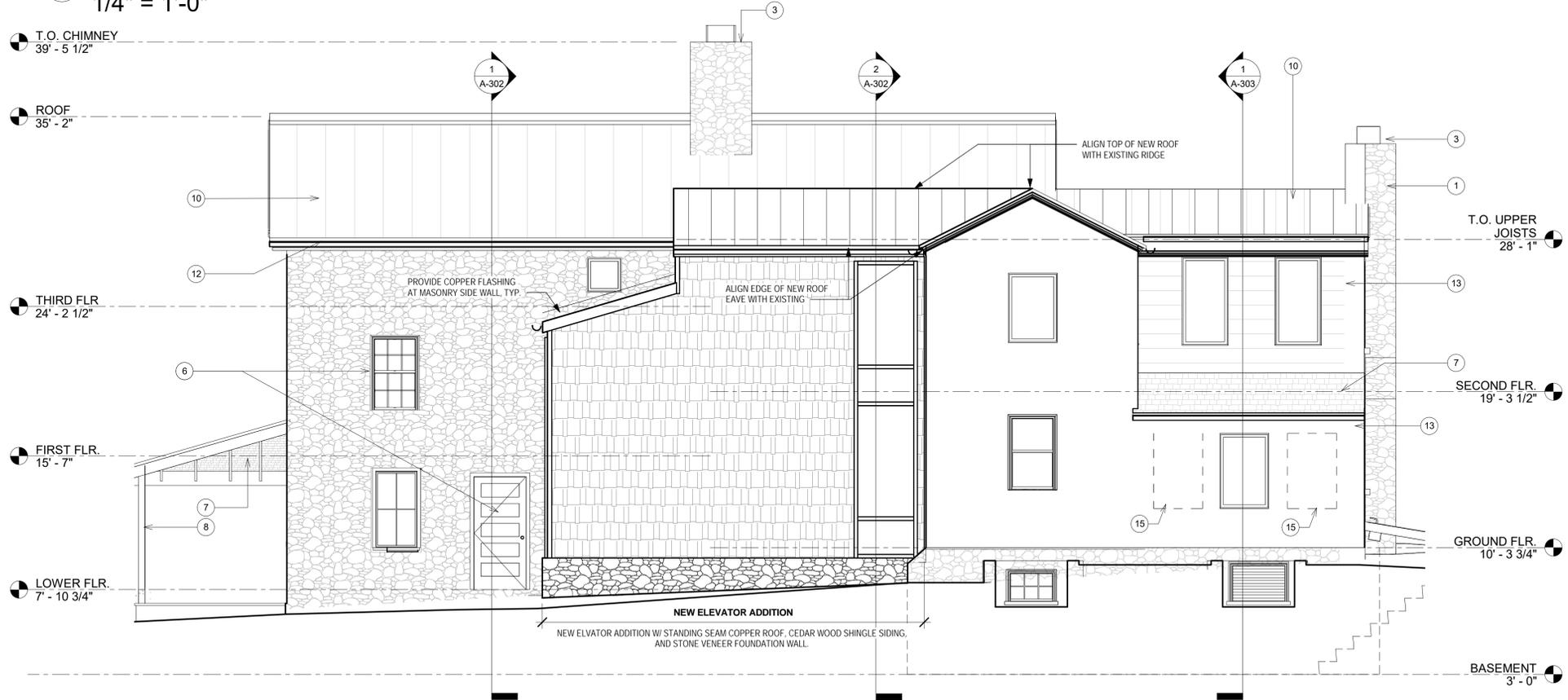


Key Notes	
Key Value	Keynote Text
1	EXISTING EXTERIOR STONE WALLS AND CHIMNEYS: REMOVE PLANT GROWTH FROM WALLS, USING ENVIRONMENTALLY SAFE CHEMICALS TO KILL PLANT ROOTS. INSPECT AND REPOINT APPROXIMATELY 20%. SEE STRUCTURAL DRAWINGS.
2	EXCAVATE AROUND BUILDING PERIMETER DOWN 30 INCHES BELOW FINISH GRADE, PARGE MASONRY BELOW GRADE AND INSTALL 2 FEET STRIP OF WATERPROOFING AND 2 INH R10 FOUNDATION INSULATION STARTING AT 6 INCHES BELOW FINISH GRADE. SLOPE GRADE AWAY FROM BUILDING. REFER TO DETAILS ON DRAWINGS.
3	CHIMNEY CAPS: THOROUGHLY REMOVE PLANT GROWTH IN CHIMNEY FLUES, USING ENVIRONMENTALLY SAFE CHEMICALS TO KILL PLANT ROOTS. REMOVE EXISTING CEMENT WASH AND REPLACE WITH NEW.
4	WOOD EAVES AND FASCIAS: REPAIR APPROXIMATELY 30%. PREP, PRIME AND 2-COAT FINISH PAINT 100%.
5	REPAIR APPROXIMATELY 15% OF OTHER EXTERIOR WOOD TRIM. PREP, PRIMER AND 2-COAT FINISH PAINT 100%.
6	REFER TO R-SERIES DRAWINGS FOR REPLACEMENT OF EXTERIOR WINDOWS AND DOORS AND RELATED WOOD TRIMS, INCLUDING OPENINGS AT GABLE ENDS OF SECTIONS A, B AND C.
7	REFER TO R-SERIES DRAWINGS FOR REMOVAL AND REPLACEMENT OF PORCH ROOF SHINGLES, FLASHINGS, AND WOOD SIDING AT PORCH GABLE ENDS.
8	REFER TO R-SERIES DRAWINGS FOR REPAIRS TO PORCH COLUMNS AND PORCH ROOF FRAMING.
10	EXISTING COPPER STANDING SEAM ROOFS AND FLASHINGS ON SECTIONS A & B AND NORTH SIDE OF SECTION C: REPAIR APPROXIMATELY 15%.
12	INSTALL NEW 6 INCH HALF-ROUND COPPER GUTTERS AND 4 INCH DIAMETER DOWNSPOUTS AT ALONG EAVES AT MAIN ROOF (SECTIONS A & B), ADDITION ROOF (SECTION C), AND PORCH ROOFS. CONNECT DOWNSPOUTS TO UNDERGROUND STORM WATER PIPING. SEE CIVIL ENGINEERING DRAWINGS.
13	REMOVE EXISTING WOOD SHINGLES ON ALL SIDES OF SECTION C. INSTALL NEW AIR BARRIER OVER EXISTING SHEATHING AND NEW STAINED CEDAR SHINGLES. COORDINATE AIRWEATHER BARRIER WITH WINDOW AND DOOR FRAME INSTALLATIONS.
15	REMOVE EXISTING WINDOW. INSTALL NEW STUDS AND SHEATHING IN OPENING, WITH INTERIOR AND EXTERIOR FINISHES TO MATCH EXISTING.

1 South Elevation
1/4" = 1'-0"



2 North Elevation
1/4" = 1'-0"

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ADAPTIVE REUSE OF HISTORIC FARM HOUSE FOR THE AFRICAN AMERICAN MUSEUM OF BUCKS COUNTY
Elevations
Bucks County

NO.	DATE	REVISIONS	BY

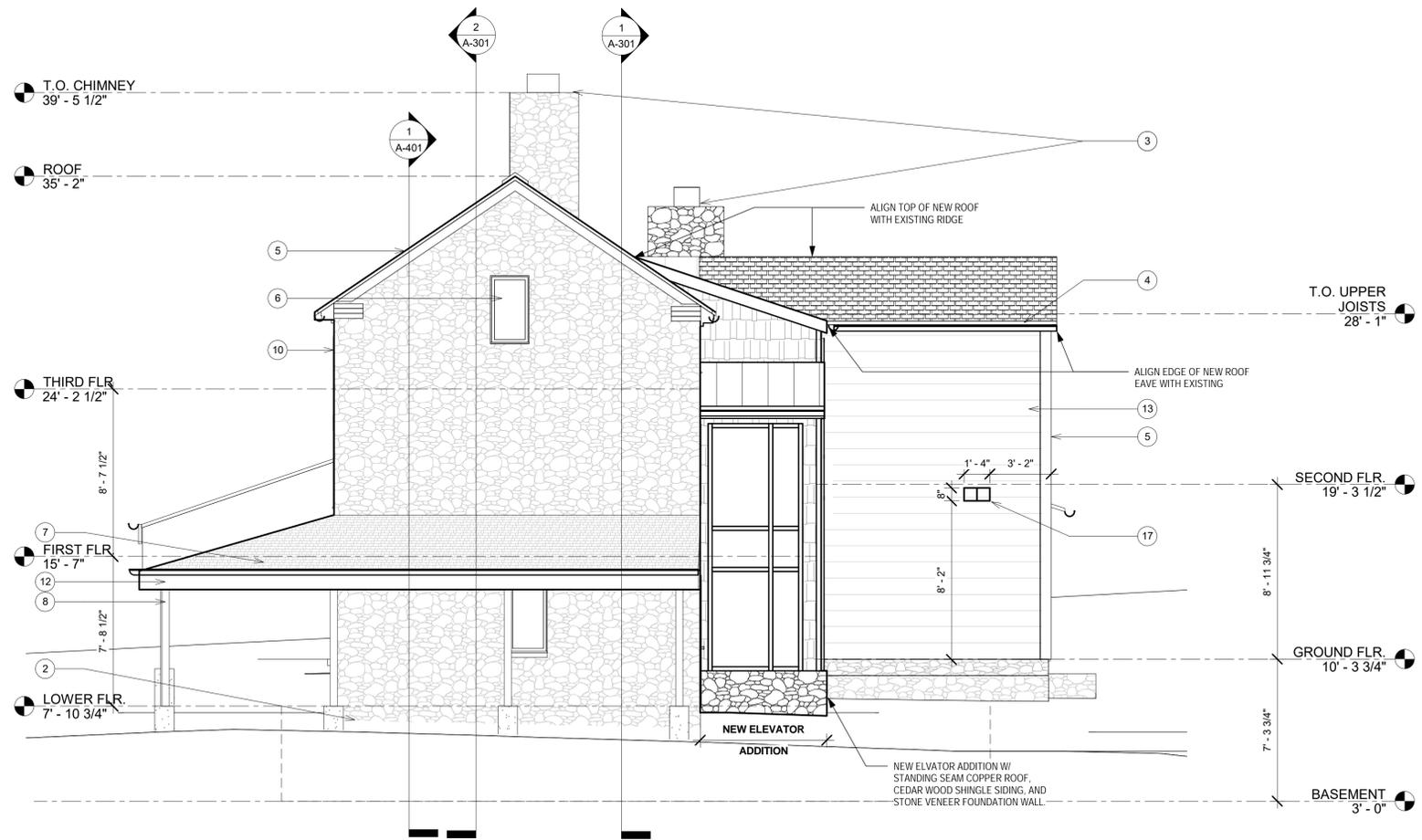
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PROJECT	20250
DATE	DECEMBER 1, 2020
DRAWING SCALE	AS NOTED
DRAWN BY	Author
APPROVED BY	Approver

