3" = 1'-0"



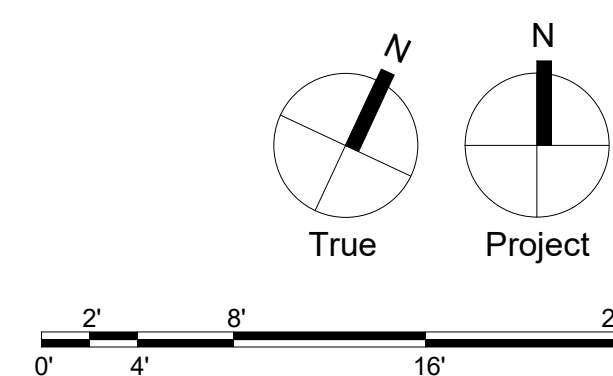
2 | SILL DETAIL, TYP.

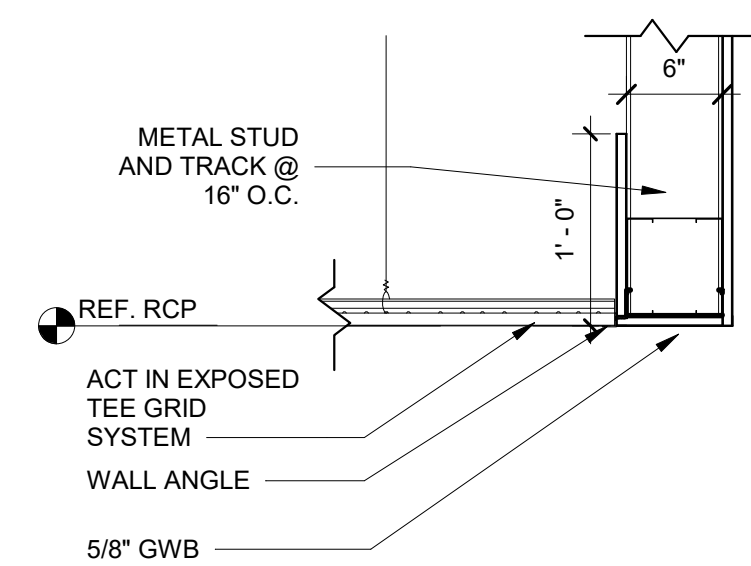
A502 SCALE: 1 1/2" = 1'-0"



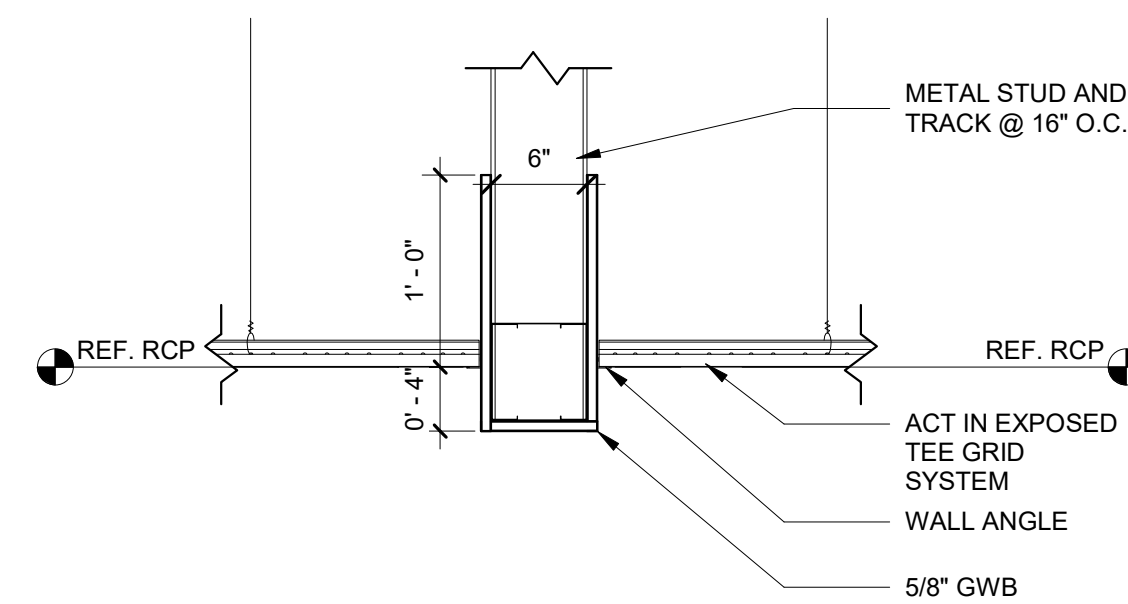
4 | LOBBY HOLLOW METAL DETAIL

A502 SCALE: 1 1/2" = 1'-0"



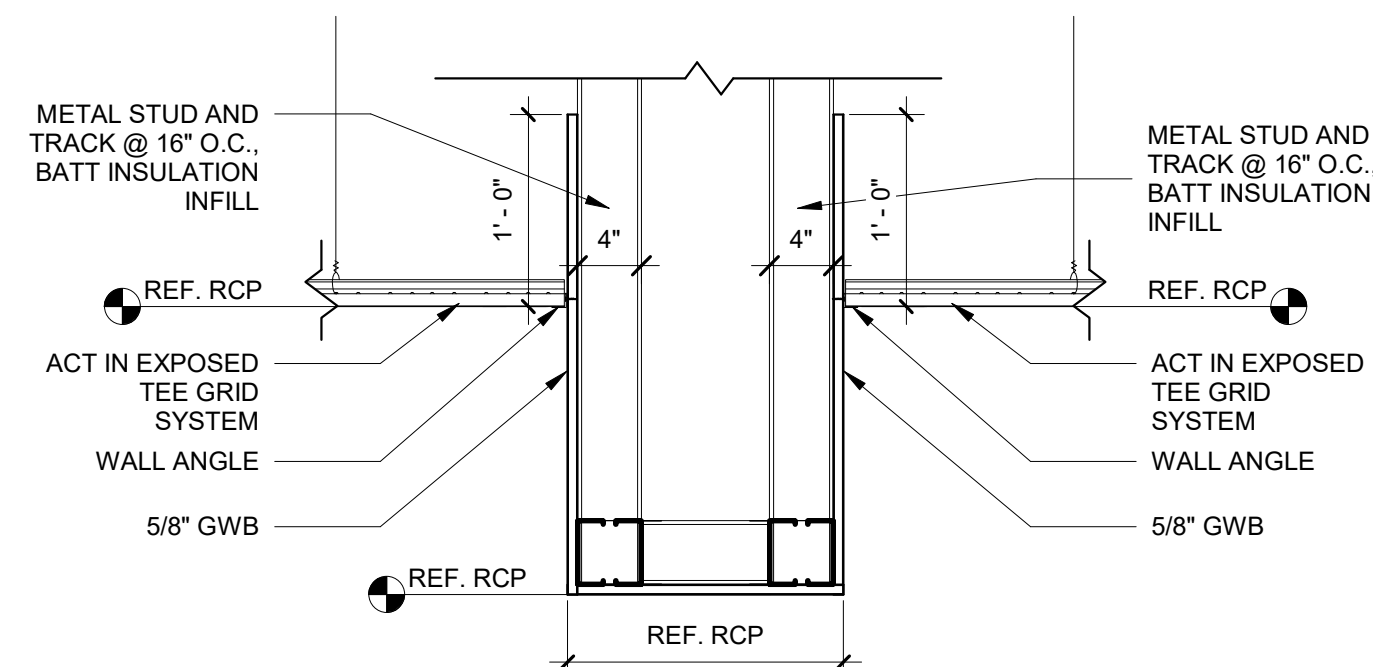


1	ACT TO GWB WALL
A503	SCALE: 1" = 1'-0"

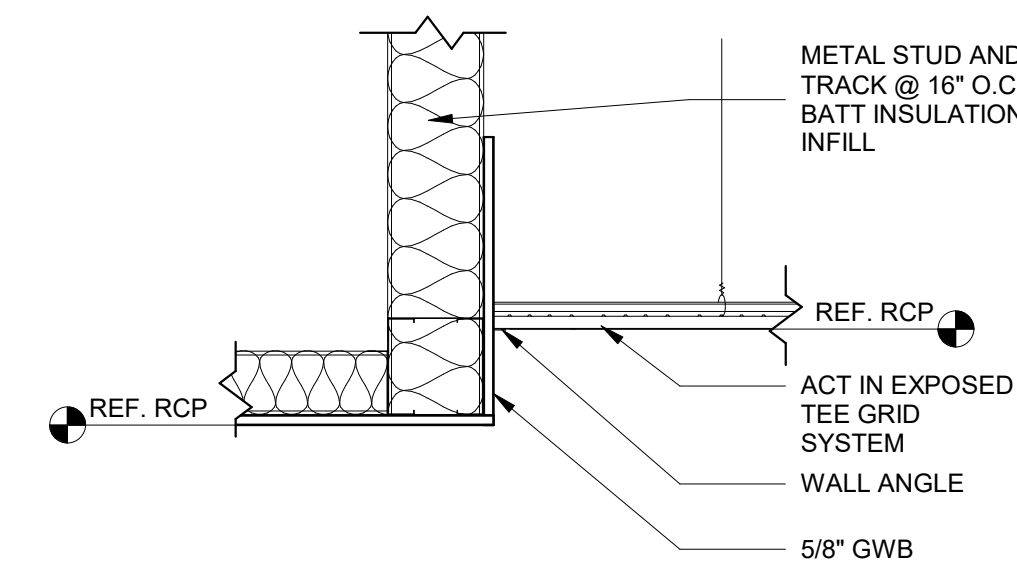


2 | ACT TO GWB WALL TO ACT

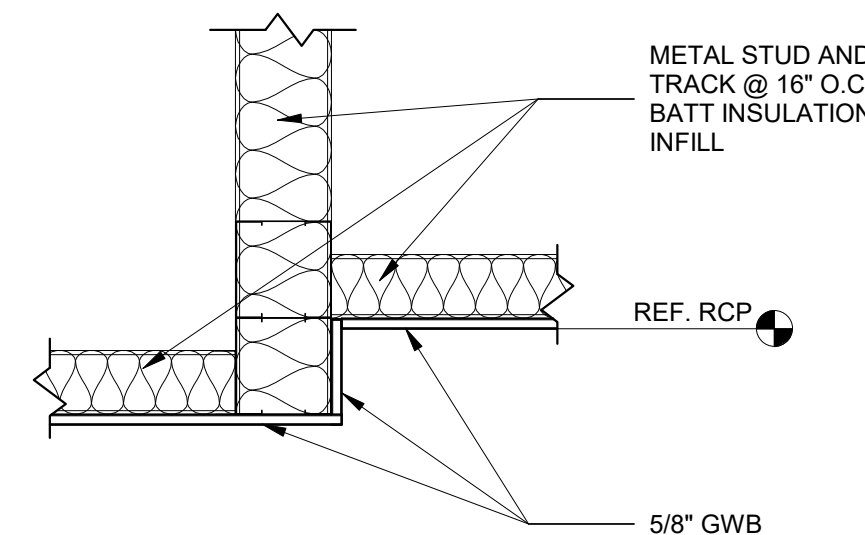
A503 | SCALE: 1" = 1'-0"



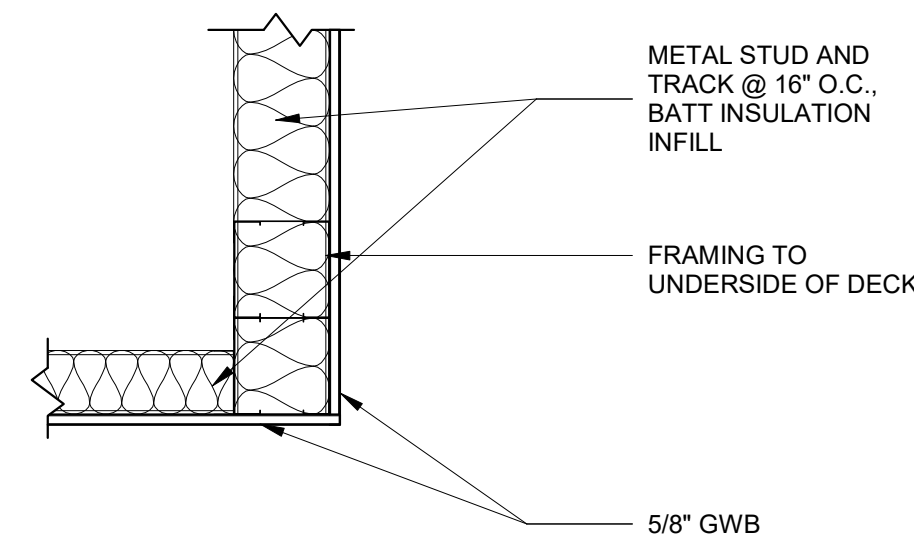
3	GWB SOFFIT AT ACT
A503	SCALE: 1" = 1'-0"



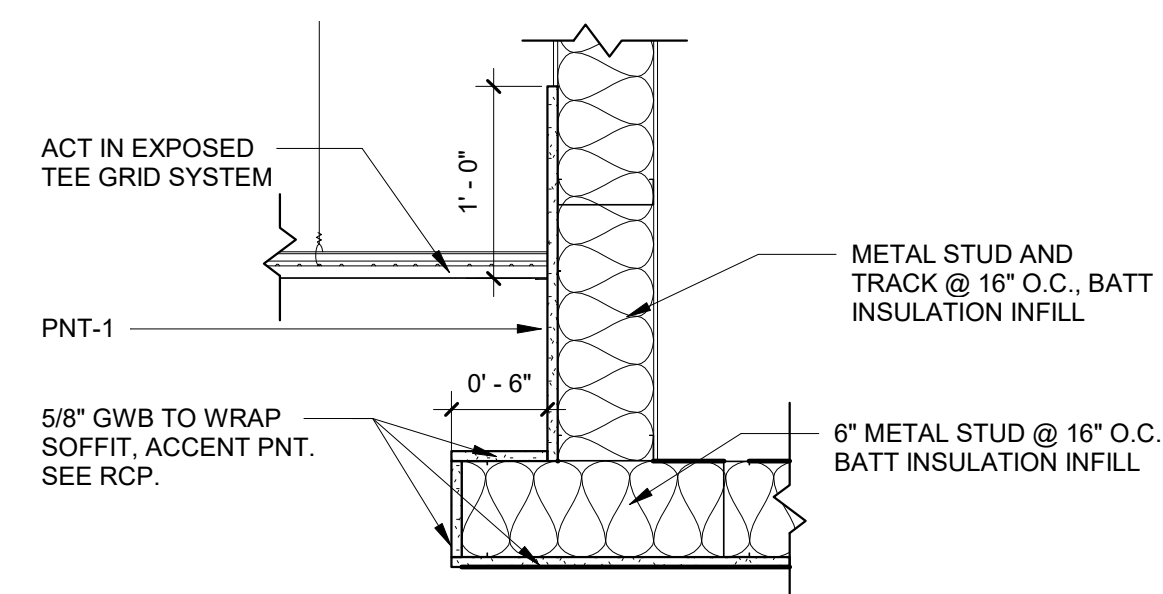
4	GWB TO ACT
A503	SCALE: 1" = 1'-0"



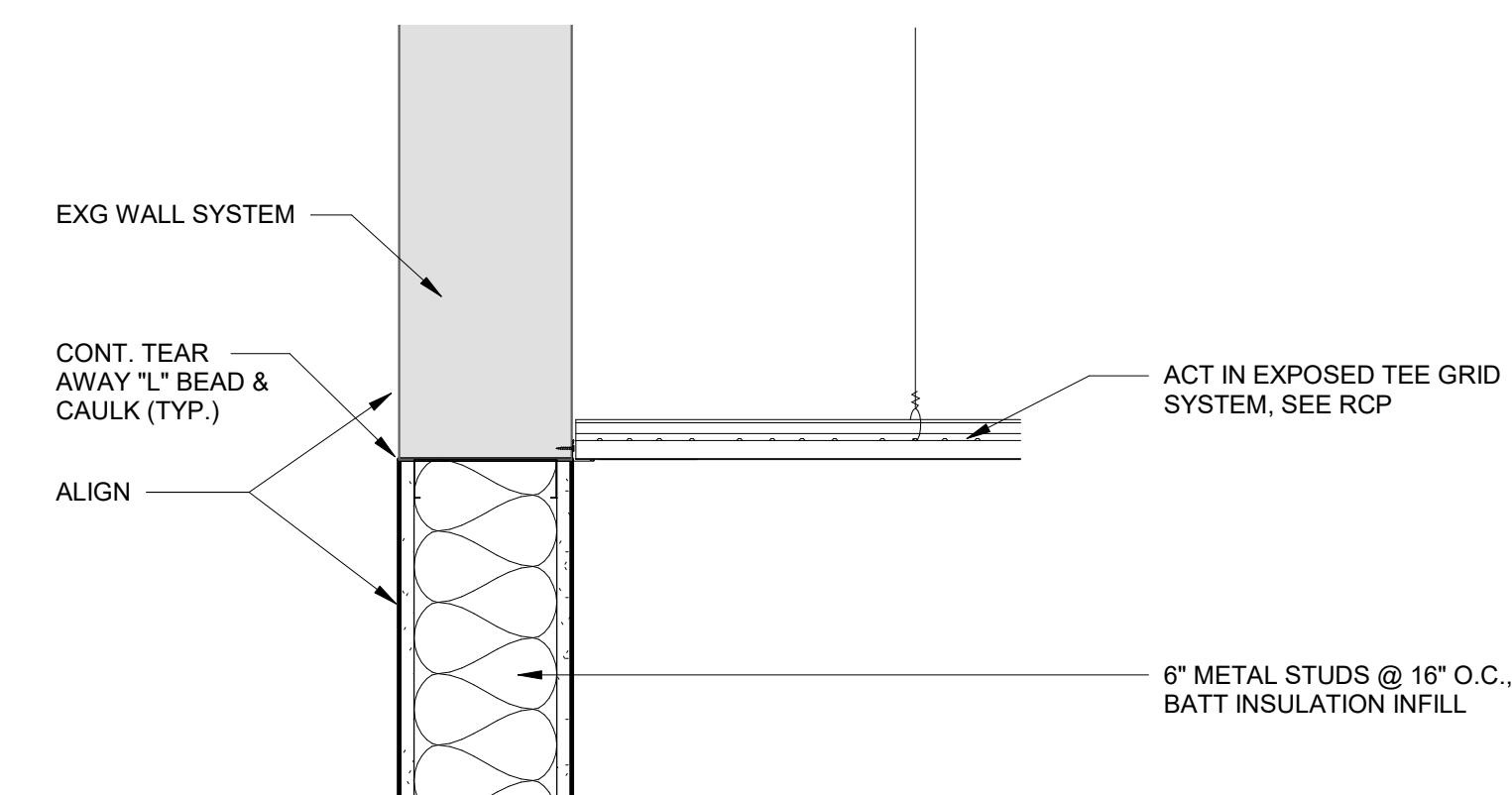
5	GWB TO GWB
A503	SCALE: 1" = 1'-0"



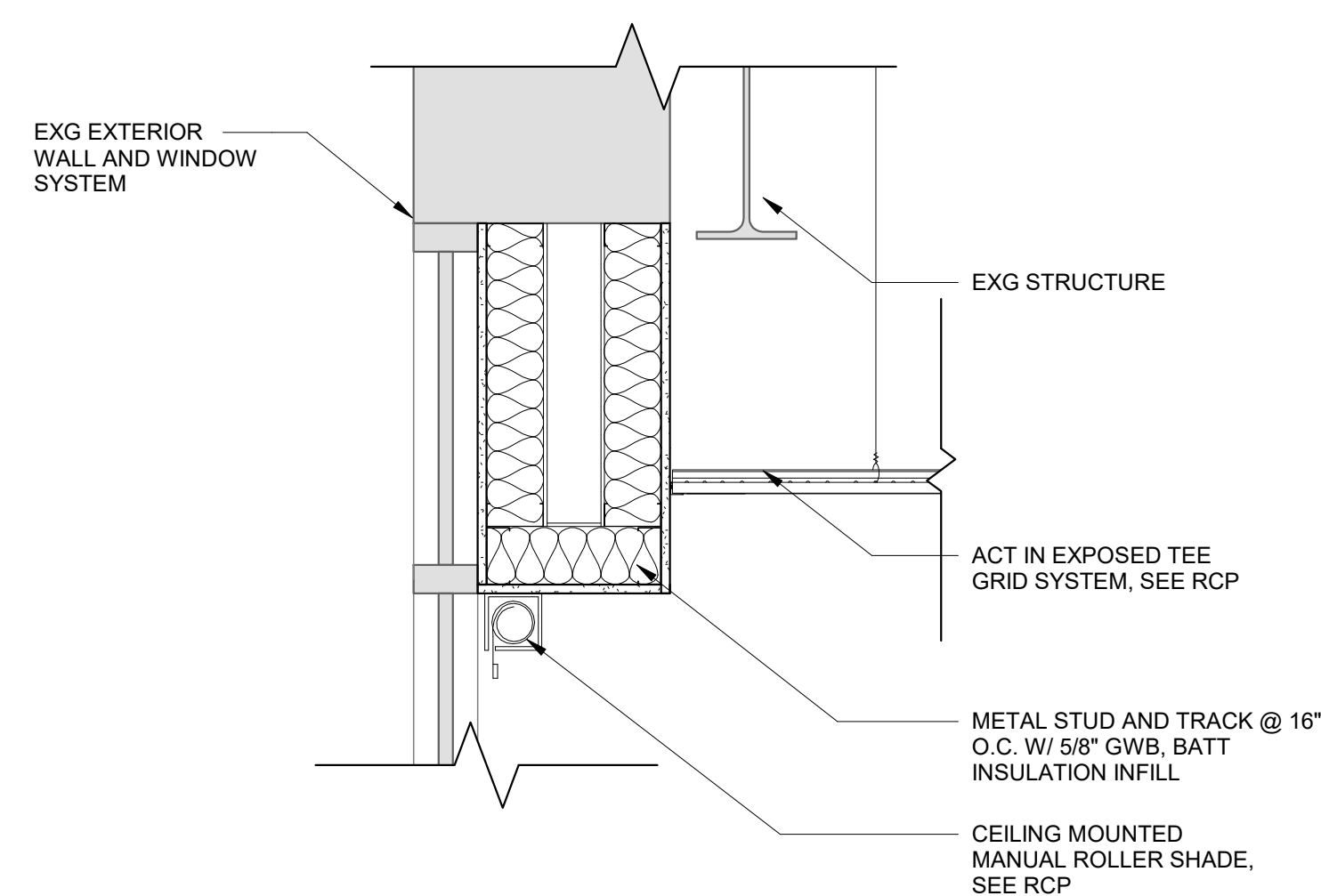
6	GWB TO GWB WALL
A503	SCALE: 1" = 1'-0"



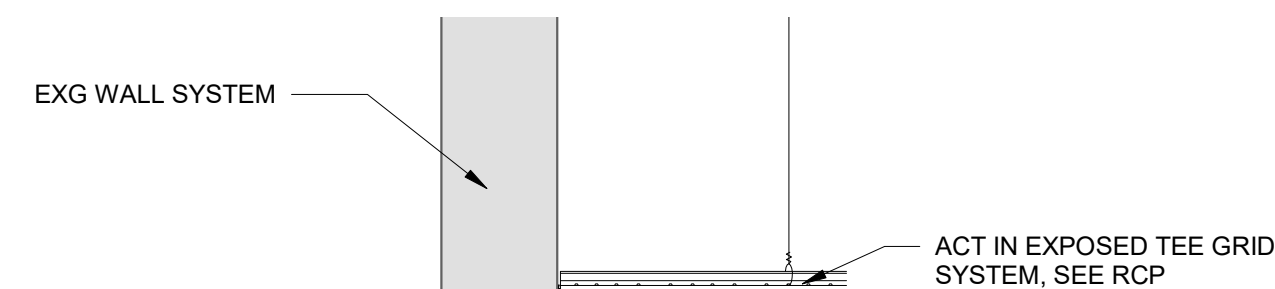
7 | **GWB TO RECESSED GWB WALL TO ACT**
A503 SCALE: 1" = 1'-0"



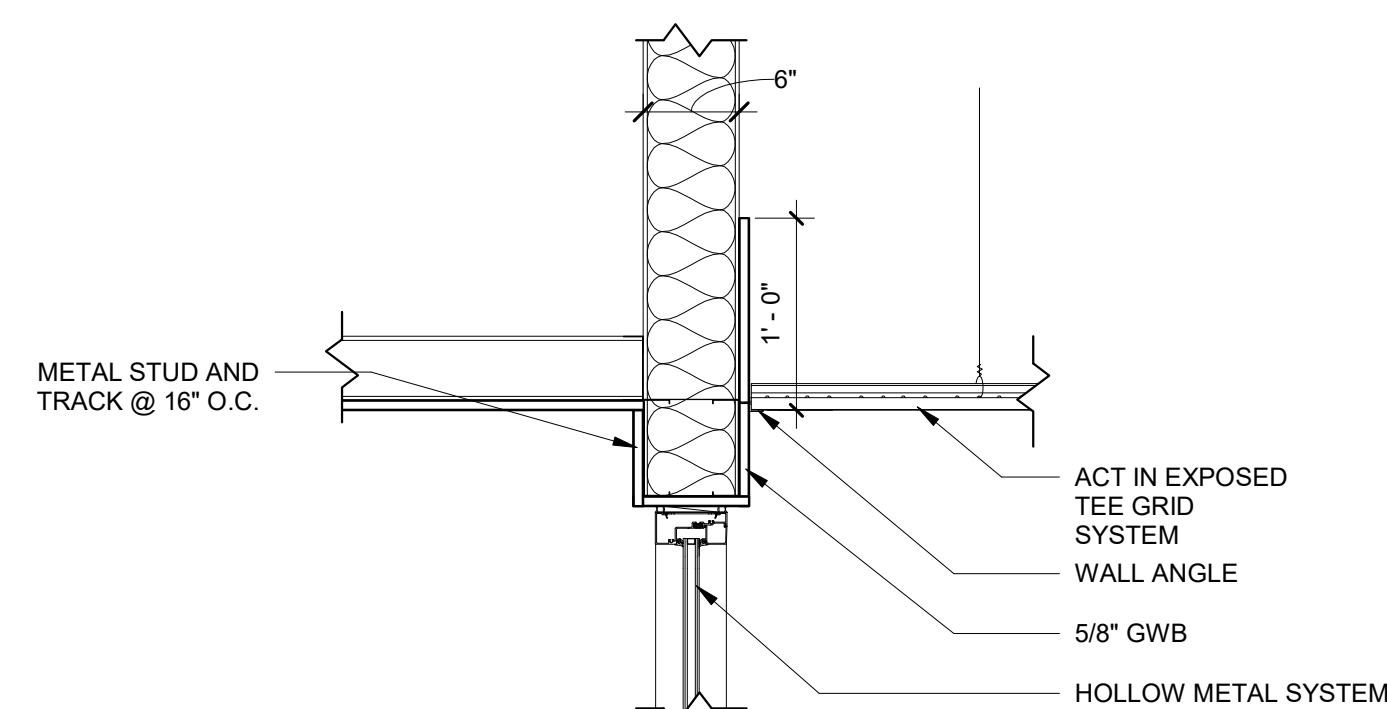
8 LOBBY WALL TO CEILING DETAIL



9 | GWB SOFFIT TO ACT, TYP.
A503 | SCALE: 1" = 1'-0"



10 | ACT TO EXG WALL
A503 | SCALE: 1" = 1'-0"



11 | GWB TO GWB WALL TO ACT AND GLAZING
A503 SCALE: 1" = 1'-0"

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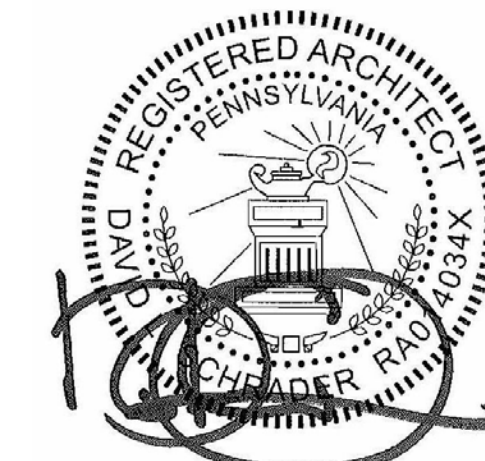
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Professional Seal:



Owner:

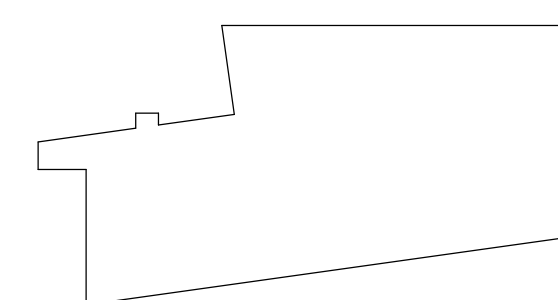
**CHESTER UPLAND
SCHOOL DISTRICT**
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

[illegible]

Key Plan:

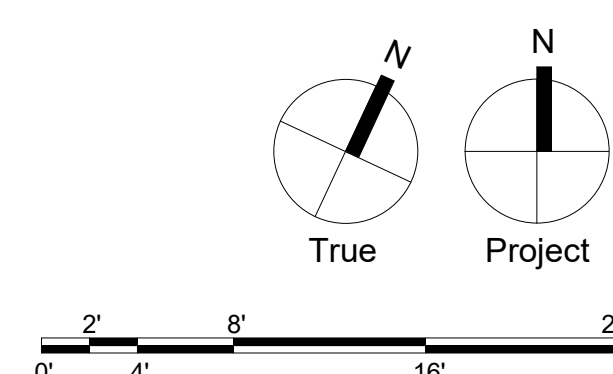


Drawing Title:

RCP DETAILS

Drawing Number:

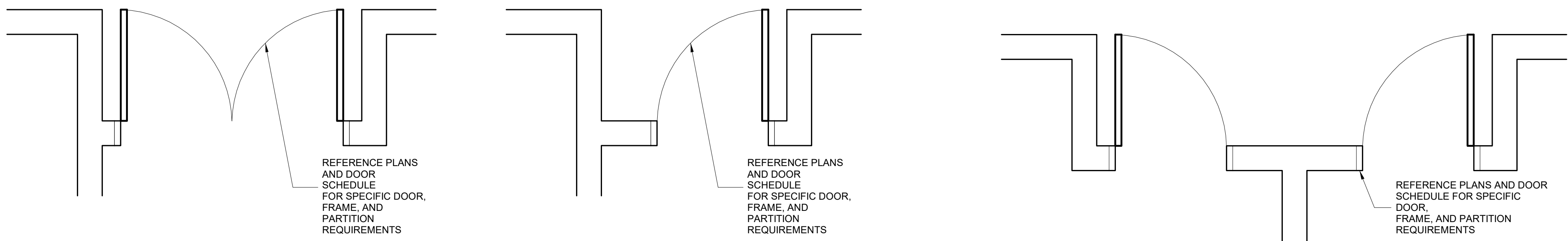
A503



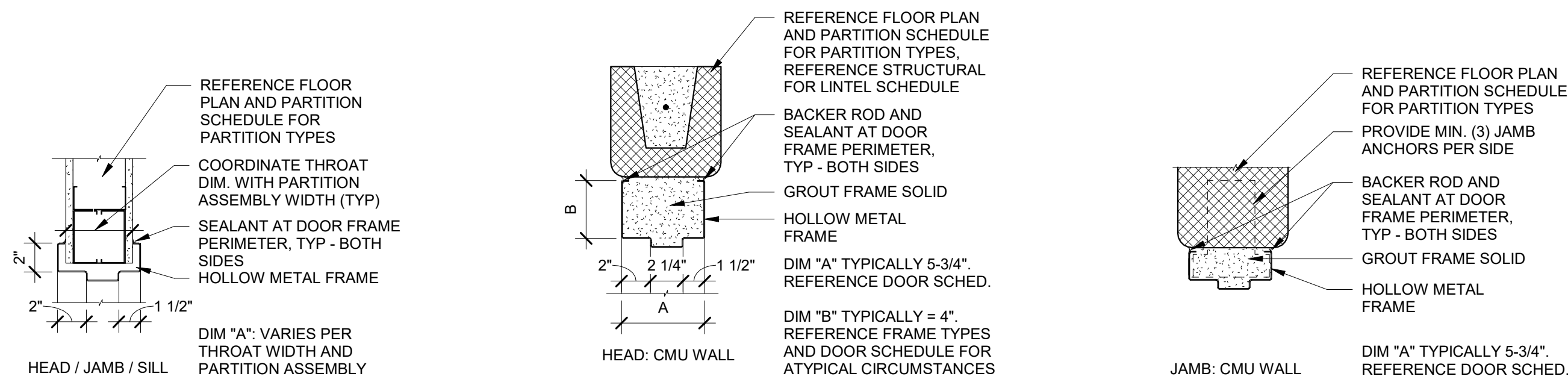
NO.	TYPE	DOOR				FRAME				GLAZING TYPE	FIRE RATING	COMMENTS	
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH				DEPTH
A001-1	A	6'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A001-2	A	6'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-6"	-	45	FINISHES TO MATCH SALVAGED EXG DOORS
A100-1	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A100-2	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A100-4	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A100-5	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A101	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A102	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A103	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A104	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A105	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A106	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A107	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A108	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A109-1	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A109-2	A	6'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	FINISHES TO MATCH SALVAGED EXG DOORS
A109-3	A	3'-0"	7'-0"	0'-1 3/4"	Hollow Metal	Paint	1	Hollow Metal	Paint	0'-5 3/8"	-	-	
A109-1	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A109-2	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A110-2	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A110-3	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A111-1	A	6'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	FINISHES TO MATCH SALVAGED EXG DOORS
A111-2	A	6'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	FINISHES TO MATCH SALVAGED EXG DOORS
A112	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A120-1	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A201	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A203	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A204	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A205	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
A206	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
C101-2	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	-	SALVAGED DOORS ARE TO BE SANDED AND REFINISHED
C101-3	A	6'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-8 1/4"	-	45	FINISHES TO MATCH SALVAGED EXG DOORS
C101-4	A	3'-0"	7'-0"	0'-1 3/4"	Wood	Stain	1	Hollow Metal	Paint	0'-5 3/8"</			

The diagram illustrates three types of door frames, each with specific dimensions and references to a schedule.

