

26-012 MCIU - ELA ENTRANCE RENOVATIONS

1605 W Main St,
Norristown, PA 19403



EXISTING BUILDING ENTRY



PROPOSED EXTERIOR BUILDING ENTRY RENDERING

ISSUED FOR BID 05.22.2026

MEP
Snyder Hoffman
1005 W Lehigh St
Bethlehem, PA 18018
phone: 610.694.8020
Contact Person: Shane Niper

ARCHITECT
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1100 Ludlow St, Suite 302
Philadelphia, PA 19107
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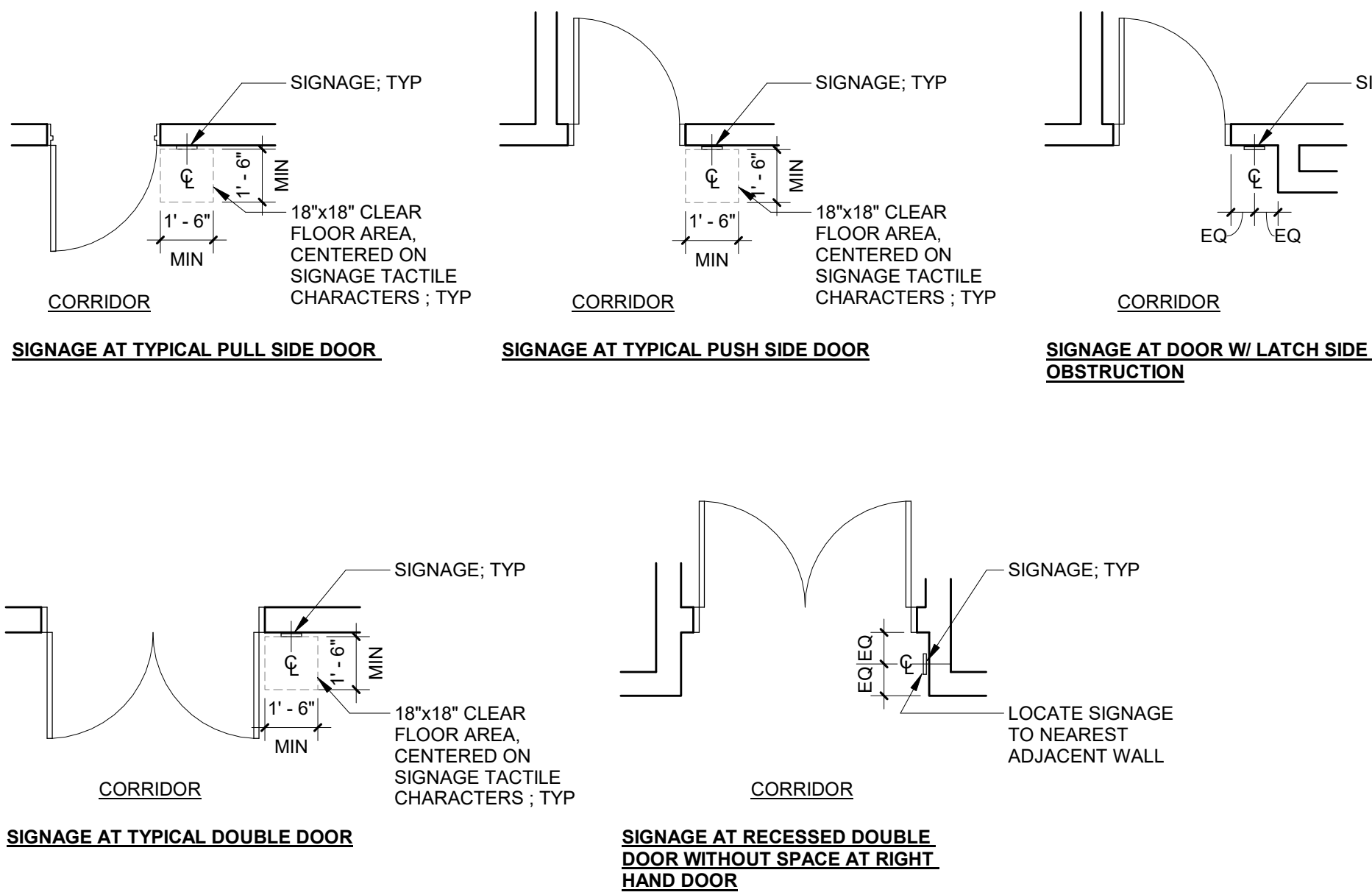
OWNER
MCIU
2 West Lafayette Street
Norristown, PA 19401
phone: 610.755.9404
Contact Person: Alfred Howard

ISSUE INFORMATION

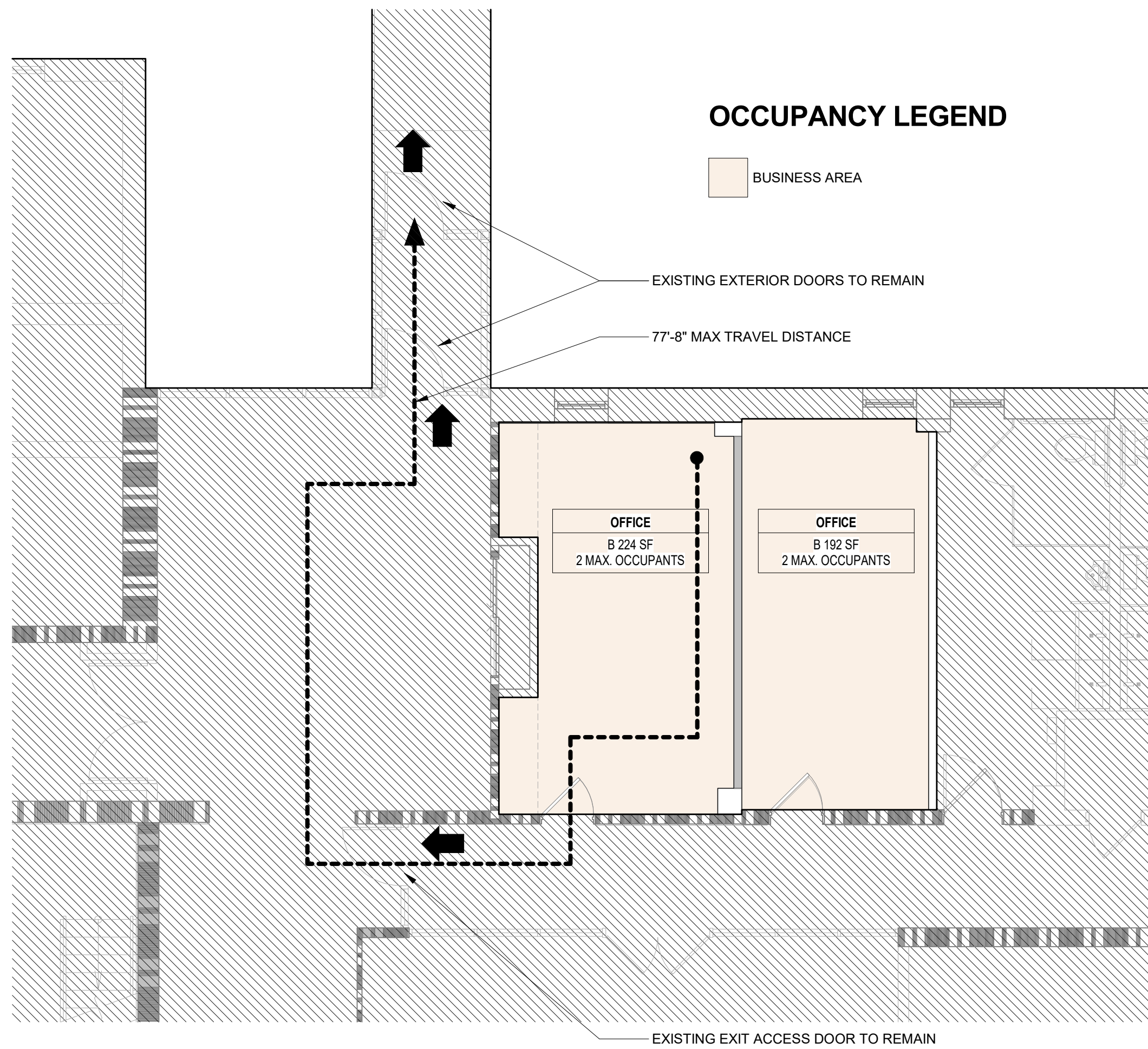
PROGRESS SET	05.01.2026
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3 SIGNAGE TYPES
3" = 1'-0"



2 SIGNAGE - INTERIOR LOCATIONS
1/4" = 1'-0"



2 1ST FLOOR LIFE SAFETY PLAN - SCOPE OF WORK AREA (B)
3/16" = 1'-0"

GENERAL NOTES

- ALL SIGNAGE SHALL CONFORM TO:
 - ANSI A117.1, CHAPTER 7
 - INTERNATIONAL BUILDING CODE, CHAPTER 11
 - ADA ACCESSIBILITY GUIDELINES, 4.30 SIGNAGE
- INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE SHALL BE LOCATED:
 - AT EACH REQUIRED ACCESSIBLE PUBLIC ENTRANCE
 - AT EACH REQUIRED ACCESSIBLE TOILET / BATHING FACILITY
 - AT EACH REQUIRED AREA OF REFUGE
- MOUNT SIGNAGE AT 48" AFF, MEASURED TO THE BOTTOM OF THE BRAILLE UON
- MOUNT SIGNAGE ON THE LATCH SIDE OF DOOR; WHEN THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR THE RIGHT SIDE OF DOUBLE DOORS, SIGNAGE SHALL BE LOCATED ON THE NEAREST ADJACENT WALL
- ALL CHARACTERS TO BE RAISED, MIN 1/32". ALL TEXT AND GRAPHICS TO BE CENTERED HORIZONTALLY IN SIGNAGE UON
- CONTRACTOR SHALL CONFIRM ALL SIGNAGE LOCATIONS AND TYPES WITH CLIENT
- FONT: FUTURA, 5/8" UON
- WHEN SIGNAGE IS MOUNTED TO GLASS, A FLAT BACK PLATE WITH ADHESIVE SHALL BE PROVIDED ON THE OTHER SIDE OF THE GLASS, TYP UON
- CONTRACTOR TO CONFIRM NAMES & NUMBERS WITH OWNER PRIOR TO SUBMITTALS

EXISTING TO REMAIN EGRESS COMPONENTS

PROPOSED PROJECT REPRESENTS A MINOR REDUCTION IN NET OCCUPIED SF FROM EXISTING CONDITIONS. OVERALL BUILDING OCCUPANT LOAD IS PROPOSED TO BE REDUCED BY THIS SCOPE OF WORK. THE EXISTING EGRESS COMPONENTS, INCLUDING STAIRS AND CORRIDORS, OF THE BUILDING WILL NOT BE MODIFIED AND THE NUMBER OF OCCUPANTS TO EACH WILL NOT BE INCREASED AS PART OF THIS WORK.