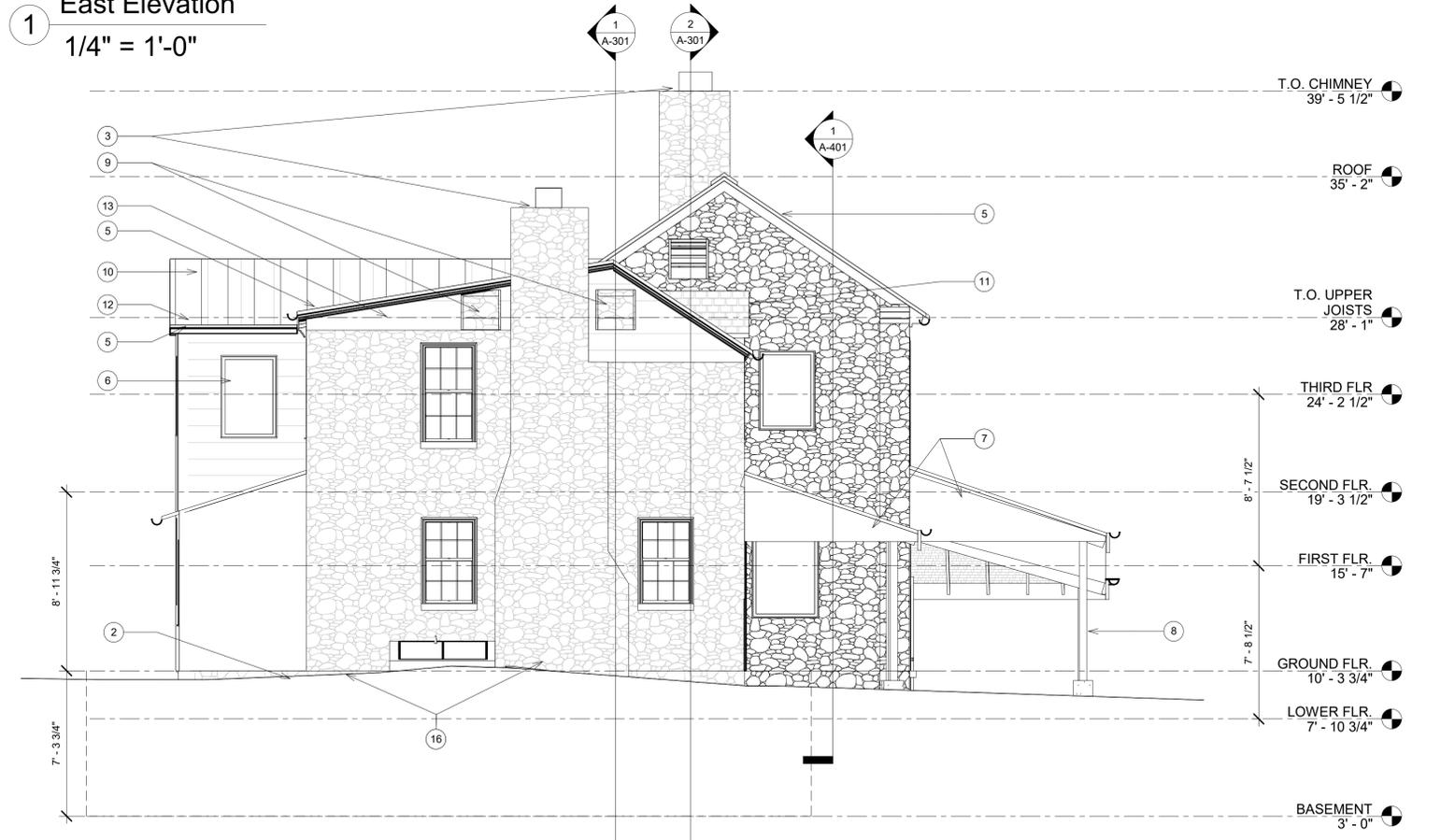
A-201
SHEET 24 OF 102

ISSUED FOR BID/PERMIT:
DATE: 12/01/2020

12/1/2020 10:06:53 AM C:\Users\pennoni\AppData\Local\Documents\20250-AMMBC-A\Draw\Exter_Plan_DWG_Pennoni\pennoni.com.rvt



1 East Elevation
1/4" = 1'-0"

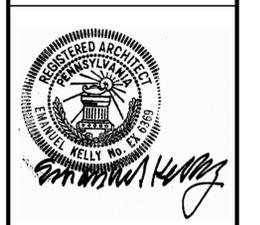


2 West Elevation
1/4" = 1'-0"

Key Notes	
Key Value	Keynote Text
2	EXCAVATE AROUND BUILDING PERIMETER DOWN 30 INCHES BELOW FINISH GRADE. PARGE MASONRY BELOW GRADE AND INSTALL 2 FEET STRIP OF WATERPROOFING AND 2 INH R10 FOUNDATION INSULATION STARTING AT 6 INCHES BELOW FINISH GRADE. SLOPE GRADE AWAY FROM BUILDING. REFER TO DETAILS ON DRAWINGS.
3	CHIMNEY CAPS: THOROUGHLY REMOVE PLANT GROWTH IN CHIMNEY FLUES, USING ENVIRONMENTALLY SAFE CHEMICALS TO KILL PLANT ROOTS. REMOVE EXISTING CEMENT WASH AND REPLACE WITH NEW.
4	WOOD EAVES AND FASCIAS: REPAIR APPROXIMATELY 30%. PREP, PRIME AND 2-COAT FINISH PAINT 100%.
5	REPAIR APPROXIMATELY 15% OF OTHER EXTERIOR WOOD TRIM. PREP, PRIMER AND 2-COAT FINISH PAINT 100%.
6	REFER TO R-SERIES DRAWINGS FOR REPLACEMENT OF EXTERIOR WINDOWS AND DOORS AND RELATED WOOD TRIMS, INCLUDING OPENINGS AT GABLE ENDS OF SECTIONS A, B AND C.
7	REFER TO R-SERIES DRAWINGS FOR REMOVAL AND REPLACEMENT OF PORCH ROOF SHINGLES, FLASHINGS, AND WOOD SIDING AT PORCH GABLE ENDS.
8	REFER TO R-SERIES DRAWINGS FOR REPAIRS TO PORCH COLUMNS AND PORCH ROOF FRAMING.
9	REMOVE EXISTING WOOD LOUVERS AT WEST GABLE OF SECTION C; REPAIR LOUVERS AND REINSTALL IN EXISTING OPENING. PREP, PRIME AND FINISH PAINT (2) COATS 100%.
10	EXISTING COPPER STANDING SEAM ROOFS AND FLASHINGS ON SECTIONS A & B AND NORTH SIDE OF SECTION C; REPAIR APPROXIMATELY 15%.
11	EXISTING COPPER SHINGLE ROOF AND FLASHINGS ON SOUTH SIDE AND EAST SIDE OF SECTION C, INCLUDING DORMERS; REPAIR APPROXIMATELY 15%.
12	INSTALL NEW 6 INCH HALF-ROUND COPPER GUTTERS AND 4 INCH DIAMETER DOWNSPOUTS AT ALONG EAVES AT MAIN ROOF (SECTIONS A & B), ADDITION ROOF (SECTION C), AND PORCH ROOFS. CONNECT DOWNSPOUTS TO UNDERGROUND STORM WATER PIPING. SEE CIVIL ENGINEERING DRAWINGS.
13	REMOVE EXISTING WOOD SHINGLES ON ALL SIDES OF SECTION C. INSTALL NEW AIR BARRIER OVER EXISTING SHEATHING AND NEW STAINED CEDAR SHINGLES. COORDINATE AIRWEATHER BARRIER WITH WINDOW AND DOOR FRAME INSTALLATIONS.
16	CLEAN OUT EXISTING AREAWAYS. REMOVE CAP STONE. REPLACE WITH 4" THICK CONCRETE CAP W/ 2 #4 REBARS.
17	NEW (2) 8X8" TOILET ROOM EXHAUST VENT CAPS

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ADAPTIVE REUSE OF HISTORIC FARM HOUSE FOR THE AFRICAN AMERICAN MUSEUM OF BUCKS COUNTY
 Elevations
 Bucks County