- WOOD DOORS:** The diagram shows a simple rectangular door. The height is labeled "See Schedule". The width is also labeled "See Schedule".
- FRAME TYPES:** This section shows two variations of door frames.
 - Frame Type 1:** The height is labeled "0'-2\" See Schedule". The width is labeled "0'-2\"". The frame has a top rail and a bottom rail, with a central panel. The height of the top rail is labeled "7'-0\"". The height of the bottom rail is labeled "7'-2\"".
 - Frame Type 2:** The height is labeled "0'-2\" See Schedule". The width is labeled "0'-4\"". The frame has a top rail and a bottom rail, with a central panel. The height of the top rail is labeled "7'-0\"". The height of the bottom rail is labeled "7'-4\"".



SCALE: 1/2" = 1'-0"



SCALE: 1 1/2" = 1'-0"

1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER PA 19013

Key Plan:

Drawing Title:

DOOR SCHEDULE &
INTERIOR FRAME

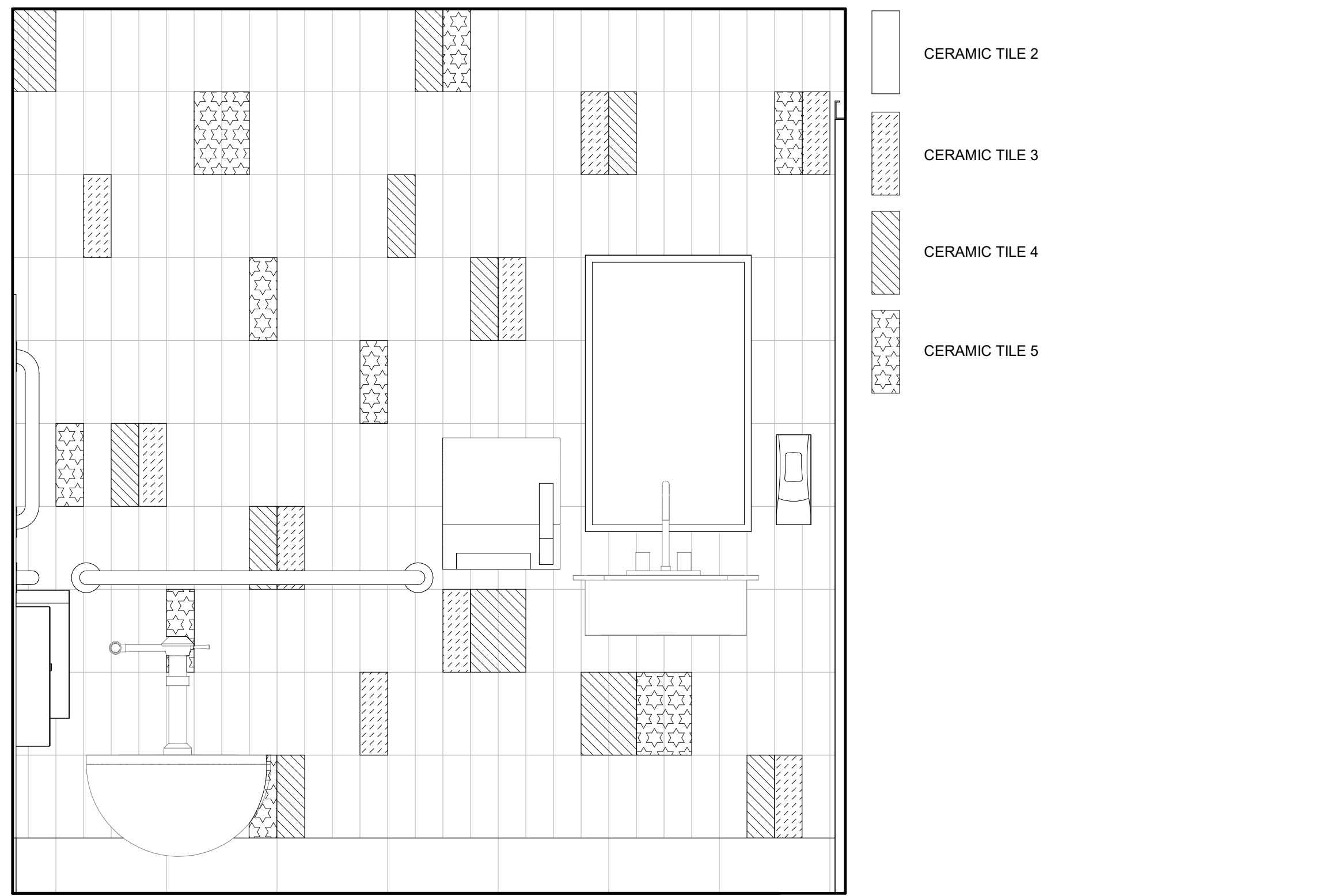
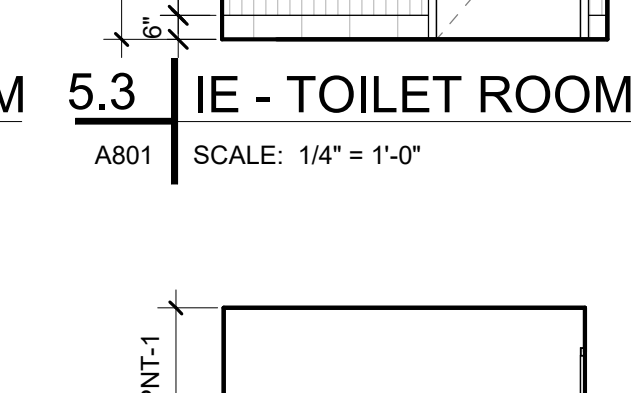
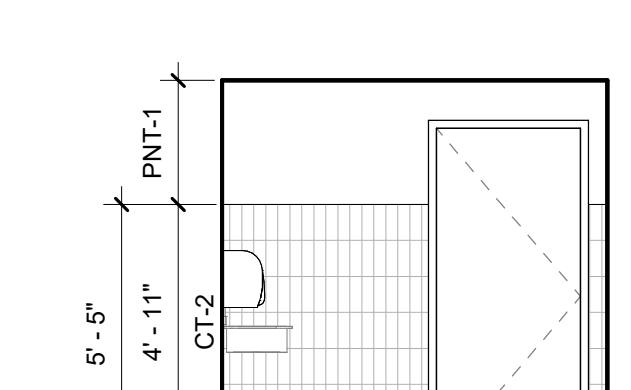
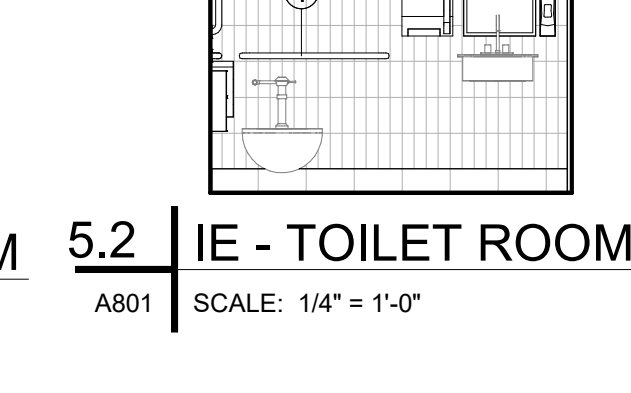
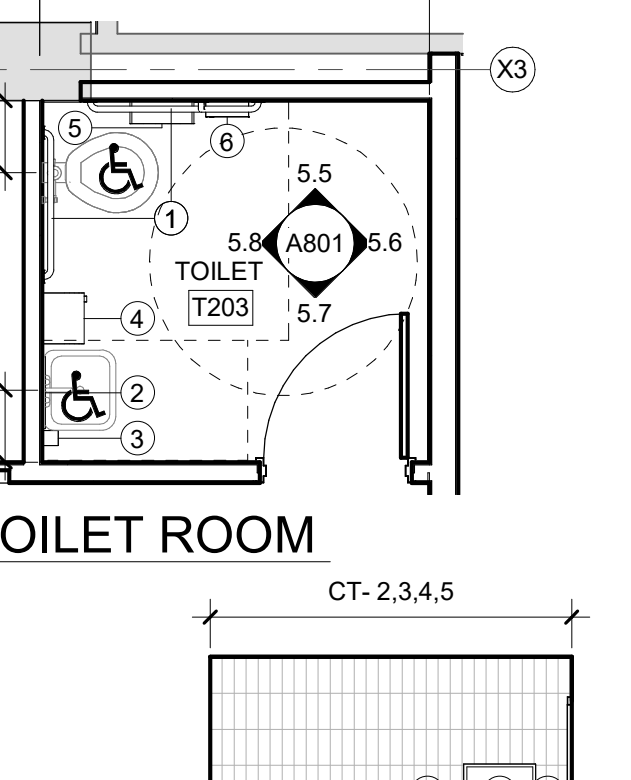
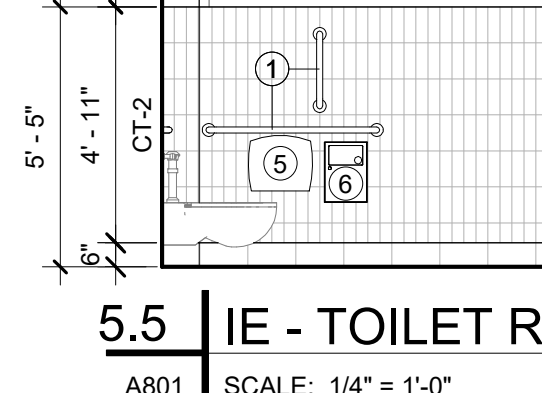
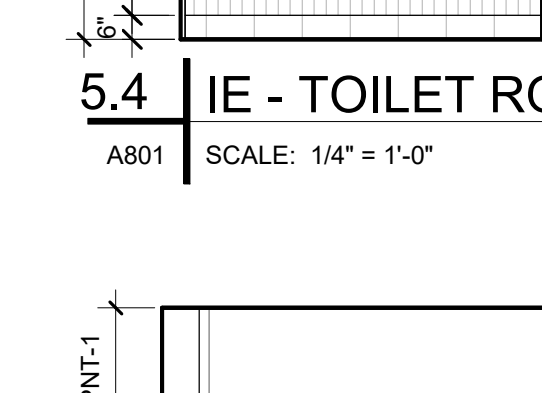
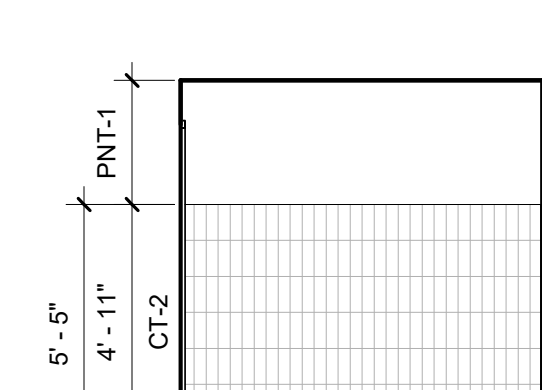
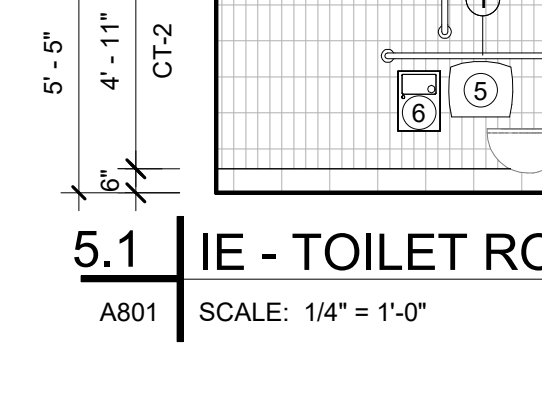
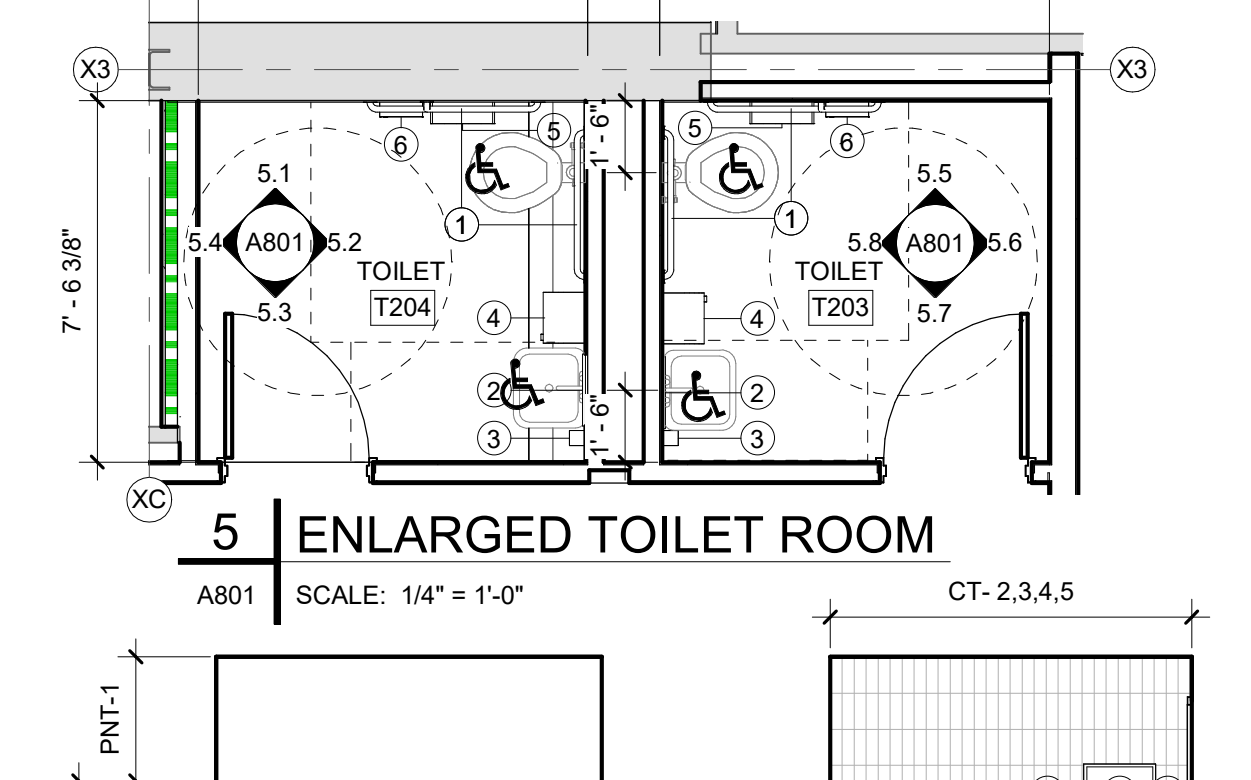
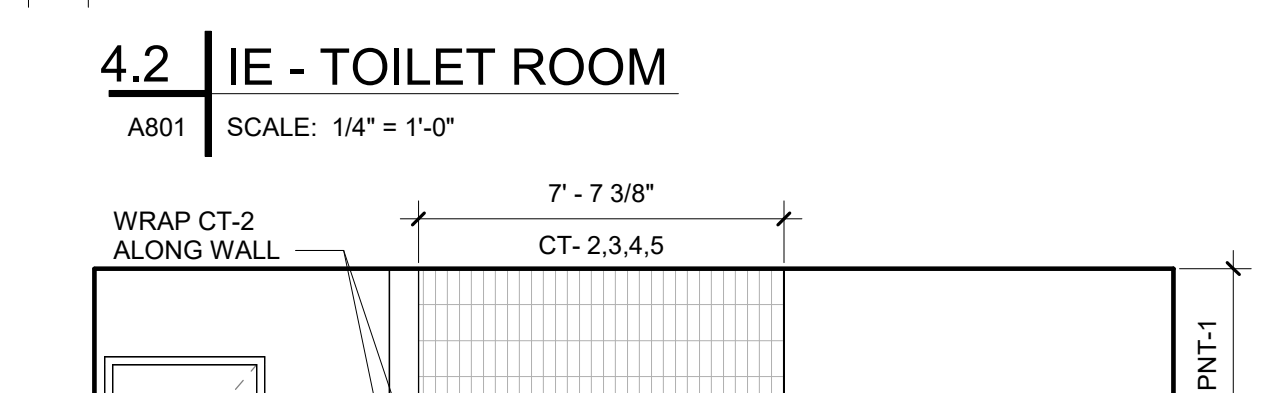
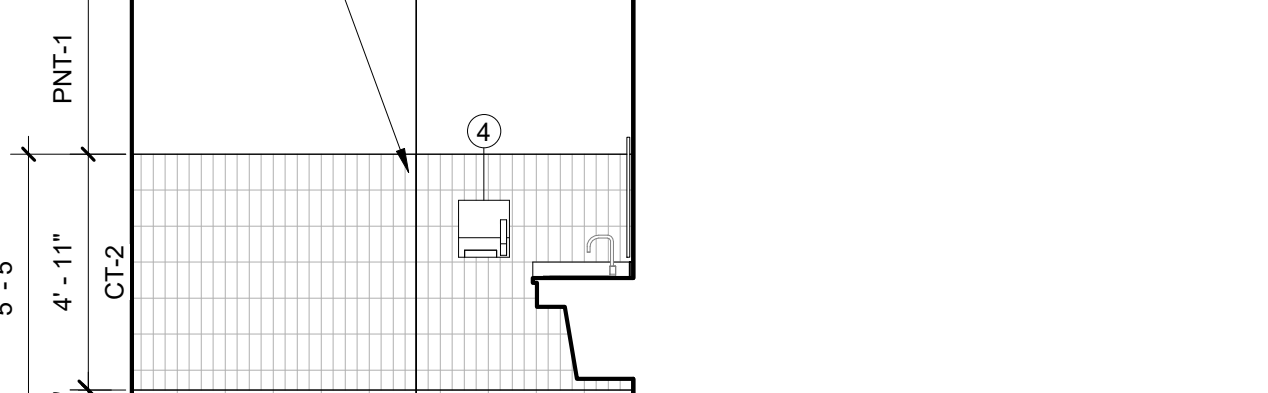
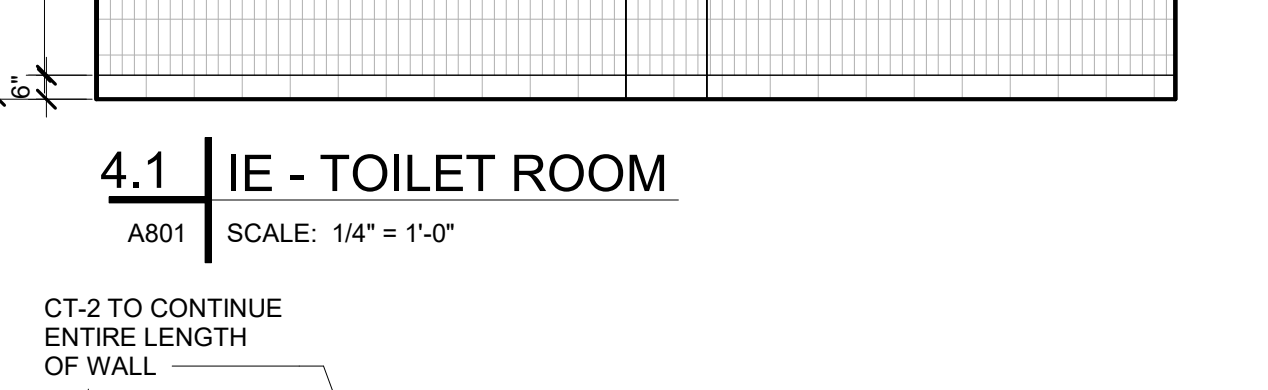
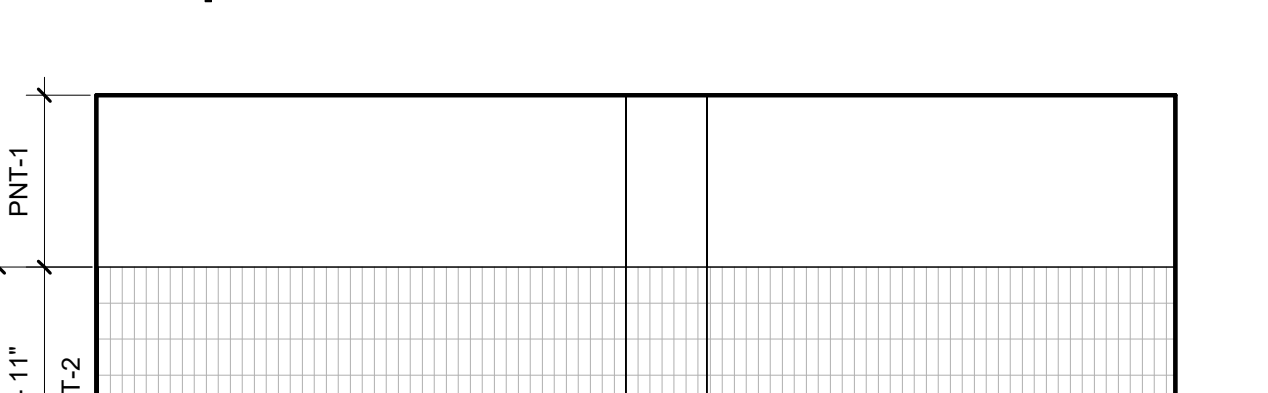
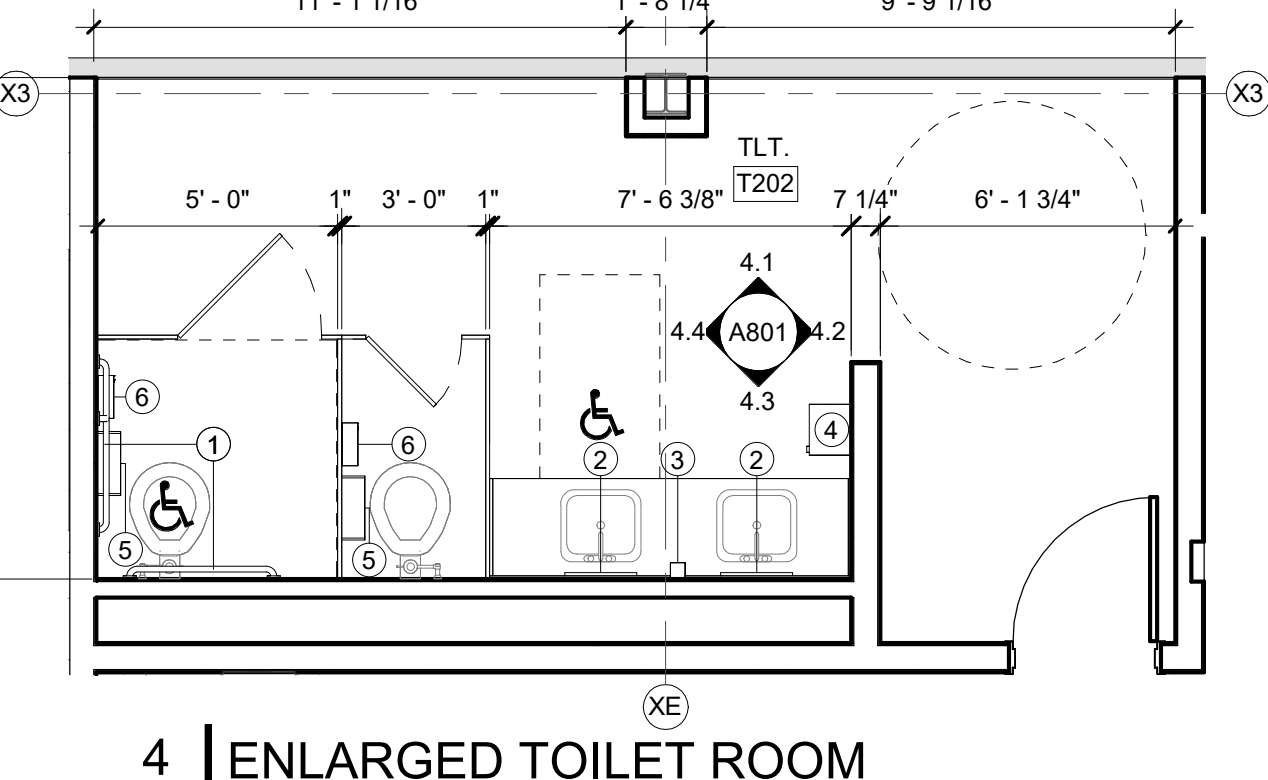
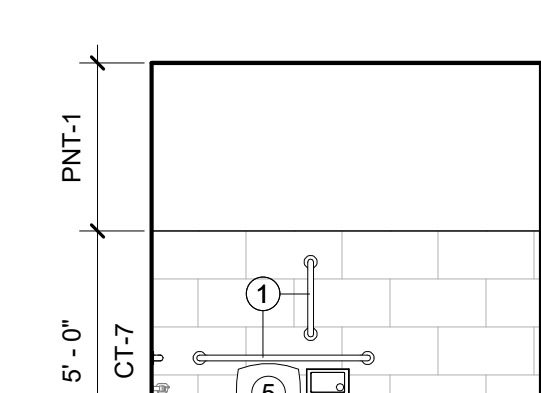
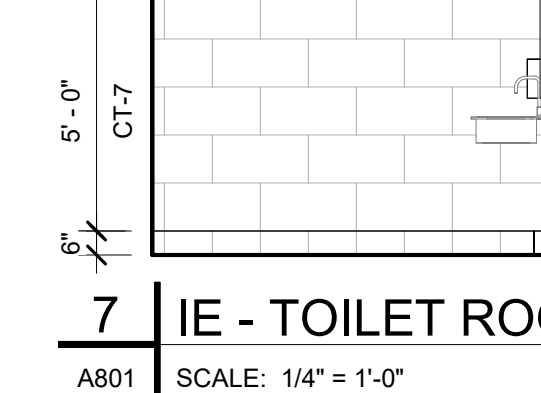
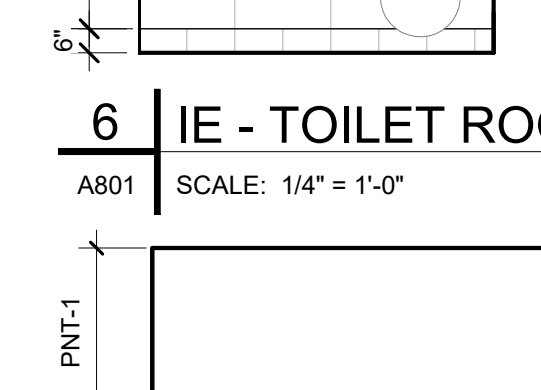
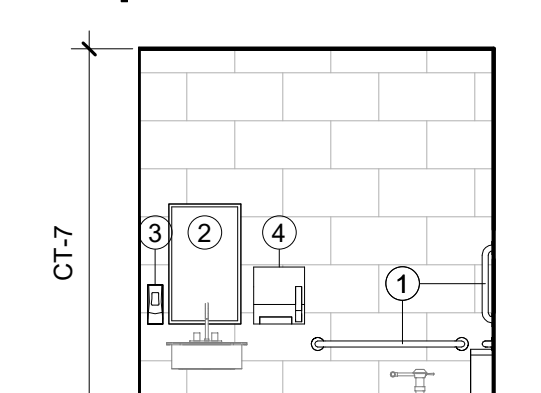
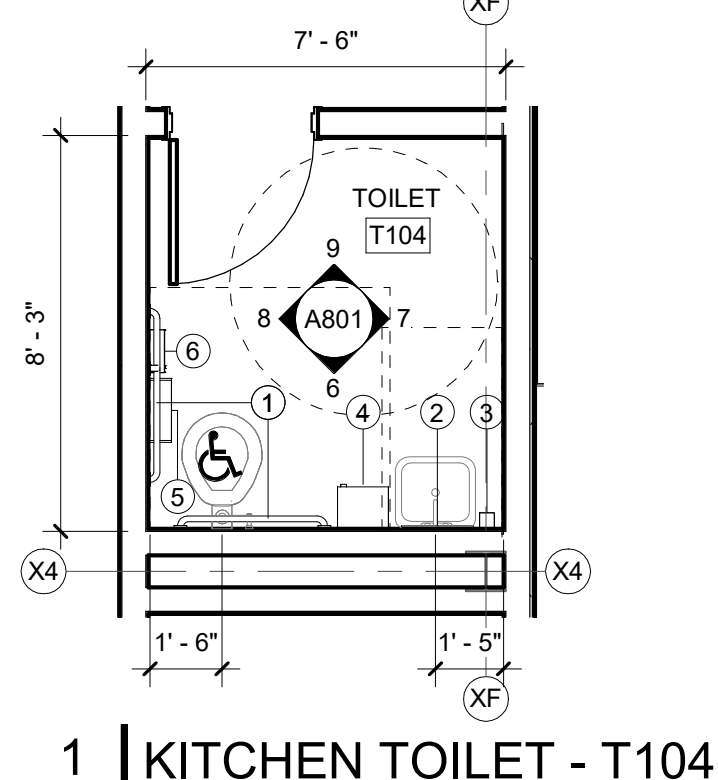
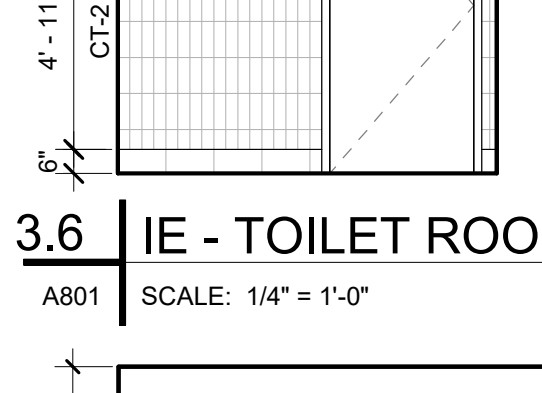
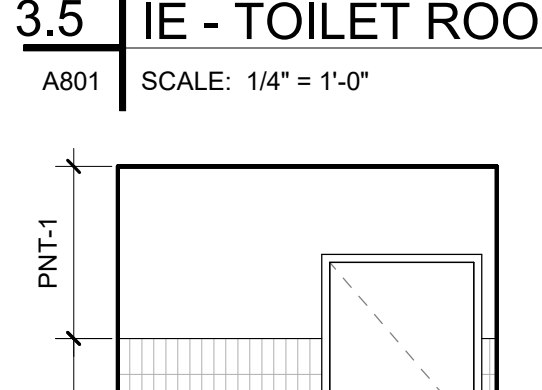
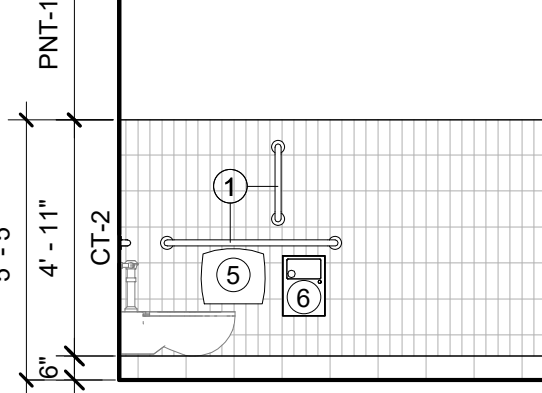
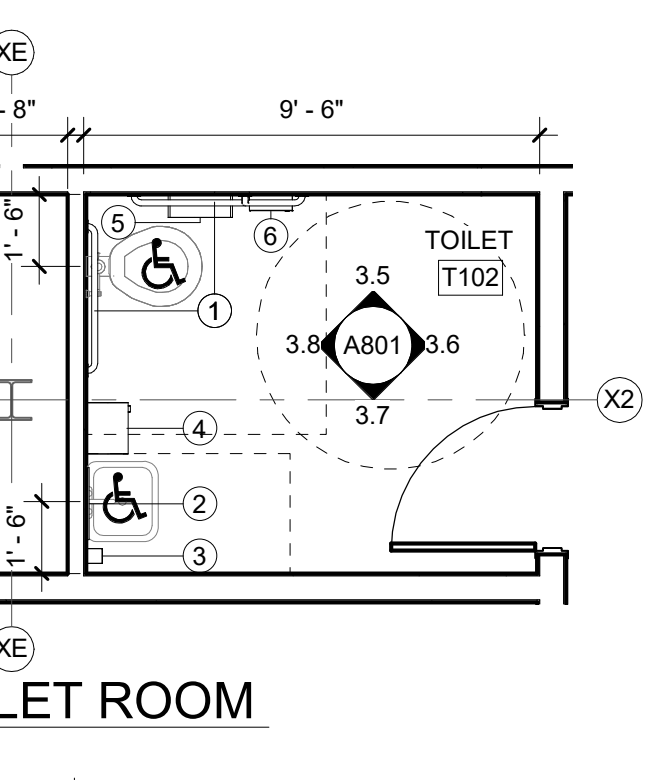
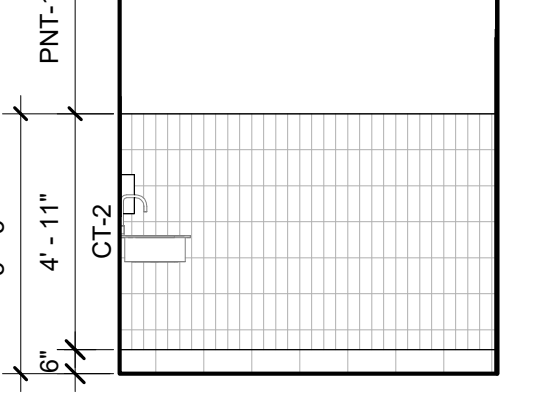
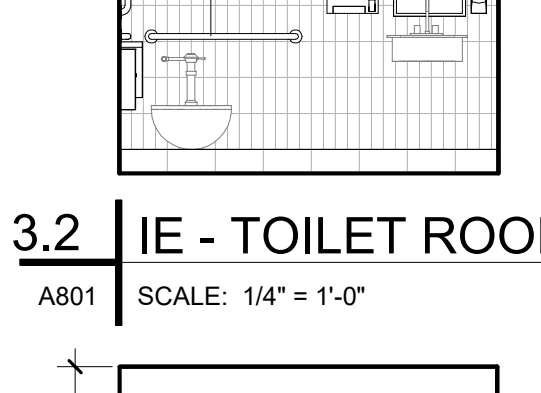
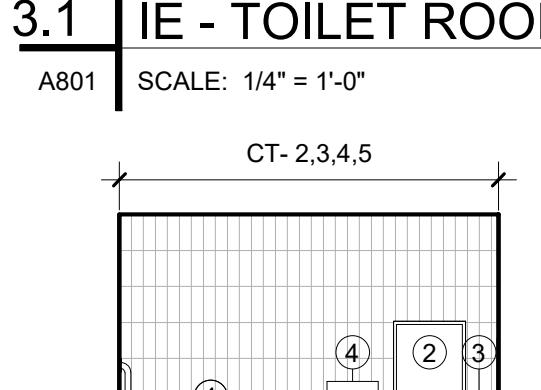
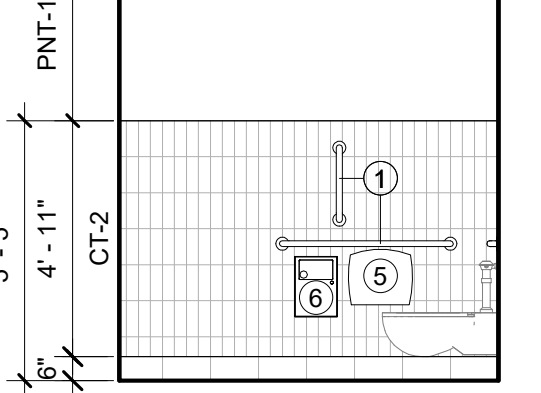
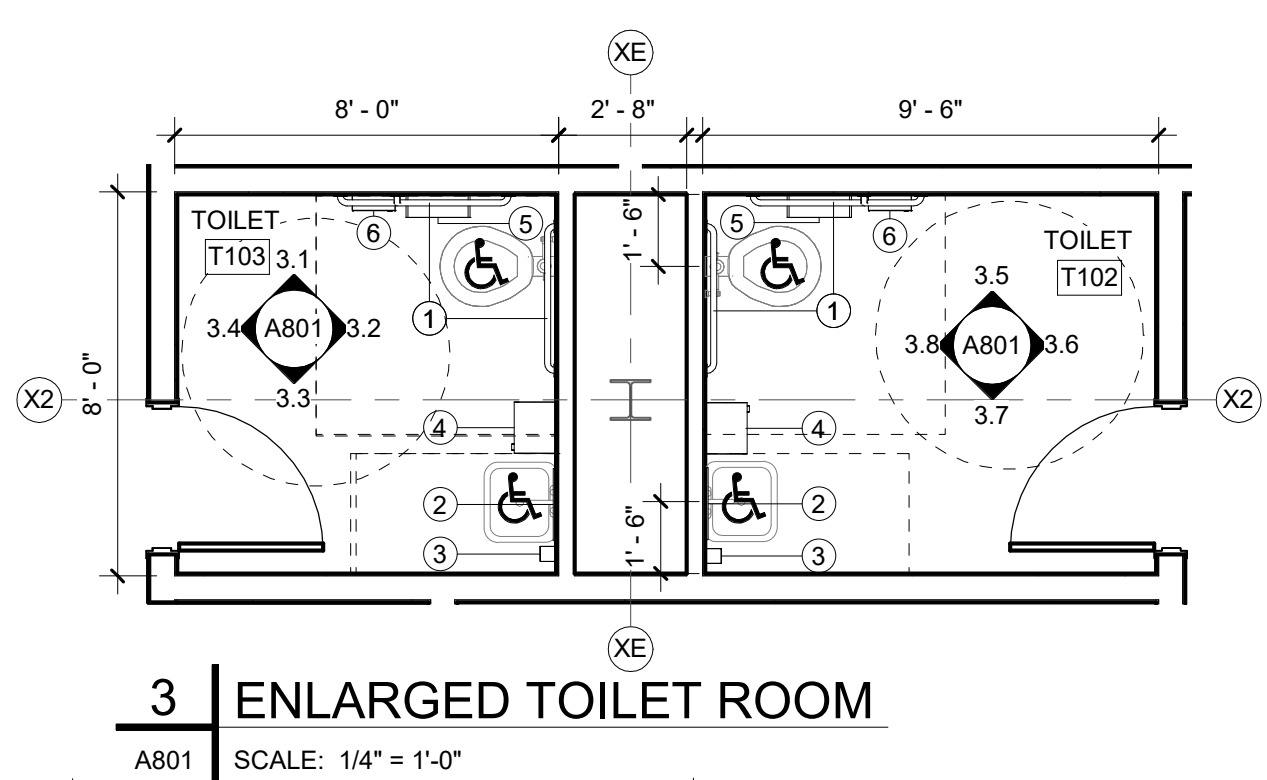
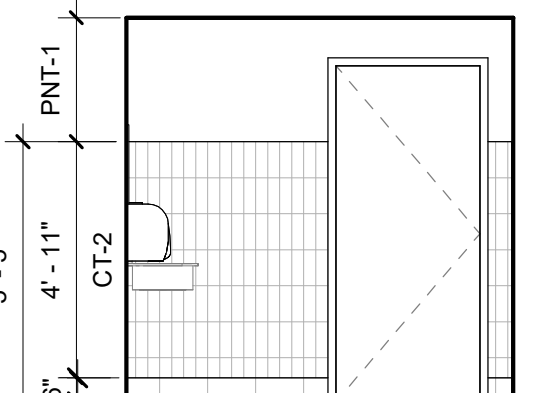
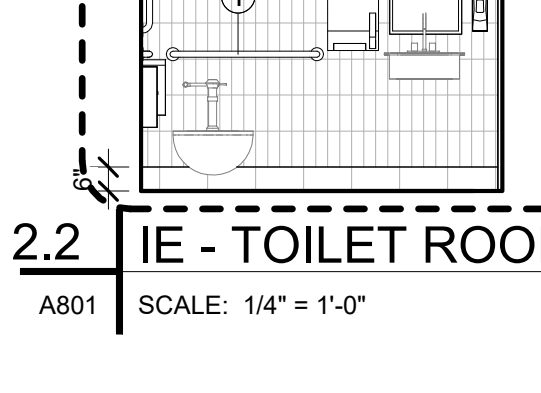
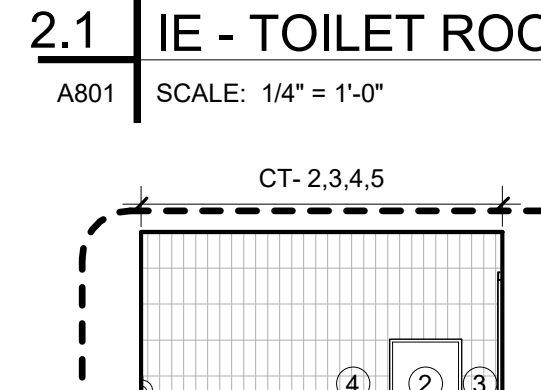
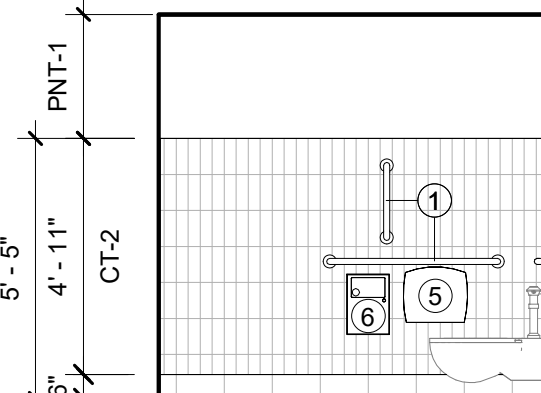
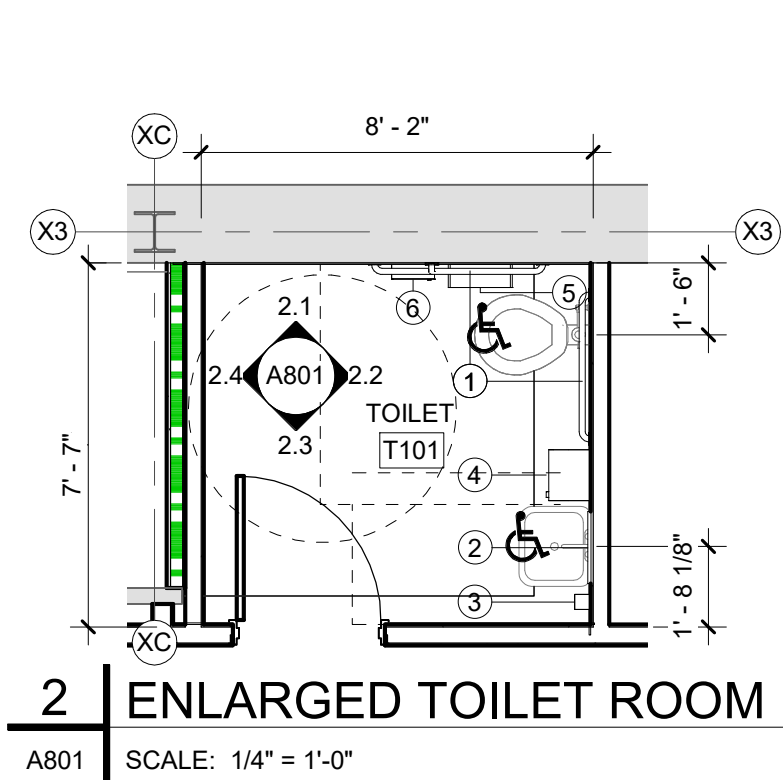
Drawing Number:

A601

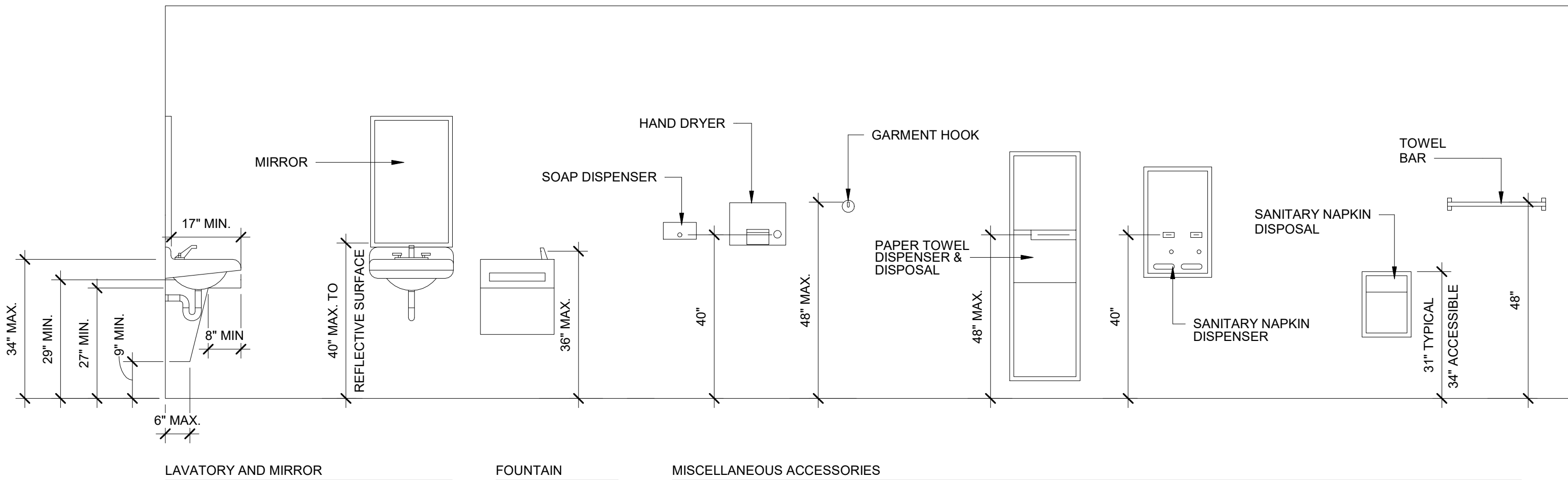
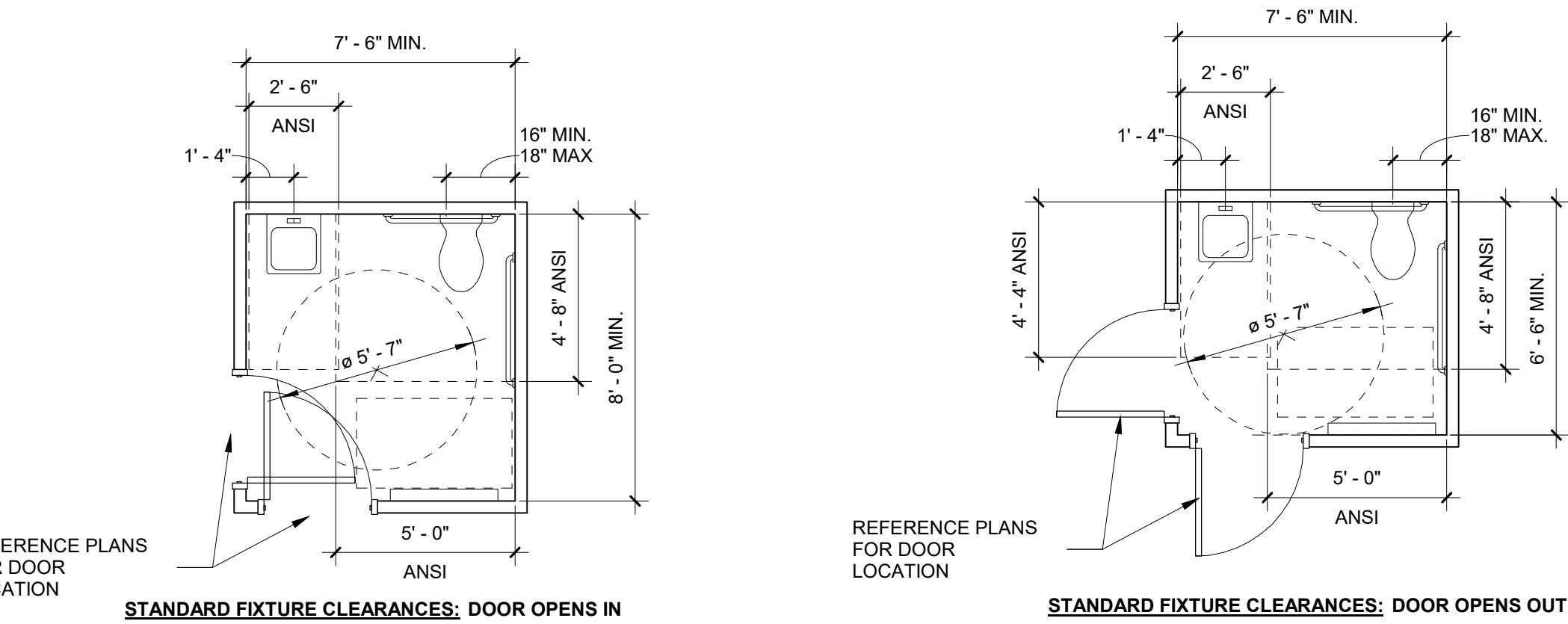
TOILET ACCESSORY LEGEND

1	HANDICAP GRAB BAR (BOBRICK B-6806X36, B-6806X42, AND B-6806X18 VERTICAL)
2	SURFACE MOUNTED MIRROR (BOBRICK B-290 1830)
3	SURFACE MOUNTED SOAP DISPENSER (OWNER FURNISHED / CONTRACTOR INSTALLED)
4	SURFACE MOUNTED PAPER TOWEL DISPENSER (OWNER FURNISHED / CONTRACTOR INSTALLED)
5	SURFACE MOUNTED TOILET TISSUE DISPENSER (OWNER FURNISHED / CONTRACTOR INSTALLED)
6	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL (BOBRICK B-254)

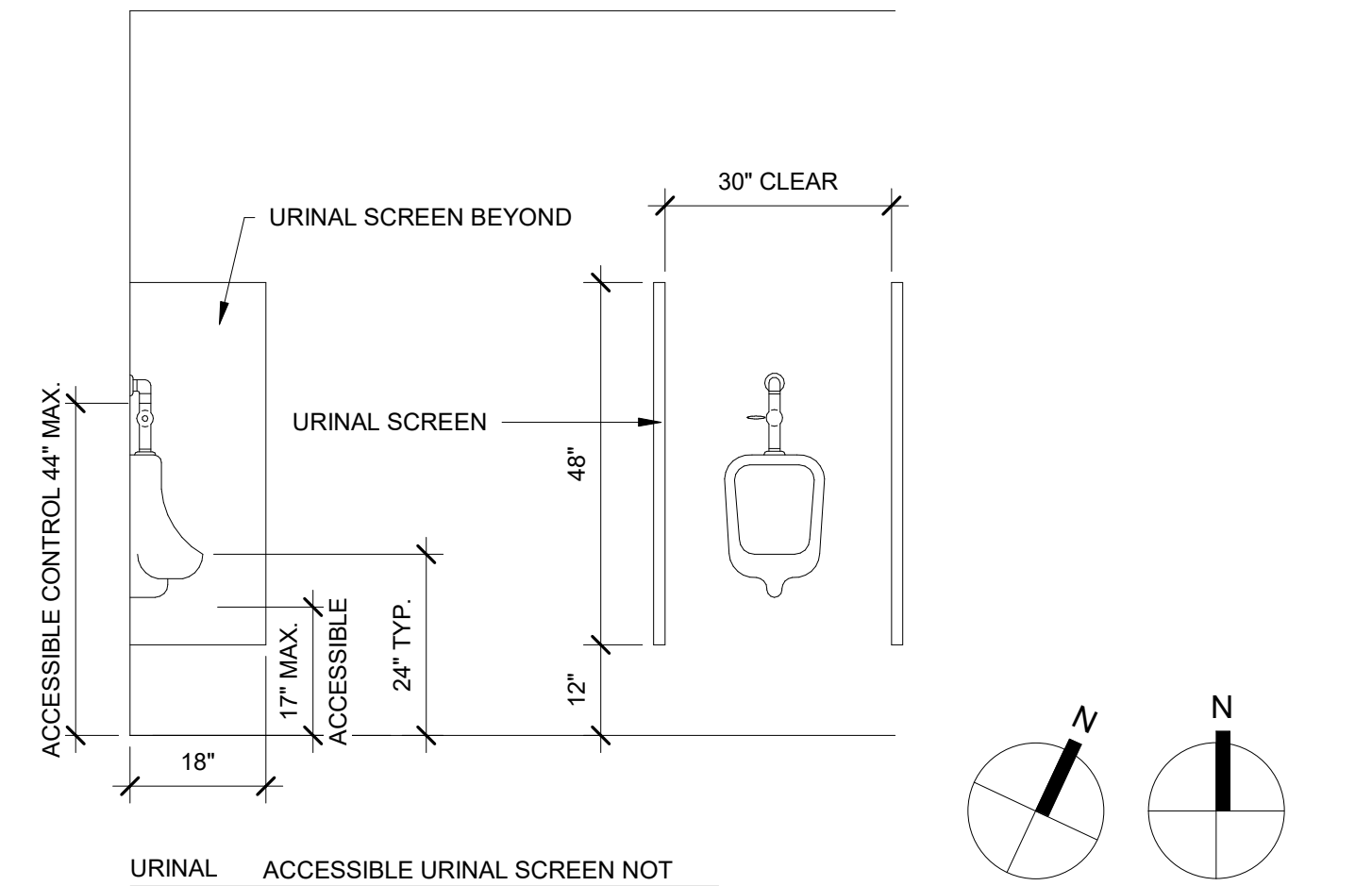
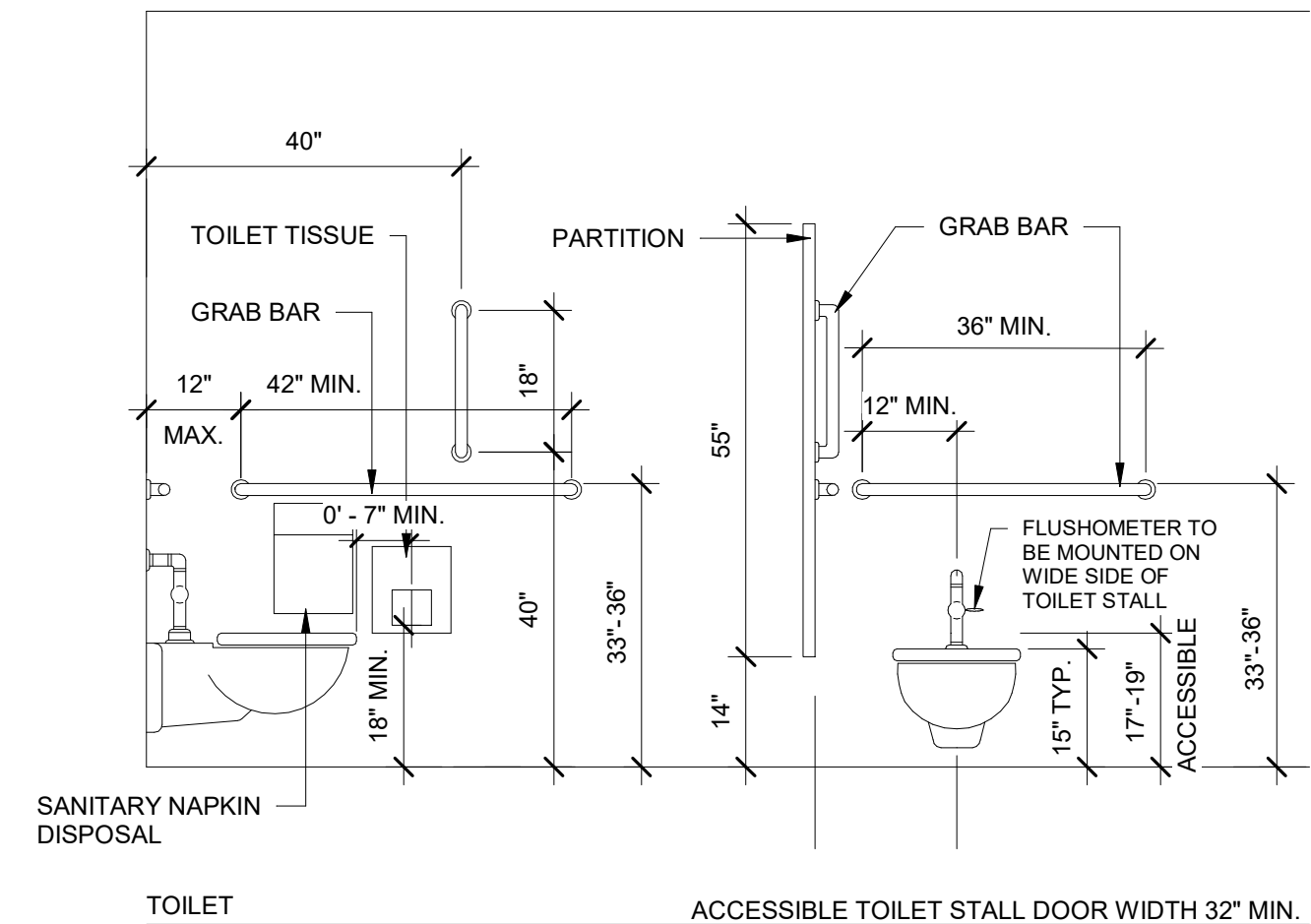
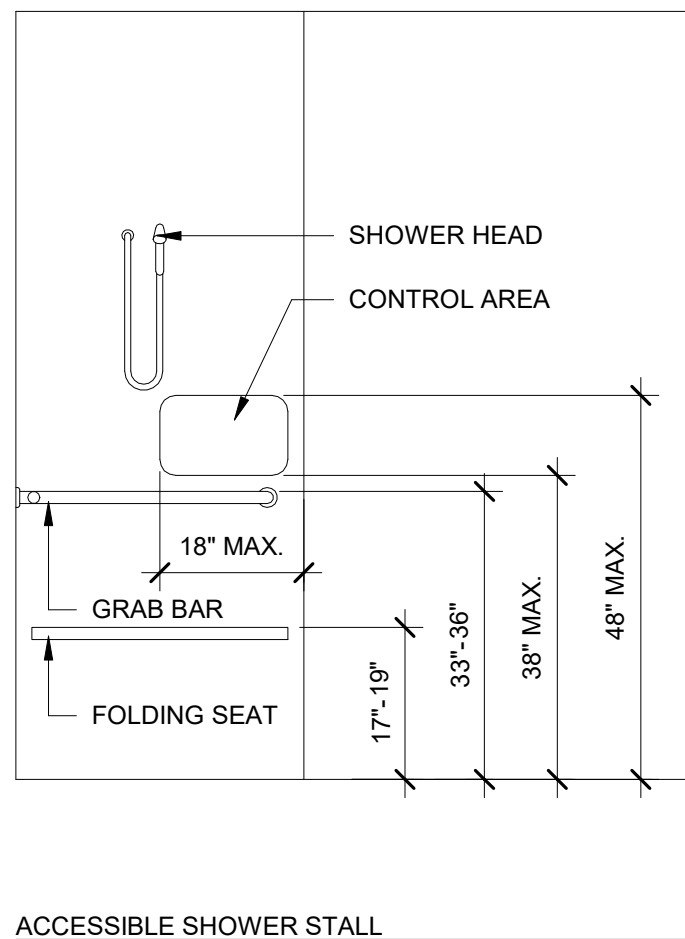
NOTES:
DENOTES HDOP ACCESSIBLE FIXTURE/
ACCESSORY COMPLYING WITH ANSI 117.1
SEE DETAILS THIS SHEET FOR TYPICAL FIXTURE
AND ACCESSORY MOUNTING INFORMATION.
ALL DIMENSIONS NOTED ON TOILET ROOM
PLANS ARE FROM FINISHED SURFACE.
INSTALL HANDICAPPED SYMBOL STICKER TO
ALL HANDICAPPED LAVATORIES AND
LOCKERS WHEN MORE THAN ONE FIXTURE /
LOCKER IS LOCATED WITHIN ROOM.