CLASSROOM OCCUPANT LOADS

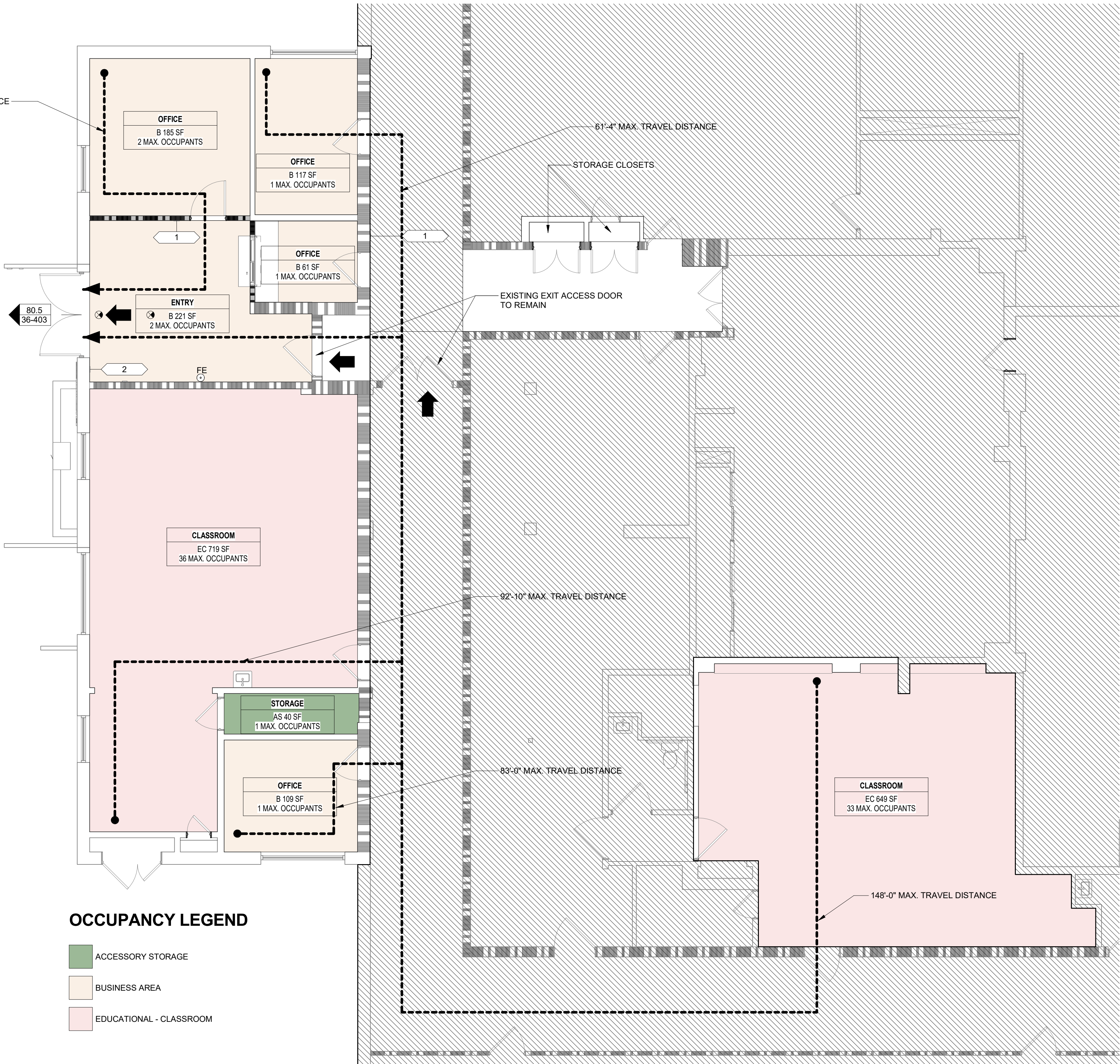
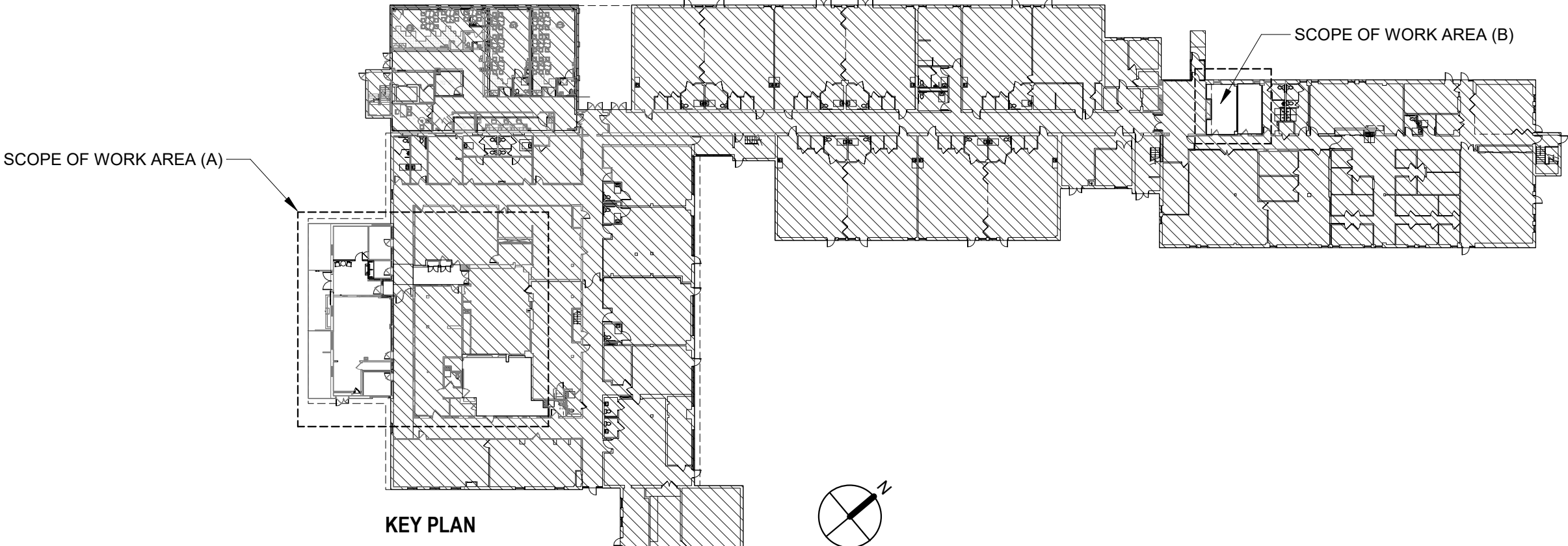
LIFE SAFETY PLAN AND REQUIRED OCCUPANCY TABLE INCLUDE ADJUSTED MAXIMUM OCCUPANT COUNTS BASED ON MAXIMUM EXPECTED CLASS SIZES AND A REQUISITE NUMBER OF TEACHING STAFF. USING IBC TABLE 1004.5 YIELDS OCCUPANT LOADS IN EXCESS OF THE MAXIMUMS ESTABLISHED BY THE PENNSYLVANIA PUBLIC SCHOOL CODE.

IBC 1004.5 AREAS WITHOUT FIXED SEATING

Exception: Where approved by the building official, the actual number of occupants for whom each occupied space, floor or building is designed, although less than those determined by calculation, shall be permitted to be used in the determination of the design occupant load.

REQUIRED OCCUPANCY

FUNCTION OF SPACE (PER 2021 IBC 1004.5)	KEY	NAME	AREA	LOAD FACTOR	OCCUPANT LOAD
1ST FLOOR					
ACCESSORY STORAGE	AS	STORAGE	40 SF	300 SF	1
BUSINESS AREA	B	OFFICE	185 SF	150 SF	2
BUSINESS AREA	B	OFFICE	117 SF	150 SF	1
BUSINESS AREA	B	OFFICE	61 SF	150 SF	1
BUSINESS AREA	B	ENTRY	221 SF	150 SF	2
BUSINESS AREA	B	OFFICE	109 SF	150 SF	1
BUSINESS AREA	B	OFFICE	224 SF	150 SF	2
BUSINESS AREA	B	OFFICE	192 SF	150 SF	2
EDUCATIONAL - CLASSROOM	EC	CLASSROOM	719 SF	20 SF	36
EDUCATIONAL - CLASSROOM	EC	CLASSROOM	649 SF	20 SF	33
1ST FLOOR					81
TOTAL BUILDING					81



1 1ST FLOOR LIFE SAFETY PLAN - SCOPE OF WORK AREA (A)
3/16" = 1'-0"

CODE PLAN LEGEND

SMOKE PARTITION	=====
1/2 HOUR RATED PARTITION	=====
1 HOUR RATED PARTITION	=====
2 HOUR RATED PARTITION	=====
3 HOUR RATED PARTITION	=====
EGRESS PATH	----->
ACCESSIBLE ROUTE	(A) ----->
FIRE EXTINGUISHER	FE FEC
EXIT SIGN	EXIT
RATED DOOR TAG (MINUTES)	##
EGRESS TAGS	STAIR 72 100-240 OPENING 36 100-240
ELEMENT WIDTH IN INCHES	
POSTED LOAD ALLOWABLE LOAD	
NOT IN CONTRACT	=====
EXIT ARROW	----->
SIGNAGE TAG	#



Blackney Hayes

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26-012 MCIJ - ELA
ENTRANCE
RENOVATIONS

Project Address:
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Norristown, PA 19403

Sheet Title:

1ST FLOOR LIFE
SAFETY PLAN &
SIGNAGE TYPES

Scale

DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK

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Release	Date	Comments
	05.01.2026	PROGRESS SET
	05.22.2026	ISSUED FOR BID

BH Job Number: 26-012

Scale: As indicated

Drawn By: SW

Checked By: KM

Approved By: TH

Sheet No.

G1.01

GUARDRAILS OR BARRIERS SHALL BE REQUIRED WHERE VERT. CLEARANCE IS LESS THAN 82" HIGH. THE LEADING EDGE OF THE GUARDRAIL OR BARRIER SHALL BE LOCATED 28" MAX. ABOVE THE FINISH FLOOR OR GROUND.