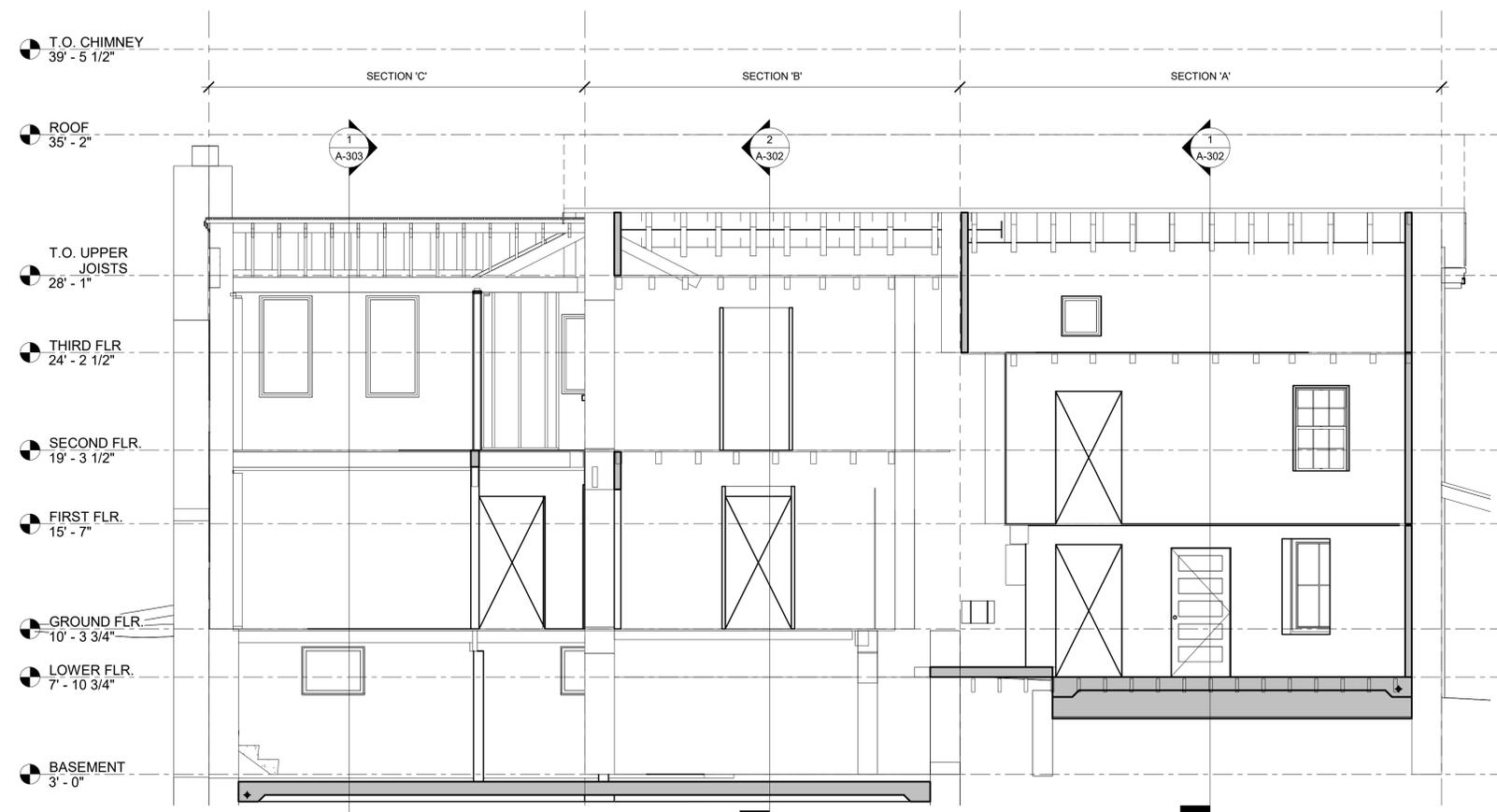
NO.	DATE	REVISIONS	BY

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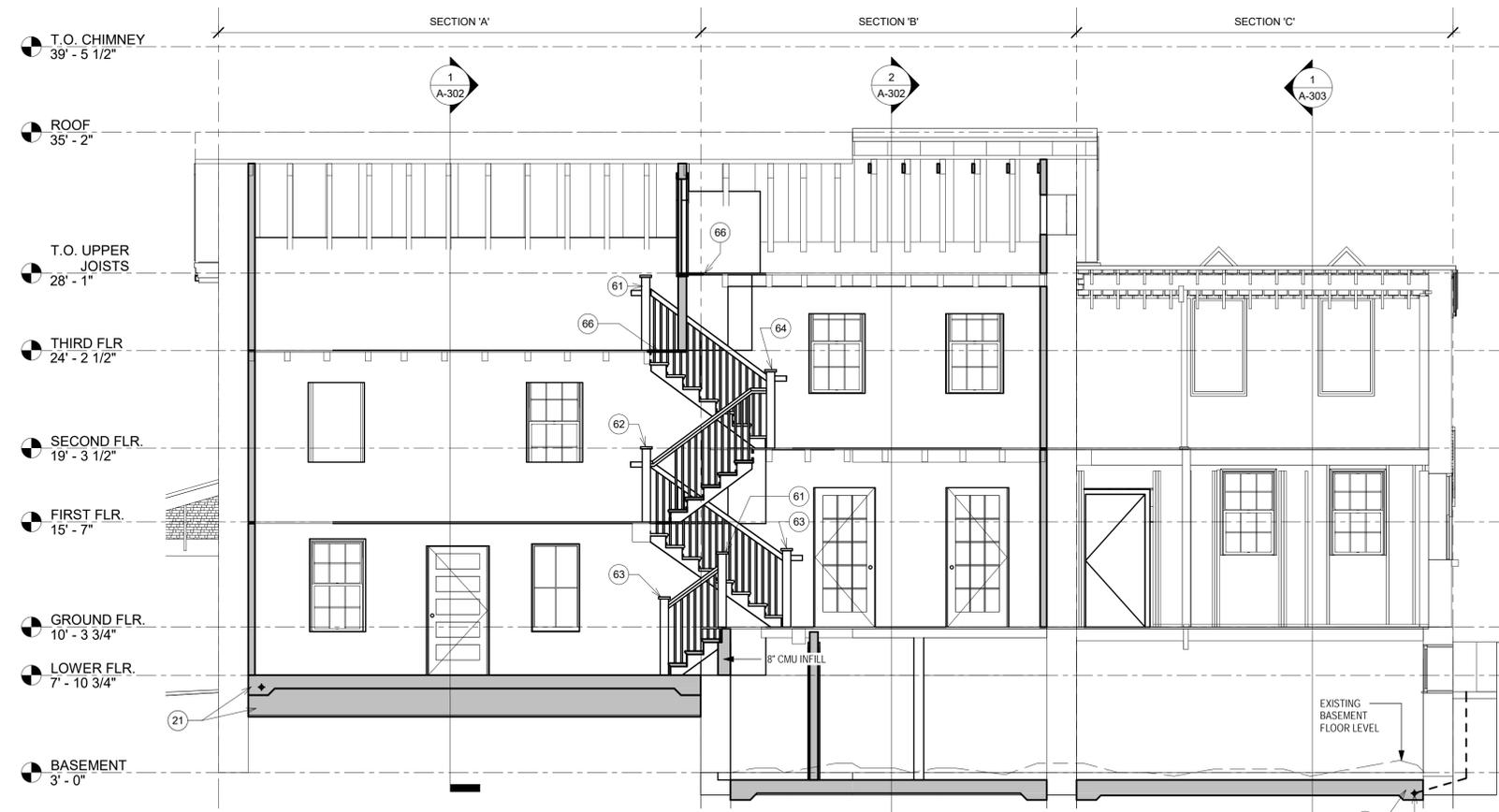
PROJECT	20250
DATE	DECEMBER 1, 2020
DRAWING SCALE	AS NOTED
DRAWN BY	Author
APPROVED BY	Approver

A-202
 SHEET 25 OF 102

ISSUED FOR BID/PERMIT:
 DATE: 12/01/2020



1 Longitudinal Section Looking North
1/4" = 1'-0"

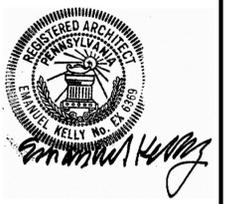


2 Longitudinal Section Looking South
1/4" = 1'-0"

Key Notes	
Key Value	Keynote Text
21	NEW CONCRETE SLAB ON GRAVEL WITH PERIMETER FOUNDATION DRAIN, SEE DETAIL 4/A-501 AND S-SERIES DRAWINGS FOR MORE INFORMATION.
54	NEW PERIMETER FOUNDATION DRAIN. SEE 4/A-501 AND MEP-SERIES DRAWINGS.
61	NEW 5"x5" NEWEL POST WITH FLAT 5/4" CAP, 3'-8" TO TOP.
62	NEW 5"x10" NEWEL POST WITH FLAT 5/4" CAP, 3'-8" TO TOP.
63	NEW 5"x5" NEWEL POST WITH FLAT 5/4" CAP, 3'-10" TO TOP.
64	NEW 5"x10" NEWEL POST WITH FLAT 5/4" CAP, 3'-10" TO TOP.
66	INFILL FLOOR AND FRAMING. SEE S-SERIES DRAWINGS.

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ADAPTIVE REUSE OF HISTORIC FARM HOUSE FOR THE AFRICAN AMERICAN MUSEUM OF BUCKS COUNTY
 Sections
 Bucks County

NO.	DATE	REVISIONS	BY

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PROJECT	20250
DATE	DECEMBER 1, 2020
DRAWING SCALE	AS NOTED
DRAWN BY	Author
APPROVED BY	Approver

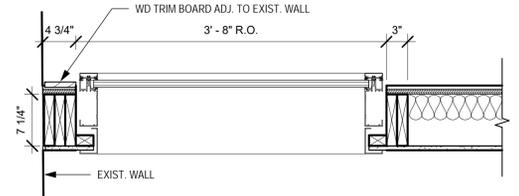
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 SHEET 26 OF 102

ISSUED FOR BID/PERMIT:
 DATE: 12/01/2020

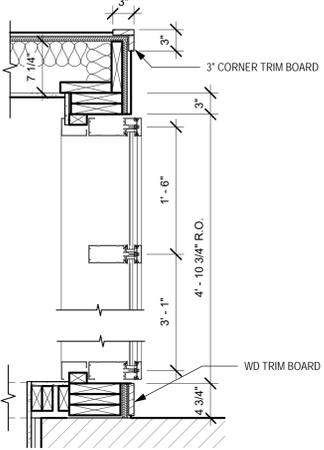
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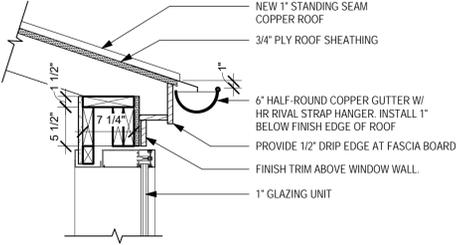
PROJECT: 20250
DATE: DECEMBER 1, 2020
DRAWING SCALE: AS NOTED
DRAWN BY: Author
APPROVED BY: Approver



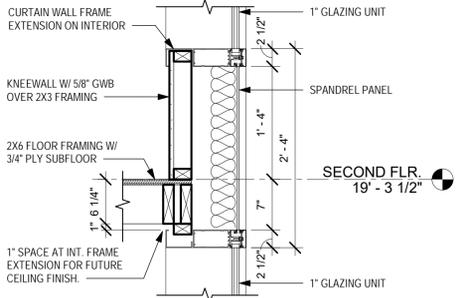
2 NORTH WINDOW WALL - PLAN DTL
1" = 1'-0"



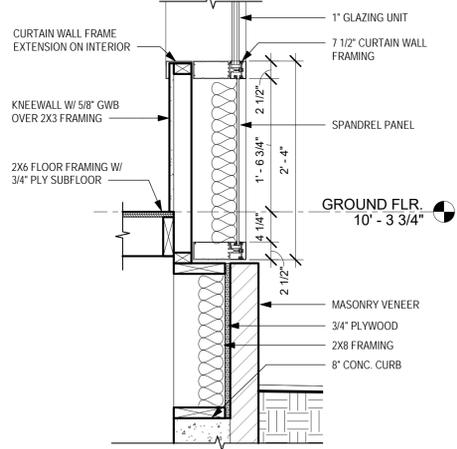
1 EAST WINDOW WALL - PLAN DTL
1" = 1'-0"



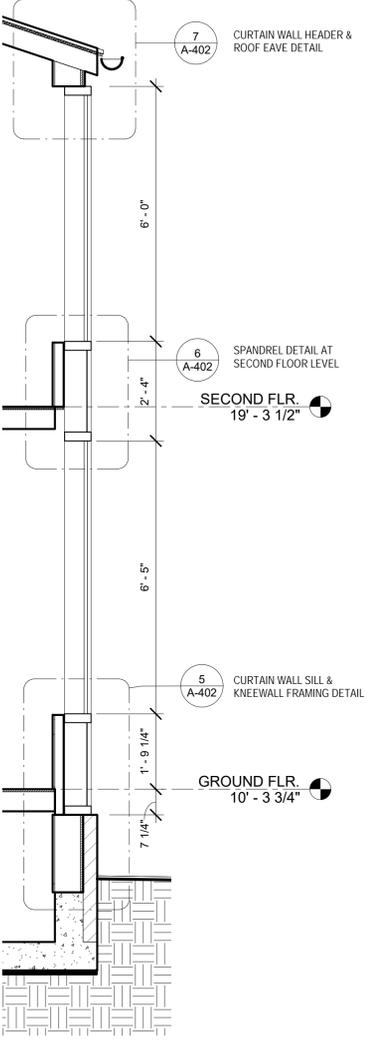
7 ROOF EAVE DETAIL
1" = 1'-0"



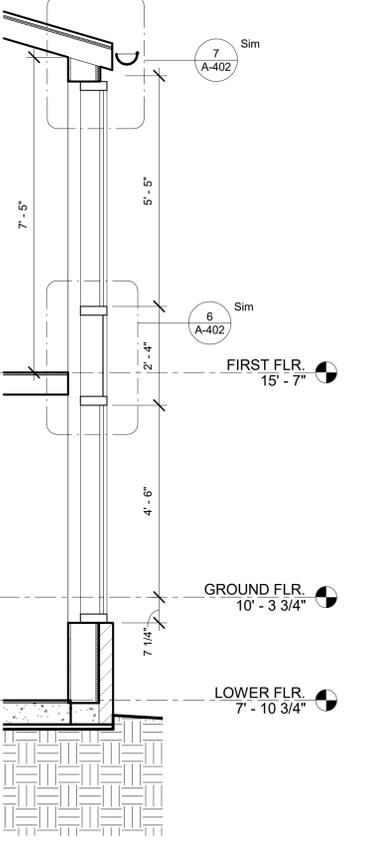
6 SECOND FLR LVL SPANDREL DTL
1" = 1'-0"