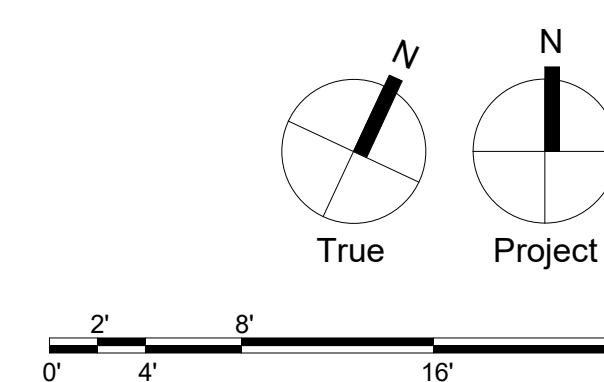
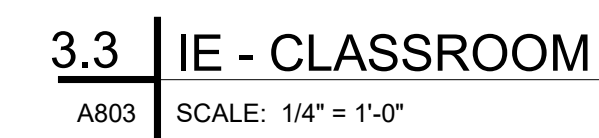
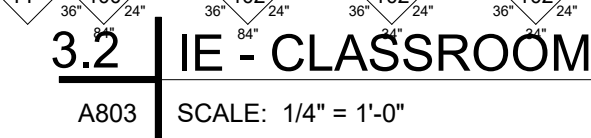
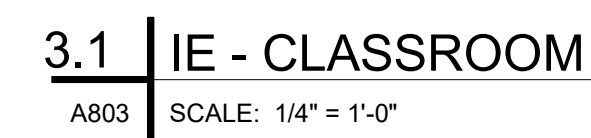
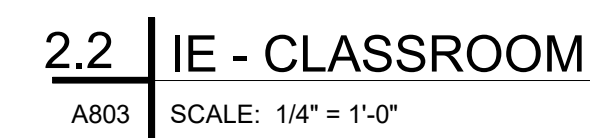
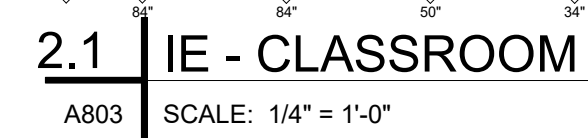
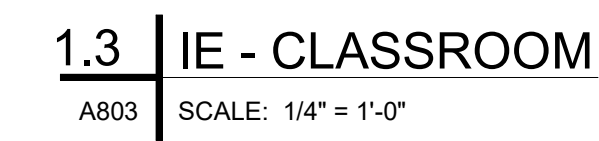
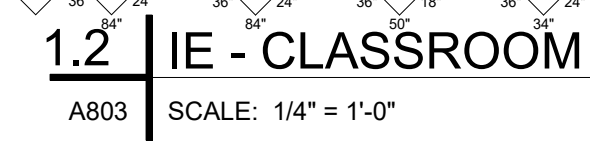
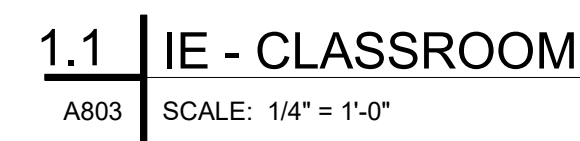
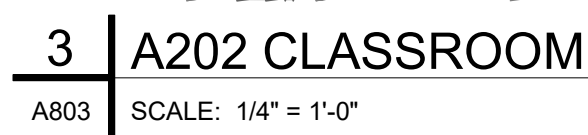
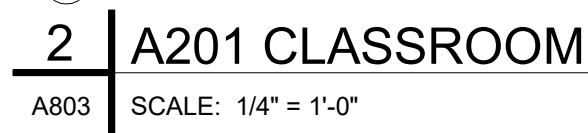
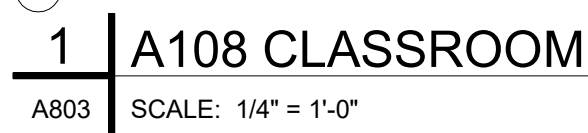


NOTE: TOILET T203 MIRRORED, TILE PATTERN TO BE MIRRORED.



NOTE: CONTRACTOR SHALL FURNISH AND INSTALL ALL BLOCKING AND SUPPLEMENTAL SUPPORT REQUIRED FOR
SECURE AND PROPER INSTALLATION OF TOILET ROOM FIXTURES AND ACCESSORIES.
ALL EXPOSED SUPPLY AND DRAINPIPS UNDER LAVATORIES AND SINKS SHALL BE INSULATED ANSI A117.1-606.6





Drawing Title:

ENLARGED
CLASSROOM PLANS
AND ELEVATIONS

Drawing Number:

A803

T&M Associates
74 West Broad Street, Suite 530
Bethlehem, PA 18018
(610) 625-2999

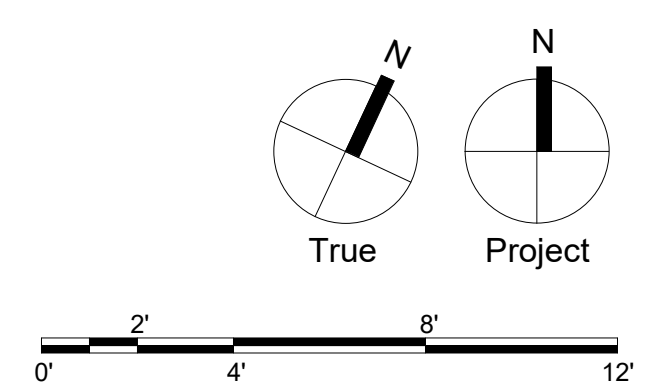
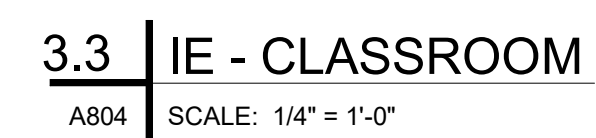
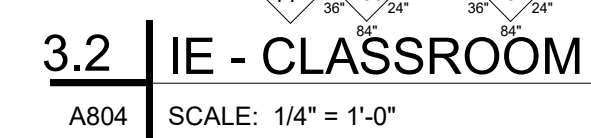
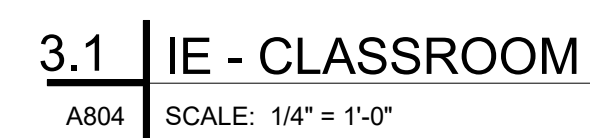
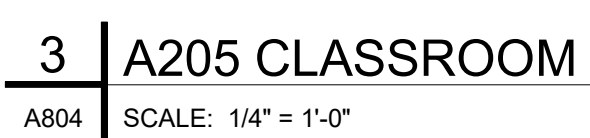
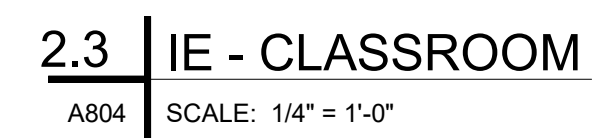
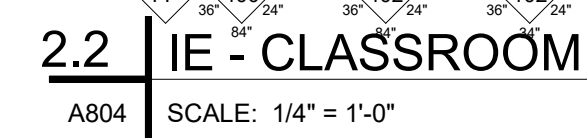
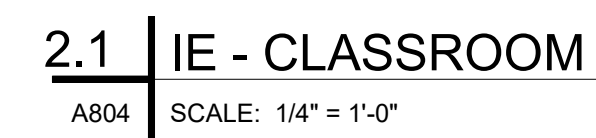
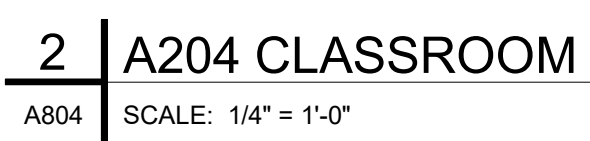
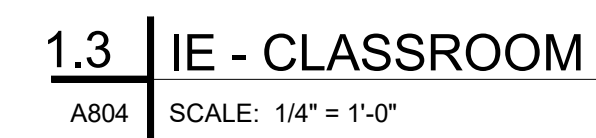
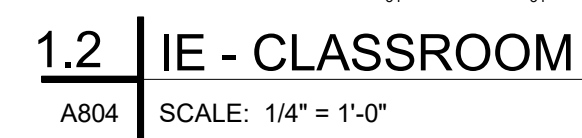
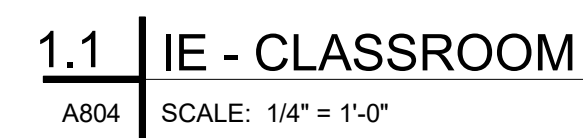
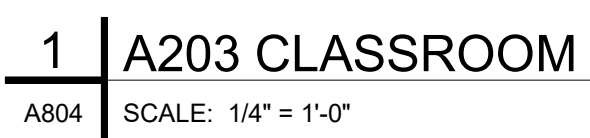
Structural Engineer
SCHRADERGROUP
153 East King Street, Suite 211-212
Lancaster, PA 17602
717.299.8965

1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

[illegible]

A804



Civil:

74 West Broad Street, Suite 530
Bethlehem, PA 18018
(610) 625-2999

MEP

1005 West Lehigh Street

Bethlehem, PA 18018

(610) 694-8020

Structural Engineer

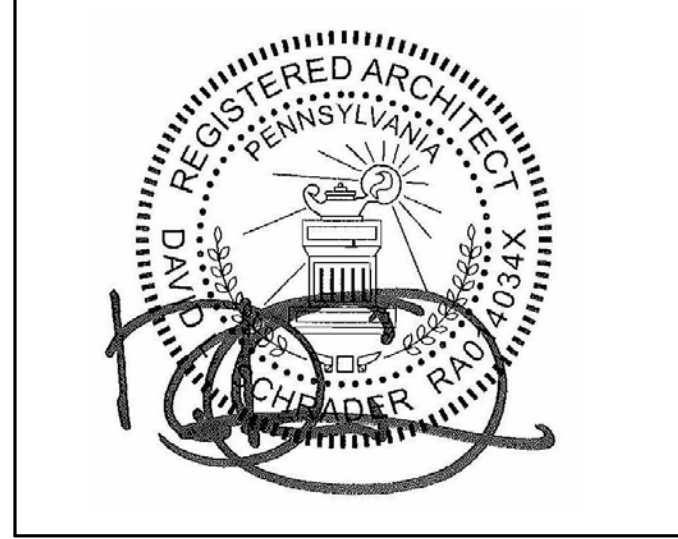
SCHRADERGROUP

153 East King Street, Suite 211-212

Lancaster, PA 17602

717.299.8965

Professional Seal:



Owner:

CHESTER UPLAND

SCHOOL DISTRICT

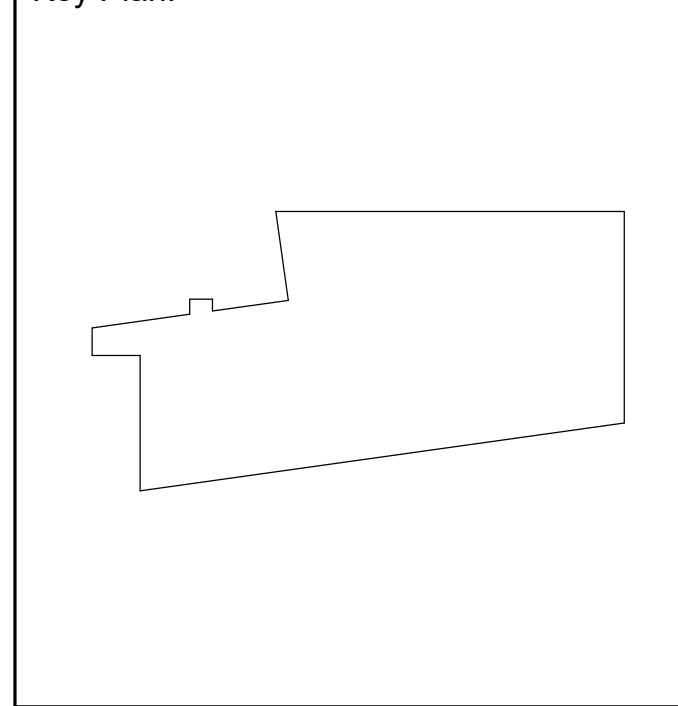
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

1350 EDGMONT AVENUE
CHESTER, PA 19013

DATE:	01/30/2023
SG PROJECT NUMBER:	22-023.1

Key Plan:

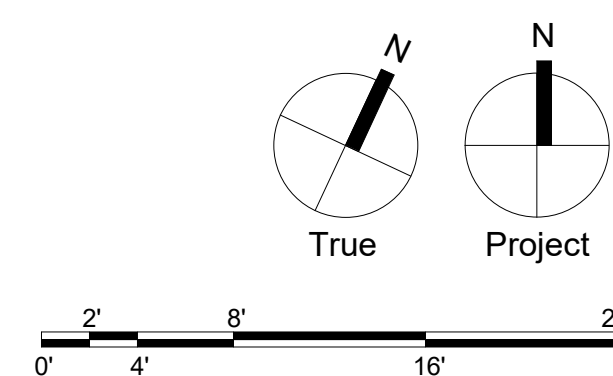
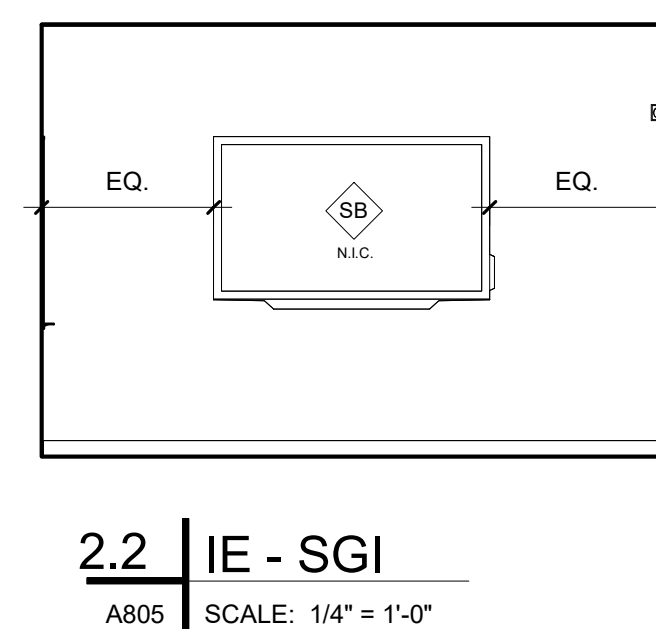
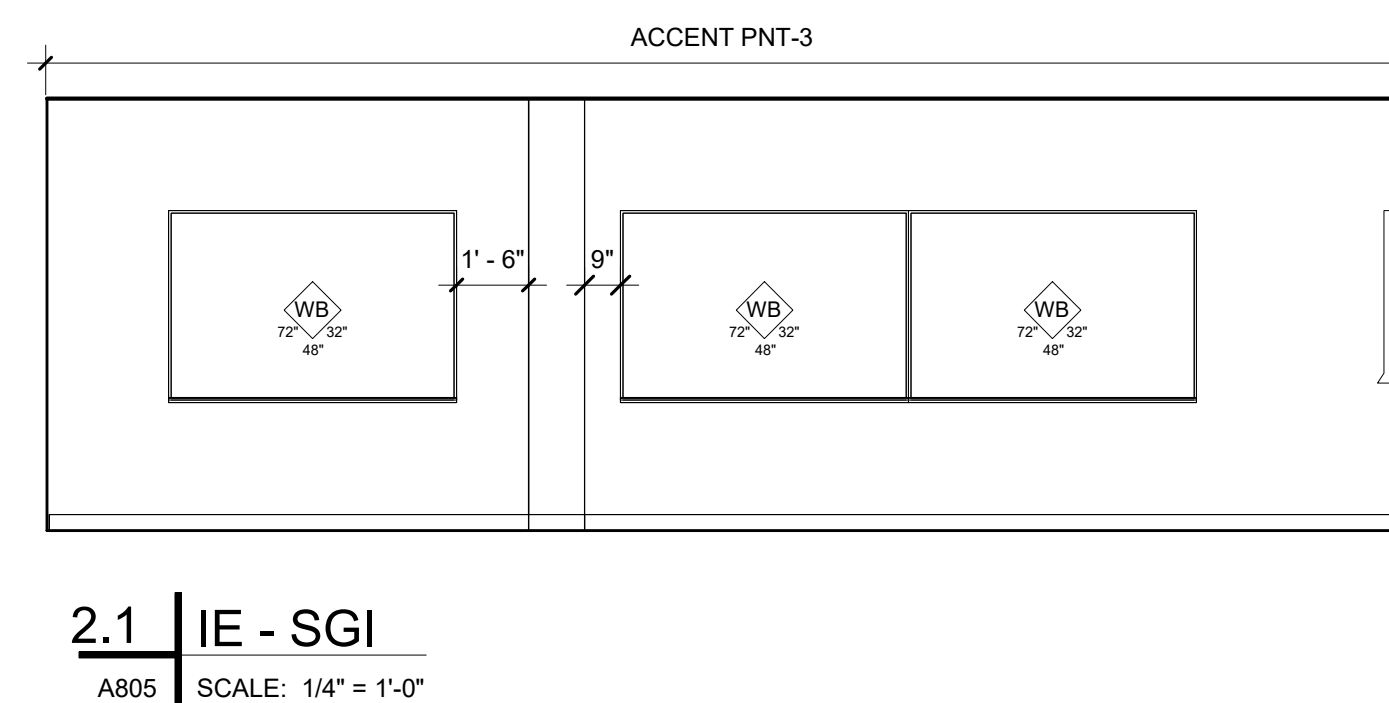
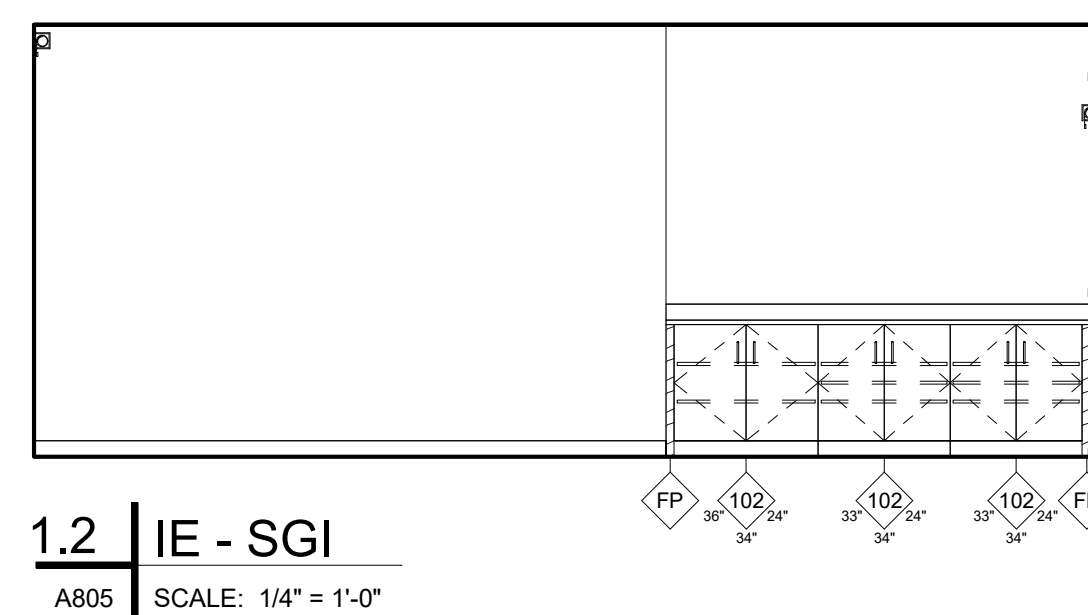
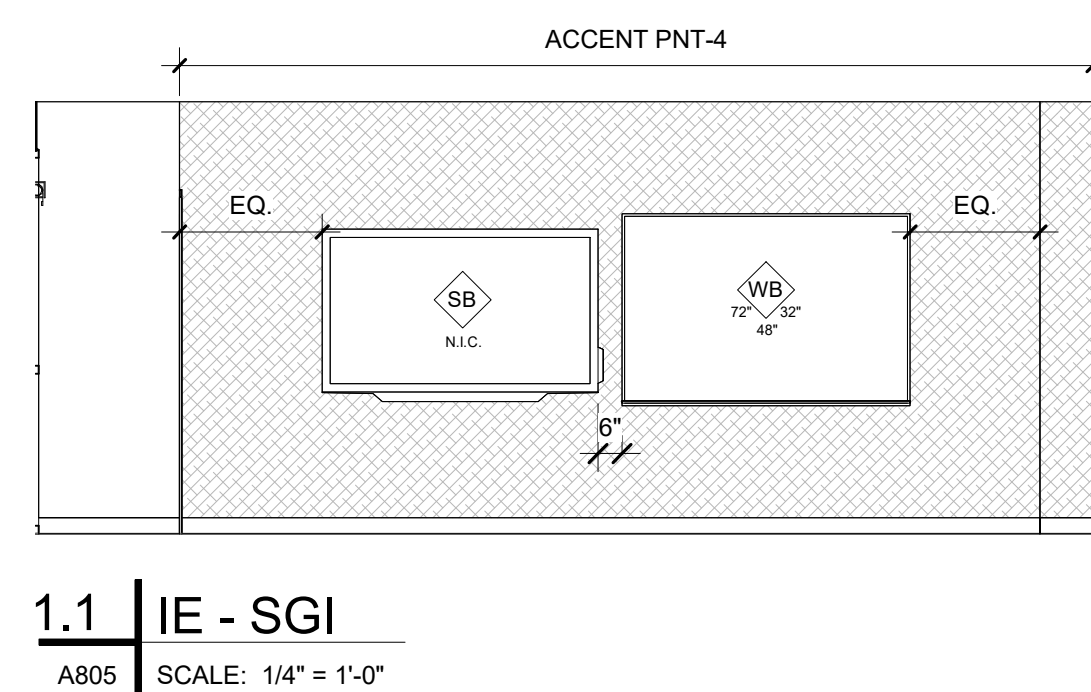
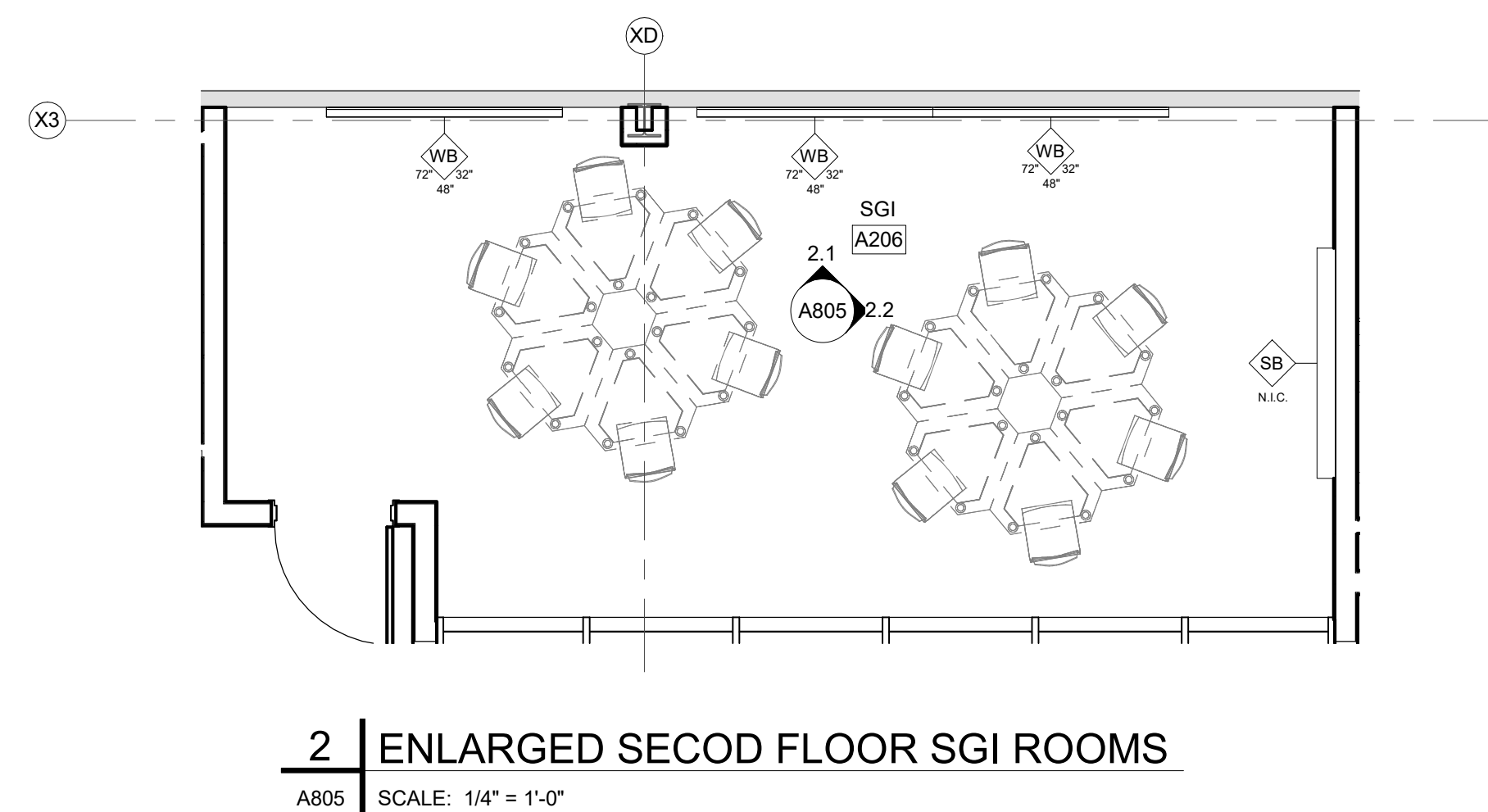
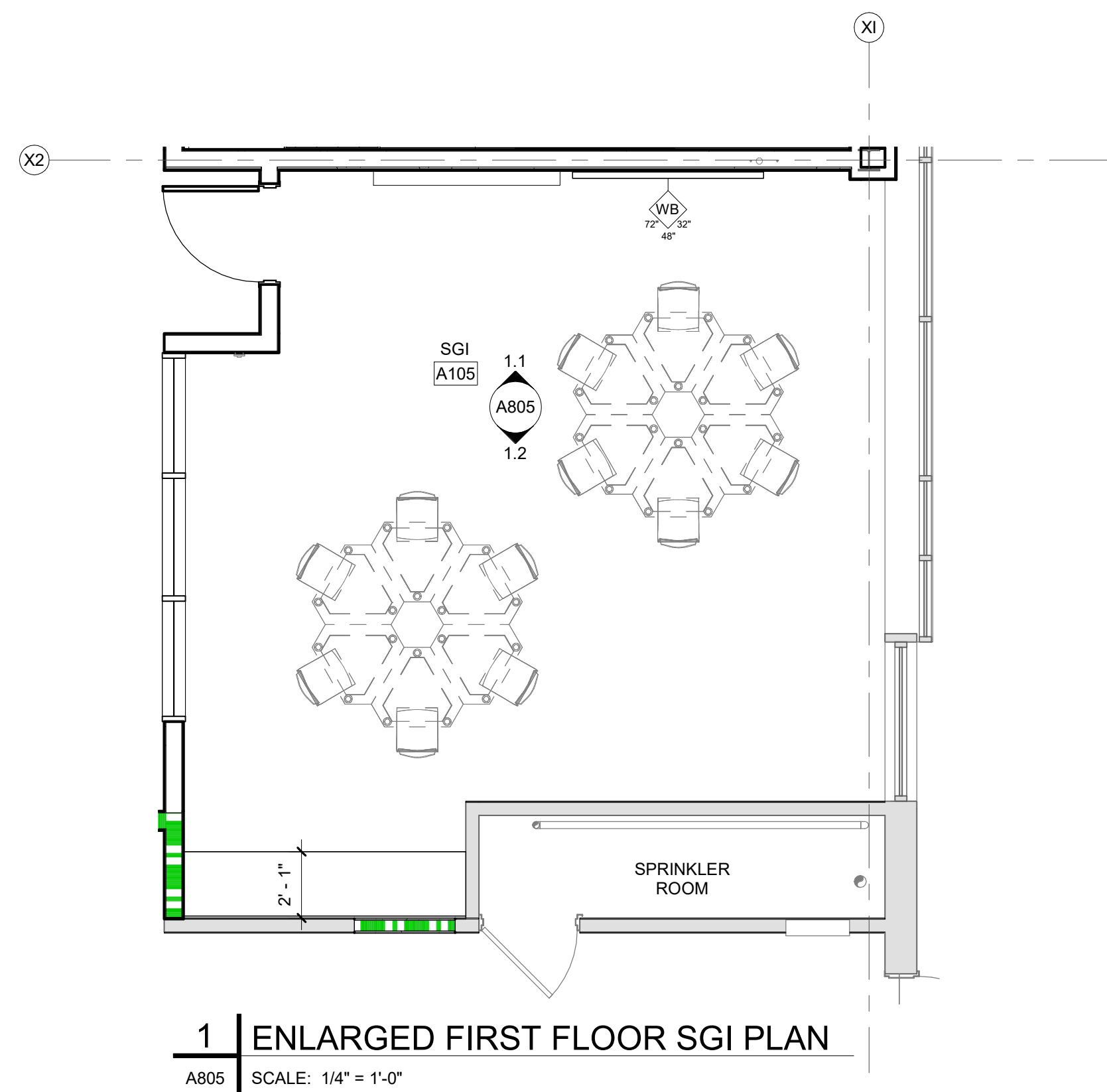


Drawing Title:

ENLARGED SGI PLANS
AND ELEVATIONS

Drawing Number:

A805



T&M Associates
74 West Broad Street, Suite 530
Bethlehem, PA 18018
(610) 625-2999

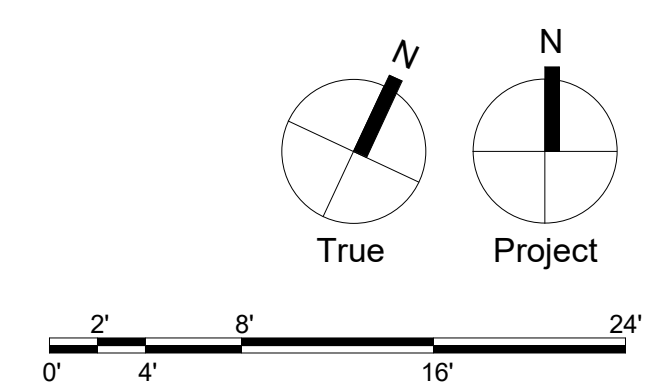
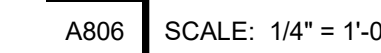
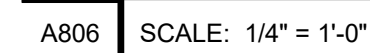
Structural Engineer
SCHRADERGROUP
153 East King Street, Suite 211-212
Lancaster, PA 17602
717.299.8965

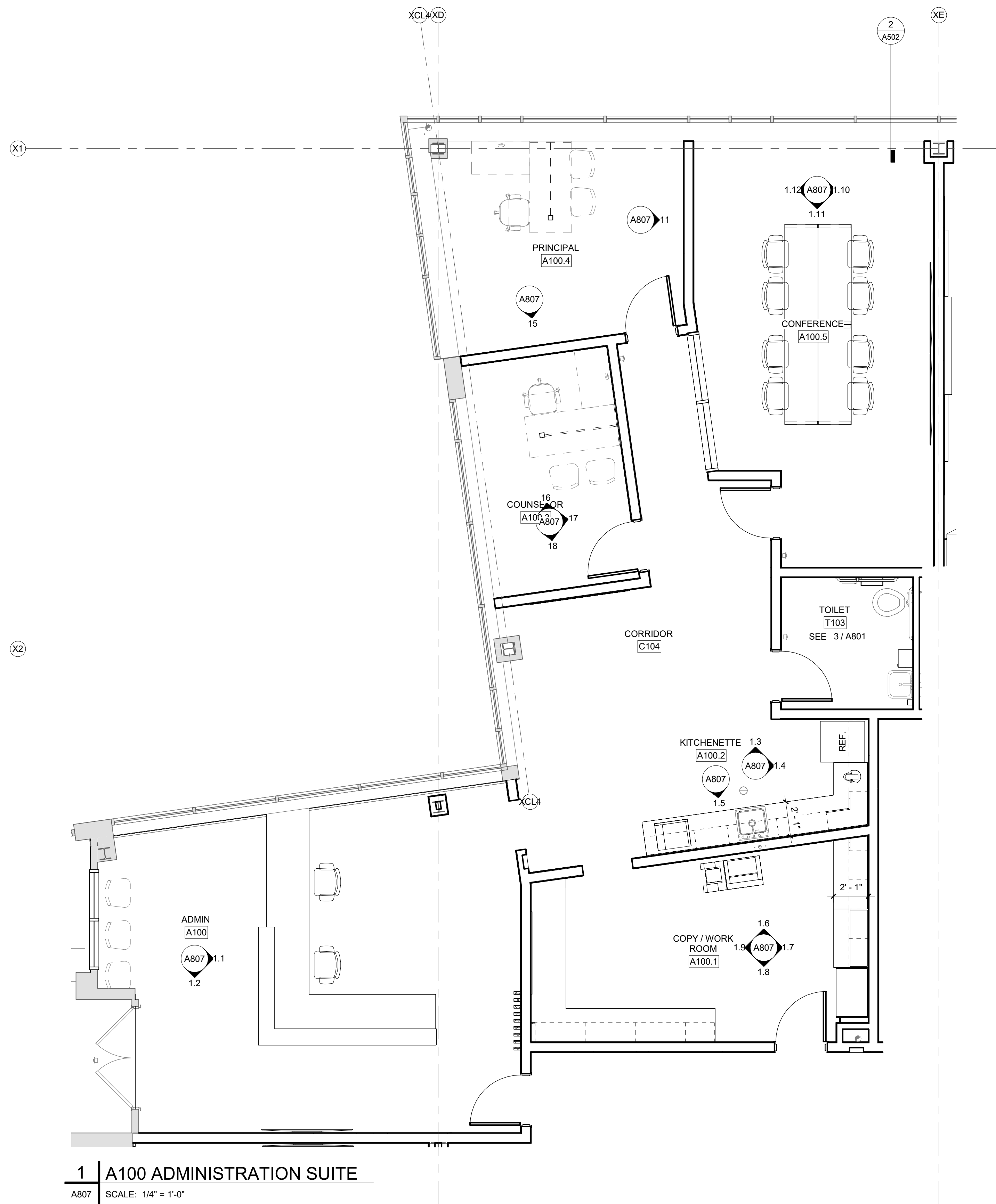
1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