LIMITS OF PROTRUDING OBJECTS (INTO CIRCULATION PATH)
NOTE: A 1/2" PROTRUSION IS ALLOWED FOR HANDRAILS

4" MAX
X < 6'-10"
X > 2'-2"
2'-0" MAX
2'-6" MAX
CANE DETECTION AREA

NOTE:
1. HANDRAIL ENDS SHALL BE RETURNED TO THE WALL OR FLOOR OR SHALL TERMINATE AT NEWEL POSTS.
2. HANDRAIL EXTENSIONS ARE NOT REQUIRED IN ASSEMBLY AREAS WHERE HANDRAILS ARE DISCONTINUED TO PROVIDE ACCESS TO SEATING AND TO PERMIT CROSSOVERS WITHIN AISLES, OR, IN ALTERATIONS, WHERE EXTENSIONS WOULD BE HAZARDOUS.

The diagrams illustrate the following requirements:

- HANDRAIL HEIGHT AT STAIRS:** A side view of a staircase showing a handrail with a height dimension of 34" TYP (typical) from the nosing of the stairs to the top of the handrail.
- HANDRAIL HEIGHT AT RAMP:** A side view of a ramp showing a handrail with a height dimension of 34" TYP from the ramp surface to the top of the handrail.
- BOTTOM HANDRAIL EXTENSION AT STAIRS:** A side view of a staircase showing the bottom handrail extending horizontally by 12" (indicated by a dashed line) beyond the last step. The extension must be 1' - 0" MIN (minimum) from the wall or floor. The handrail height is 34" TYP.
- TOP HANDRAIL EXTENSION AT STAIRS:** A side view of a staircase showing the top handrail extending horizontally by 12" (indicated by a dashed line) beyond the last step. The extension must be 1' - 0" MIN from the wall or floor. The handrail height is 34" TYP.
- HANDRAIL EXTENSIONS AT RAMP:** Two side views of a ramp showing handrail extensions. The extensions must be 1' - 0" MIN from the wall or floor.

The diagrams illustrate the required clearances for handrails. The first diagram shows a non-circular handrail cross-section with a maximum width of 2 1/4" and a maximum perimeter of 4" - 6 1/2". The second diagram shows a circular handrail cross-section with a diameter of 1 1/4" - 1 1/2". The third diagram shows a circular handrail cross-section with a diameter of 1 1/2" and a maximum width of 4 1/2". It also shows a 34" TYP. clearance from the adjacent surface and a 1 1/2" MIN. clearance from the floor. The NFPA 101 7.2.2.4.4.5 standard is referenced.

NON-CIRCULAR HANDRAIL CROSS SECTIONS

CIRCULAR HANDRAIL CROSS SECTIONS

HANDRAIL CLEARANCES AT ADJACENT SURFACE

1. ACCESSIBILITY CLEARANCES SHOWN HERE MEET OR EXCEED THE FOLLOWING STANDARDS:
 - ANSI A117.1
 - AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)
 - UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)
 - FAIR HOUSING ACT (FHA)
2. ANY DISCREPANCY BETWEEN THIS SHEET AND THE PROJECT DESIGN DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY PRIOR TO STARTING WORK. NOT ALL CONDITIONS SHOWN HERE APPLY; REFER TO DESIGN DOCUMENTS FOR PROJECT SPECIFIC INFORMATION.
3. *HOLD* DIMENSIONS INDICATE EXACT MEASUREMENT; NO DEVIATION OR TOLERANCE IS ALLOWABLE.
4. DOOR HARDWARE OPERATION SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, NOR REQUIRE MORE THAN 5 LBS OF OPERATIONAL FORCE.
5. DIMENSIONS SHOWN ARE TO FINISH FACE OF PARTITION / BUILDING ELEMENT. CONTRACTOR TO COORDINATE PARTITION FRAMING ACCORDINGLY.

NOTE: FLOOR SLOPE WITHIN REQUIRED CLEARANCES NOT TO EXCEED 1:48

IF BOTH CLOSER AND LATCH ARE PROVIDED 48" MIN. (EXISTING) 52" MIN. (NEW CONST.) 3'-7" FRONT APPROACH PUSH SIDE	IF BOTH CLOSER AND LATCH ARE PROVIDED 3'-7" HINGE APPROACH PUSH SIDE	IF BOTH CLOSER AND LATCH ARE PROVIDED 3'-7" 4'-1" IF CLOSER IS PROVIDED LATCH APPROACH PUSH SIDE	2'-1" 3'-7" 32" MIN. CLEAR BETWEEN HARDWARE AND WALL WHEN DOOR IS IN OPEN / CLOSED POSITION SLIDING DOOR - STOP / LATCH APPROACH	IF BOTH CLOSER AND LATCH ARE PROVIDED 4'-1" 5'-1" FRONT APPROACH PUSH SIDE AT RECESSED DOOR (WHEN RECESS IS GREATER THAN 8")
1'-7" 5'-1" 32" MIN. CLR TYP FRONT APPROACH PULL SIDE	3'-1" 5'-1" 4'-7" • 5'-1" DEPTH CLEARANCE IF 3'-1" SIDE CLEARANCE IS PROVIDED. • 4'-7" DEPTH CLEARANCE IF 3'-7" SIDE CLEARANCE IS PROVIDED. HINGE APPROACH PULL SIDE	2'-1" 4'-1" 4'-7" IF CLOSER IS PROVIDED LATCH APPROACH PULL SIDE	1'-11" 3'-7" 32" MIN. CLEAR BETWEEN HARDWARE AND WALL WHEN DOOR IS IN OPEN / CLOSED POSITION SLIDING DOOR - POCKET APPROACH	1'-8" 5'-1" X=6" FRONT APPROACH PULL SIDE AT RECESSED DOOR
4'-5" MIN. 32" MIN. CLR TYP CASED OPENING - FRONT APPROACH	3'-6" MIN. 32" MIN. CLR TYP CASED OPENING - SIDE APPROACH	4'-5" MIN. 32" MIN. CLR TYP 2" MIN. CLEAR BETWEEN HARDWARE AND WALL WHEN DOOR IS IN OPEN / CLOSED POSITION SLIDING DOOR - FRONT APPROACH		

NOTE: NOT R WHERE BOTH GATES ARE OPERATED

5' - 1" MIN

4' - 1" MIN

DOOR WIDTH

5' - 1" MIN

5' - 1" MIN

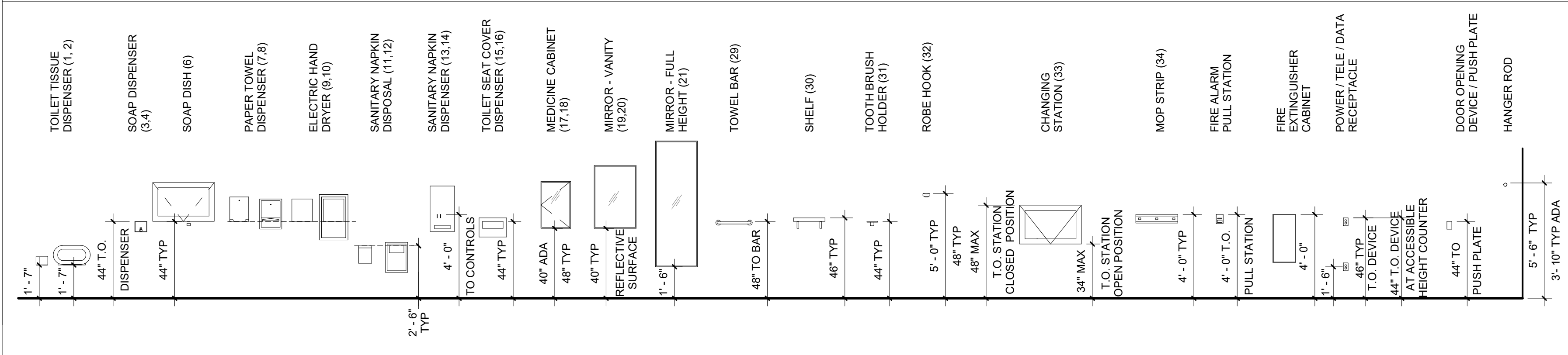
65" IN NET W CONSTRUCTION

5' - 1" MIN

DOOR WIDTH

4' - 1" MIN

DOOR WIDTH



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ACCESSIBILITY STANDARDS

Seal

PURV TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:
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Checked By: KM