5 SILL AND SPANDREL DTL
1" = 1'-0"

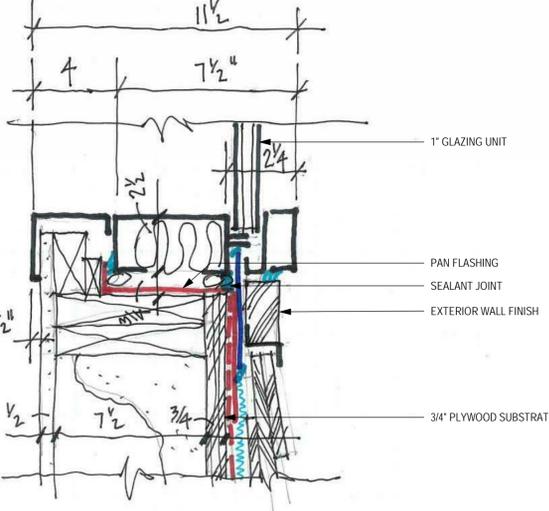


4 NORTH WINDOW WALL - SECTION
1/2" = 1'-0"

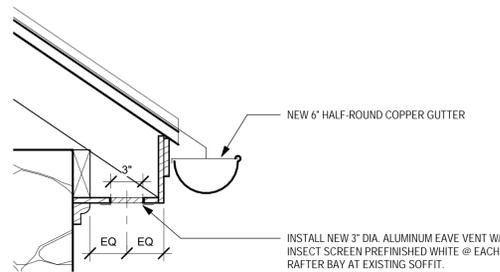


3 EAST WINDOW WALL - SECTION
1/2" = 1'-0"

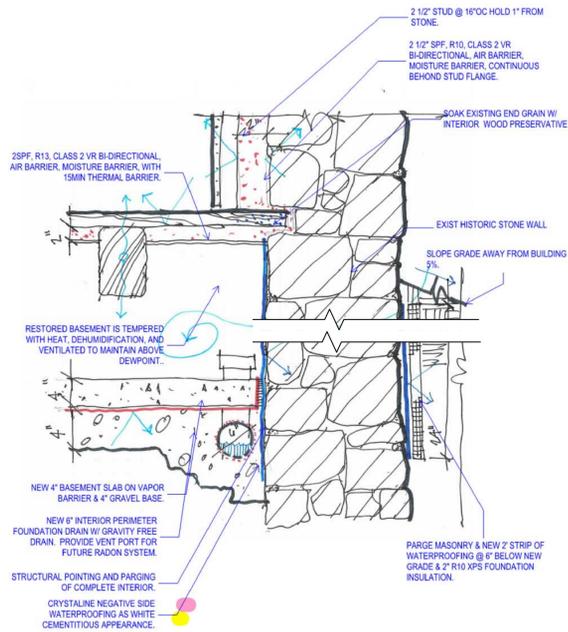
ISSUED FOR BID/PERMIT:
DATE: 12/01/2020



8 TYP. FLASHING DETAIL AT CURTAIN WALL SILL
3" = 1'-0"

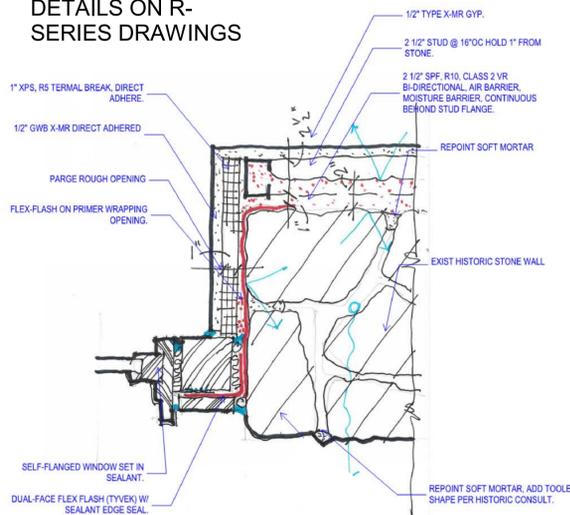


5 ROOF EAVE DETAIL
1 1/2" = 1'-0"

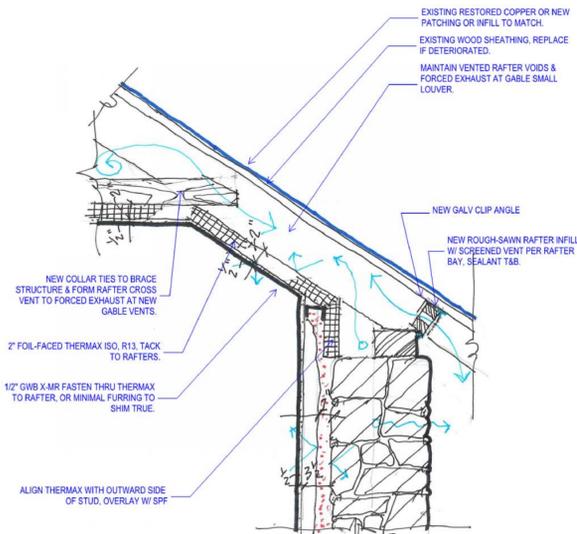


4 DETAIL @ NEW HISTORIC RESTORED BASEMENT

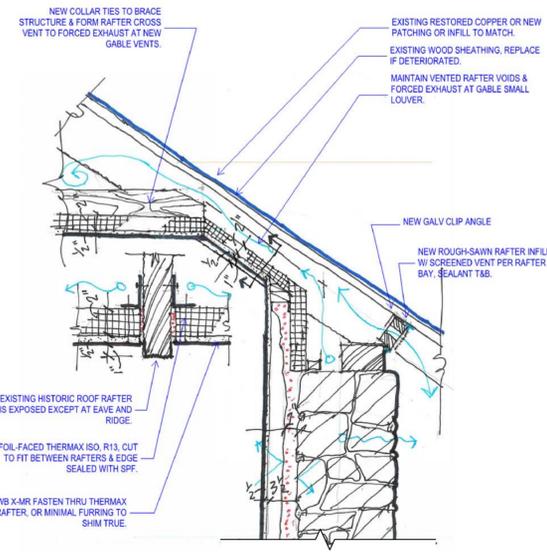
REFER TO WINDOW DETAILS ON R-SERIES DRAWINGS



3 JAMB DETAIL @ NEW HISTORIC WINDOW IN RESTORED STONE WALL



2 ROOF DETAIL @ HISTORIC WALL TO ROOF INTERSECTION & VENTED RIDGE



1 ROOF DETAIL @ HISTORIC WALL TO ROOF INTERSECTION & VENTED RIDGE WITH EXPOSED HISTORIC ROOF RAFTER EDGES



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ADAPTIVE REUSE OF HISTORIC FARM HOUSE FOR THE AFRICAN AMERICAN MUSEUM OF BUCKS COUNTY

Details
Bucks County

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PROJECT	20250
DATE	DECEMBER 1, 2020
DRAWING SCALE	AS NOTED
DRAWN BY	Author
APPROVED BY	Approver

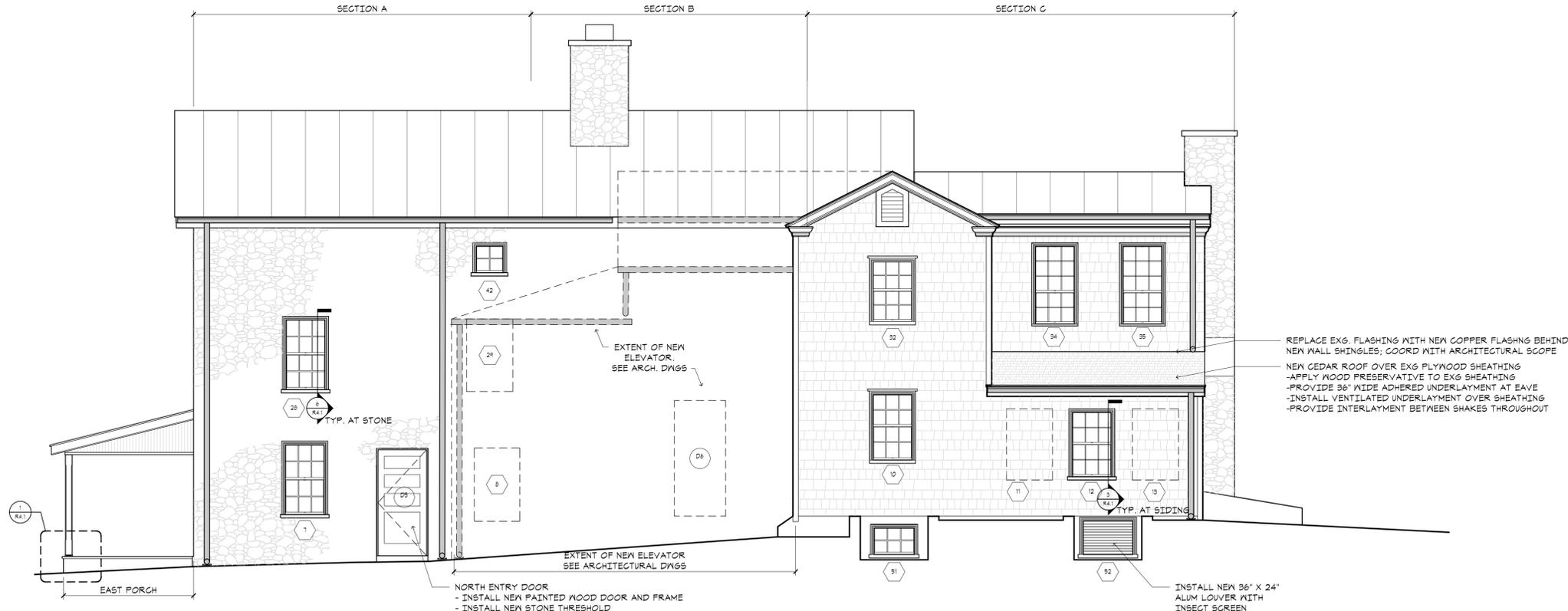
A-501

SHEET 31 OF 102

ISSUED FOR BID/PERMIT:
DATE: 12/01/2020



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
SCALE: 1/8"=1'-0"

- RESTORATION DRAWINGS - GENERAL NOTES**
- SCOPE OF WORK INDICATED ON THESE DRAWINGS IS LIMITED TO RESTORATION OF PORCHES AND OPENINGS. REFER TO ARCHITECTURAL, STRUCTURAL, AND M/E/P/FP FOR ADDITIONAL WORK, INCLUDING RESTORATION OF METAL ROOF, TRIM, SIDING, STONE WALLS AND NEW CONSTRUCTION. COORDINATE WITH TRADES PRIOR TO COMMENCEMENT OF WORK.
 - DIMENSIONS ARE NOT SHOWN ON RESTORATION PNGS. REFER TO ARCHITECTURAL, STRUCTURAL, AND M/E/P/FP DRAWINGS.
 - GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF DIFFERENT THAN INDICATED ON DRAWINGS.

- RESTORATION DRAWINGS - DEMO NOTES**
- ADDITIONAL DEMOLITION MAY BE REQUIRED FOR PROPER INSTALLATION OF NEW WORK. SEE ARCHITECTURAL AND M/E/P/FP DRAWINGS.
 - REFER TO M/E/P/FP DRAWINGS FOR EXTENT OF DEMOLITION OF ALL M/E/P/FP SYSTEMS.
 - PROTECT AREAS BEYOND PROJECT SCOPE DURING DEMOLITION AND REPAIR.
 - PROVIDE SHORING AS REQUIRED, PARTICULARLY FOR DEMOLITION OF EXISTING STRUCTURE.
 - ANY ITEMS INDICATED TO REMAIN OR BE REUSED THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AT NO ADDITIONAL COST TO THE OWNER.
 - PROVIDE WEATHER TIGHT AND SECURE CLOSURES FOR ANY BLDG. OPENINGS LEFT OPEN OVERNIGHT. THE CONTRACTOR IS RESPONSIBLE FOR ANY BREACHES OF SECURITY OR DAMAGE CAUSED AS A RESULT OF INSUFFICIENT PROTECTION.
 - CONTRACTOR TO REMOVE ALL DEBRIS FROM STRUCTURE DAILY. ALL EXCAVATED MATERIAL TO BE REMOVED OFF-SITE. ALL EXCAVATED MATERIAL AND DEBRIS TO BE LEGALLY DISPOSED OF OFF-SITE.
 - STOP WORK & NOTIFY PROFESSIONAL IMMEDIATELY IF MATERIALS ARE FOUND DURING DEMOLITION THAT MAY CONTAIN HAZARDOUS MATERIALS.