[illegible]

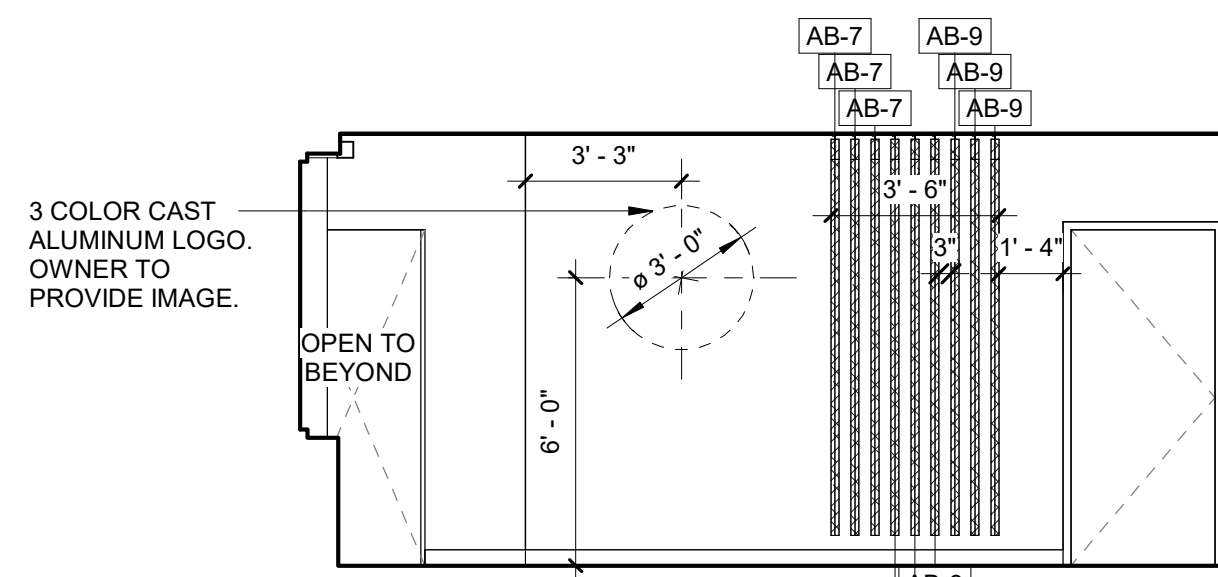
A806





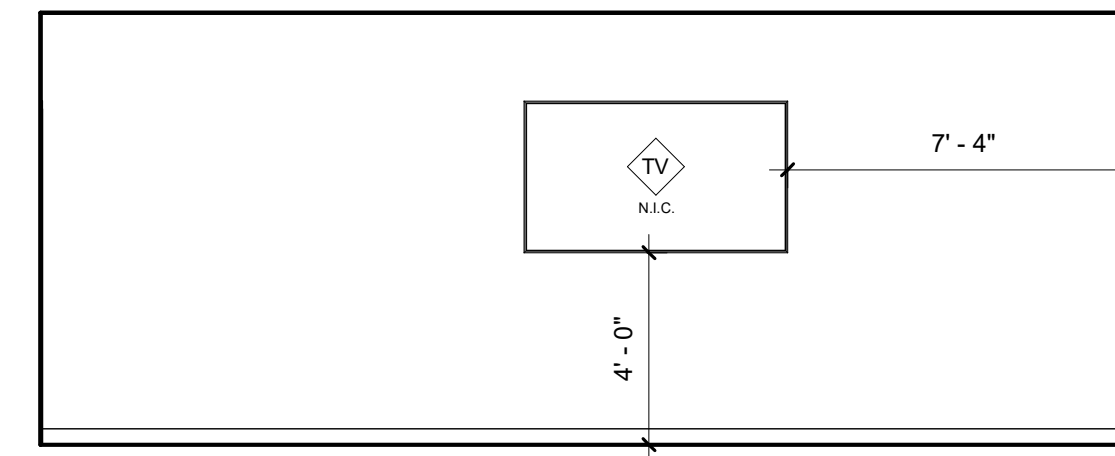
1 | A100 ADMINISTRATION SUITE

A807 SCALE: 1/4" = 1'-0"



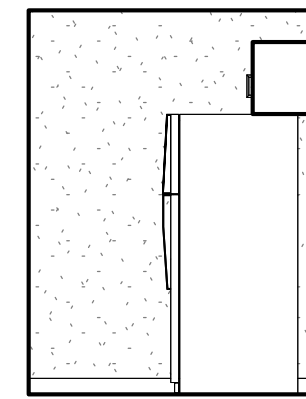
1.1 | IE - ADMINISTRATION

A807 SCALE: 1/4" = 1'-0"



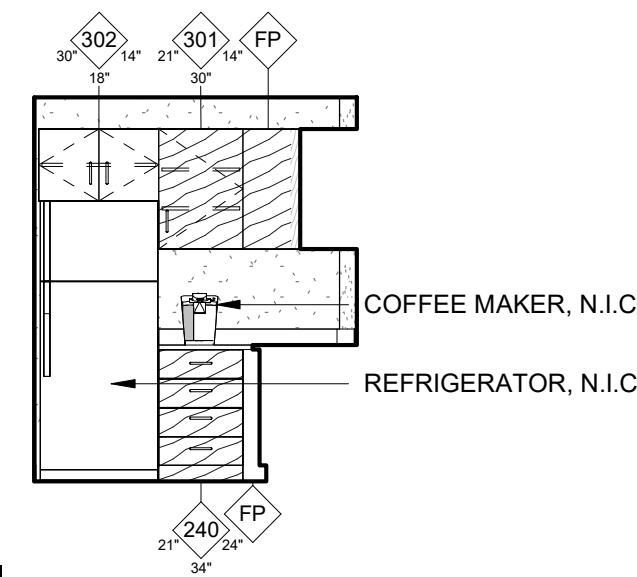
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A807 SCALE: 1/4" = 1'-0"



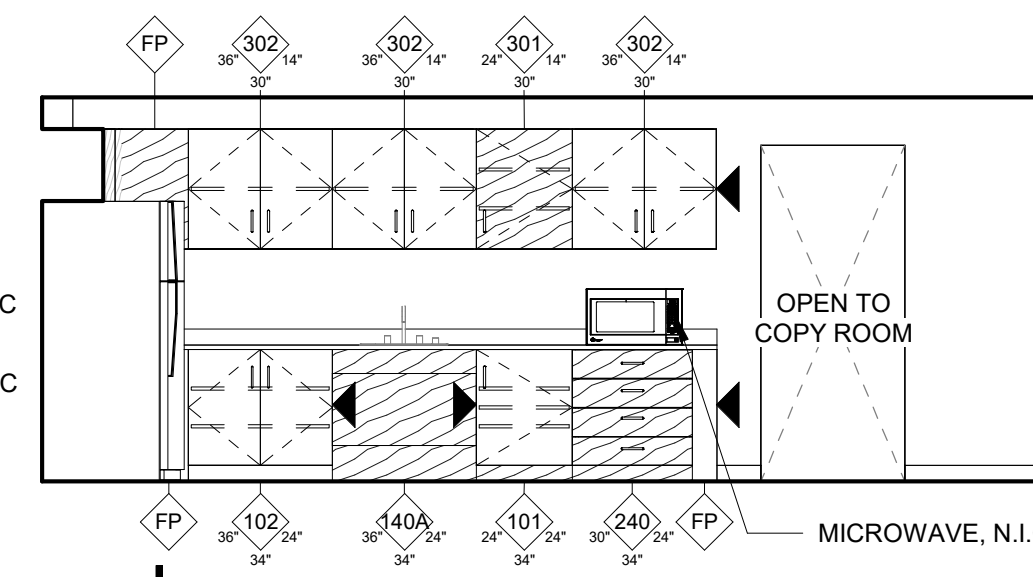
1.3 | IE - KITCHENETTE

A807 SCALE: 1/4" = 1'-0"



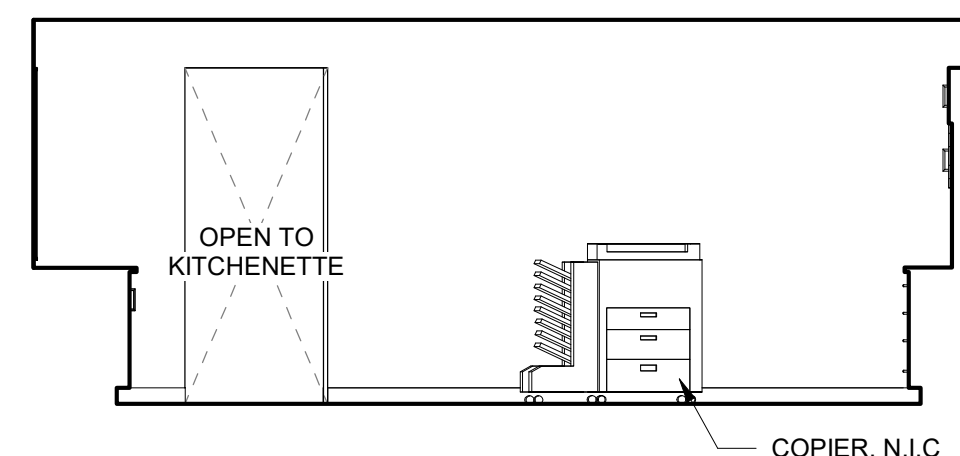
1.4 | IE - KITCHENETTE

A807 SCALE: 1/4" = 1'-0"



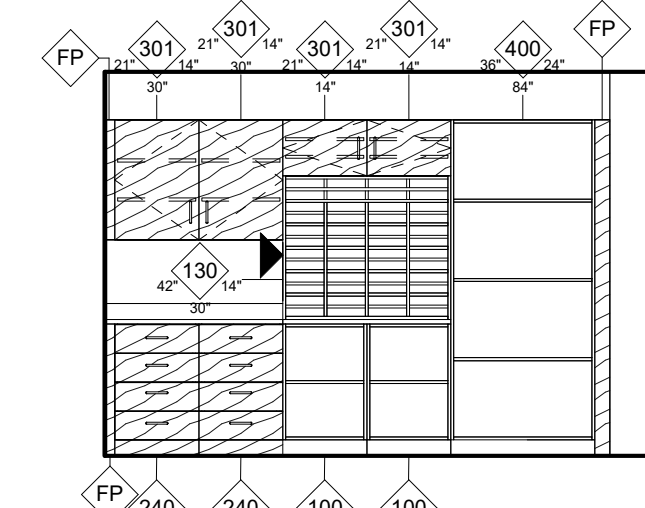
1.5 | IE - KITCHENETTE

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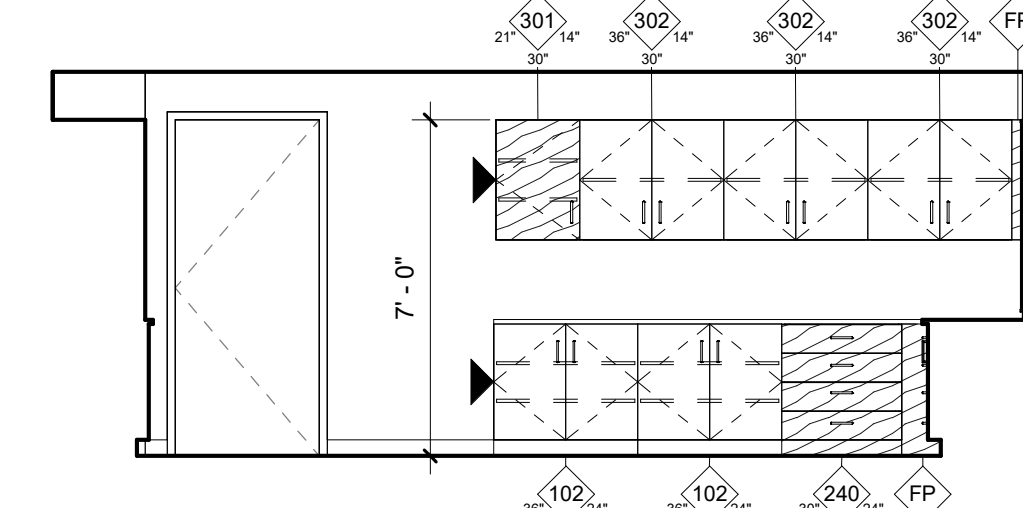
1.6 | IE - COPY/WORK ROOM

A807 SCALE: 1/4" = 1'-0"



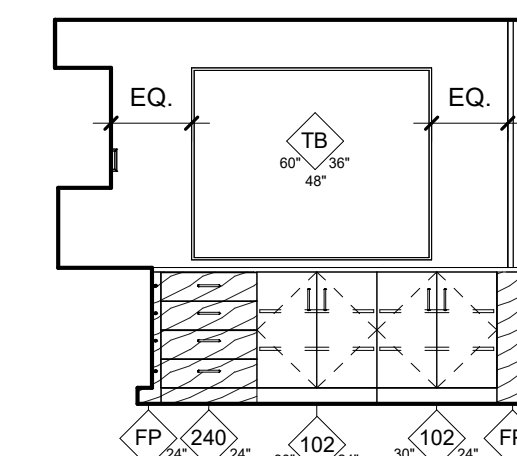
1.7 | IE - COPY/WORK ROOM

A807 SCALE: 1/4" = 1'-0"



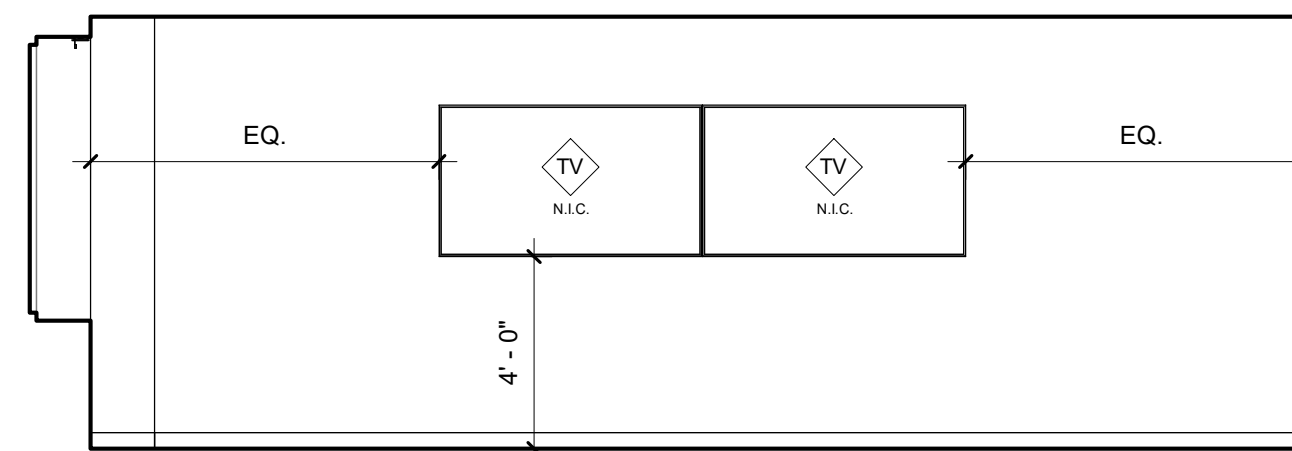
1.8 | IE - COPY/WORK ROOM

A807 SCALE: 1/4" = 1'-0"



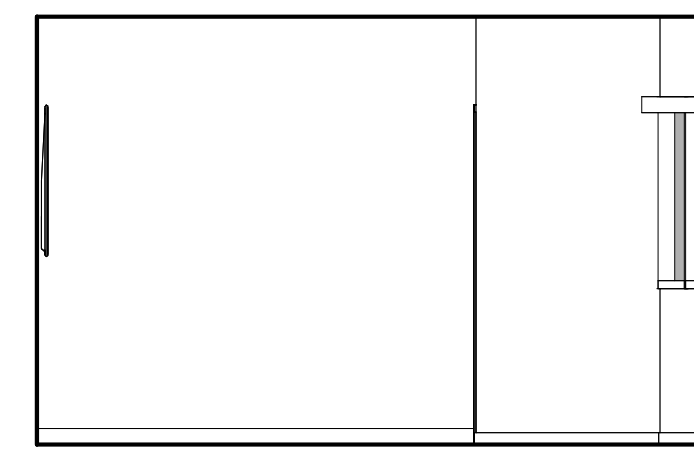
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A807 SCALE: 1/4" = 1'-0"



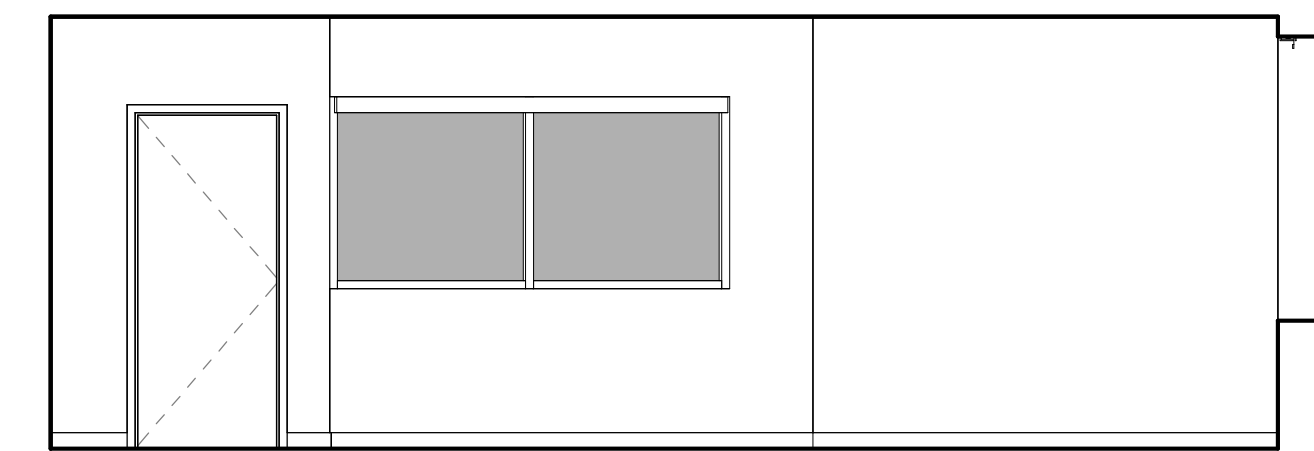
1.10 | IE - CONFERENCE

A807 SCALE: 1/4" = 1'-0"



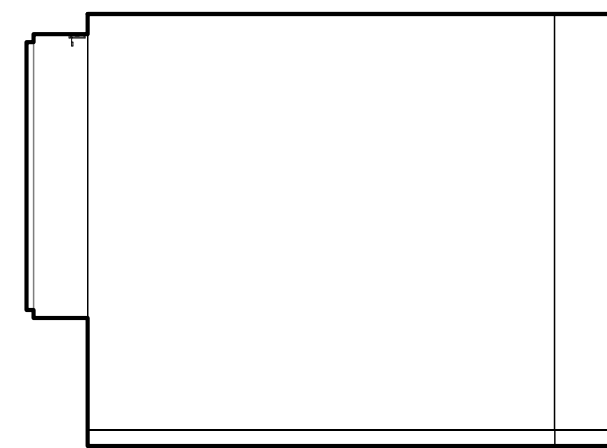
1.11 | IE - CONFERENCE

A807 SCALE: 1/4" = 1'-0"



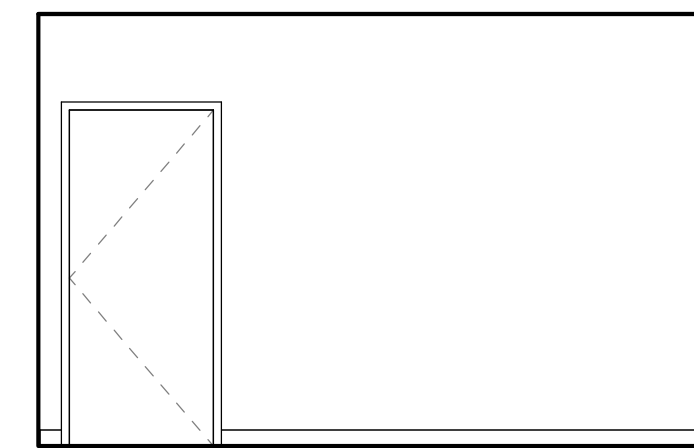
1.12 | IE - CONFERENCE

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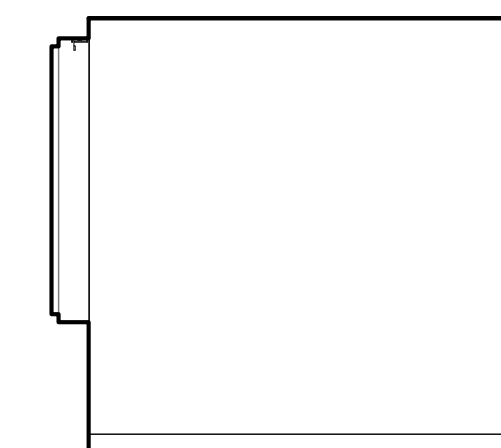
1.13 | IE - PRINCIPAL

A807 SCALE: 1/4" = 1'-0"



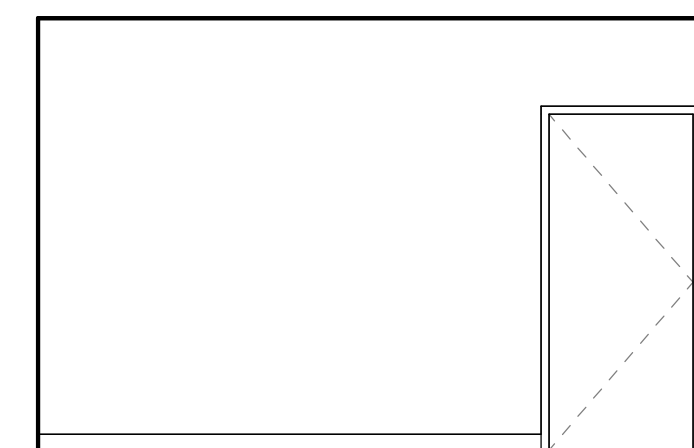
1.14 | IE - PRINCIPAL

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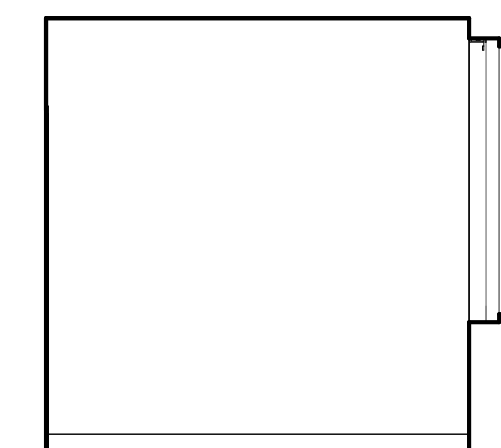
1.15 | IE - COUNSELOR

A807 SCALE: 1/4" = 1'-0"



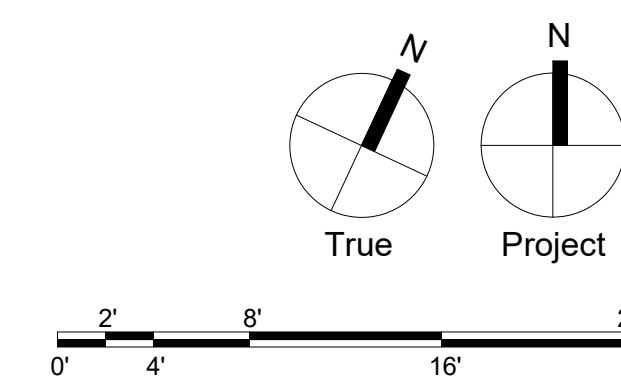
1.16 | IE - COUNSELOR

A807 SCALE: 1/4" = 1'-0"



1.17 | IE - COUNSELOR

A807 SCALE: 1/4" = 1'-0"



Civil:

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(610) 625-2999

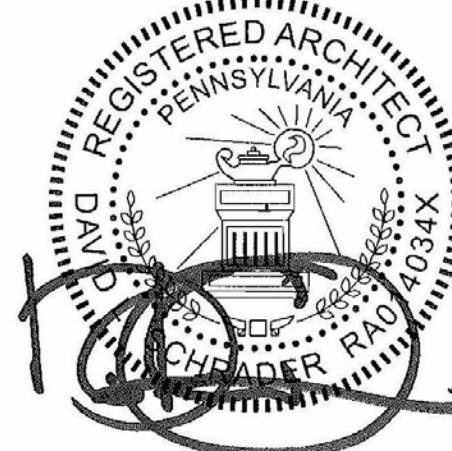
SNYDER HOFFMAN

1005 West Lehigh Street
Bethlehem, PA 18018
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Structural Engineer

SCHRADERGROUP
153 East King Street, Suite 211-212
Lancaster, PA 17602
717.299.8965

Professional Seal:



Owner:

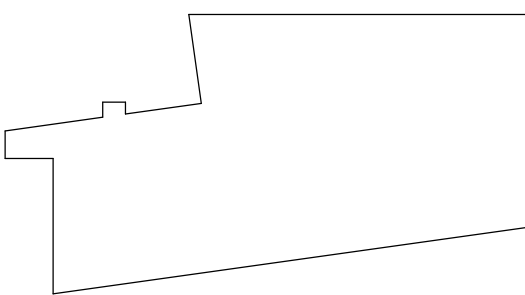
**CHESTER UPLAND
SCHOOL DISTRICT**
232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

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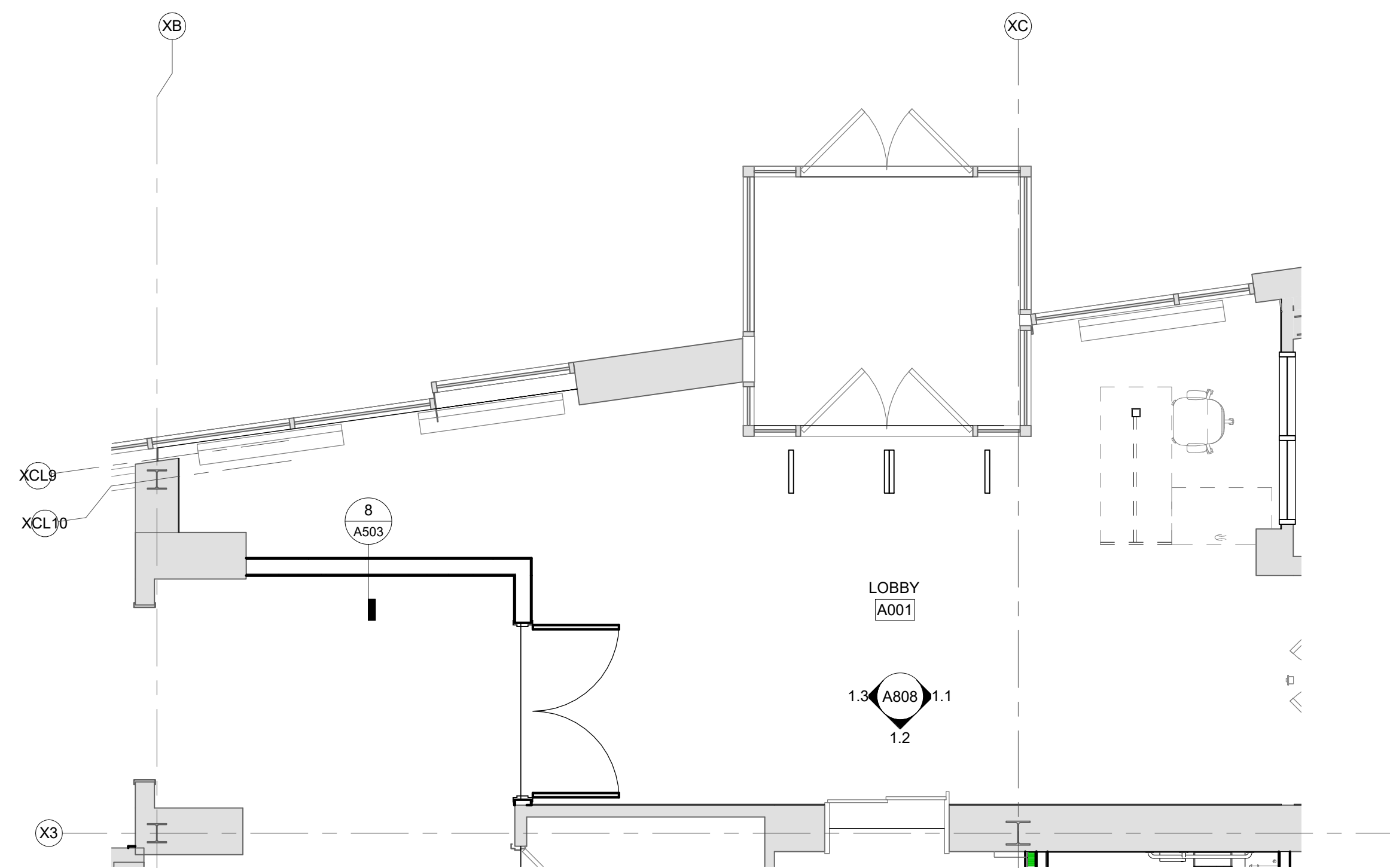