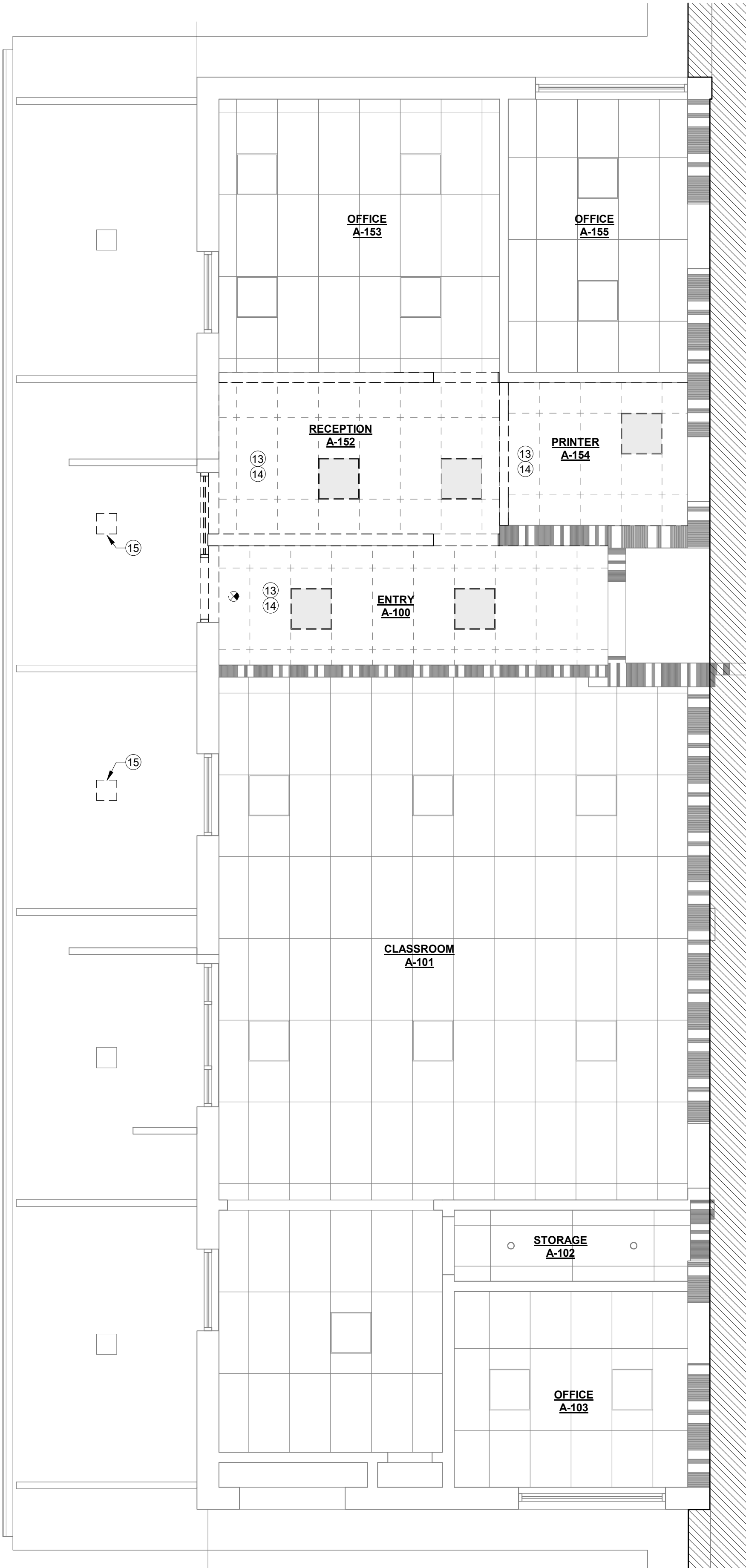
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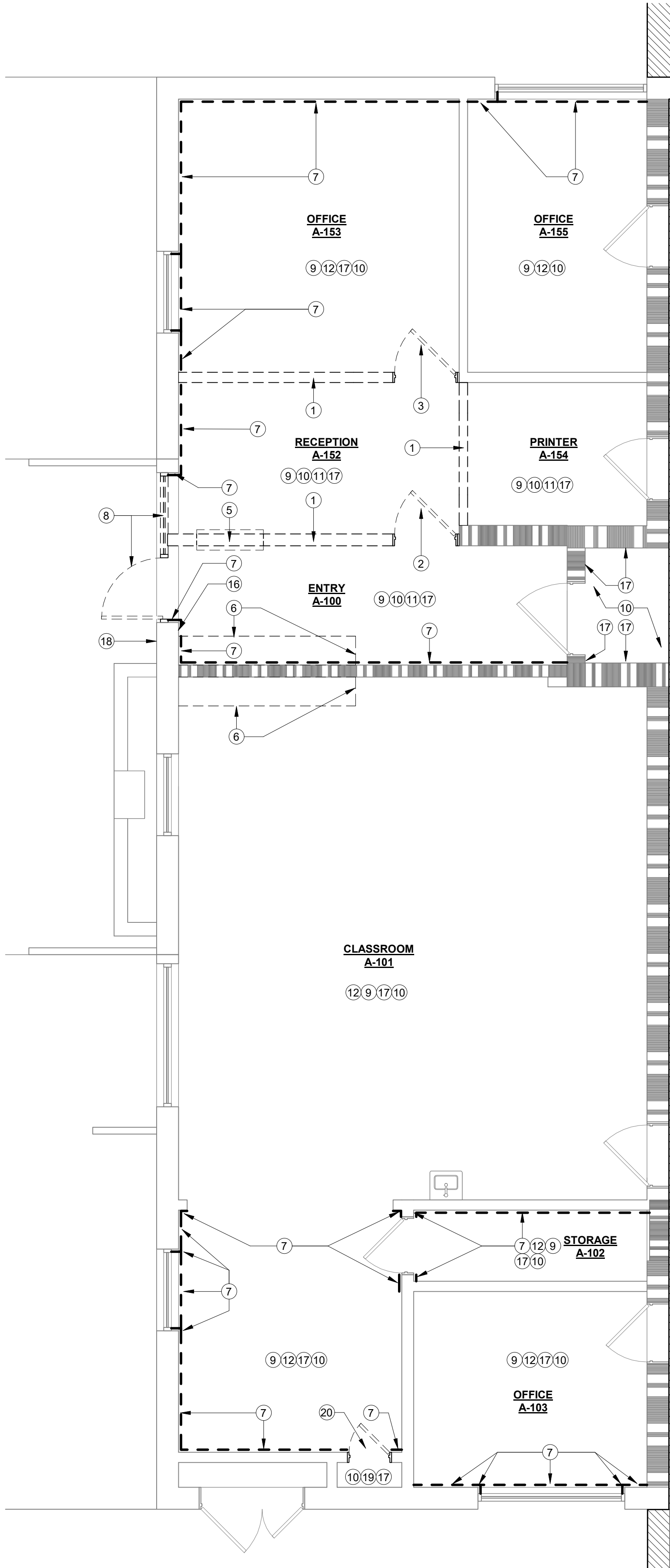
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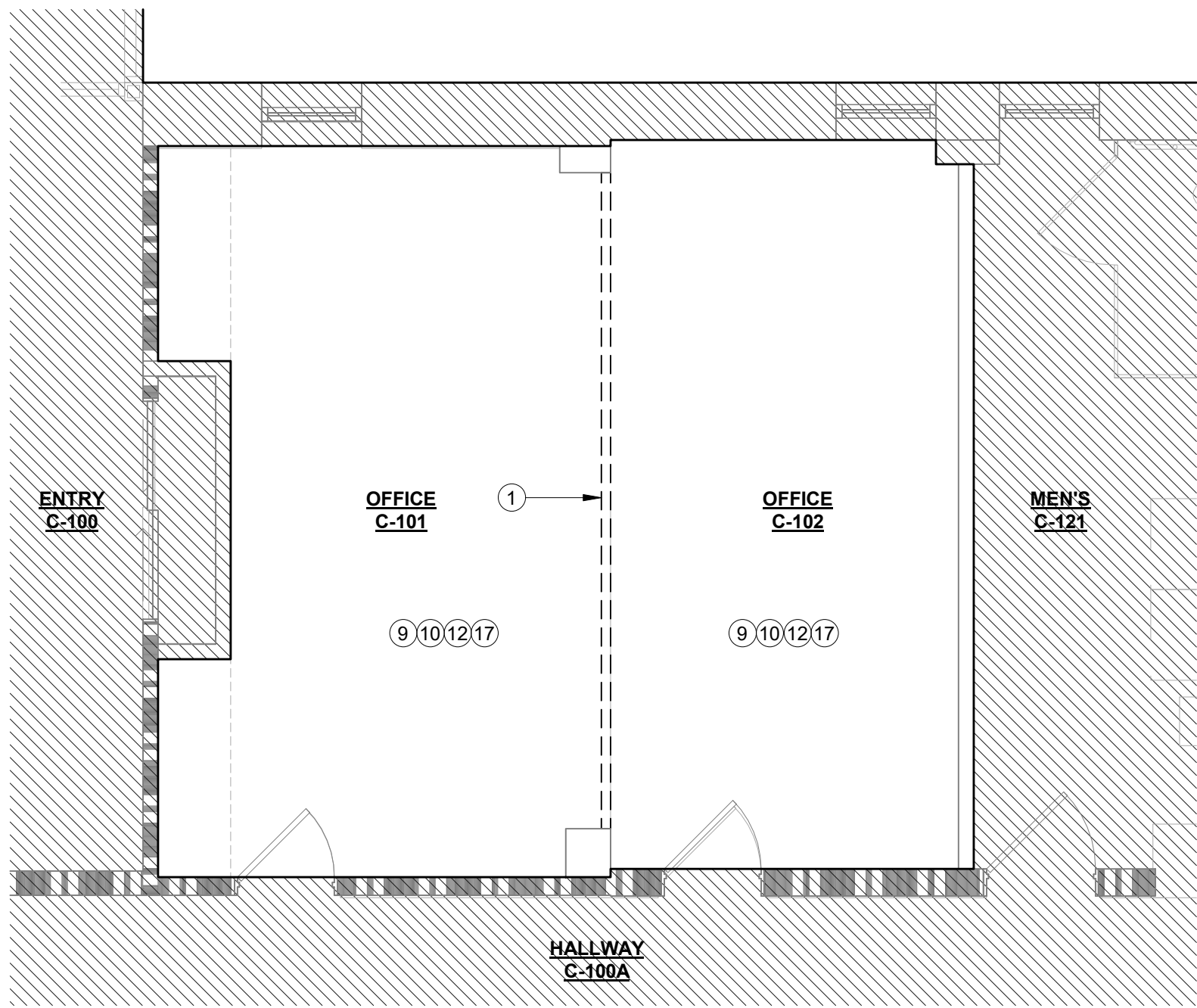
2 1ST FLOOR PARTIAL DEMO RCP AREA (A)
1/4" = 1'-0"



1 1ST FLOOR DEMOLITION PARTIAL PLAN AREA (A)
1/4" = 1'-0"



3 1ST FLOOR DEMOLITION PARTIAL PLAN AREA (B)
1/4" = 1'-0"



DEMOLITION GENERAL NOTES

- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS. AS REQUIRED, PATCH & REPAIR ALL EXISTING SURFACES WHERE EQUIPMENT HAS BEEN REMOVED EITHER BY CONTRACTOR OR BY OTHERS, OR AS A RESULT OF DEMOLITION OF ADJACENT & ATTACHED CONSTRUCTION. PATCHING IS TO BE SMOOTH AND LEVEL WITH ADJACENT SURFACES TO REMAIN. PATCH TO MATCH SAME CONSTRUCTION AS ADJACENT SURFACES.
- AS APPLICABLE, REMOVE ALL ABANDONED & NO LONGER ACTIVE WIRING & CABLING FROM EITHER THE NEILING PLENUM OR DEMOLISHED PARTITIONS. INACTIVE CIRCUITS TO BE REMOVED BACK TO THE CIRCUIT PANEL. DATA CABLING BACK TO THE SOURCE & TELEPHONE CABLING BACK TO THE PUNCH DOWN BLOCKS, WHERE NOTED, REMOVE AND CAP OFF EXISTING PLUMBING AS REQUIRED PER CODE.
- AS REQUIRED, ANY DISRUPTED FIREPROOFING OF ALL BUILDING STRUCTURAL MEMBERS & WITHIN WALLS, FLOORS & CEILINGS SHALL BE SUPPLEMENTED AFTER DEMOLITION, IN ACCORDANCE WITH ALL CURRENT APPLICABLE CODES, REGULATIONS & ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.
- REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF OUTLETS, SWITCHES, FACEPLATES, COVER PLATES, AND WALL HUNG ITEMS ON EXISTING WALLS TO REMAIN AND FOR LOCATION OF NEW DEVICES.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN OPERATION OF BUILDING AND LIFE SAFETY SYSTEMS IN OCCUPIED AREAS DURING CONSTRUCTION. CLEAR & UNOBSTRUCTED PATHS ARE TO BE MAINTAINED TO EGRESS EXITS DURING CONSTRUCTION.
- EXISTING FLOORING SUBSTRATE TO BE PREPARED FOR NEW FLOORING SURFACES. PREPARATION TO INCLUDE REMOVAL OF GLUE RESIDUE, TACK STRIPS, AND ASSOCIATED ITEMS TO PROVIDE A SMOOTH AND LEVEL SURFACE FOR NEW FLOORING MATERIALS.
- REMOVE EXISTING LIGHT FIXTURES WHERE NOTED ON DEMOLITION PLANS.
- COORDINATE WITH MEPF DRAWINGS FOR DEMO SCOPE OF WORK OF EXISTING MECHANICAL, PLUMBING, ELECTRICAL, FIRE ALARM AND WIRELESS ACCESS POINTS.