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 LANGHORNE, PA
RESTO. ELEV. - NORTH & SOUTH
 BUCKS COUNTY, PA.

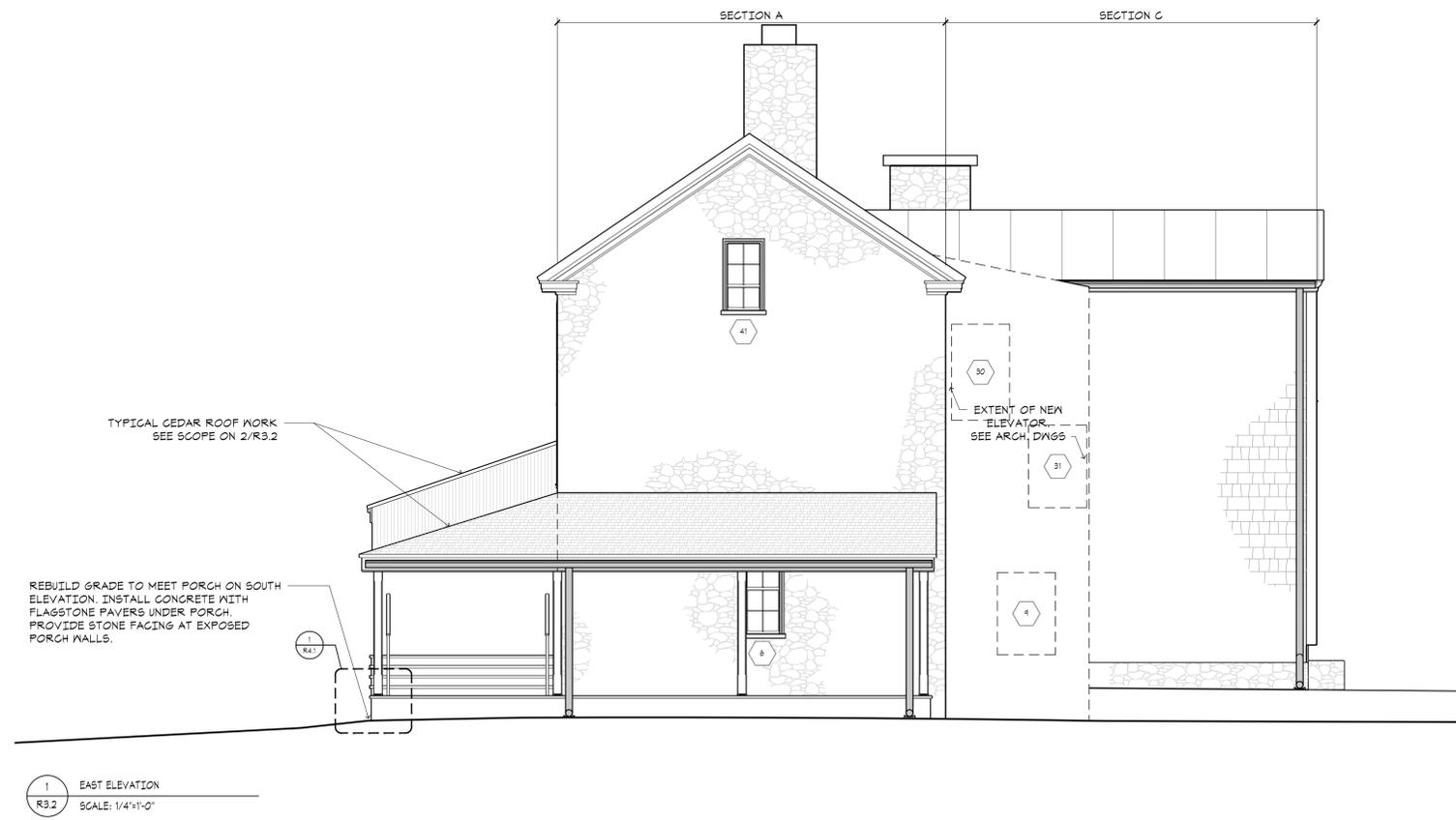
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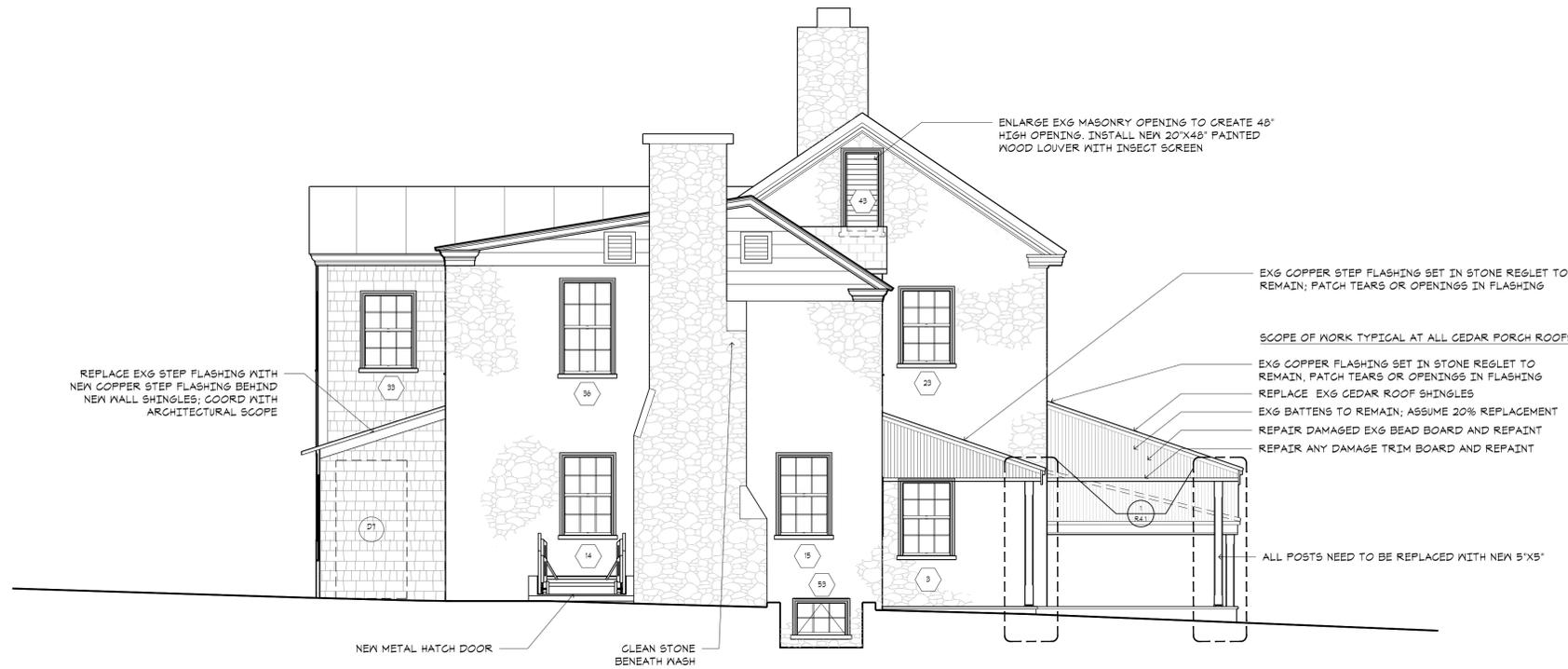
PROJECT BUCPD20007
 DATE 12/1/2020
 DRAWING SCALE AS NOTED
 DRAWN BY MLH
 APPROVED BY JHC

ISSUED FOR BID/PERMIT
 DATE: 12/1/2020

R3.1
 SHEET 13 OF 86



1 EAST ELEVATION
R3.2 SCALE: 1/4"=1'-0"



2 WEST ELEVATION
R3.2 SCALE: 1/4"=1'-0"

RESTORATION DRAWINGS - GENERAL NOTES

- SCOPE OF WORK INDICATED ON THESE DRAWINGS IS LIMITED TO RESTORATION OF PORCHES AND OPENINGS. REFER TO ARCHITECTURAL, STRUCTURAL, AND M/E/P/FP FOR ADDITIONAL WORK, INCLUDING RESTORATION OF METAL ROOF, TRIM, SIDING, STONE WALLS AND NEW CONSTRUCTION. COORDINATE WITH TRADES PRIOR TO COMMENCEMENT OF WORK.
- DIMENSIONS ARE NOT SHOWN ON RESTORATION DWGS. REFER TO ARCHITECTURAL, STRUCTURAL, AND M/E/P/FP DRAWINGS.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF DIFFERENT THAN INDICATED ON DRAWINGS.

RESTORATION DRAWINGS - DEMO NOTES

- ADDITIONAL DEMOLITION MAY BE REQUIRED FOR PROPER INSTALLATION OF NEW WORK. SEE ARCHITECTURAL AND M/E/P/FP DRAWINGS.
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APPROVED BY	JHC

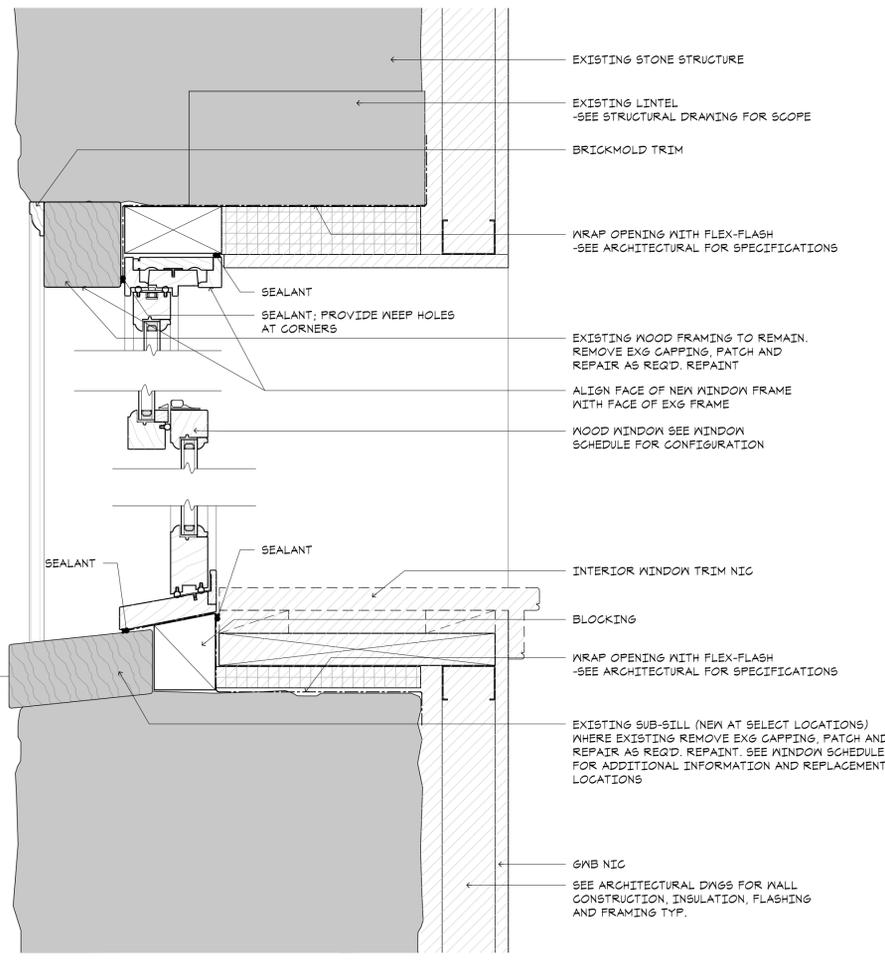
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DETAIL LEGEND