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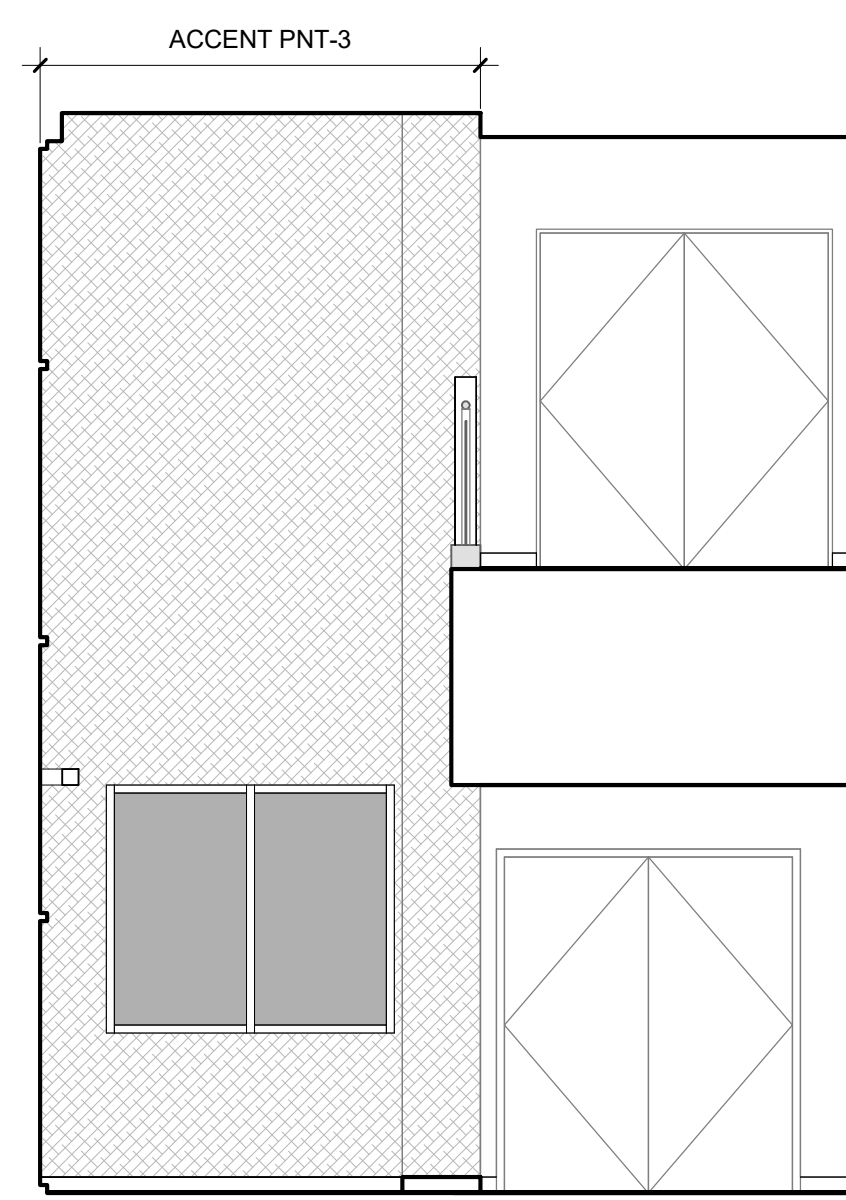
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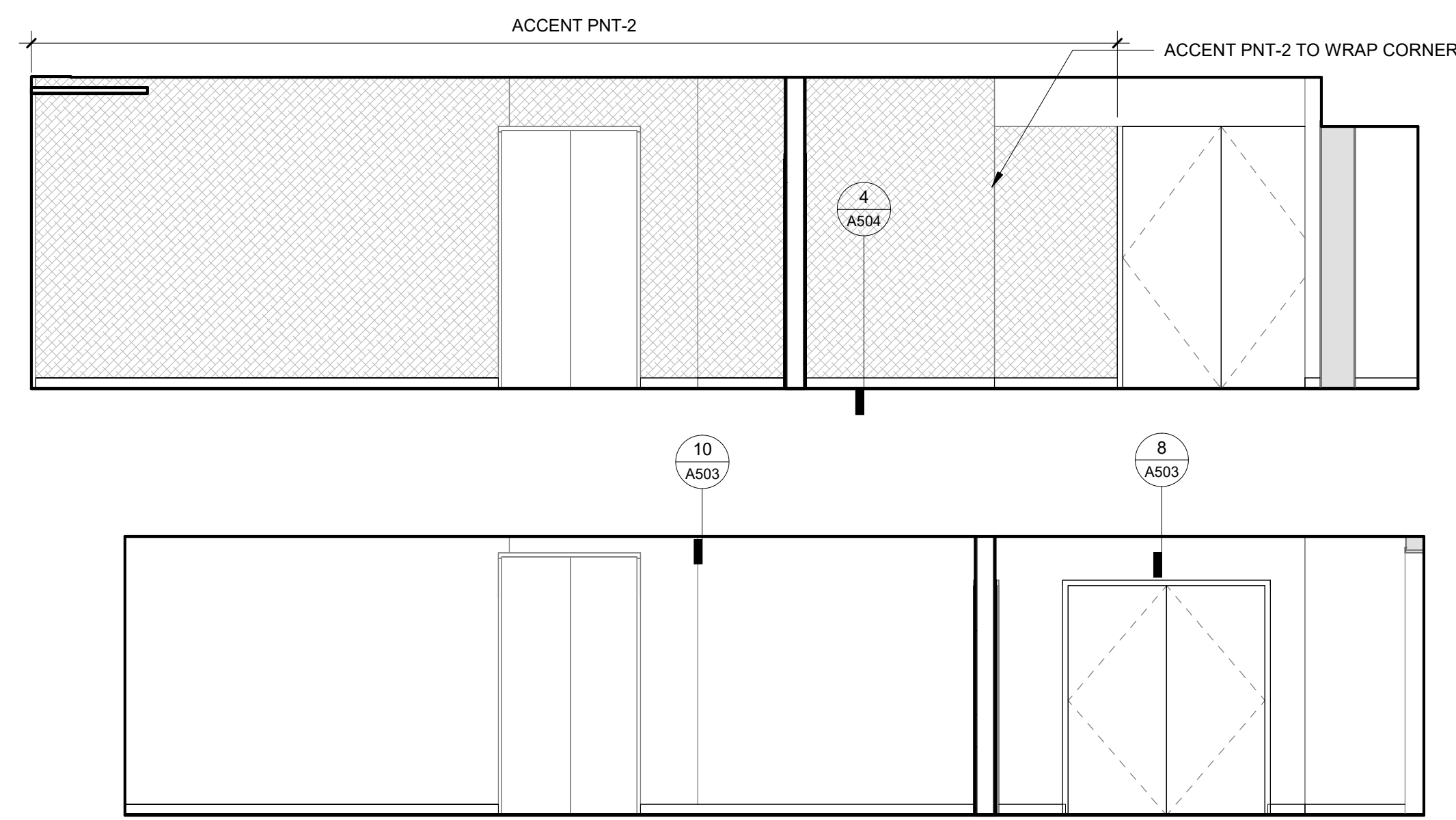
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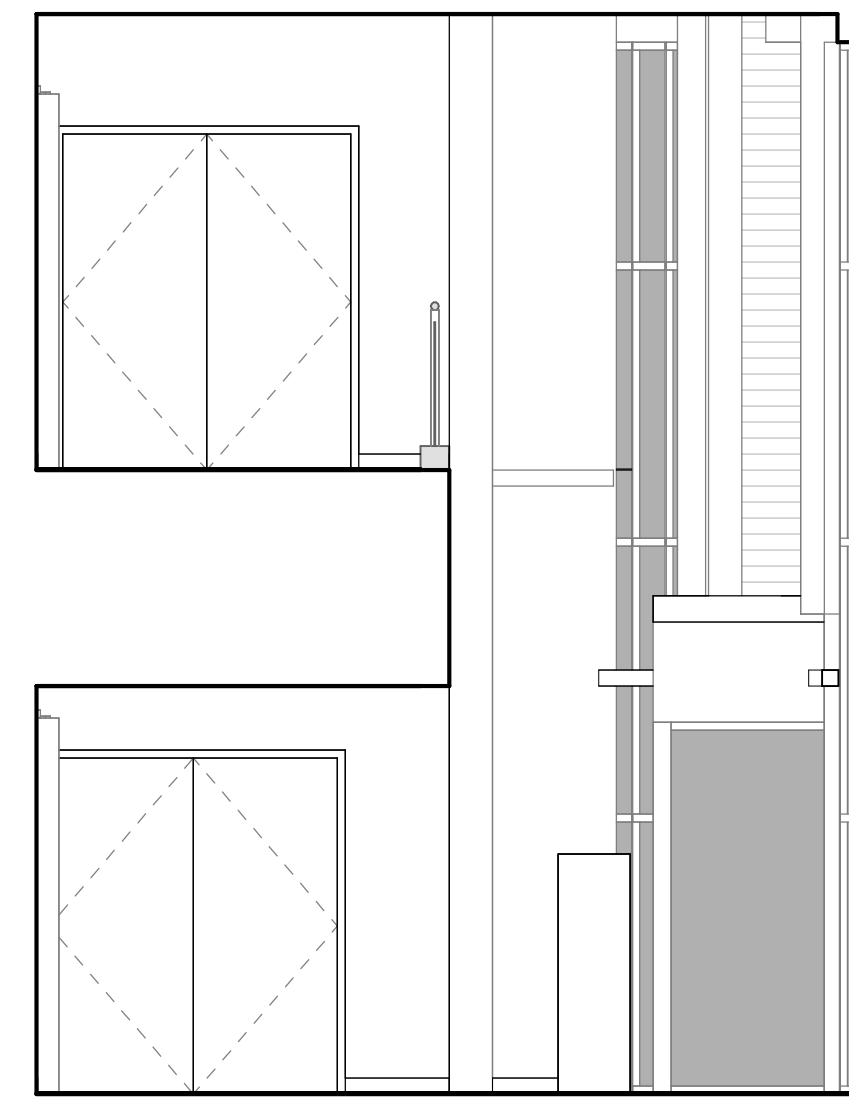
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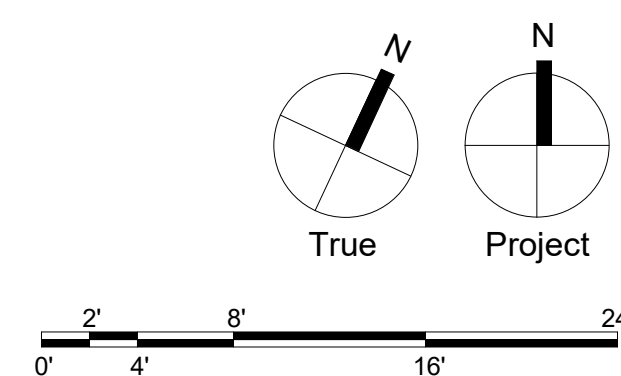
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A808 | SCALE: 1/4" = 1'-0"



1.2 | IE - LOBBY
A808 | SCALE: 1/4" = 1'-0"



1.3 | IE - LOBBY
A808 | SCALE: 1/4" = 1'-0"



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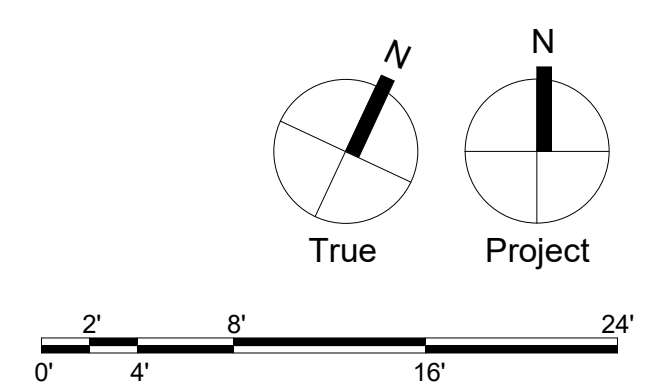
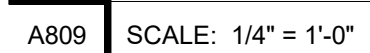
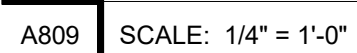
1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

NO.	DESCRIPTION	DATE
	BUILDING PERMIT SET	01/30/2023
	ISSUED FOR BIDDING	01/30/2023

SG PROJECT NUMBER:	22-023.1
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A809



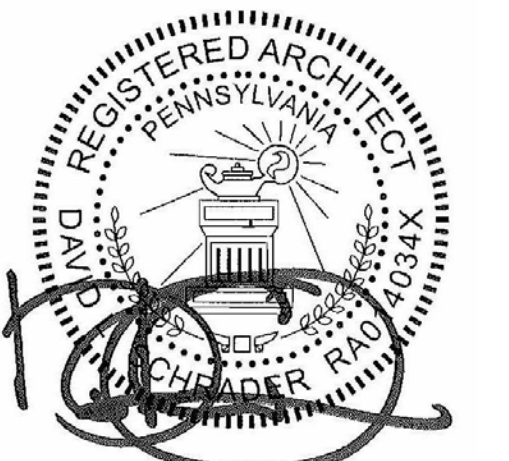
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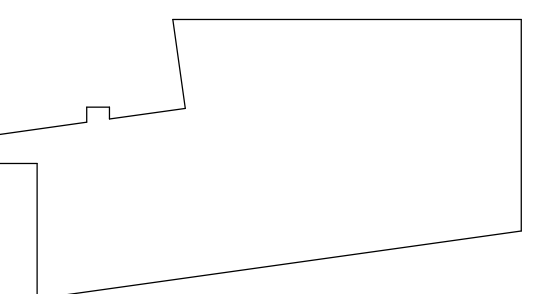
1350 EDMONT AVENUE
RENOVATIONS

CHESTER, PA 19013

ISSUED FOR:

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Key Plan:

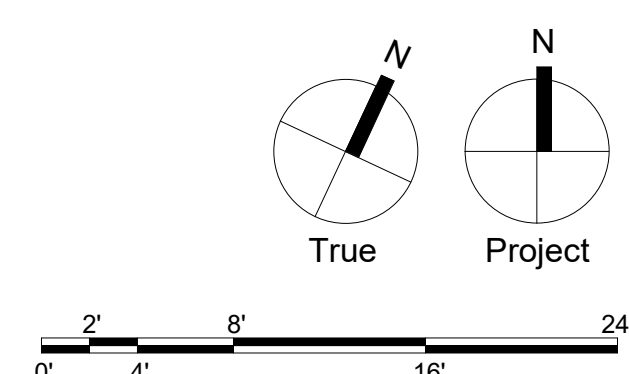
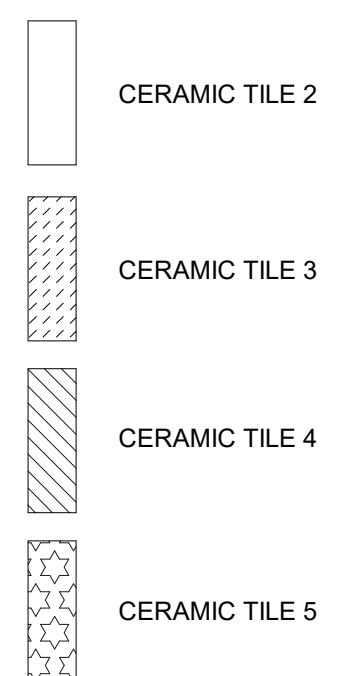
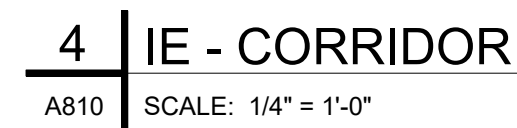
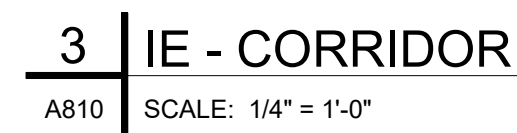
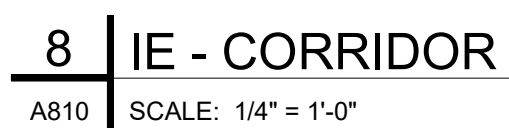
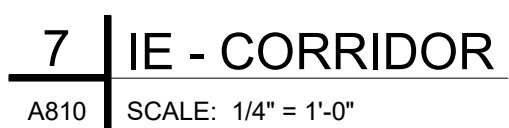
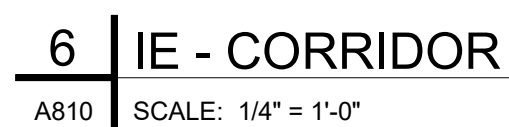
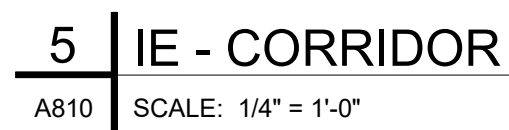
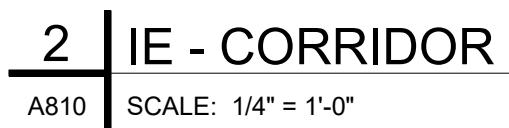
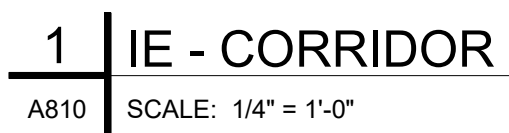


Drawing Title:

CORRIDOR ELEVATIONS

Drawing Number:

A810



Civil

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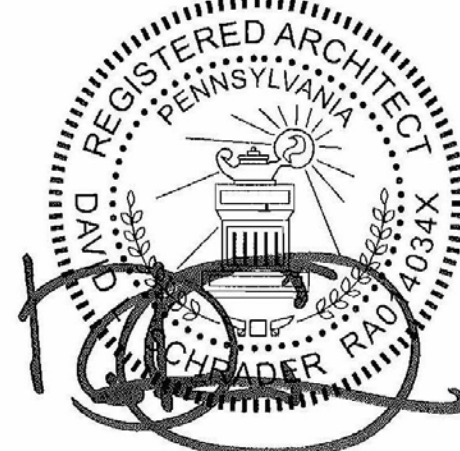
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Professional Seal:



Owner:

Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

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CHESTER PA 19013

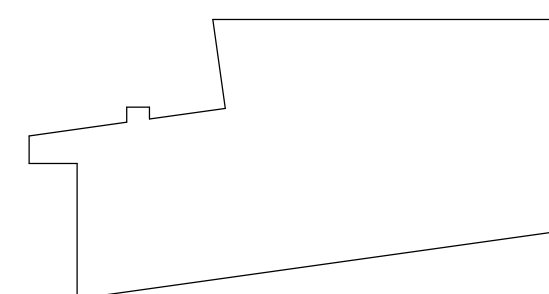
ISSUED FOR:

[illegible]

DATE: 01/30/2023

SG PROJECT NUMBER: 22-023.1

Key Plan:



Drawing Title:

CASEWORK LEGEND

Drawing Number:

A841

CASEWORK SCHEDULE			
100		PLAM BASE CABINET WITH ADJUSTABLE SHELF NO ADJUSTABLE SHELF FOR 1' - 6" UNITS (2) ADJUSTABLE SHELVES FOR 3' - 0" UNITS (3) ADJUSTABLE SHELVES FOR 5' - 0" UNITS	
101		PLAM BASE CABINET WITH SINGLE DOOR W/ ADJUSTABLE SHELF	
102		PLAM BASE CABINET WITH DOUBLE DOORS W/ ADJUSTABLE SHELF	
130		PLAM OPEN CUBBIES	
140A		PLAM ADA SINK BASE	
240		PLAM BASE WITH FOUR DRAWERS	
300		PLAM UPPER CABINET WITH ADJUSTABLE SHELVES	
301		PLAM UPPER CABINET WITH SINGLE DOOR AND ADJUSTABLE SHELVES	
302		PLAM UPPER CABINET WITH DOUBLE DOORS AND ADJUSTABLE SHELVES	
400		<varies>	
402		PLAM TALL CABINET WITH DOUBLE DOORS AND ADJUSTABLE SHELVES NOTE: ALL CASEWORK LOCATED IN ALL SCIENCE ROOMS (BIOLOGY, CHEMISTRY, PHYSICS), PREP ROOMS, AND CHEM. STORAGE ARE TO BE SOLID WOOD LABORATORY CASEWORK.	
FP			
TB			
TS			
WB			

NOTES

1. CONTRACTOR TO PROVIDE CASEWORK FILLER PANELS TO MATCH CASEWORK FINISH WHERE NECESSARY TO COMPLETE A LINE OF CASEWORK.
2. CONTRACTOR TO REVIEW ALL MECHANICAL, PLUMBING, ELECTRICAL, AND A/V DRAWINGS TO COORDINATE LOCATION OF ALL SERVICES THAT MAY BE ROUTED THROUGH AND AROUND CASEWORK.
3. FOR EXACT ELEVATION OF DOORS AND WINDOWS, REFER TO DOOR AND WINDOW ELEVATION DRAWINGS.
4. ALL BASE CASEWORK WITH HEIGHT AT 2'-10" SHALL HAVE ACTUAL DIMENSIONS TO ENSURE HEIGHT OF SINK DOES NOT EXCEED 34" A.F.F. THIS APPLIES TO ALL BASE CASEWORK WITH SINKS.

SIGNAGE SCHEDULE				
DOOR NO.	SIGN TYPE	NUMBER ON SIGN	TEXT ON SIGN	COMMENTS
	9	-	EXIT	
	8	-	ENTRANCE	
A001-1	11	-	STAIRS	
A001-2	11	-	STAIRS	
A100-1	6	-	COPY ROOM	
A100-3	3	-	COUNSELOR	
A100-4	3	-	COUNSELOR	
A100-5	2	-	CONFERENCE ROOM	
A101	4	101	-	
A102	4	102	-	
A103	4	103	-	
A104	4	104	-	
A105	4	105	-	
A106	4	106	-	
A107	4	107	-	
A108	4	108	-	
A109-1	5	109	KITCHEN	
A109-2	5	109	KITCHEN	
A109-3	9	-	EXIT	
A109-1	6	-	LOCKER ROOM	
A109-2	6	-	KITCHEN OFFICE	
A110-2	7	-	SERVING	
A110-3	7	-	SERVING	
A111-1	5, 10	111	MULTI-PURPOSE ROOM, MAX. OCCUPANCY #	
			MULTI-PURPOSE ROOM	
A112	4	112	-	
A201	4	201	-	
A202	4	202	-	
A203	4	203	-	
A204	4	204	-	
A205	4	205	-	
A206	4	206	-	
C101-2	7	-	ADMIN.	
C101-3	9	-	EXIT	
C101-4				
C103-1	11	-	STAIRS	
C103-2	9	-	EXIT	
C201-1	8	-	DISTRICT ADMIN.	
C201-2	11	-	STAIRS	
C201-3	8	-	DISTRICT ADMIN.	
C201-4				
door 26	8	-	SPRINKLER ROOM	
door 27	7	-	STORAGE	
door 28	7	-	CUSTODIAL	
door 29	11	-	STAIRS	
door 30	8	-	SERVICE ROOM	
door 31	7	-	ELECTRICAL	
door 32	7	-	ELECTRICAL	
door 33	7	-	ELECTRICAL	
door 35	1B	-	GIRL'S TOILET	
door 36	7	-	CUSTODIAL	
door 37	1B	-	BOY'S TOILET	
door 59	8	-	ELEVATOR MACHINE ROOM	
door 64	7	-	ADMIN.	
door 67	9	-	EXIT	
door 272	7	-	ELECTRICAL	
door 273	7	-	MECHANICAL	
door 287	7	-	KITCHENETTE	
T101	1A	-	TOILET ROOM	
T102	1A	-	TOILET ROOM	
T103	1A	-	TOILET ROOM	
T104-1	1A	-	TOILET ROOM	
T201	1B	-	BOY'S TOILET	
T202	1B	-	GIRL'S TOILET	
T203	1A	-	TOILET ROOM	
T204	1A	-	TOILET ROOM	

FINISH SPECIFICATIONS

Sort Order	BASIS OF DESIGN	FINISH	TAG	BASIS OF DESIGN			APPROVED EQUAL				INSTALLATION METHOD	COMMENTS
	FINISH			MATERIAL	MANUFACTURER	PRODUCT	COLOR	SIZE	MANUFACTURER	PRODUCT		
FLOOR												
1	FLOOR	FLOOR	CONC-1	SEALED CONCRETE	SHERWIN WILLIAMS	GENERAL POLYMERS - GP 3477 EPOXY SEALER	SW7017 DORIAN GRAY					
1	FLOOR	FLOOR	CPT-1	CARPET TILE	INTERFACE	OPEN AIR - 403 ACCENT	107127 CLEMENTINE	50CM X 50XM			LAY-OUT: NON-DIRECTIONAL	
1	FLOOR	FLOOR	CT-1	CERAMIC TILE	DAL TILE	VOLUME 1.0	STEREO GREY VL73	12" X 24" X 5/16"			GROUT JOINT: 3/16"	EPOXY GROUT COLOR: MAPEI KERAPOXY; TBD
1	FLOOR	FLOOR	EF-1	EPOXY FLOOR	SHERWIN WILLIAMS	1/4" RESUFLOOR DECO FLAKE BC	ECLIPSE					
1	FLOOR	FLOOR	HVT-1	HOMOGENEOUS VINYL TILE	TOLI	FASOLPLUS	2007 COTTON	17.7" X 17.7"				
1	FLOOR	FLOOR	HVT-2	HOMOGENEOUS VINYL TILE	TOLI	FASOLPLUS	2024 MELON	17.7" X 17.7"				
1	FLOOR	FLOOR	HVT-3	HOMOGENEOUS VINYL TILE	TOLI	FASOLPLUS	2025 PUMPKIN	17.7" X 17.7"				
1	FLOOR	FLOOR	HVT-4	HOMOGENEOUS VINYL TILE	TOLI	FASOLPLUS	2066 TANGERINE	17.7" X 17.7"				
1	FLOOR	FLOOR	RBR-1	RUBBER FLOOR TILE	NORA SYSTEMS - INTERFACE	NORAPLAN - SENTICA	FROST BITE					
1	FLOOR	FLOOR	RBR-2	RUBBER FLOOR TILE	NORA SYSTEMS - INTERFACE	NORAPLAN - SENTICA	ZEST					
WALL												
2	WALL	WALL	AB-7	ACOUSTICAL BAFFLE	ARMSTRONG COMMERCIAL CEILING	SOUNDSCAPES BLADES - 7191 - VERTICAL PANEL RECTANGULAR	SW6662 SUMMER DAY	5"X94"X2"			INDIVIDUAL SUSPENSION USING HANGING KIT	
2	WALL	WALL	AB-8	ACOUSTICAL BAFFLE	ARMSTRONG COMMERCIAL CEILING	SOUNDSCAPES BLADES - 7191 - VERTICAL PANEL RECTANGULAR	SW6892 CARNIVAL	5"X94"X2"			INDIVIDUAL SUSPENSION USING HANGING KIT	
2	WALL	WALL	AB-9	ACOUSTICAL BAFFLE	ARMSTRONG COMMERCIAL CEILING	SOUNDSCAPES BLADES - 7191 - VERTICAL PANEL RECTANGULAR	SW6885 KNOCKOUT ORANGE	5"X94"X2"			INDIVIDUAL SUSPENSION USING HANGING KIT	
2	WALL	WALL	CT-2	CERAMIC TILE	FIRECLAY TILE		WHITE WASH	3" X 9"			STACK BOND; GROUT JOINT SIZE: 1/16"	EPOXY GROUT COLOR: MAPEI KERAPOXY; TBD
2	WALL	WALL	CT-3	CERAMIC TILE	FIRECLAY TILE		KOI	3" X 9"			STACK BOND; GROUT JOINT SIZE: 1/16"	EPOXY GROUT COLOR: MAPEI KERAPOXY; TBD
2	WALL	WALL	CT-4	CERAMIC TILE	FIRECLAY TILE		BRYCE CANON	3" X 9"			STACK BOND; GROUT JOINT SIZE: 1/16"	EPOXY GROUT COLOR: MAPEI KERAPOXY; TBD
2	WALL	WALL	CT-5	CERAMIC TILE	FIRECLAY TILE		MANDARIN	3" X 9"			STACK BOND; GROUT JOINT SIZE: 1/16"	EPOXY GROUT COLOR: MAPEI KERAPOXY; TBD
2	WALL	WALL	CT-6	CERAMIC TILE	GARDEN STATE TILE	THREAD	SNOW CREST	12" X 24"			RUNNING BOND;GROUT JOINT SIZE: 1/16"	EPOXY GROUT COLOR: MAPEI KERAPOXY; TBD
2	WALL	WALL	CT-7	CERAMIC TILE	DAL TILE	VOLUME 1.0	SONIC WHITE VL75	12" X 24" X 5/16"			RUNNING BOND;GROUT JOINT SIZE: 1/16"	EPOXY GROUT COLOR: MAPEI KERAPOXY; TBD
2	WALL	WALL	FRP-1	FIBERGLASS REINFORCED PLASTIC	MARLITE		P-199 BRITE WHITE					
2	WALL	WALL	PNT-1	PAINT	SHERWIN WILLIAMS	TYPICAL WALL PAINT	SW9166 DRIFT OF MIST					
2	WALL	WALL	PNT-2	PAINT	SHERWIN WILLIAMS	ACCENT	SW6662 SUMMER DAY					
2	WALL	WALL	PNT-3	PAINT	SHERWIN WILLIAMS	ACCENT	SW6892 CARNIVAL					
2	WALL	WALL	PNT-4	PAINT	SHERWIN WILLIAMS	ACCENT	SW6885 KNOCKOUT ORANGE					
2	WALL	WALL	PNT-5	PAINT	SHERWIN WILLIAMS	HOLLOW METAL TRIM	SW7017 DORIAN GRAY					
CEILING												
3	CEILING	CEILING	AB-1	ACOUSTICAL BAFFLE	ARMSTRONG COMMERCIAL CEILING	SOUNDSCAPES BLADES - 3920 - VERTICAL PANEL RECTANGULAR	SW6662 SUMMER DAY	10"X46"X2"			INDIVIDUAL SUSPENSION USING HANGING KIT	
3	CEILING	CEILING	AB-2	ACOUSTICAL BAFFLE LIGHT FIXTURE	CORONET	LS1 STFU DIRECT	PUMPKIN	4" X 48" X 2"			INDIVIDUAL SUSPENSION USING HANGING KIT	
3	CEILING	CEILING	AB-3	ACOUSTICAL BAFFLE	ARMSTRONG COMMERCIAL CEILING	SOUNDSCAPES BLADES - 3920 - VERTICAL PANEL RECTANGULAR	SW6885 KNOCKOUT ORANGE	10"X46"X2"			INDIVIDUAL SUSPENSION USING HANGING KIT	
3	CEILING	CEILING	AB-4	ACOUSTICAL BAFFLE	ARMSTRONG COMMERCIAL CEILING	SOUNDSCAPES BLADES - 7190 - VERTICAL PANEL RECTANGULAR	SW6662 SUMMER DAY	5"X46"X2"			INDIVIDUAL SUSPENSION USING HANGING KIT	
3	CEILING	CEILING	AB-5	ACOUSTICAL BAFFLE	ARMSTRONG COMMERCIAL CEILING	SOUNDSCAPES BLADES - 7190 - VERTICAL PANEL RECTANGULAR	SW6892 CARNIVAL	5"X46"X2"			INDIVIDUAL SUSPENSION USING HANGING KIT	
3	CEILING	CEILING	AB-6	ACOUSTICAL BAFFLE	ARMSTRONG COMMERCIAL CEILING	SOUNDSCAPES BLADES - 7190 - VERTICAL PANEL RECTANGULAR	SW6885 KNOCKOUT ORANGE	5"X46"X2"			INDIVIDUAL SUSPENSION USING HANGING KIT	
3	CEILING	CEILING	ACT-1A	ACOUSTICAL CEILING TILE	ARMSTRONG COMMERCIAL CEILING	FINE FISSURED - 1728 - SQUARE LAY-IN	WHITE	24"X24"X5/8"			SUSPENSION GRID: 15/16" PRELUDE XL - WHITE	
3	CEILING	CEILING	ACT-2A	ACOUSTICAL CEILING TILE	ARMSTRONG COMMERCIAL CEILING	ULTIMA 1913 - SQUARE LAY-IN	WHITE	24"X48"X3/4"			SUSPENSION GRID: 15/16" PRELUDE XL - WHITE	
3	CEILING	CEILING	ACT-2D	ACOUSTICAL CEILING TILE	ARMSTRONG COMMERCIAL CEILING	CLEAN ROOM VL UNPERFORATED 868 - SQUARE LAY-IN	WHITE	24"X48"X5/8"			SUSPENSION GRID: 15/16" PRELUDE XL - WHITE	
3	CEILING	CEILING	ACT-4A	ACOUSTICAL CEILING TILE	FACT.DESIGN	ORIGAMI COLLECTION - WINK TILE	0536 - DIVINA 3	23.75"X23.75" X3"			SUSPENSION GRID: 15/16" PRELUDE XL - WHITE	1/3 RANDOM PATTERN
3	CEILING	CEILING	ACT-4B	ACOUSTICAL CEILING TILE	FACT.DESIGN	ORIGAMI COLLECTION - WINK TILE	0426 - DIVINA 3	23.75"X23.75" X3"			SUSPENSION GRID: 15/16" PRELUDE XL - WHITE	1/3 RANDOM PATTERN
3	CEILING	CEILING	ACT-4C	ACOUSTICAL CEILING TILE	FACT.DESIGN	ORIGAMI COLLECTION - WINK TILE	0542 - DIVINA 3	23.75"X23.75" X3"			SUSPENSION GRID: 15/16" PRELUDE XL - WHITE	1/3 RANDOM PATTERN
3	CEILING	CEILING	PNT-1	PAINT	SHERWIN WILLIAMS	TYPICAL PAINT	SW9166 DRIFT OF MIST					
BASE												
4	BASE	BASE	CT-8	CERAMIC TILE COVEBASE	DAL TILE	VOLUME 1.0	STEREO GREY VL73	6" X 12"			GROUT JOINT: 3/16"	
4	BASE	BASE	EF-1	EPOXY WALL BASE	SHERWIN WILLIAMS	1/4" RESUFLOOR DECO FLAKE BC	ECLIPSE					
4	BASE	BASE	RB-1	RUBBER BASE	JOHNSONITE - TARKETT		SILVER GREY	4"				
CABINETY												
5	CABINETRY	CABINETRY	PLAM-1	PLASTIC LAMINATE	WILSONART	BASE/WALL/TALL	KENSINGTON MAPLE					
5	CABINETRY	CABINETRY	PLAM-2	PLASTIC LAMINATE	WILSONART	ADMIN. DESK/COUNTERTOP	ORGANIC COTTON					
5	CABINETRY	CABINETRY	SSM-1	SOLID SURFACE MATERIAL	MEGANITE	ADMIN. DESK/COUNTERTOP	1106 GARMEL TERRAZZO	1/2" THICK				
5	CABINETRY	CABINETRY	SSM-2	SOLID SURFACE MATERIAL	MEGANITE	COUNTERTOPS / SILLS	905A RICE PUDDING	1/2" THICK				
EQUIPMENT												
6	EQUIPMENT											
6	EQUIPMENT	EQUIPMEN T	TP	TOILET PARTITION	SCANTRON PRODUCTS	HINY HIDERS	CHARCOAL GREY					
MISC.												
7	MISC.	MISC.	CG-1	DRY WALL REVEAL MOLDING	FRY REGLET	DRM-50-50 - REVEAL MOLDING	CLEAR ANODIZED	1/4"				
7	MISC.	MISC.	CG-2	CORNER GUARDS	FRY REGLET	XDM-50-50 - CORNER GUARDS	CLEAR ANODIZED					
7	MISC.	MISC.	WD-1	WOOD DOORS	MASONITE ARCHITECTURAL	ASPIRO SERIES (MAPLE)	CLEAR					
8												
8												
9												
9												
10												
10												