DEMO PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING CONSTR. TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NOT IN PROJECT SCOPE
- EXISTING RECESSED 2X2 CEILING FIXTURE TO BE REMOVED

RCP DEMO LEGEND

- EXISTING ACT CEILING TO REMAIN
- EXISTING ACT CEILING TO BE REMOVED

DEMOLITION KEYED NOTES

- CONTRACTOR TO REMOVE EXISTING INTERIOR PARTITION, PROTECT AND REPAIR EXISTING WALLS AND FLOOR UNDERLAYMENT TO REMAIN. PROVIDE INFILL AS REQUIRED.
- CONTRACTOR TO REMOVE EXISTING INTERIOR DOOR AND FRAME, PROTECT AND REPAIR EXISTING WALLS TO REMAIN.
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED IN ENTIRETY.
- NOT USED
- CONTRACTOR TO REMOVE EXISTING CHECK-IN PASS THRU WINDOW AND FRAME IN ENTIRETY.
- CONTRACTOR TO REMOVE EXISTING PLANTER WALL IN ENTIRETY. PROTECT AND REPAIR EXISTING WALLS AND FLOORS TO REMAIN. COORDINATE WITH NEW WORK PLANS FOR NEW FINISHES. CONTRACTOR TO REVIEW AND VERIFY EXISTING FOUNDATION CONDITIONS FOR REMOVED PLANTER WALL, INCLUDING EXPOSURE OF SELECT AREA AS REQUIRED TO CONFIRM SUBSURFACE CONDITIONS, MATERIAL CONDITIONS, AND SUITABILITY FOR PROPOSED NEW WORK.
- CONTRACTOR TO REMOVE EXISTING WAINSCOTING, TRIM AND WALL BASE IN ENTIRETY. PROTECT AND REPAIR EXISTING WALLS, FLOORS, WINDOW SILLS, INTERIOR SILLS AND STUD CAVITY TO REMAIN. COORDINATE WITH NEW WORK PLANS FOR NEW FINISHES AND DETAILS.
- CONTRACTOR TO REMOVE EXISTING EXTERIOR STOREFRONT IN ENTIRETY. PROTECT AND REPAIR EXISTING WALLS, FLOOR SLAB AND STEEL BEAM HEADER TO REMAIN. COORDINATE WITH NEW WORK PLANS, ELEVATIONS AND DETAILS FOR NEW FINISHES.
- REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF EXISTING POWER DATA, OUTLETS AND LIGHT SWITCHES ON WALLS.
- CONTRACTOR TO REMOVE EXISTING FLOORING, INCLUDING ANY UNDERLAYMENT/ADHESIVE. PREP FOR NEW FLOORING INSTALLATION. SEE NEW WORK PLANS FOR NEW FLOORING TYPE AND LOCATIONS.
- CONTRACTOR TO REMOVE AND PROTECT EXISTING FURNITURE AND EQUIPMENT THROUGHOUT ROOM. CONTRACTOR TO CONFIRM WITH THE OWNER WHAT ITEMS NEED TO BE SALVAGED FOR DELIVERY TO THE OWNER.
- CONTRACTOR TO PROTECT EXISTING FURNITURE EQUIPMENT, AND WALL MOUNTED MATERIALS TO REMAIN DURING DEMOLITION.
- CONTRACTOR TO DEMO EXISTING CEILING GRID AND CEILING TILE. PREP AREA TO RECEIVE NEW FINISHES. CONTRACTOR TO DEMO ALL EXISTING LIGHT FIXTURES AND EXIT SIGN. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO ELECTRICAL, MECHANICAL AND FIRE PROTECTION DRAWINGS FOR REMOVAL OF MISCELLANEOUS CEILING MOUNTED EQUIPMENT.
- CONTRACTOR TO REMOVE EXISTING EXTERIOR SURFACE MOUNTED LIGHTS. PATCH AND REPAIR AREA TO RECEIVE NEW FINISHES. COORDINATE WITH NEW WORK PLANS FOR NEW LIGHTING.
- CONTRACTOR TO REMOVE EXISTING ROOM SIGNAGE.
- CONTRACTOR TO REMOVE EXISTING WALL BASE AND ANY UNDERLAYMENT/ADHESIVE. PREP FOR NEW WALL BASE INSTALLATION. SEE NEW WORK PLANS FOR NEW WALL BASE TYPE AND LOCATIONS.
- REMOVE AND RELOCATE EXISTING CARD READER AIPHONE. COORDINATE WITH NEW WORK PLANS, NEW WORK ELEVATIONS AND ELECTRICAL DRAWINGS FOR NEW LOCATION. REPAIR EXISTING BRICK FACADE AS REQUIRED.
- REMOVE EXISTING CLOSET SHELVING IN ENTIRETY. PATCH AND REPAIR AREA TO RECEIVE NEW FINISHES. PROTECT EXISTING CONSTRUCTION TO REMAIN.
- EXISTING DOOR IS MISSING IN THE FIELD. EXISTING FRAME AND DOOR HARDWARE TO BE REMOVED IN ENTIRETY. PROTECT EXISTING CONSTRUCTION TO REMAIN.
- EXISTING SLIDING DOOR IS MISSING IN THE FIELD. EXISTING DOOR FRAME AND HARDWARE TO BE REMOVED. COORDINATE WITH NEW WORK PLANS FOR DOOR AND FRAME REPLACEMENT.



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Project:

**26-012 MCJU - ELA
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**1ST FLOOR
DEMOLITION PLANS**

Seal

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Sheet No.

AD1.01

NOT FOR CONSTRUCTION



15 EXISTING ENTRY A-100 - WALL AREA
NTS



14 EXISTING OFFICE A-155 - WALL AREA
NTS



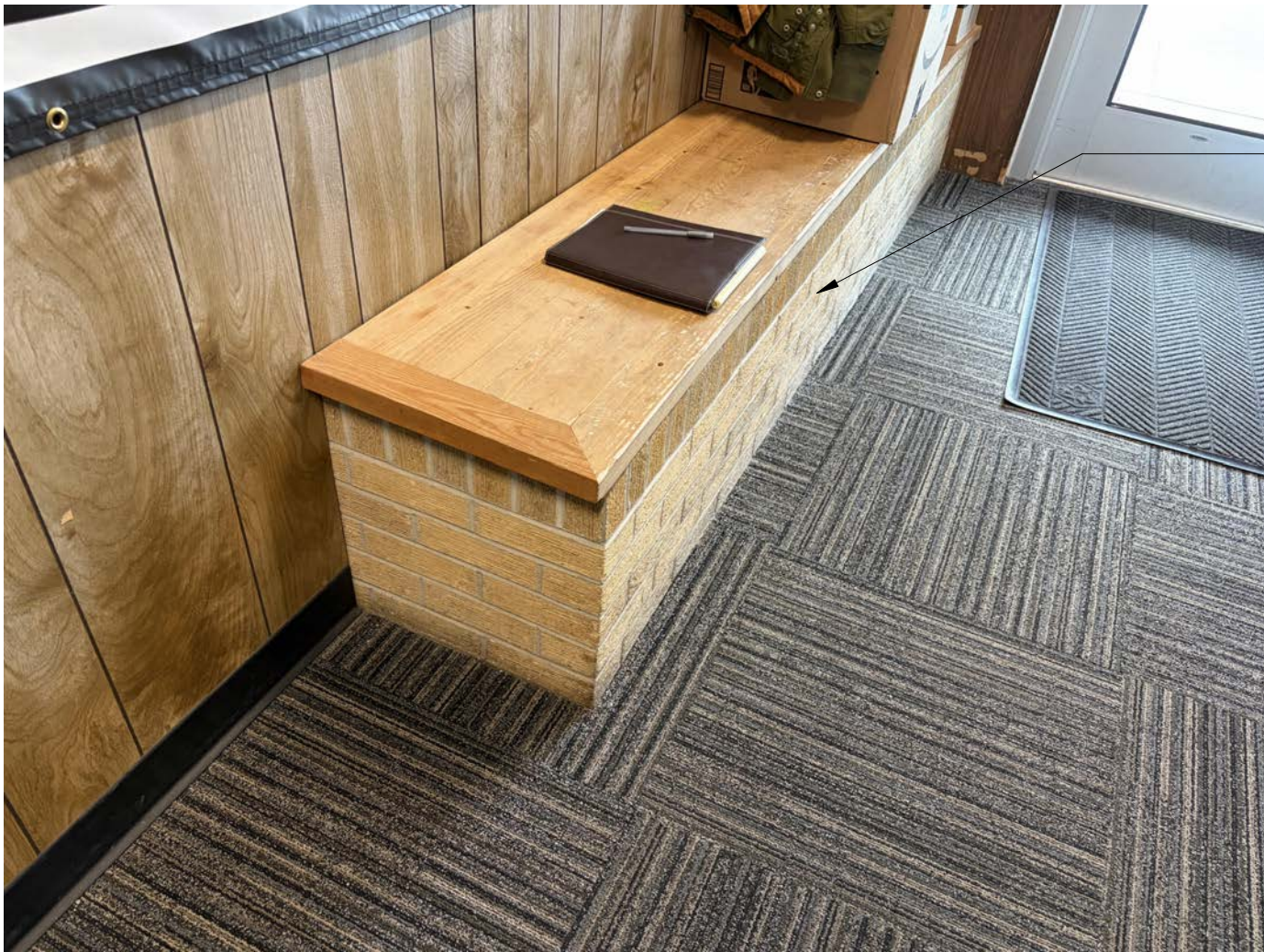
13 EXISTING STORAGE A-102 - WALL AREA
NTS