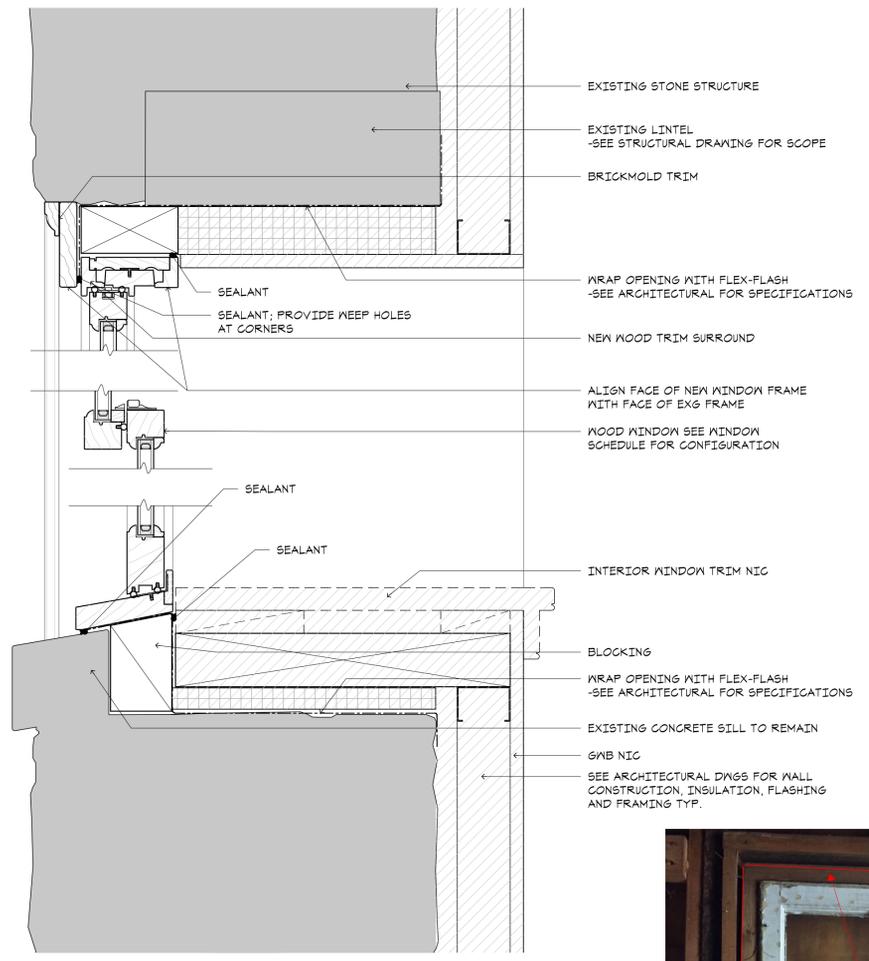
- EXISTING HISTORIC ELEMENT TO REMAIN
- NEW CONSTRUCTION SEE ARCHITECTURAL DRAWING FOR ADDITIONAL INFORMATION
- FLASHING AS INDICATED
- SEALANT JOINT

WINDOW CONDITION A - AT 18TH CENTURY MASONRY OPENINGS

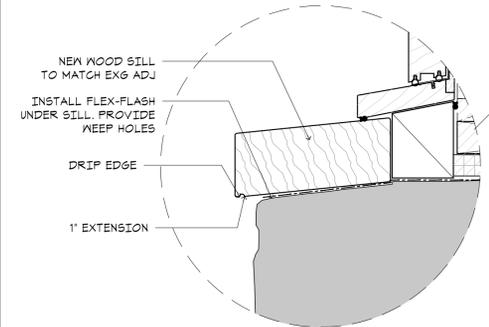


1 TYPICAL WINDOW DETAIL - 18TH CENTURY MASONRY OPENINGS
SCALE: 3/4"=1'-0"

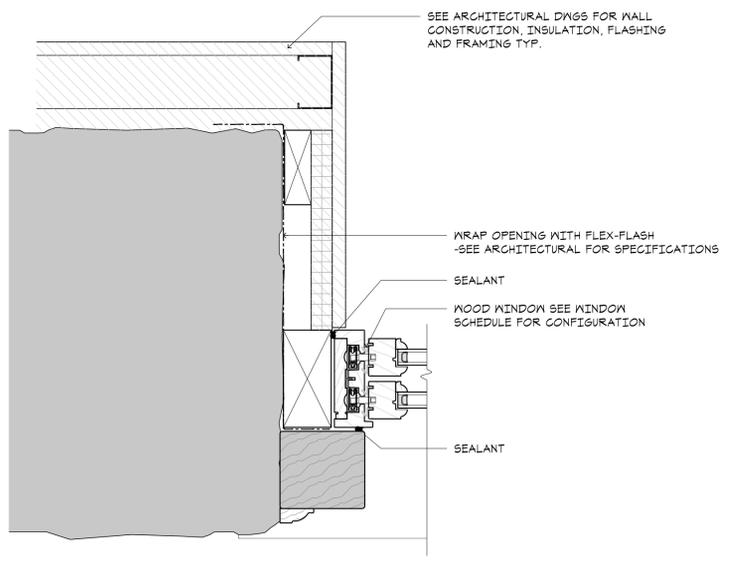
WINDOW CONDITION B - AT 1920'S MASONRY OPENINGS



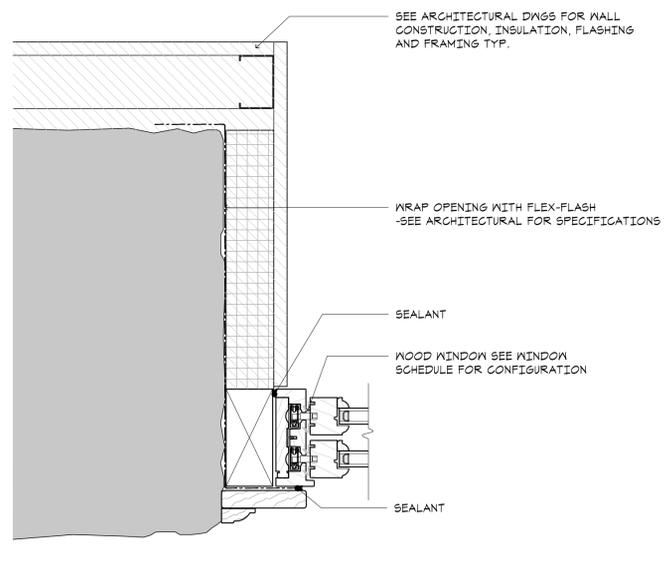
3 TYPICAL WINDOW DETAIL - 1920'S MASONRY OPENINGS
SCALE: 3/4"=1'-0"



18TH CENTURY MASONRY OPENINGS CONDITION 2
NEW WOOD SILL LOCATIONS NOTED ON SCHEDULE



2 TYPICAL WINDOW PLAN/JAMB DETAIL - 18TH CENTURY MASONRY OPENINGS
SCALE: 3/4"=1'-0"



4 TYPICAL WINDOW PLAN/JAMB DETAIL - 1920'S MASONRY OPENINGS
SCALE: 3/4"=1'-0"



SEE ABOVE PHOTO AT EXISTING WINDOW. REMOVE EXISTING WOOD FRAME AS INDICATED.

5 REMOVALS AT EXISTING 1920'S WINDOW
SCALE: NTS

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 867 NEWTOWN/LANGHORNE
 ROAD
 LANGHORNE, PA
RESTORATION DETAILS
 BUCKS COUNTY, PA.

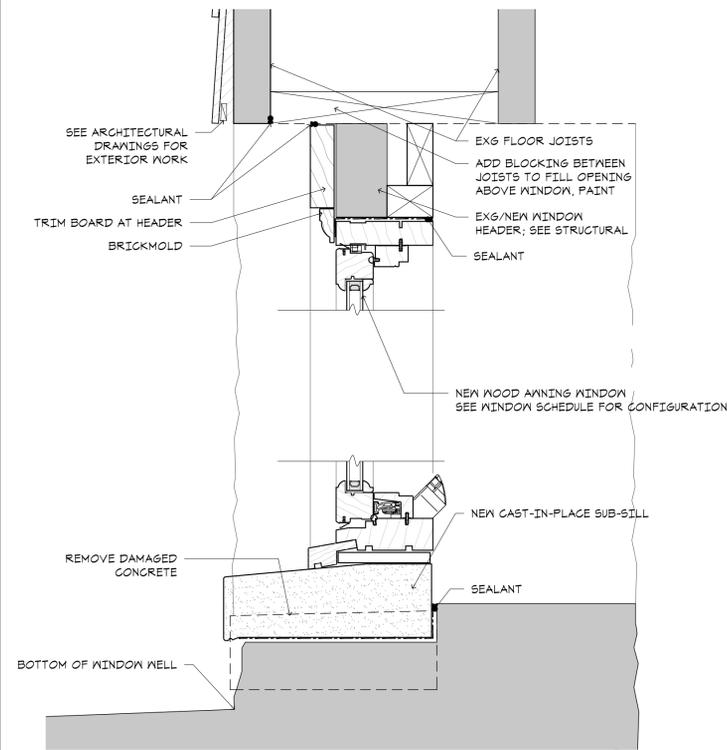
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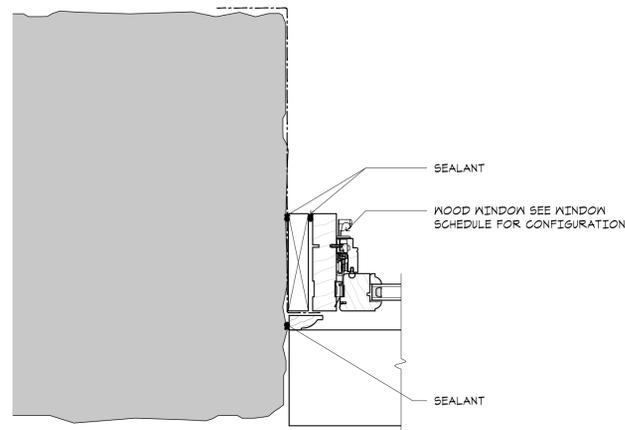
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WINDOW CONDITION C - AT BASEMENT MASONRY OPENINGS