FINISH ABBREVIATIONS

ACW	ACOUSTICAL CEILING PANEL
ACWB	ACOUSTICAL WALL COVERING
CB	CABINET
CC	CUBICULE CURTAIN
CG	CORNER GUARDS
CM	CULTURED MARBLE
CPT	CARPET
CT	CERAMIC TILE
EP	EPOXY PAINT
FRF	FLUID APPLIED RESIN FLOOR
HDW	DECORATIVE HARDWARE
HR	HIGH-RESISTANT WALL COVERING
LC	LOCKER COLOR
LF	LAMINATE FLOOR
LIN	LINOLEUM
LVR	LUXURY VINYL TILE
M	MIRROR
MSV	MOSAIC TURED STONE VENEER
NS	NATURAL STONE
PC	PAINTED CONCRETE
PF	PANEL FABRIC
PLAM	PLASTIC LAMINATE
PNT	PAIN
QT	QUARRY TILE
QZT	QUARTZ
RB	RUBBER BASE
RF	RUBBER FLOOR
RP	RESIN PANELS
SC	SEALED CONCRETE
SSM	SOLID SURFACE MATERIAL
STN	STEEL VINYL
SV	SHEET VINYL
TA	TOILET ACCESSORY
TP	TOILET PARTITION
TWC	TILE WALL COVERING
VB	VINYL BASE
VCT	VINYL COMPOSITE TILE
VCT	VINYL ENHANCED TILE
VW	VINYL WALL COVERING
WC	WALL COVERING
WFC	WOOD FLOOR
WOM	WALK-OFF MAT

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(610) 694-8020

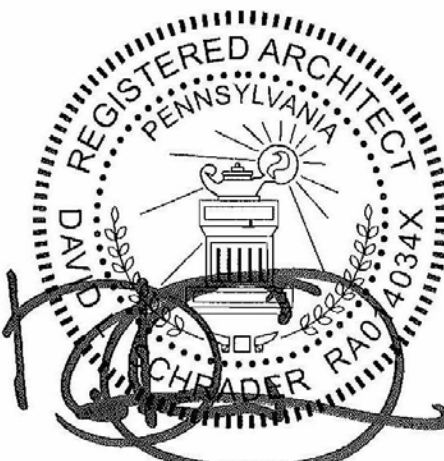
Structural Engineer

SCHRADEF

153 East King Street, Suite

717.299.8965

Professional Seal:



Owner:

CHESTER UPLAND

SCHOOL DISTRICT

232 W. 9th Street
Chester, PA 19013

1350 EDMONT AVENUE
RENOVATIONS

1350 EDGMONT AVENUE
CHESTER, PA 19013

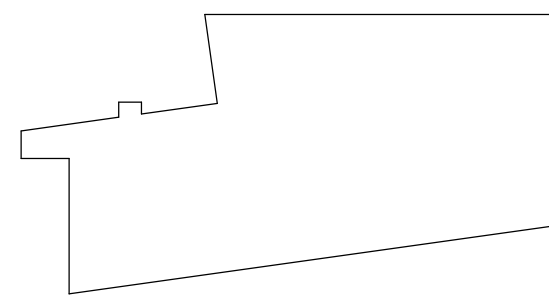
ISSUED FOR:

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DATE: 01/30/2023

SG PROJECT NUMBER: 22-023.1

Key Plan:



Drawing Title:

FINISH SPECIFICATIONS

Drawing Number:

A900.2

T&M Associates
74 West Broad Street, Suite 530
Bethlehem, PA 18018
(610) 625-2999

Structural Engineer
SCHRADERGROUP
153 East King Street, Suite 211-212
Lancaster, PA 17602
717.299.8965

1350 EDMONT AVENUE
RENOVATIONS

1330 EDMONT AVENUE
CHESTER, PA 19013

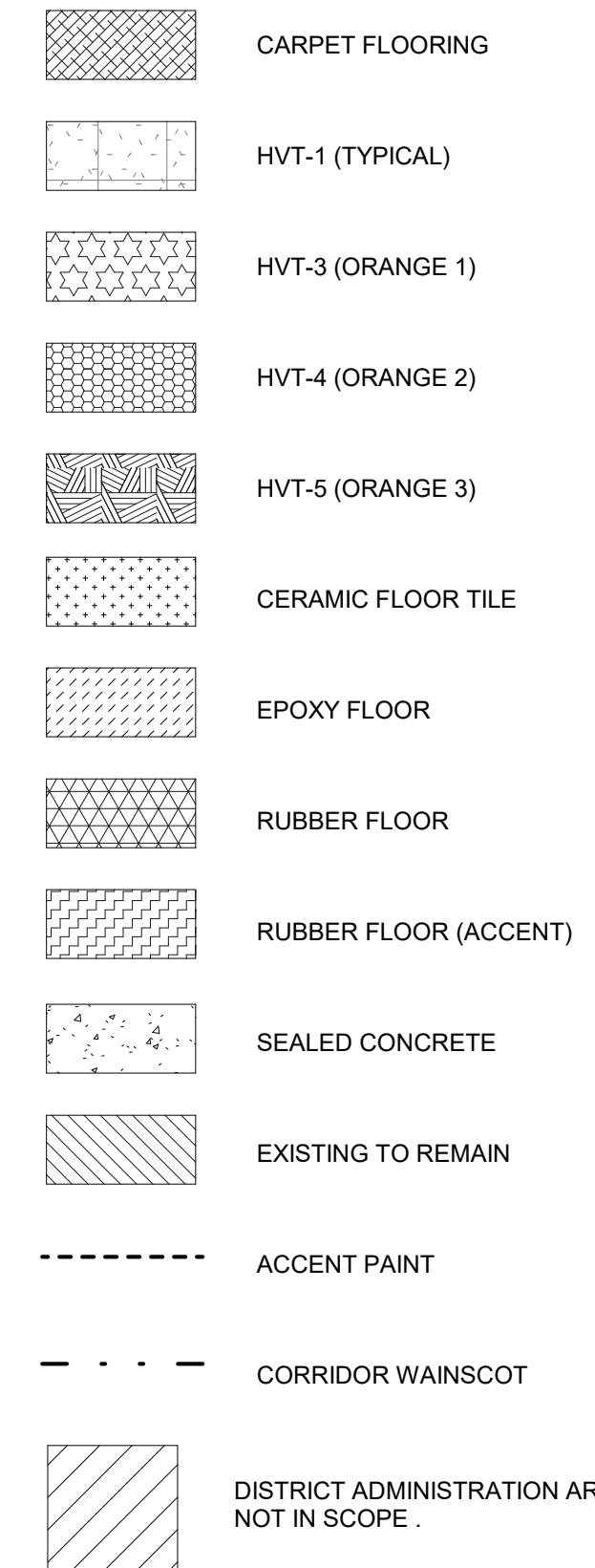
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DATE:	01/30/2023
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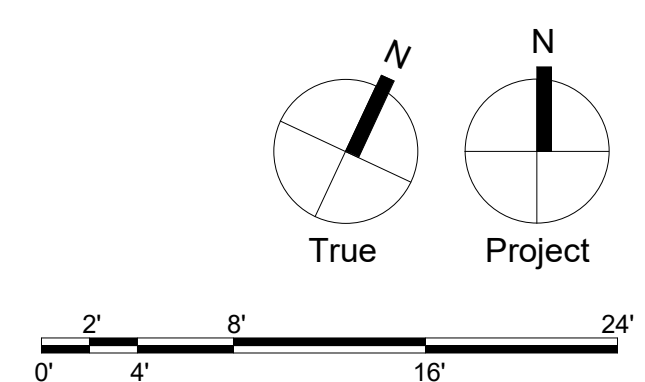
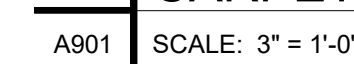
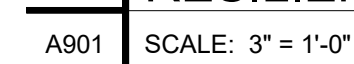
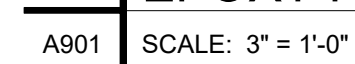
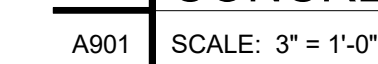
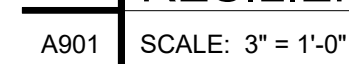
SG PROJECT NUMBER:	22-023.1
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FIRST FLOOR FINISH
PLAN

A901



A901 SCALE: 1/8" = 1'-0"



[illegible]

1	COMPOSITE SECOND FLOOR FINISH PLAN
A902	SCALE: 1/8" = 1'-0"














- ## FINISH EXTENTS NOTES
1. WALL DESIGNATION REFERS TO NORTH NOTED ON THE KEY PLAN.
 2. IN ALL CASES WHERE EXPOSED CEILINGS ARE TO BE PAINTED ALL DUCTWORK AND OTHER EXPOSED MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT TO BE PAINTED AS WELL.
 3. PROVIDE 3/4" x 4" C FIRE RATED PLYWOOD FROM FINISH FLOOR TO 8'-0" AFF B EHIND TELECOM EQUIPMENT. COORDINATE WITH TELLER FOR EQUIPMENT REQUIREMENTS. PROVIDE PAINT FINISH TO MATCH ADJACENT CONSTRUCTION PRIOR TO PLACEMENT OF EQUIPMENT.
 4. FLOOR FINISHES TO BE CONTINUOUS UNDER ALL CASEWORK, MILLWORK, CABINETS, PLUMBING AND ELECTRICAL FIXTURES UNLESS OTHERWISE NOTED.
 5. PAINT EXIST DESIGNATION INDICATED ON FINISH SCHEDULE ONLY APPLIES TO WALLS AND CEILINGS. DO NOT PAINT INTERIOR BRICK VENEER, GROUND FACED CONCRETE SURFACES, GLAZING, DOOR AND WINDOW FRAMES UNLESS OTHERWISE NOTED.
 6. REFER TO PARTITION TYPES AND INTERIOR ELEVATIONS FOR EXTENT OF PAINTING. REFER TO WINDOW AND DOOR SCHEDULES FOR APPLICABLE FINISHES.
 7. REFER TO REFLECTED CEILING PLANS FOR CEILING TYPES, MATERIALS, FINISHES AND HEIGHTS.
 8. PROVIDE ADA / ANSI COMPLIANT METAL THRESHOLDS / TRANSITION STRIPS BETWEEN ALL DISSIMILAR FLOORING MATERIALS. SUBMIT SAMPLES TO ARCHITECT FOR APPROVAL. SEE SUB DRAWING / SAMPLE SUBMITTAL PROCESS.
 9. SEE "A800" SERIES INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON WALL PAINT LOCATIONS.

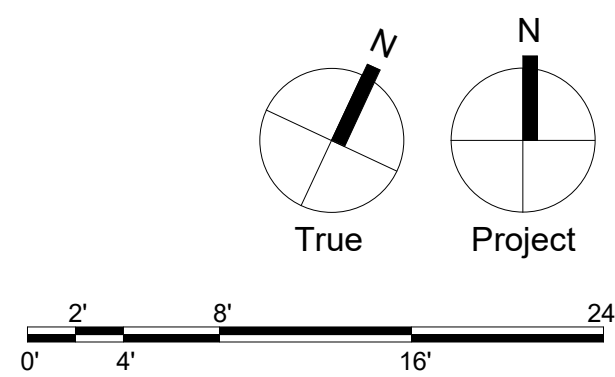
ROOM FINISH TAG

Diagram illustrating the components of a classroom layout:

- CLASSROOM (Label)
- B112 (Room Number)
- PNT-01 (Ceiling Finish)
- PNT-02 (Wall Finish)
- CPT-01 (Floor Finish)
- RB-03 (Base Material)

FINISH EXTENTS LEGEND

	CARPET FLOORING
	HVT-1 (TYPICAL)
	HVT-3 (ORANGE 1)
	HVT-4 (ORANGE 2)
	HVT-5 (ORANGE 3)
	CERAMIC FLOOR TILE
	EPOXY FLOOR
	RUBBER FLOOR
	RUBBER FLOOR (ACCENT)
	SEALED CONCRETE
	EXISTING TO REMAIN
	ACCENT PAINT
	CORRIDOR WAINSCOT



STRUCTURAL DESIGN LOAD DATA

THE FOLLOWING DESIGN LOADS ARE APPLICABLE TO THIS FACILITY IN ACCORDANCE WITH IBC 2018

DESIGN LIVE LOADING		
AREA	UNIFORM LOAD	CONCENTRATED LOAD
TOILET ROOM	40 PSF	1,000 POUNDS

DESIGN WIND LOADING DATA

RISK CATEGORY		III
BASIC WIND SPEED	V_{ult}	122 MPH
NOMINAL WIND SPEED	V_{nom}	95 MPH
EXPOSURE		B
MEAN ROOF HEIGHT	h	26 FT
DIRECTIONALITY FACTOR	K_d	0.85
TOPOGRAPHIC FACTOR	K_z	1.0
GROUND ELEVATION FACTOR	K_e	1.0
MAX VELOCITY PRESSURE COEFFICIENT	K_{cp}	0.66
INTERNAL PRESSURE COEFFICIENT	G_{CP}	± 0.18
MAX VELOCITY PRESSURE	q	21.4 PSF

DESIGN PRESSURES (C&C)

HEIGHT	ROOF					WALL	
	ZONE 1'	ZONE 1	ZONE 2	ZONE 3	ZONE 4	ZONE 5	
0'-15'	-	-	-	-	+21.2/-23.0	+21.2/-28.5	
20'	-	-	-	-	+23.1/-25.0	+23.1/-30.9	
30'	-	-	-	-	+25.9/-28.1	+25.9/-34.7	
40'	-	-	-	-	-	-	
50'	-	-	-	-	-	-	

* VALUES TABULATED FOR 10 SF EFFECTIVE AREA [USE 16 PSF MIN]

* CONTRACTORS MAY CALCULATE ALTERNATE WIND LOADING APPLICABLE TO INDIVIDUAL SYSTEMS

Special Loads

Indicated on drawings where applicable

Systems and components requiring *Special Inspections for Seismic Resistance*

Not applicable for this structure in accordance with Section 1707.1

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE (IBC) 2018, INCLUDING ALL CURRENT REFERENCED STANDARDS PER CHAPTER 35, AND TO ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS INCLUDING BUT NOT LIMITED TO OSHA AND ADA REQUIREMENTS.
- ANY AND ALL QUESTIONS PERTAINING TO THE WORK DESCRIBED IN THESE CONTRACT DOCUMENTS SHALL BE SUBMITTED IN WRITTEN FORM, IN ACCORDANCE WITH THE ESTABLISHED REQUEST FOR INFORMATION (RFI) PROCEDURES.
- COORDINATE ALL SPECIFICATION REQUIREMENTS WITH THE INFORMATION SHOWN ON DRAWINGS AND IN THESE STRUCTURAL NOTES.
- DO NOT SCALE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT/ENGINEER TO RESOLVE ANY DIMENSIONAL DISCREPANCIES RELATED TO THE DRAWINGS AND/OR EXISTING FIELD CONDITIONS WHERE APPROPRIATE.
- DO NOT MODIFY SIZE, SHAPE, LOCATION, OR SPACING OF STRUCTURAL ELEMENTS WITHOUT APPROVAL FROM THE ENGINEER.
- THE GC SHALL BE RESPONSIBLE FOR COORDINATING, OBTAINING AND TRANSMITTING ALL GEOMETRY AND REQUIRED FIELD DIMENSIONING TO THE VARIOUS TRADES IN ORDER TO PERFORM THE WORK. THE GC SHALL BE SOLELY RESPONSIBLE FOR COORDINATING WORK AND FIELD DIMENSIONS AMONG THE VARIOUS TRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PATCHING, REPAIR AND RESTORATION OF INSTALLED MATERIALS WHERE SUCH MATERIALS ARE DAMAGED OR DEMOLISHED DURING THE COURSE OF CONSTRUCTION. ALL PATCHING, REPAIR, AND RESTORATION SHALL MATCH THE PREVIOUSLY EXISTING CONDITIONS.
- ANY ADDITIONAL WORK REQUIRED BY THE ARCHITECT/ENGINEER (DESIGN, SKETCHES, DRAWING DOCUMENTATION, FIELD VISITS, ETC.) TO CORRECT OR REVISE CONTRACTOR CONSTRUCTION ERRORS SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE COMBINATION OF DRAWINGS AND WRITTEN SPECIFICATIONS REPRESENTS THE DESCRIPTION OF WORK, AND THE CONTRACTOR IS SOLELY RESPONSIBLE TO ENSURE THAT ALL WORK DESCRIBED IS IN ACCORDANCE WITH BOTH THE CONTRACT DRAWINGS AND SPECIFICATIONS. IN THE CASE OF CONFLICT BETWEEN NOTES, DRAWINGS, AND SPECIFICATIONS, THE MOST STRINGENT REQUIREMENT WILL GOVERN.
- THE INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS REPRESENTS FINISHED DESIGNS AND IN NO WAY CONSIDER OR CONVEY VARIOUS "IN CONSTRUCTION" CONDITIONS. CONSTRUCTION PROCEDURES, INCLUDING BUT NOT LIMITED TO MEANS, METHODS, PROTECTION OF BUILDING COMPONENTS, TEMPORARY WORK (INCLUDING BUT NOT LIMITED TO TEMPORARY FORMWORK, BRACING, SHORING, GUYS, ERECTION ATTACHMENTS), VERIFICATION OF ALL EXISTING CONDITIONS AND CONSTRUCTION, COORDINATION AND SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. U.N.O. THE CONTRACTOR SHALL ENGAGE A LICENSED PROFESSIONAL ENGINEER TO DESIGN ALL TEMPORARY SUPPORT ELEMENTS AND SYSTEMS. ANY REPAIRS, REPLACEMENTS, REINFORCEMENT OR OTHER ALTERATIONS DUE TO CONSTRUCTION PROCEDURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO HAS PERFORMED THEM.

CONCRETE

- CONCRETE SHALL BE DETAILED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS. IF A STANDARD IS LISTED AS A "REFERENCED STANDARD" WITHIN THE APPLICABLE BUILDING CODE, USE OF NON-REFERENCED EDITIONS IS PROHIBITED. IF A STANDARD IS NOT REFERENCED IN THE BUILDING CODE, THE LATEST EDITION OF THE APPLICABLE STANDARD SHOULD BE USED.
 - ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - ACI MANUAL OF CONCRETE PRACTICE - PARTS 1 THROUGH 5
 - ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE
 - ACI 315, GUIDE TO PRESENTING REINFORCING STEEL DESIGN DETAILS
 - CRSI MANUAL OF STANDARD PRACTICE
- DETAIL, FABRICATE, AND INSTALL ALL STEEL REINFORCEMENT IN ACCORDANCE WITH ACI AND CRSI STANDARDS.
- POSITION AND SECURELY FASTEN ALL REINFORCEMENT IN LOCATION PRIOR TO PLACING CONCRETE. POST-PLACEMENT OF REINFORCEMENT (WET STICKING) IS NOT PERMITTED.
- THROUGHOUT CONSTRUCTION, THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIAL OR METHODS, ICE, RAIN, SNOW, EXCESSIVELY HOT OR COLD TEMPERATURES AND ANY OTHER DETRIMENTAL ENVIRONMENTAL FACTORS. ANY REPAIRS, REPLACEMENTS, ALTERATIONS OR OTHER ADDITIONAL WORK DUE TO IMPROPER PROTECTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CURE CONCRETE ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL LOCATIONS AND DIMENSIONS OF RECESSED SLAB AREAS, PLATFORMS, CURBS, AND MECHANICAL EQUIPMENT PADS.
- CONCRETE SLABS SHALL BE FINISHED FLAT AND LEVEL WITHIN TOLERANCES INDICATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL CONCRETE REQUIRED DUE TO FORMWORK, METAL DECK, AND FRAMING DEFLECTION TO ACHIEVE THE REQUIRED FINISHED TOP OF SLAB ELEVATION. ANY POST-PLACEMENT CORRECTIVE ACTIONS REQUIRED TO LEVEL, FLATTEN, OR OTHERWISE BRING CONCRETE SLABS INTO COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS. IF A STANDARD IS LISTED AS A "REFERENCED STANDARD" WITHIN THE APPLICABLE BUILDING CODE, USE OF NON-REFERENCED EDITIONS IS PROHIBITED. IF A STANDARD IS NOT REFERENCED IN THE BUILDING CODE, THE LATEST EDITION OF THE APPLICABLE STANDARD SHOULD BE USED.
 - AISC MANUAL OF STEEL CONSTRUCTION
 - AISC 360, SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS AND BRIDGES
 - CRSI, SPECIFICATION FOR STRUCTURAL STEEL JOINTS USING HIGH STRENGTH BOLTS
 - ACI 303, CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES
- PROVIDE STRUCTURAL STEEL SHAPES USING AISC STANDARDS SECTIONS AND GRADES AS FOLLOWS, UNO
 - SECTION TYPE
 - W & WT
 - L
 - PLATES & BARS
 - BOLTSMATERIAL GRADE
 - ASTM A992
 - ASTM A36
 - ASTM A36
 - ASTM A325
- FIELD MODIFICATIONS TO ALL STRUCTURAL STEEL COMPONENTS INCLUDING, BUT NOT LIMITED TO MEMBERS, CONNECTIONS, ATTACHMENTS, AND REINFORCEMENT ARE PROHIBITED WITHOUT APPROVAL FROM THE ENGINEER AND FABRICATOR. ANY REPAIRS, REPLACEMENT, REINFORCING OR FURTHER ALTERATIONS DUE TO UNAPPROVED FIELD MODIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THAT MADE THE MODIFICATIONS.
- THE GENERAL CONTRACTOR AND STEEL ERECTOR SHALL NOTIFY THE ENGINEER OF ANY FABRICATION OR ERECTION ERRORS OR DEFLECTIONS. FIELD MODIFICATIONS ARE PROHIBITED WITHOUT APPROVAL FROM THE ENGINEER.
- FIELD WELDED SURFACES SHALL BE PROPERLY PREPARED, INCLUDING CLEANING AND GRINDING. SMOOTH, FOR AN AREA EXTENDING (4) INCHES BEYOND THE LIMITS OF WELDING. AFTER WELDING, COAT THE EXPOSED AREA WITH THE APPROPRIATE PRIMER/PAINTS AS SPECIFIED. FIELD WELDED SURFACES OF GALVANIZED MEMBERS SHALL BE COATED WITH GALVANIZING REPAIR PAINT PER SPECIFICATIONS.
- CONTRACTOR IS REQUIRED TO PROVIDE ALL MISCELLANEOUS FRAMING AS NEEDED TO SUPPORT METAL FLOOR AND ROOF DECK AROUND COLUMNS AND OTHER PENETRATIONS. THESE COMPONENTS ARE NOT TYPICALLY SHOWN OR LOCATED ON STRUCTURAL PLANS.

STRUCTURAL STEEL CONNECTIONS

- EXCEPT WHERE OTHERWISE SHOWN ON THESE DOCUMENTS, THE DESIGN OF ALL STRUCTURAL STEEL CONNECTIONS IS DELEGATED TO A LICENSED PROFESSIONAL ENGINEER WORKING FOR THE STRUCTURAL STEEL FABRICATOR IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
 - ANY AISC-APPROVED OR AISC-PRE-QUALIFIED CONNECTION MAY BE USED AS DETERMINED BY THE FABRICATOR AND FABRICATOR'S LICENSED PROFESSIONAL ENGINEER.
 - ALL FORCES TO BE USED FOR CONNECTION DESIGN ARE INDICATED ON THESE DRAWINGS.
 - ALL FORCES SHOWN ARE SERVICE-LEVEL (UNFACTORED), AND THE ASD METHOD SHALL BE USED TO SELECT, COMPLETE, AND/OR DESIGN CONNECTION DETAILS.
 - SEALED/SIGNED CALCULATIONS SHALL BE INCLUDED WITH THE APPROVAL DRAWINGS FOR ALL CONNECTIONS DESIGNED AND DETAILED BY THE FABRICATOR'S LICENSED PROFESSIONAL ENGINEER. THIS SHALL INCLUDE ANY TABULATED OR OTHERWISE PRE-DETERMINED DATA FOR ANY PROPOSED AISC-APPROVED OR AISC-PRE-QUALIFIED CONNECTIONS.
- PRIOR TO THE SUBMISSION OF APPROVAL DRAWINGS, THE FABRICATOR SHALL SUBMIT FOR REVIEW AND ACCEPTANCE REPRESENTATIVE SAMPLES OF THE PROPOSED CONNECTION TYPES AND CORRESPONDING CALCULATIONS.
- FOR CONNECTIONS SPECIFIED ON THESE DOCUMENTS, THE FABRICATOR MAY PROPOSE ALTERNATIVE CONNECTION DETAILS. REQUESTS FOR ALTERNATE DETAILS SHALL BE MADE PRIOR TO THE SUBMISSION OF APPROVAL DRAWINGS.
- MINIMUM BOLT FOR STRUCTURAL CONNECTIONS: 3/4" DIA.
- ALL BOLTED CONNECTIONS SHALL HAVE MINIMUM 2 BOLTS U.N.O. ON THE CONTRACT DOCUMENTS.
- ALL BOLTED CONNECTIONS SHALL BE DESIGNED FOR "SNUG TIGHT" CONDITION U.N.O. ON THE CONTRACT DOCUMENTS.

METAL DECK

- METAL DECK SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS. IF A STANDARD IS LISTED AS A "REFERENCED STANDARD" WITHIN THE APPLICABLE BUILDING CODE, USE OF NON-REFERENCED EDITIONS IS PROHIBITED. IF A STANDARD IS NOT REFERENCED IN THE BUILDING CODE, THE LATEST EDITION OF THE APPLICABLE STANDARD SHOULD BE USED.
 - SDI CODE OF STANDARD PRACTICE
 - SDI S02, STANDARD PRACTICE DETAILS
 - SDI M003, MANUAL OF CONSTRUCTION WITH STEEL DECK
 - SDI C-2017, STANDARD FOR COMPOSITE STEEL FLOOR DECK
- CONTRACTOR IS REQUIRED TO PROVIDE ALL MISCELLANEOUS FRAMING AS NEEDED TO SUPPORT METAL FLOOR DECK AROUND COLUMNS AND OTHER PENETRATIONS. THESE COMPONENTS ARE NOT TYPICALLY SHOWN OR LOCATED ON STRUCTURAL PLANS.
- SPECIFIED FLOOR DECK SUPPORTING CONCRETE HAS BEEN DESIGNED FOR USE IN AN UNSHORED CONDITION.
- FASTEN METAL DECK TO SUPPORTING STRUCTURE AS FOLLOWS UNLESS OTHERWISE INDICATED IN SPECIFICATIONS:
 - 3/4" DIA PUDDLE WELDS OR MECHANICAL FASTENERS IN A 36/5 (OR EQUIVALENT) PATTERN
- FASTEN SIDE LAPS WITH SELF-DRILLING SCREWS AT MIDSPAN OR 18" MAX. BETWEEN SUPPORTS.

COLD-FORMED METAL FRAMING

- INTENT OF COLD-FORMED METAL FRAMING (CFMF) WORK IS SHOWN ON THE ARCHITECTURAL DRAWINGS.
- ALL CFMF COMPONENTS AND SYSTEMS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE STRUCTURAL LOADING CRITERIA AND CONDITIONS SHOWN AND DETERMINED FROM THE CONSTRUCTION DOCUMENTS.
- ALL CFMF MEMBERS USED IN EXTERIOR WALL APPLICATIONS SHALL BE A MINIMUM OF 18 GAUGE MATERIAL.
- SPECIFIC CFMF INFORMATION (MEMBER SIZES, GAUGES, SPACING, ETC.) SHOWN IN CONTRACT DRAWINGS ARE MINIMUM REQUIREMENTS AND MAY NOT BE REDUCED BY THE DELEGATED DESIGN PROCESS.

POST-INSTALLED ANCHORS/FASTENERS

- THESE ANCHOR/FASTENER PRODUCTS ARE SPECIFIED AS "BASIS OF DESIGN". CONTRACTORS MAY SUBMIT OTHER MANUFACTURERS PRODUCTS FOR REVIEW AND APPROVAL. INCLUDE ALL CORRECT DATA TO SHOW THAT THE PRODUCT MEETS OR EXCEEDS THE PERFORMANCE OF THE BASIS OF DESIGN.

- EPOXY ANCHORS: PLAIN A36 THREADED ROD W/HLTI HIT-HY 200 ADHESIVE (SIZE AND EMBED PER DETAILS)
- EXPANSION ANCHORS: PLAIN CARBON STEEL HLTI KWIK BOLT 3 (SIZE AND EMBED PER DETAILS)
- SCREW ANCHORS: PLAIN CARBON STEEL HLTI KWIK HUS (SIZE AND EMBED PER DETAILS)
- WHEN INSTALLING MECHANICAL AND ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. HOLES SHALL BE FREE OF DUST, DIRT, WATER AND DEBRIS PRIOR TO INSTALLING MECHANICAL OR ADHESIVE ANCHORS.