12 EXISTING OFFICE A-152 - WALL AREA
NTS



11 EXISTING OFFICE A-103 - WALL AREA
NTS



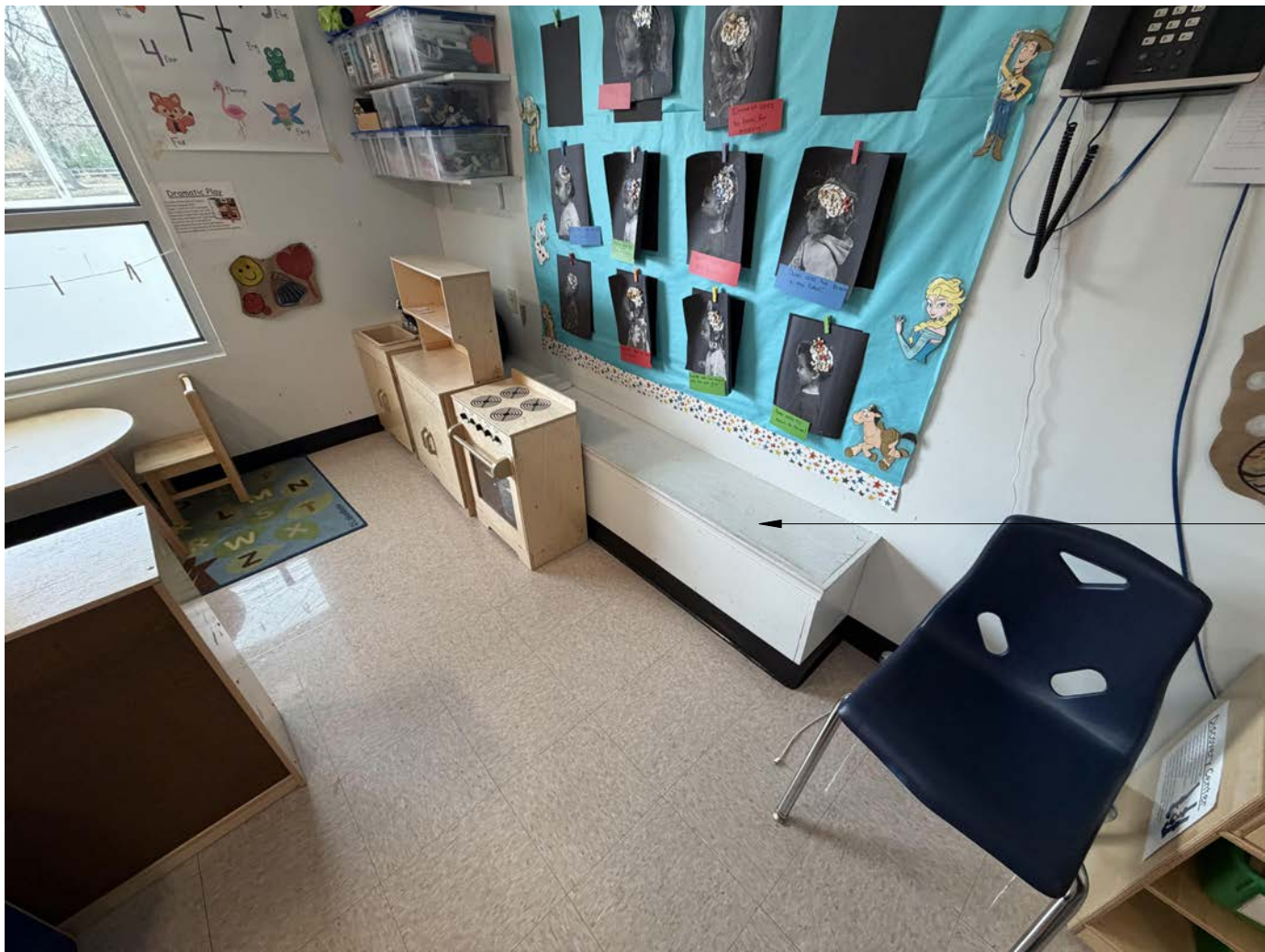
10 EXISTING ENTRY - PLANTER WALL
NTS



8 EXISTING OFFICE A-152 - WALL AREA
NTS



7 EXISTING CLASSROOM A-101 - WALL AREA
1" = 100'-0"



6 EXISTING CLASSROOM - PLANTER WALL
1" = 100'-0"

DEMOLITION GENERAL NOTES

1.

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2.

AS APPLICABLE, REMOVE ALL ABANDONED & NO LONGER ACTIVE WIRING & CABLING FROM EITHER THE CEILING PLENUM OR DEMOLISHED PARTITIONS. INACTIVE CIRCUITS TO BE REMOVED BACK TO THE CIRCUIT PANEL. DATA CABLING BACK TO THE SOURCE & TELEPHONE CABLING BACK TO THE PUNCH DOWN BLOCKS, WHERE NOTED, REMOVE AND CAP OFF EXISTING PLUMBING AS REQUIRED PER CODE.

3.

AS REQUIRED, ANY DISRUPTED FIREPROOFING OF ALL BUILDING STRUCTURAL MEMBERS & WITHIN WALLS, FLOORS & CEILINGS SHALL BE SUPPLEMENTED AFTER DEMOLITION, IN ACCORDANCE WITH ALL CURRENT APPLICABLE CODES, REGULATIONS & ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.

4.

REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF OUTLETS, SWITCHES, FACEPLATES, COVER PLATES, AND WALL HUNG ITEMS ON EXISTING WALLS TO REMAIN AND FOR LOCATION OF NEW DEVICES.

5.

THE CONTRACTOR IS REQUIRED TO MAINTAIN OPERATION OF BUILDING AND LIFE SAFETY SYSTEMS IN OCCUPIED AREAS DURING CONSTRUCTION. CLEAR & UNOBSTRUCTED PATHS ARE TO BE MAINTAINED TO EGRESS EXITS DURING CONSTRUCTION.

6.

EXISTING FLOORING SUBSTRATE TO BE PREPARED FOR NEW FLOORING SURFACES. PREPARATION TO INCLUDE REMOVAL OF GLUE RESIDUE, TACK STRIPS, AND ASSOCIATED ITEMS TO PROVIDE A SMOOTH AND LEVEL SURFACE FOR NEW FLOORING MATERIALS.

8.

REMOVE EXISTING LIGHT FIXTURES WHERE NOTED ON DEMOLITION PLANS.

9.

COORDINATE WITH MEPF DRAWINGS FOR DEMO SCOPE OF WORK OF EXISTING MECHANICAL, PLUMBING, ELECTRICAL, FIRE ALARM AND WIRELESS ACCESS POINTS.

DEMO PLAN LEGEND

EXISTING WALL TO REMAIN

EXISTING CONSTR. TO BE REMOVED

EXISTING DOOR TO REMAIN

EXISTING DOOR TO BE REMOVED

NOT IN PROJECT SCOPE

EXISTING RECESSED 2X2 CEILING FIXTURE TO BE REMOVED

RCP DEMO LEGEND

EXISTING ACT CEILING TO REMAIN

EXISTING ACT CEILING TO BE REMOVED

DEMOLITION KEYED NOTES

1

CONTRACTOR TO REMOVE EXISTING INTERIOR PARTITION, PROTECT AND REPAIR EXISTING WALLS AND FLOOR UNDERLAYMENT TO REMAIN. PROVIDE INFILL AS REQUIRED.

2

CONTRACTOR TO REMOVE EXISTING INTERIOR DOOR AND FRAME, PROTECT AND REPAIR EXISTING WALLS TO REMAIN.

3

EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED IN ENTIRETY.

4

NOT USED

5

CONTRACTOR TO REMOVE EXISTING CHECK-IN PASS THRU WINDOW AND FRAME IN ENTIRETY.

6

CONTRACTOR TO REMOVE EXISTING PLANTER WALL IN ENTIRETY. PROTECT AND REPAIR EXISTING WALLS AND FLOORS TO REMAIN. COORDINATE WITH NEW WORK PLANS FOR NEW FINISHES. CONTRACTOR TO REVIEW AND VERIFY EXISTING FOUNDATION CONDITIONS FOR REMOVED PLANTER WALL, INCLUDING EXPOSURE OF SELECT AREA AS REQUIRED TO CONFIRM SUBSURFACE CONDITIONS, MATERIAL CONDITIONS, AND SUITABILITY FOR PROPOSED NEW WORK.

7

CONTRACTOR TO REMOVE EXISTING WAINSCOTING, TRIM AND WALL BASE IN ENTIRETY. PROTECT AND REPAIR EXISTING WALLS, FLOORS, WINDOW SILLS, INTERIOR SILLS AND STUD CAVITY TO REMAIN. COORDINATE WITH NEW WORK PLANS FOR NEW FINISHES AND DETAILS.

8

CONTRACTOR TO DEMO EXISTING EXTERIOR STOREFRONT IN ENTIRETY. PROTECT AND REPAIR EXISTING WALLS, FLOOR SLAB AND STEEL BEAM HEADER TO REMAIN. COORDINATE WITH NEW WORK PLANS, ELEVATIONS AND DETAILS FOR NEW FINISHES.

9

REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF EXISTING POWER DATA, OUTLETS AND LIGHT SWITCHES ON WALLS.

10

CONTRACTOR TO REMOVE EXISTING FLOORING, INCLUDING ANY UNDERLAYMENT/ADHESIVE. PREP FOR NEW FLOORING INSTALLATION. SEE NEW WORK PLANS FOR NEW FLOORING TYPE AND LOCATIONS.

11

CONTRACTOR TO REMOVE AND PROTECT EXISTING FURNITURE AND EQUIPMENT THROUGHOUT ROOM. CONTRACTOR TO CONFIRM WITH THE OWNER WHAT ITEMS NEED TO BE SALVAGED FOR DELIVERY TO THE OWNER.

12

CONTRACTOR TO PROTECT EXISTING FURNITURE EQUIPMENT, AND WALL MOUNTED MATERIALS TO REMAIN DURING DEMOLITION.

13

CONTRACTOR TO DEMO EXISTING CEILING GRID AND CEILING TILE. PREP AREA TO RECEIVE NEW FINISHES. CONTRACTOR TO DEMO ALL EXISTING LIGHT FIXTURES AND EXIT SIGN. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

14

REFER TO ELECTRICAL, MECHANICAL AND FIRE PROTECTION DRAWINGS FOR REMOVAL OF MISCELLANEOUS CEILING MOUNTED EQUIPMENT.

15

CONTRACTOR TO REMOVE EXISTING EXTERIOR SURFACE MOUNTED LIGHTS. PATCH AND REPAIR AREA TO RECEIVE NEW FINISHES. COORDINATE WITH NEW WORK PLANS FOR NEW LIGHTING.

16

CONTRACTOR TO REMOVE EXISTING ROOM SIGNAGE.

17

CONTRACTOR TO REMOVE EXISTING WALL BASE AND ANY UNDERLAYMENT/ADHESIVE. PREP FOR NEW WALL BASE INSTALLATION. SEE NEW WORK PLANS FOR NEW WALL BASE TYPE AND LOCATIONS.

18

REMOVE AND RELOCATE EXISTING CARD READER AIPHONE. COORDINATE WITH NEW WORK PLANS, NEW WORK ELEVATIONS AND ELECTRICAL DRAWINGS FOR NEW LOCATION. REPAIR EXISTING BRICK FACADE AS REQUIRED.