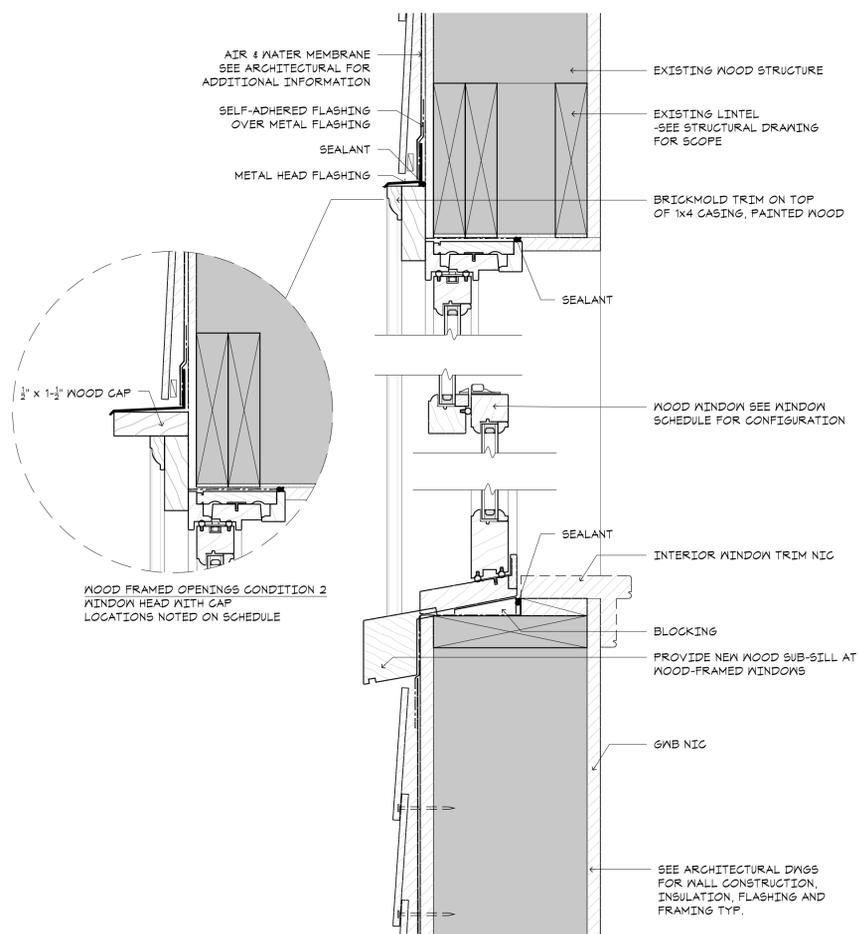


1 TYPICAL WINDOW DETAIL - AT BASEMENT MASONRY OPENINGS
SCALE: 3/4"=1'-0"

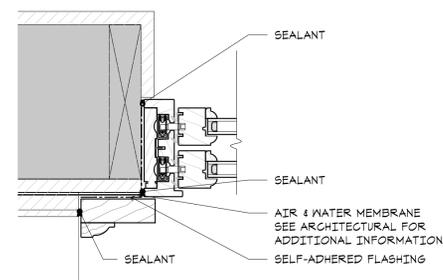


2 TYPICAL WINDOW PLAN/JAMB DETAIL - AT BASEMENT MASONRY OPENINGS
SCALE: 3/4"=1'-0"

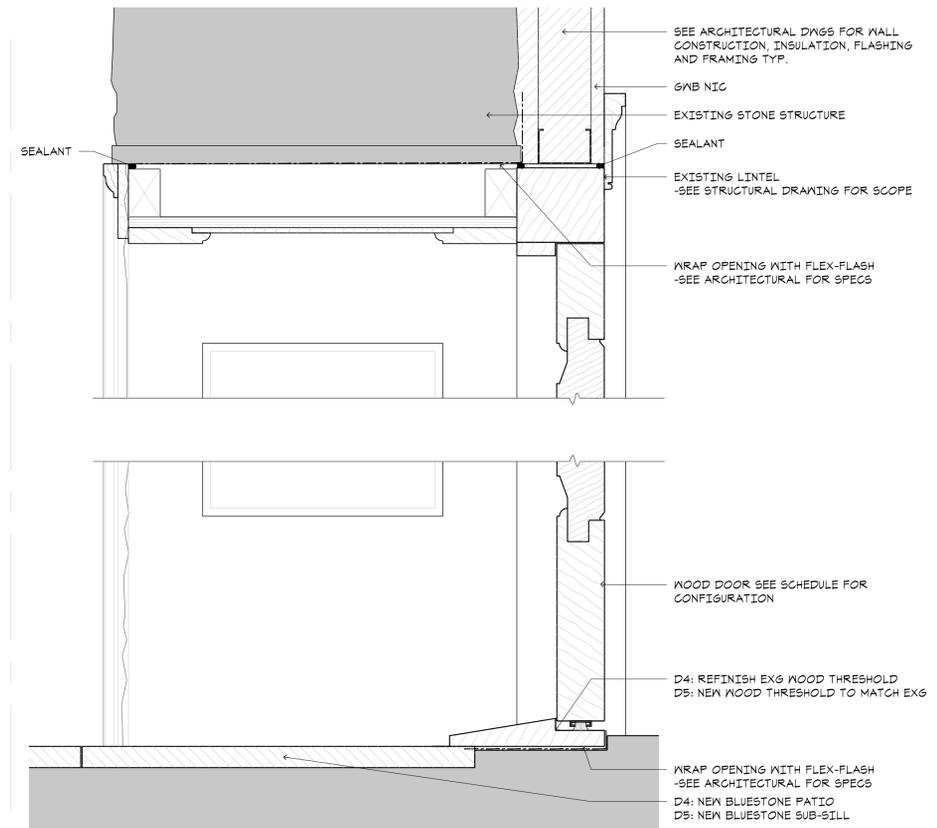
WINDOW CONDITION D - WOOD FRAMED OPENINGS



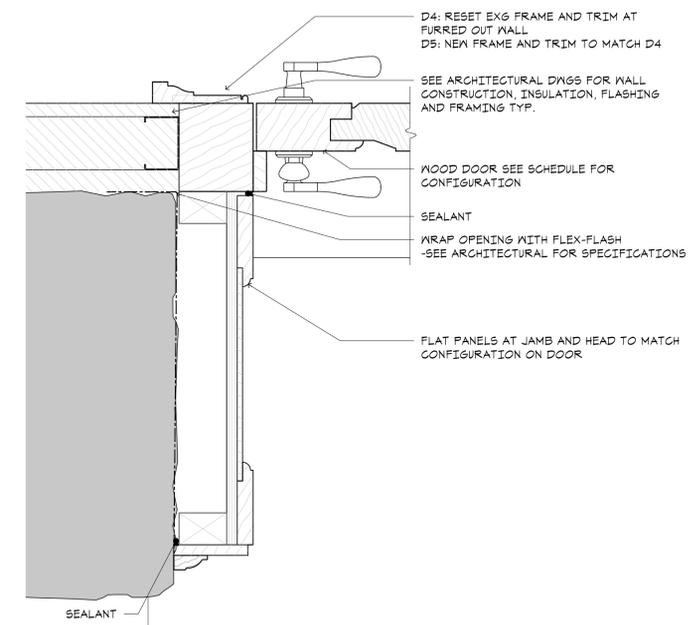
3 TYPICAL WINDOW DETAIL - WOOD FRAMED OPENINGS
SCALE: 3/4"=1'-0"



4 TYPICAL WINDOW PLAN/JAMB DETAIL - WOOD FRAMED OPENINGS
SCALE: 3/4"=1'-0"



5 DOOR D4/D5 HEAD/SILL DETAIL
SCALE: 3/4"=1'-0"



6 DOOR D4/D5 JAMB DETAIL
SCALE: 3/4"=1'-0"

DETAIL LEGEND

- EXISTING HISTORIC ELEMENT TO REMAIN
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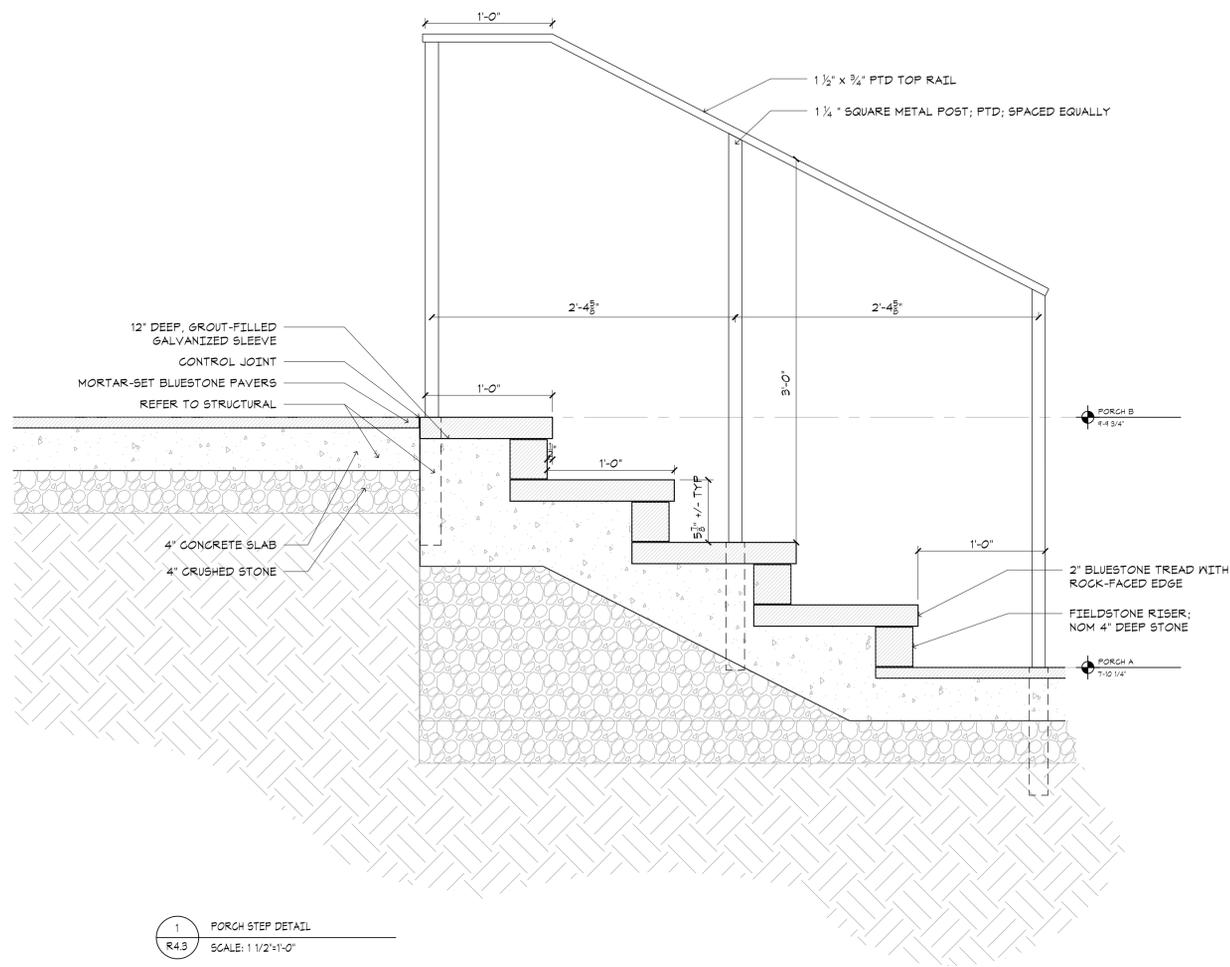
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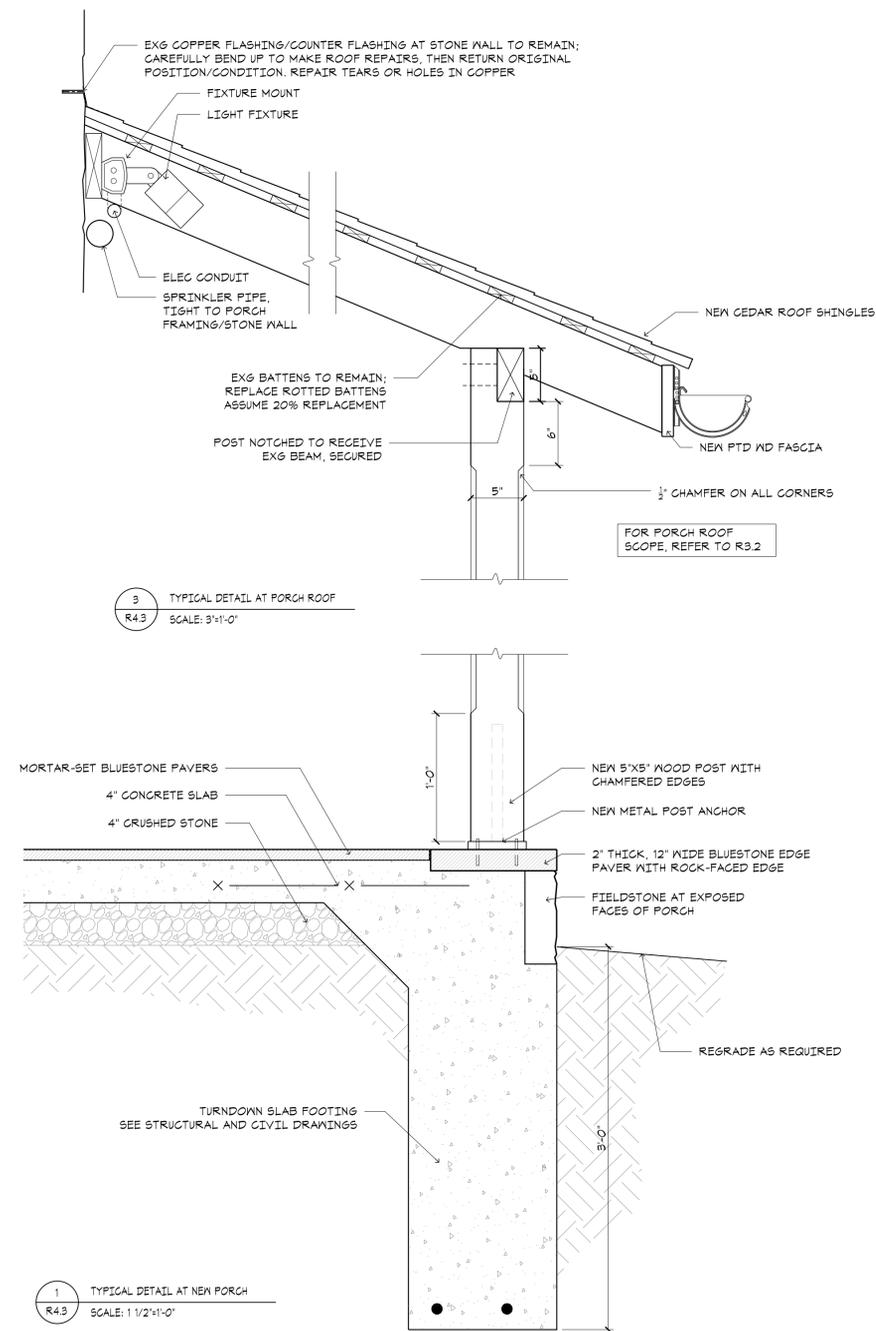
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1 PORCH STEP DETAIL
SCALE: 1 1/2"=1'-0"