SUBMITTAL REQUIREMENTS - CONCRETE

- WORK SHOULD PROCEED ONLY AFTER SUBMITTALS HAVE BEEN REVIEWED AND APPROVED. APPROVAL OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF COMPLYING WITH THE CONTRACT DOCUMENTS. ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PRODUCT SUBSTITUTIONS, MATERIAL SUBSTITUTIONS, AND RELOCATION OR ALTERATION OF ELEMENTS ARE PROHIBITED WITHOUT APPROVAL FROM THE ENGINEER. SHALL DEVIATIONS FROM THE CONTRACT DOCUMENT REQUIREMENTS EXIST, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR REVISING SHOP DRAWINGS TO BRING THEM INTO COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
- MAINTAIN COPIES OF APPROVED SHOP DRAWINGS ON SITE DURING CONSTRUCTION.
- ANY ADDITIONAL WORK REQUIRED BY THE ARCHITECT/ENGINEER (DESIGN, SKETCHES, DRAWING DOCUMENTATION, FIELD VISITS, ETC.) TO CORRECT OR REVISE CONTRACTOR CONSTRUCTION ERRORS RELATED TO WORK PERFORMED WITHOUT APPROVED SUBMITTALS SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR.

SUBMITTAL REQUIREMENTS - STEEL

- STRUCTURAL STEEL AND MISCELLANEOUS STEEL FABRICATIONS SHOP DRAWINGS: STEEL FABRICATION AND ERECTION SHOP DRAWINGS SHALL BE SUBMITTED TO REVIEW. GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS. SHOP DRAWINGS SHALL INCLUDE ALL INFORMATION REQUIRED TO FABRICATE AND ERECT STEEL ELEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DIMENSIONS AND ELEVATIONS AS PART OF THE SHOP DRAWING REVIEW PROCESS PRIOR TO SUBMITTAL TO THE ENGINEER FOR REVIEW. ANY REPAIRS, REPLACEMENTS OR ALTERATIONS DUE TO FABRICATION OR ERECTION PRIOR TO SHOP DRAWING APPROVAL SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. FIELD ALTERATION TO APPROVED COMPONENTS IS PROHIBITED WITHOUT APPROVAL OF THE ENGINEER AND FABRICATOR.
- STRUCTURAL STEEL CONNECTION CALCULATIONS: THE CONTRACTOR SHALL SUBMIT CONNECTION CALCULATIONS AS REQUIRED PER "STRUCTURAL STEEL CONNECTIONS" GENERAL NOTES.
- ALL FIELD MEASUREMENTS REQUIRED FOR FABRICATION IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBMITTAL TO THE ENGINEER WILL BE FOR REVIEW/RECORD ONLY.

COLD-FORMED METAL FRAMING

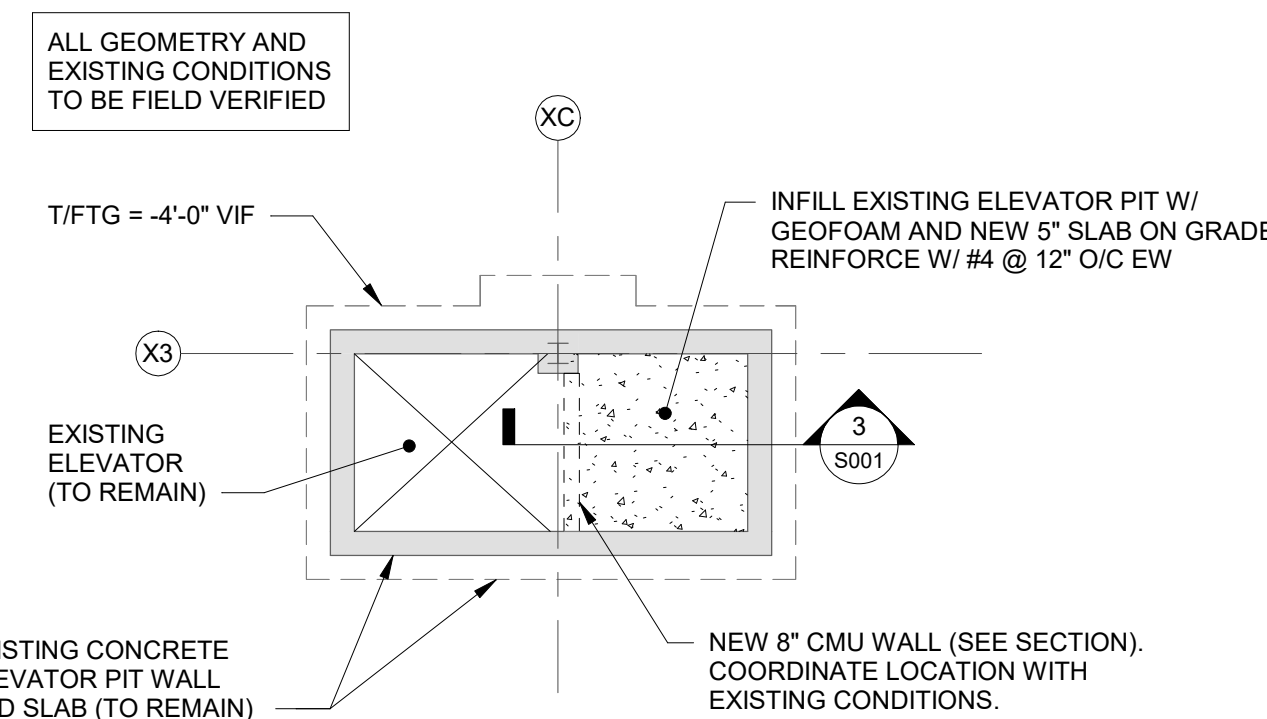
- PROVIDE DETAILED ELEVATION DRAWINGS FOR ALL AREAS OF COLD-FORMED METAL FRAMING TO SHOW PLACEMENT, SIZE, LOCATION, AND CONFIGURATION OF ALL COMPONENTS. COLD-FORMED METAL FRAMING SUBMITTALS THAT DO NOT INCLUDE THIS INFORMATION WILL BE REJECTED ON THE BASIS OF BEING INADEQUATE AND INCOMPLETE.
- PROVIDE CALCULATIONS, SEALED AND SIGNED BY A LICENSED PROFESSIONAL ENGINEER, TO SHOW THAT ALL COLD-FORMED METAL FRAMING COMPONENTS AND SYSTEMS HAVE BEEN DESIGNED TO WITHSTAND THE LOADS INDICATED ON THE DRAWINGS ARE IN COMPLIANCE WITH APPLICABLE BUILDING CODES, AND CONFORM TO THE REQUIREMENTS SHOWN IN THE CFMF NOTES.

SUBMITTAL REQUIREMENTS - STEEL DECKING

- STEEL DECKING SHOP DRAWINGS SHALL INCLUDE PLAN DRAWINGS FOR ALL AREAS TO BE COVERED BY STEEL DECKING SHOWING DECK TYPE, STEEL THICKNESS, GALVANIZING THICKNESS, FINISH, ATTACHMENT METHOD & SPACING, AND DECK OR SLAB EDGE DIMENSIONS.
- SHOP DRAWINGS SHALL INCLUDE DETAIL DRAWINGS SHOWING ALL DECK EDGE CONDITIONS AND ACCESSORIES FOR CLOSURE.
- MANUFACTURER DATA AND LOAD TABLES FOR DECKING TO BE USED ON PROJECT.

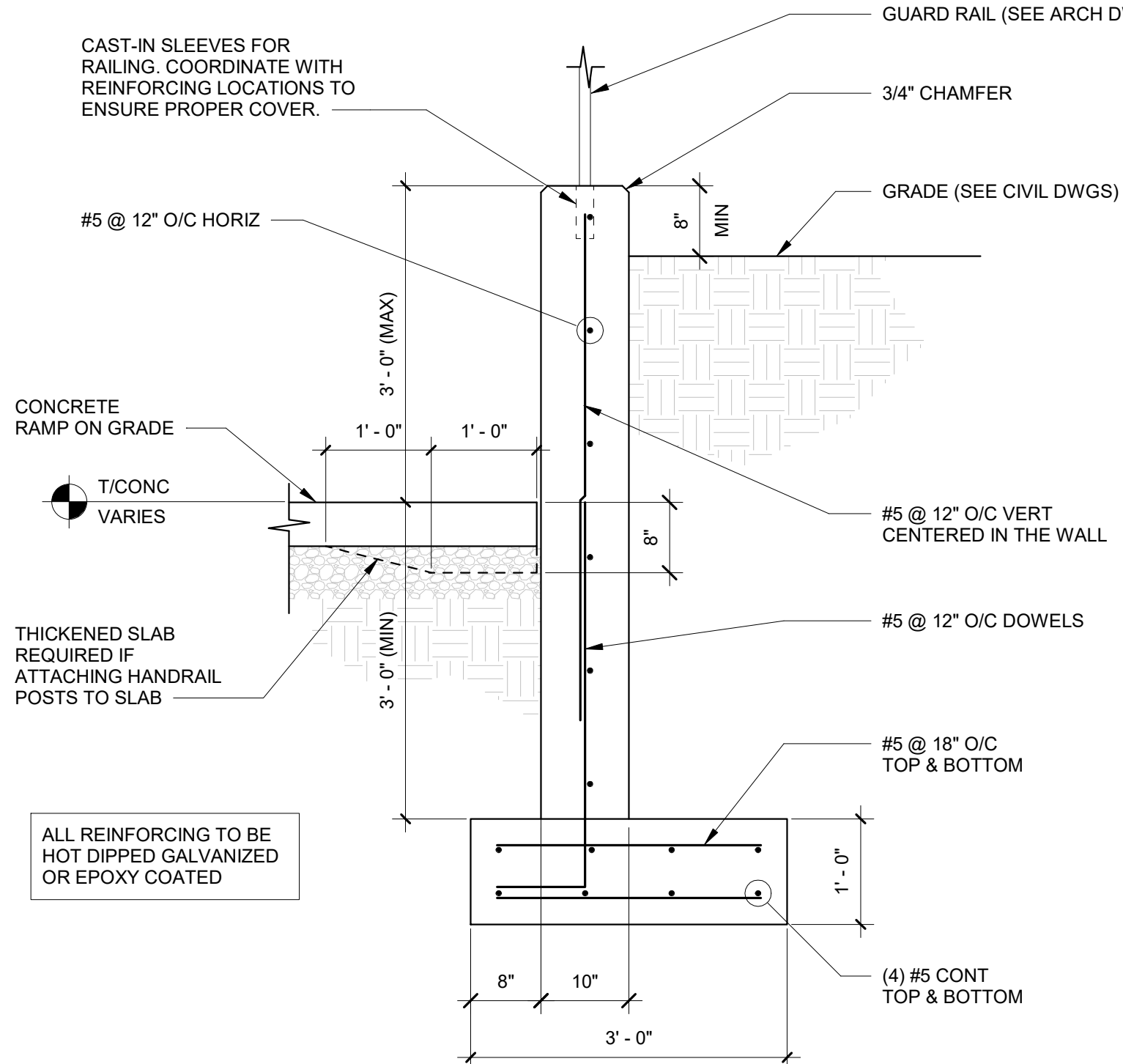
STRUCTURAL ABBREVIATIONS

AFF	Above Finished Floor
ARCH	Architect or Architectural
B/	Bottom Of
BLOG	Building
DOT	Bottom
BP	Base Plate
BRG	Bearing
CANT	Can't
CIP	Cast-In-Place
CFMF	Cold Formed Metal Framing
CMU	Concrete Masonry Unit
COL	Column
CONC	Concrete
CONT	Continuous
COORD	Coordinate
DIAM	Diameter
DIAG	Diagonal
DIM	Dimension
DWG	Drawing
EF	Each Face
ELEV	Elevation
ENGR	Engineer
EOS	Edge of Deck
EOP	Edge of Slab
EOP	Edge of Plate
EOP	Equipment
EXIST or (E)	Existing
EW	Each Way
FTG	Footing
FLR	Floor
FND	Foundation
GA	Gauge
GALV	Galvanized
HDG	Hot Dipped Galvanized
HEF	Horizontal Each Face
HIF	Horizontal Inside Face
HOF	Horizontal Outside Face
HORZ	Horizontal
ID	Inside Diameter
LTWT	Light Weight
LLH	Long Leg Horizontal
LLV	Long Leg Vertical
MFG	Manufacturer
MAX	Maximum
MIN	Minimum
MECH	Mechanical
NW	Normal Weight
O/C	On Center
OPNG	Opening
OSD	Outside Diameter
OPP	Opposite
PERP	Perpendicular
PCF	Pounds Per Cubic Foot
PSF	Pounds Per Square Foot
PSI	Pounds Per Square Inch
REINF REQD	Reinforcement Required
SECT	Section
SIM	Similar
SPEC	Specification
SW	Shear Wall
T/	Top Of
TYP	Typical
UNO	Unless Noted Otherwise
VERT	Vertical
VEF	Vertical Each Face
VIF	Vertical Inside Face
VOF	Vertical Outside Face
W/	With



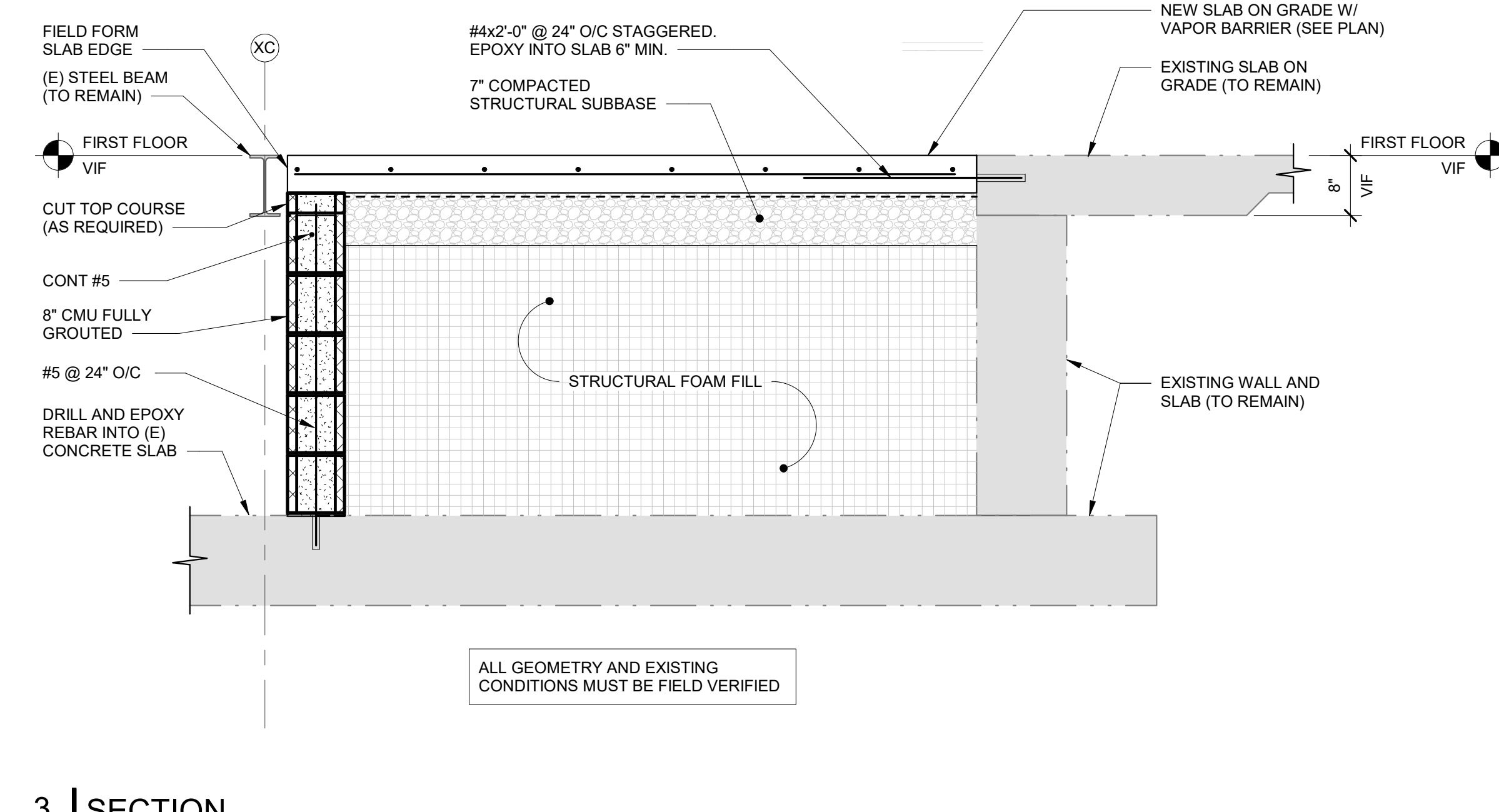
1 PARTIAL FOUNDATION PLAN

S001 SCALE: 1/8" = 1'-0"



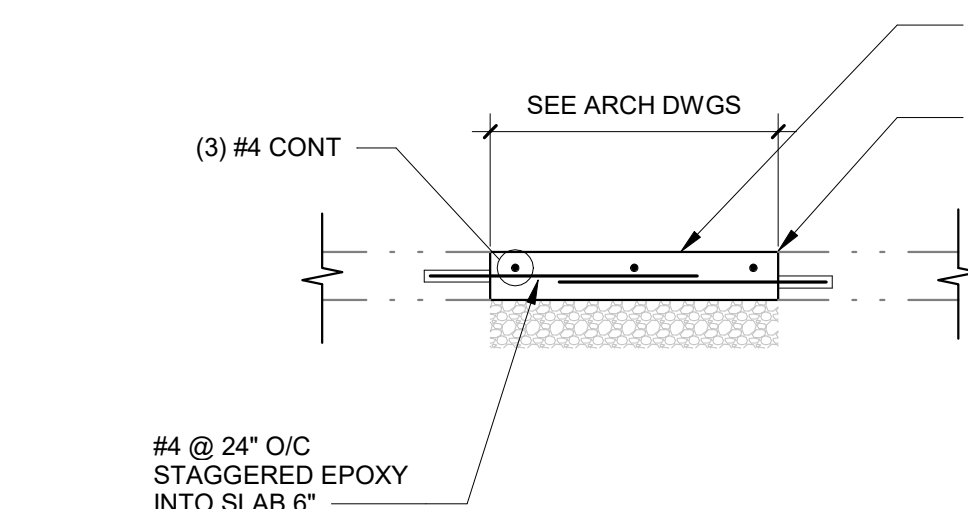
2 SECTION @ RAMP

S001 SCALE: 3/4" = 1'-0"



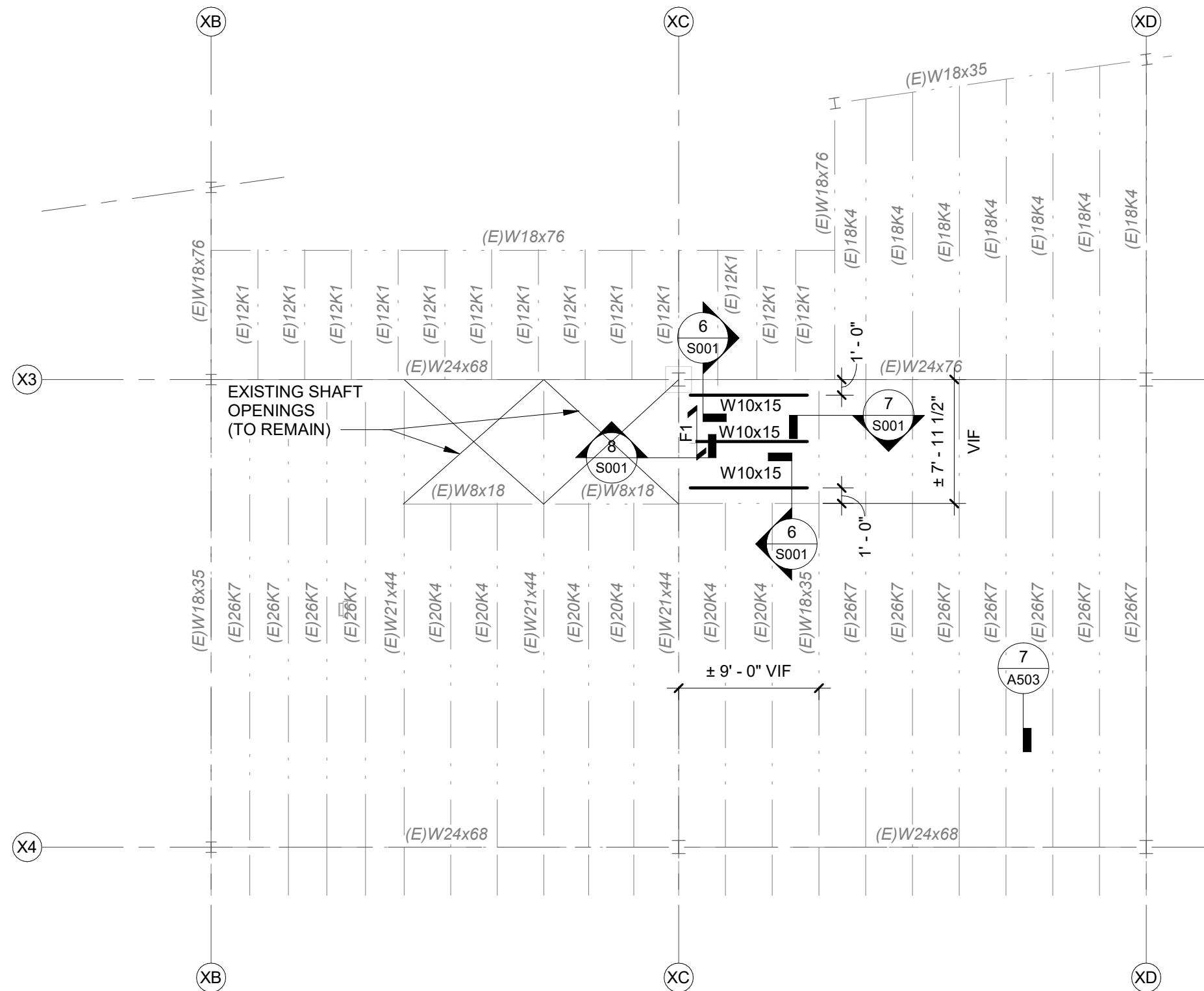
3 SECTION

S001 SCALE: 3/4" = 1'-0"



4 TYPICAL SLAB ON GRADE INFILL DETAIL

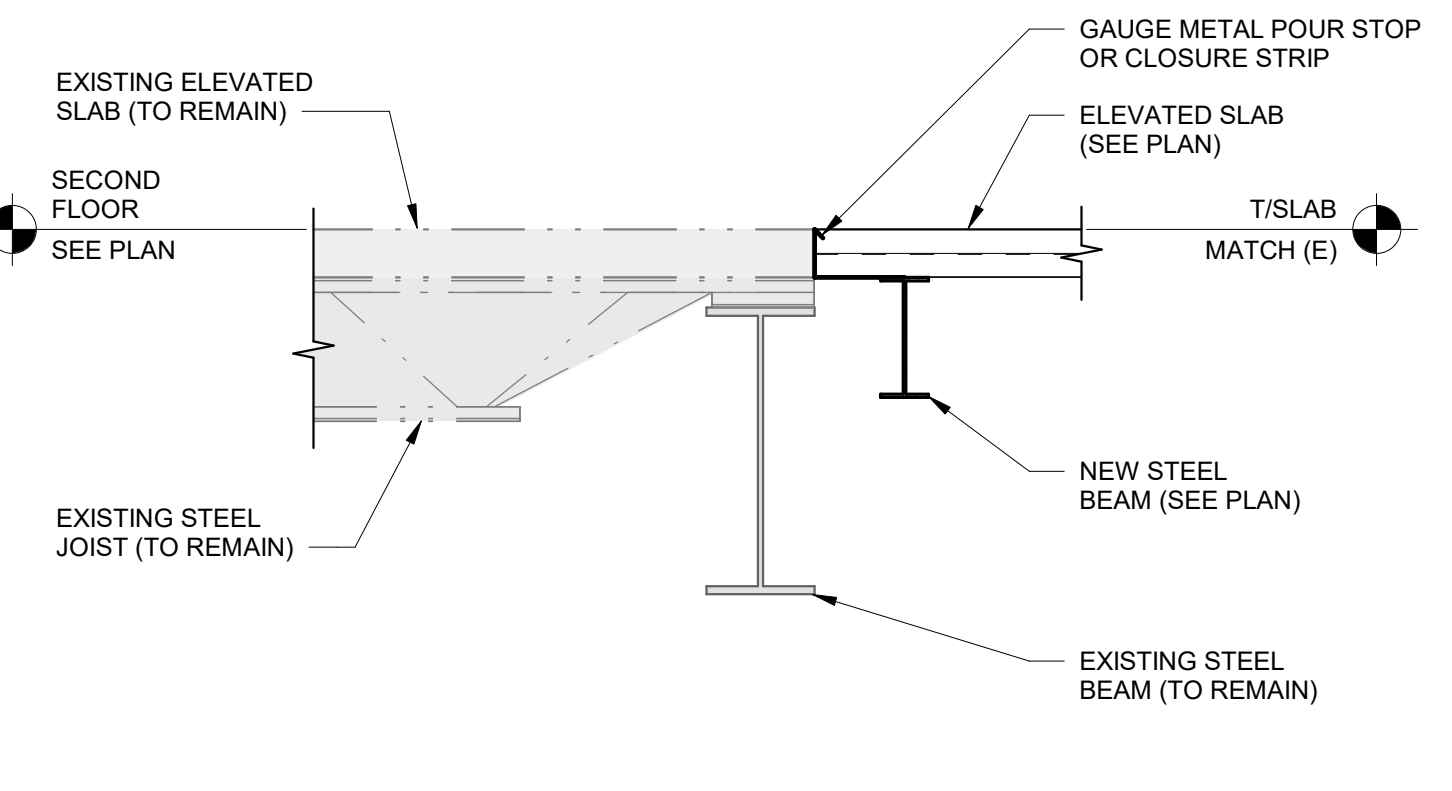
S001 SCALE: 3/4" = 1'-0"



5 PARTIAL SECOND FLOOR FRAMING PLAN

S001 SCALE: 1/8" = 1'-0"

- PLAN NOTES:
- DATUM ELEVATION IS FIRST FLOOR TOP OF ON-GRADE CONCRETE SLAB = 0'-0"
 - TOP OF SECOND FLOOR CONCRETE ELEVATION = 13'-0" ABOVE DATUM ELEVATION 0'-0"
 - ON-DECK CONCRETE SLAB AS FOLLOWS:
 - TYPE F1: 2 1/2" THICK NORMAL WEIGHT CONCRETE TOPPING ON 1 1/2" 20 GA. COMPOSITE METAL FLOOR DECK (4" TOTAL THICKNESS) REINFORCED WITH #6 @ W14W1.4
 - DESIGN ALL BEAM SHEAR CONNECTIONS FOR MINIMUM CAPACITY OF 10K (UNFACTORED), UNO

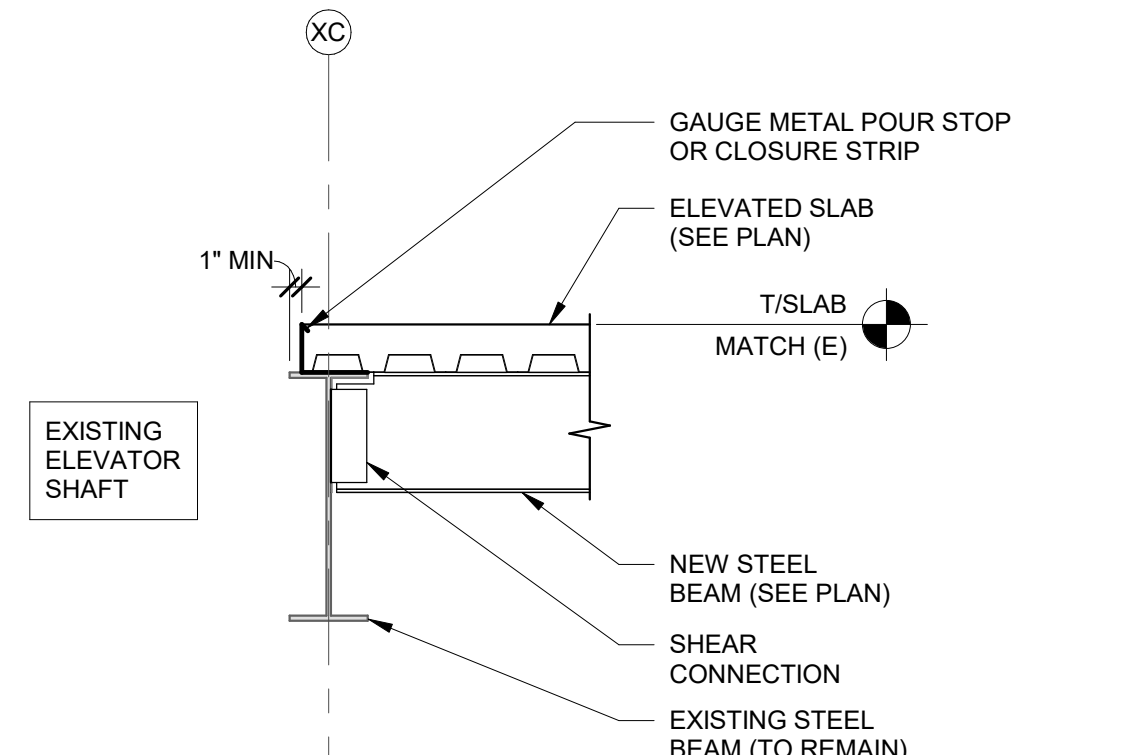


6 SECTION

S001 SCALE: 3/4" = 1'-0"

7 SECTION

S001 SCALE: 3/4" = 1'-0"



8 SECTION

S001 SCALE: 3/4" = 1'-0"

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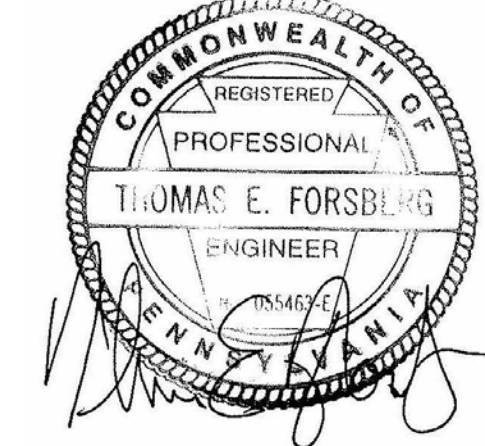
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1350 EDMONT AVENUE
RENOVATIONS

1350 EDMONT AVENUE
CHESTER, PA 19013

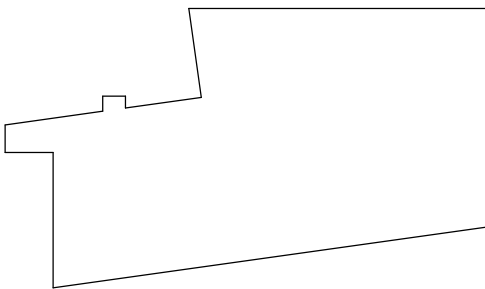
ISSUED FOR:

NO.	DESCRIPTION	DATE
1	BUILDING PERMIT SET	01/30/2023
2	ISSUED FOR BIDDING	01/30/2023

DATE: 01/30/2023

SGA PROJECT NUMBER: 22-023.1

Key Plan:



Drawing Title:

**STRUCTURAL NOTES,
PLANS AND SECTIONS**

Drawing Number:

S001