19

REMOVE EXISTING CLOSET SHELVING IN ENTIRETY. PATCH AND REPAIR AREA TO RECEIVE NEW FINISHES. PROTECT EXISTING CONSTRUCTION TO REMAIN.

20

EXISTING DOOR IS MISSING IN THE FIELD. EXISTING FRAME AND DOOR HARDWARE TO BE REMOVED IN ENTIRETY. PROTECT EXISTING CONSTRUCTION TO REMAIN.

21

EXISTING SLIDING DOOR IS MISSING IN THE FIELD. EXISTING DOOR FRAME AND HARDWARE TO BE REMOVED. COORDINATE WITH NEW WORK PLANS FOR DOOR AND FRAME REPLACEMENT.



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Contact Person: Shane Nipper

Project:

26-012 MCUI - ELA
ENTRANCE
RENOVATIONS

Project Address:

1605 W Main St.

Norristown, PA 19403

Sheet Title:

1ST FLOOR
DEMOLITION -
EXISTING CONDITIONS

Seal

DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK:

Any party who relies in part or whole on the content of these Construction Documents shall, before beginning any work, be responsible for fully inspecting the complete set of Contract Documents, including all Drawings, Specifications, and Addenda, for completeness, conflicts, scope of work, and suitability for constructing the building. All parties relying on these documents represent that they have expertise in the area of their responsibility and are knowledgeable regarding industry standards, product requirements and code requirements and therefore are qualified to fully evaluate and interpret the contract documents. All parties relying on these documents must, prior to beginning work, submit all requests for clarifications and additional information to the Architect in writing. All parties who begin work hereby certify that the documents are suitable for their intended purposes unless noted in specific written exception beforehand.

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Release

Date

05.01.2026

05.22.2026

PROGRESS SET

ISSUED FOR BID

BH Job Number:

26-012

Scale:

As indicated

Drawn By:

SW

Checked By:

KM

Approved By:

TH

Sheet No.

AD1.02

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- 1 NEW EXTERIOR ALUMINUM STOREFRONT AND
ENTRANCE SYSTEM. REFER TO DETAILS ON A9.10.
- 2 NEW EXTERIOR PAINT FINISH FOR EXISTING
EXTERIOR WOOD PANEL WALLS - PT.4. PREP AND
REPAIR AS REQUIRED. REFER TO SCHEDULE
ON A1.41 FOR PAINT FINISH. REFER TO FINISH
SCHEDULE ON A1.41 FOR PAINT FINISH AND
COLOR.
- 3 NEW EXTERIOR PAINT FINISH FOR EXISTING
BRICK FACADE WALLS - PT.3. PREP AND REPAIR
AS REQUIRED EXISTING SURFACES TO RECEIVE NEW
PAINT FINISH. REFER TO FINISH SCHEDULE ON
A1.41 FOR PAINT FINISH AND COLOR.
- 4 NEW EXTERIOR PAINT FINISH FOR EXISTING
BRICK FACADE WALLS - PT.4. PREP AND REPAIR
AS REQUIRED EXISTING SURFACES TO RECEIVE NEW
PAINT FINISH. REFER TO FINISH SCHEDULE
ON A1.41 FOR PAINT FINISH AND COLOR.
- 5 NEW EXTERIOR PAINT FINISH FOR EXISTING
FUEL BEAMS - PT.5. PREP AND REPAIR AS
REQUIRED EXISTING SURFACES TO RECEIVE NEW
PAINT FINISH. REFER TO FINISH SCHEDULE ON
A1.41 FOR PAINT FINISH AND COLOR.
- 6 NEW EXTERIOR PAINT FINISH FOR EXISTING
STEEL BEAMS UNDER EXISTING METAL SOFFIT -
PT.6. PREP AND REPAIR AS REQUIRED EXISTING
SURFACES TO RECEIVE NEW PAINT FINISH.
REFER TO FINISH SCHEDULE ON A1.41 FOR PAINT
FINISH AND COLOR.
- 7 NEW EXTERIOR PAINT FINISH FOR EXISTING
BRICK FACADE WALLS - PT.8. PREP AND REPAIR AS
REQUIRED EXISTING SURFACES TO RECEIVE NEW
PAINT FINISH. REFER TO FINISH SCHEDULE ON
A1.41 FOR PAINT FINISH AND COLOR.
- 8 NEW EXTERIOR WALL MOUNTED BUILDING
SIGNAGE. FINAL APPROVAL OF SIGNAGE LOGO
AND COLOR BY OWNER. SIGNAGE SHOWN FOR
DESIGN INTENT ONLY. SIGN MOUNTING METHOD
AND FASTENERS TO BE DETERMINED BY METHOD
PROVIDED BY SIGNAGE VENDOR. FASTENERS TO
BE PROPERLY SEALED AT WEATHER BARRIER
PENETRATIONS. SIGNAGE VENDOR TO BE
SUBMITTED TO ARCHITECT FOR COORDINATION
PRIOR TO INSTALLATION. CONTRACTOR TO
VERIFY EXISTING BUILDING STRUCTURE IS SUITABLE
FOR CONSTRUCTION IN FIELD. CONTRACTOR TO
COORDINATE WITH SIGNAGE VENDOR TO
ENSURE APPROPRIATE SOUNDING IS PROVIDED
FOR STRUCTURALLY SOUND SIGNAGE
INSTALLATION.
- 9 NEW SURFACE MOUNTED ADOOR OPERATOR.
REFER TO RCP FOR ADDITIONAL DETAILS.
- 10 NEW SURFACE MOUNTED ADOOR OPERATOR.
COORDINATE WITH ELECTRICAL DRAWINGS FOR
POWER REQUIREMENTS.
- 11 RELOCATED EXISTING CARD READER AND
AIRPHONE. SEE ELECTRICAL DRAWINGS FOR
POWER REQUIREMENTS.

- ① CONTRACTOR TO REMOVE EXISTING EXTERIOR STOREFRONT IN ENTIRETY. PROTECT AND REPAIR AS REQUIRED EXISTING WALLS, FLOOR SLAB AND STEEL BEAM HEADER TO REMAIN. COORDINATE WITH NEW WORKS, ELEVATIONS AND DETAILS FOR NEW FINISHES.
- ② CONTRACTOR TO REMOVE EXISTING EXTERIOR SURFACE MOUNTED LIGHTS. PATCH AND REPAIR AREA TO RECEIVE NEW FINISHES. COORDINATE WITH NEW WORK PLANS FOR NEW LIGHTING.
- ③ REMOVE AND RELOCATE EXISTING CARD READER. AIPHONE. COORDINATE WITH NEW WORK PLANS. NEW WORK ELEVATIONS AND ELECTRICAL DETAILS FOR NEW LOCATION. REPAIR EXISTING BRICK FACADE AS REQUIRED.

26-012 MCIU - ELA ENTRANCE RENOVATIONS

DEMO AND NEW WORK BUILDING ELEVATIONS

Sheet No. _____

A3.01

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8/6/2026 10:26:57 PM

NOT FOR CONSTRUCTION



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SCHEDULES, TYPES, DETAILS, PARTITION DETAILS

scope of work, and suitability for constructing the building. All parties relying on these documents represent that they have expertise in the area of their responsibility and are knowledgeable regarding industry standards, product requirements and code requirements and therefore are qualified to fully evaluate and interpret the contract documents. **All parties who begin work hereby certify that the documents are suitable for their intended purposes unless noted in specific written exception beforehand.**

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Date	Comments	△
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BH Job Number: 26-012

Driver: Ben

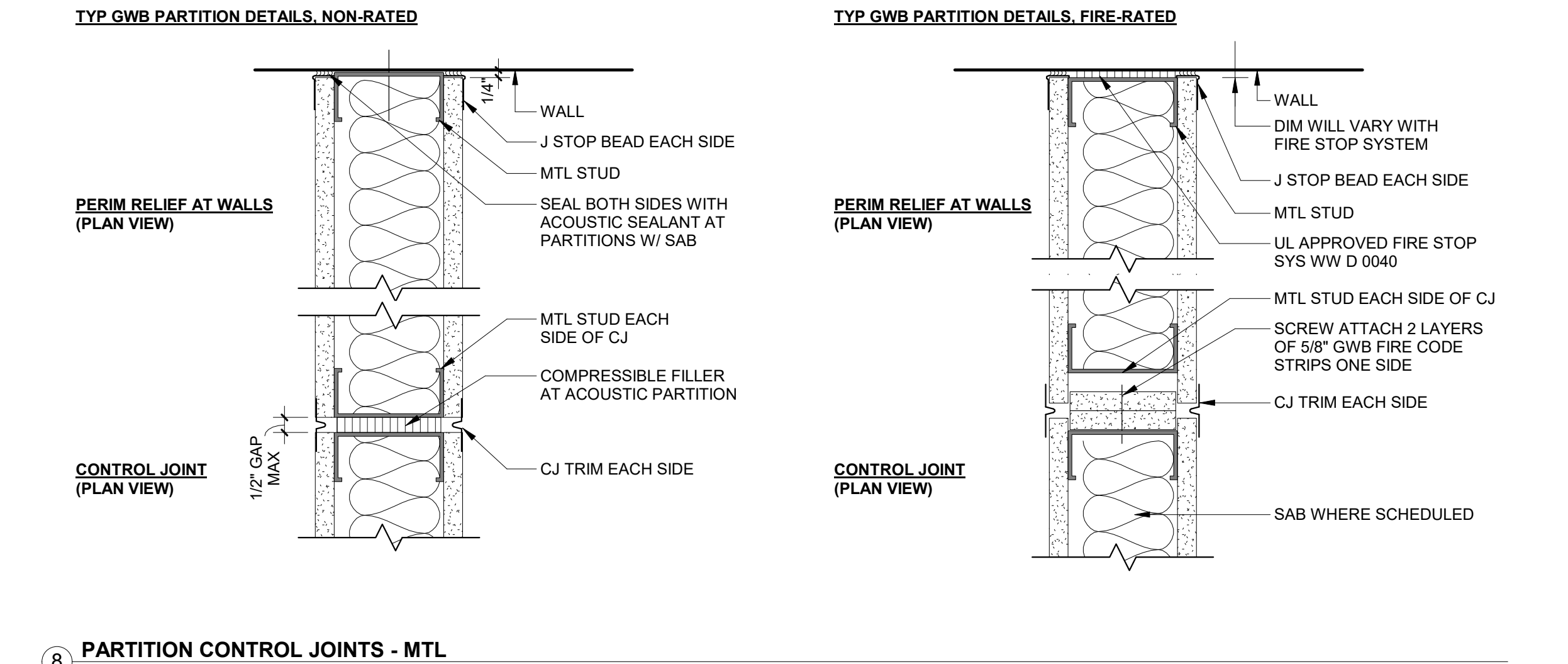
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Check No.