3 TYPICAL DETAIL AT NEW PORCH
SCALE: 3/4"=1'-0"

3 TYPICAL DETAIL AT PORCH ROOF
SCALE: 3/4"=1'-0"



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WINDOW SCHEDULE																
BASE INFO	WINDOW								EXTERIOR TRIM			INTERIOR TRIM			REMARKS	
	WDM #	EXG / NEW	DTL	WALL EXT / INT	M.O / OUTER CASING DIM (DNI SUB-SILL)	WINDOW CONFIGURATION	MTRL	GLAZING	FINISH	SUB-SILL	MTRL	TYPE	FINISH	MTRL		TYPE
FLOOR 1																
1	NEW	3 4 4 R4.2		SHINGLE / WOOD FRAMING	36.5" X 50.5"	6 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	CASING + BRKMLD	PAINT	NONE		
2	NEW	3 4 4 R4.2		SHINGLE / WOOD FRAMING	36.5" X 50.5"	6 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	CASING + BRKMLD	PAINT	NONE		
3	NEW	SH		STONE / PLASTER	39" X 51"	6 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	NOTE 1	PAINT	NONE		FORMER DOOR; INFILLED POST 1988
4	NEW	1 4 2 R4.1		STONE / STONE	32.5" X 54.5"	6 OVER 6	WOOD	INSUL	PAINT	NOTE 3	WOOD	NOTE 1	PAINT	NONE		
5	NEW	1 4 2 R4.1		STONE / STONE	32.5" X 54.5"	6 OVER 6	WOOD	INSUL	PAINT	NOTE 3	WOOD	NOTE 1	PAINT	NONE		
6	NEW	1 4 2 R4.1		STONE / STONE	26" X 49.5"	6 OVER 6	WOOD	INSUL	PAINT	EXG WOOD; PAINT	WOOD	SEE RMRKS	PAINT	NONE		EXG WOOD FRAME TO REMAIN; NO BRICKMOLD TO BE ADDED
7	NEW	1 4 2 R4.1		STONE / STONE	37" X 51"	6 OVER 6	WOOD	INSUL	PAINT	NOTE 3	WOOD	NOTE 1	PAINT	NONE		
8	DEMO			STONE / STONE		DEMO				DEMO						DEMO FOR ELEVATOR; ENLARGE / INFILL AS REQ'D
9	DEMO			SHINGLE / WOOD FRAMING		DEMO				DEMO						DEMO FOR ELEVATOR; ENLARGE / INFILL AS REQ'D
10	NEW	3 4 4 R4.2		SHINGLE/WOOD FRAMING	36.5" X 50.5"	6 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	CASING + BRKMLD	PAINT	NONE		INCLUDE GAP SHOWN AS CONDITION 2
11	DEMO			SHINGLE / WOOD FRAMING		DEMO				DEMO						DEMO / INFILL AS REQ'D
12	NEW	3 4 4 R4.2		SHINGLE/WOOD FRAMING	36.5" X 50.5"	6 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	CASING + BRKMLD	PAINT	NONE		ADDED POST 1988
13	DEMO			SHINGLE / WOOD FRAMING		DEMO				DEMO						DEMO / INFILL AS REQ'D
14	NEW	3 4 4 R4.1		STONE/STONE	36.5" X 49.5"	6 OVER 6	WOOD	INSUL	PAINT	EXG CONCRETE	WOOD	CASING + BRKMLD	PAINT	NONE		SPLAYED INTERIOR JAMB
15	NEW	3 4 4 R4.1		STONE/STONE	36.5" X 49.5"	6 OVER 6	WOOD	INSUL	PAINT	EXG CONCRETE	WOOD	CASING + BRKMLD	PAINT	NONE		SPLAYED INTERIOR JAMB
FLOOR 2																
21	NEW	3 4 4 R4.2		SHINGLE / WOOD FRAMING	36.5" X 61.5"	9 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	CASING + BRKMLD	PAINT	NONE		
22	NEW	3 4 4 R4.2		SHINGLE / WOOD FRAMING	36.5" X 61.5"	9 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	CASING + BRKMLD	PAINT	NONE		
23	NEW	SH		STONE / PLASTER	39" X 51"	6 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	NOTE 1	PAINT	NONE		FORMER DOOR; INFILLED POST 1988
24	NEW	1 4 2 R4.1		STONE / PLASTER	36.5" X 61.5"	9 OVER 6	WOOD	INSUL	PAINT	NOTE 3	WOOD	NOTE 1	PAINT	NONE		
25	NEW	1 4 2 R4.1		STONE / PLASTER	36.5" X 61.5"	9 OVER 6	WOOD	INSUL	PAINT	NOTE 3	WOOD	NOTE 1	PAINT	NONE		
26	NEW	1 4 2 R4.1		STONE / PLASTER	36.5" X 61.5"	9 OVER 6	WOOD	INSUL	PAINT	NOTE 3	WOOD	NOTE 1	PAINT	NONE		
27	NEW	1 4 2 R4.1		STONE / PLASTER	36.5" X 61.5"	9 OVER 6	WOOD	INSUL	PAINT	NOTE 3	WOOD	NOTE 1	PAINT	NONE		
28	NEW	1 4 2 R4.1		STONE / PLASTER	35.5" X 52.5"	6 OVER 6	WOOD	INSUL	PAINT	NOTE 3	WOOD	NOTE 1	PAINT	NONE		
29	DEMO			STONE / PLASTER		DEMO				DEMO						DEMO FOR ELEVATOR; ENLARGE / INFILL AS REQ'D
30	DEMO			SHINGLE / WOOD FRAMING		DEMO				DEMO						DEMO FOR ELEVATOR; ENLARGE / INFILL AS REQ'D
31	DEMO			SHINGLE / WOOD FRAMING		DEMO				DEMO						DEMO FOR ELEVATOR; ENLARGE / INFILL AS REQ'D
32	NEW	3 4 4 R4.2		SHINGLE/WOOD FRAMING	36.5" X 50.5"	6 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	CASING + BRKMLD	PAINT	NONE		INCLUDE GAP SHOWN AS CONDITION 2
33	NEW	3 4 4 R4.2		SHINGLE / WOOD FRAMING	36.5" X 50.5"	6 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	CASING + BRKMLD	PAINT	NONE		INCLUDE GAP SHOWN AS CONDITION 2
34	NEW	3 4 4 R4.2		SHINGLE / WOOD FRAMING	36.5" X 58"	9 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	CASING + BRKMLD	PAINT	NONE		
35	NEW	3 4 4 R4.2		SHINGLE / WOOD FRAMING	36.5" X 58"	9 OVER 6	WOOD	INSUL	PAINT	NEW WOOD	WOOD	CASING + BRKMLD	PAINT	NONE		
36	NEW	3 4 4 R4.1		SHINGLE / STONE	36.5" X 58"	6 OVER 6	WOOD	INSUL	PAINT	EXG CONCRETE	WOOD	CASING + BRKMLD	PAINT	NONE		
FLOOR 3																
41	NEW	SIM 142 R4.1		STONE / PLASTER	25" X 37"	4 OVER 2	WOOD	INSUL	PAINT	NEW WOOD	WOOD	SEE RMRKS	PAINT	NONE		PROVIDE NEW 2-1/2" "STRUCTURAL" FRAME; NO BRICKMOLD
42	NEW	FXD		STONE / PLASTER	25" X 22"	4 LITE	WOOD	INSUL	PAINT	NEW WOOD	WOOD	SEE RMRKS	PAINT	NONE		PROVIDE NEW 2-1/2" "STRUCTURAL" FRAME; NO BRICKMOLD
43	DEMO	LVR		STONE / PLASTER	21" X 29"	LOUVER	WOOD	NONE	PAINT	NEW WOOD	WOOD	SEE RMRKS	PAINT	NONE		LOWER SILL TO CREATE TALLER OPENING FOR LOUVER; REPLACE EXISTING WOOD FRAME; 20" X 48" LOUVER
BASEMENT																
51	NEW	1 4 2 R4.2		STONE / STONE	35" X 23.5"	6 LITE	FBRGLS	INSUL	INTEGRAL	NEW CONCRETE	NEW AZEK	BRICK MOLD	INTEGRAL	NONE		
52	NEW	1 4 2 R4.2		STONE / STONE	35" X 23.5"	LOUVER	ALUM	NONE	INTEGRAL	NEW CONCRETE	NEW AZEK	BRICK MOLD	INTEGRAL	NONE		NEW HEADER, REFER TO STRUCTURAL; 36" X 24" LOUVER
53	NEW	1 4 2 R4.2		STONE / STONE	35" X 23.5"	6 LITE	FBRGLS	INSUL	INTEGRAL	NEW CONCRETE	NEW AZEK	BRICK MOLD	INTEGRAL	NONE		

WINDOW SCHEDULE NOTES

- REMOVE EXG ALUMINUM CAPPING FROM WOOD FRAME/TRIM. PATCH WOOD. INSTALL WOOD BRICK-MOLD; SEE 5/R4.1
- NOT USED
- REMOVE EXG ALUMINUM CAPPING FROM (ASSUMED WOOD) SUB-SILL. PATCH AND PAINT.
- DIMENSIONS ARE APPROXIMATE DIMENSIONS PROVIDED FOR GENERAL REFERENCE; EACH OPENING IS TO BE MEASURED IN FIELD PRIOR TO FABRICATION



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AAMBC AT CORE CREEK PARK

RESTORATION WINDOW SCHED.

867 NEWTOWN LANGHORNE ROAD
LANGHORNE, PA

BUCKS COUNTY, PA

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