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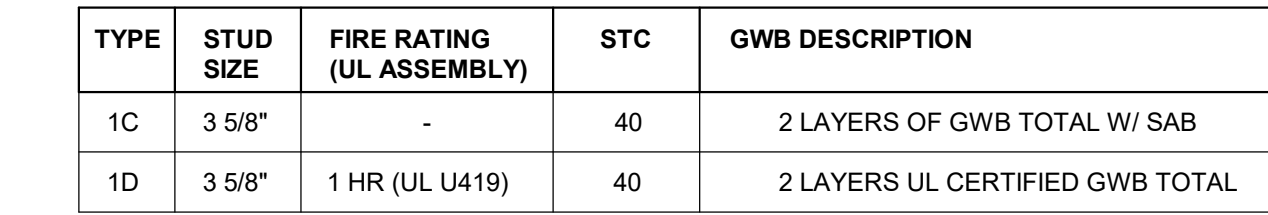
GLAZING NOTES	1. ALL GLAZING UNITS IGU UON. OTHER TYPES AS INDICATED. SG INSULATED GLAZING UNIT WITH SAFETY GLASS 2. SEE SPEC SECTION 088000 FOR MORE GLAZING INFORMATION. 3. ALL OPENINGS TO BE VIF.
DOOR AND FRAME NOTES	1. REFER TO SPEC FOR DOOR & FRAME GAUGES, ANCHORS, AND REINFORCEMENT 2. ALL DOOR GLAZING TO BE 1/4" SAFETY GLASS UON. 3. ALL GLAZING IN RATED DOORS TO BE FIRE PROTECTION RATED GLAZING. 4. PAIRED DOOR TYPES ARE INDICATED BY NOTING "2" IN FRONT OF A DOOR TYPE. E.G. 2F IS A PAIRED TYPE F (FLUSH) DOOR. 5. SCHEDULE DESIGNATIONS AS FOLLOWS: GL - GLASS AL - ALUMINUM PTD - PAINTED, OPAQUE FINISH STN - STAINED, TRANSPARENT FINISH STL - STEEL FP - FIRE PROTECTION RATED GLASS FOR OTHER DESIGNATIONS, REFER TO ABBREVIATIONS LIST. 7. ALL LOCKSETS TO BE COORDINATED WITH OWNER PRIOR TO ORDERING.



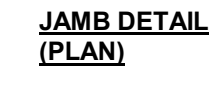
HEAD DETAIL

PLAN DETAIL

FLOOR DETAIL



1 PARTITION TYPE 1C & 1D - MTL
3" = 1'-0"



② **PARTITION AT EXISTING EXTERIOR WALL - RATED & NON RATED**
3" = 1'-0"

A9.10



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26-012 MCIU - ELA ENTRANCE RENOVATIONS

Project Address:
1605 W Main St,
Norristown, PA 19403

Sheet Title:
COVER SHEET -
MECHANICAL

Seal

DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR TO STARTING WORK: Any party who relies in part or whole on the content of these Construction Documents shall, before beginning work, be responsible for fully inspecting the complete set of Contract Documents, including all Drawings, Specifications, and Addenda, for completeness, conflicts, scope of work, and suitability for constructing the project. Each party shall be deemed to represent that they have expertise in the area of their responsibility and are knowledgeable regarding industry standards, product requirements and code requirements and that they are qualified to fully evaluate and interpret the contract documents. Upon receiving the contract documents must, prior to beginning work, submit all requests for clarifications and additional information to the Architect in writing. All parties who begin work without fully inspecting the documents are liable for their intended purposes unless noted in the complete written exception beforehand.

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[illegible]

BH Job Number: 26-012

Scale:

Drawn By: AMR

Checked By: SEN

Approved By: SEN

Sheet No. _____

M0.00

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MECHANICAL GENERAL NOTES	
1.	THE DRAWINGS INDICATE THE GENERAL SCOPE OF WORK ASSOCIATED WITH THE INSTALLATION OF HVAC EQUIPMENT AND SYSTEMS BUT ARE NOT NECESSARILY INCLUSIVE OF ACTUAL CONDITIONS. THE FULL EXTENT OF THE WORK SHALL BE DETERMINED IN THE FIELD BASED ON THE ACTUAL CONDITIONS ENCOUNTERED AND AS REQUIRED FOR THE SATISFACTORY EXECUTION OF THE NEW WORK.
2.	THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE EQUIPMENT AND SYSTEMS IN ACCORDANCE WITH THE PROJECT CONSTRUCTION SCHEDULE.
3.	THE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND SCHEDULING OF THEIR WORK WITH ALL OTHER TRADES (PLUMBING, ELECTRICAL, GENERAL, ETC.). ANY CONFLICTS DUE TO FAILURE OF THIS CONTRACTOR TO COORDINATE WORK WITH OTHER TRADES SHALL BE THEIR RESPONSIBILITY TO RESOLVE.
4.	ALL CUTTING AND PATCHING OF WALLS, FLOORS, ROOFS, AND CEILINGS, AS REQUIRED FOR INSTALL DUCTWORK, PIPING, ROOF CURBS ETC. SHALL BE PERFORMED BY THIS CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. PATCHING SHALL MATCH EXISTING METHODS, MATERIALS OF CONSTRUCTION, AND ADJACENT FINISHES.
5.	WHERE THE DRAWINGS SPECIFICALLY INDICATE, CUTTING AND PATCHING IS TO BE PERFORMED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND EXACT LOCATIONS OF THE OPENINGS.
6.	THE CONTRACTOR SHALL PROVIDE ALL METHODS AND MATERIALS FOR SUPPORTING ALL EQUIPMENT, PIPING, AND DUCTWORK FURNISHED UNDER THIS CONTRACT. IN AREAS OF BAR JOIST CONSTRUCTION ALL PIPING, DUCTWORK, AND SUSPENDED CEILING SHALL BE SUPPORTED BY A CONCENTRIC W/ A HANGERS IN JOISTS OR 160 LBS. SHALL BE SUPPORTED FROM THE TOP CHORD OF THE BAR JOISTS. DO NOT HANG ANY PIPING OR DUCTWORK FROM THE ROOF DECK.
7.	VERIFY THE FINAL MOUNTING HEIGHTS AND LOCATIONS OF LOUVERS, BRICK VENTS, CABINET HEATERS, SIDEWALL GRILLES AND REGISTERS, AND ALL OTHER VISIBLE EQUIPMENT WITH THE ARCHITECTURAL INTERIOR AND EXTERIOR ELEVATIONS.
8.	COORDINATE FINAL CEILING GRILLE AND DIFFUSER LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS, FIRE PROTECTION PLANS, AND ELECTRICAL/TECHNOLOGY PLANS.
9.	SEAL ALL DUCT AND PIPING PENETRATIONS OF FIRE AND SMOKE RATED PARTITIONS AND FLOORS WITH FIRE STOPPING MATERIALS AS SPECIFIED IN THE DIVISION 1 SPECIFICATIONS. WHERE FIRESTOPPING MATERIALS ARE NOT SPECIFIED IN DIVISION 1, ALL FIRESTOPPING MATERIALS SHALL BE UL LISTED FOR USE AND AS MANUFACTURED BY 3M OR EQUAL.
10.	PROVIDE ACOUSTICAL SEALS AROUND ALL DUCTWORK AND PIPING PENETRATIONS OF INTERIOR ACOUSTICALLY RATED PARTITIONS. REFER TO THE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ACOUSTICAL PARTITIONS.
11.	ALL ADJUSTABLE THERMOSTATS, SENSORS AND SWITCHES INTENDED FOR NORMAL USE BY THE BUILDING'S OCCUPANTS SHALL BE MOUNTED $\geq 48"$ A.F.F. TO THE TOP OF THE DEVICE IN ACCORDANCE WITH ADA REQUIREMENTS.
12.	DO NOT UTILIZE AIR HANDLING EQUIPMENT AND DUCTED AIR SYSTEMS FURNISHED UNDER THIS CONTRACT AS A MEANS OF TEMPORARY HEAT DURING CONSTRUCTION. OBTAIN WRITTEN APPROVAL FROM THE ENGINEER PRIOR TO PLACING EQUIPMENT IN SUSTAINED OPERATION.
13.	BOTTOM OF DUCT AND BOTTOM OF PIPE ELEVATIONS ARE FOR REFERENCE ONLY. FINAL ELEVATIONS ARE SUBJECT TO ACTUAL FIELD CONDITIONS. FIELD VERIFY ALL CLEARANCES AND DIMENSIONS PRIOR TO FABRICATING AND INSTALLING DUCTWORK AND PIPING. COORDINATE DUCT AND PIPING INSTALLATIONS WITH ALL OTHER TRADES TO AVOID INTERFERENCE WITH LIGHT FIXTURES, SPRINKLERS, SPEAKERS, ETC.
14.	ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS. FIELD VERIFY ACTUAL CLEARANCES AND CONDITIONS PRIOR TO FABRICATING DUCTWORK. DO NOT ORDER FIRE DAMPERS UNTIL VERIFYING ACTUAL CONDITIONS AND DIMENSIONS.
15.	SUBMIT SHEET METAL SHOP DRAWINGS TO SCALE $3/8" = 1'-0"$ DETAILING DUCTWORK, HVAC EQUIPMENT AND DIFFUSERS. SHOP DRAWINGS SHALL BE DIMENSIONED, SHALL INDICATE DUCT ELEVATIONS, AND SHALL DEPICT CEILING GRID, STRUCTURAL STEEL, LIGHT FIXTURES, SPRINKLER HEADS, AND PLUMBING AND HVAC PIPING MAINS.
16.	THE CONTRACTOR SHALL FURNISH ALL ACCESS DOORS IN WALLS AND PLASTER CEILINGS AS REQUIRED TO ACCESS VOLUME DAMPERS, FIRE DAMPERS, AND OTHER SERVICEABLE DEVICES. ACCESS DOORS SHALL BE UL LISTED WHEN INSTALLED IN RATED CONSTRUCTION. FIELD VERIFY ACCESS DOOR LOCATIONS AND SIZES WITH ARCHITECT.
17.	PROVIDE LOCATION IDENTIFICATION MARKERS ON CEILING T-BAR GRIDS (OR ON CEILING ACCESS DOORS AS APPLICABLE) JUST BELOW CONCEALED SHUT-OFF VALVES, CONTROL VALVES, AND HVAC EQUIPMENT.
18.	ALL ROUND DUCTWORK SHALL BE ROUND SPIRAL DUCT EXCEPT WHERE NOTED AS FLEXIBLE. ROUND FLEXIBLE DUCTWORK IS LIMITED TO LOCATIONS ONLY AS SHOWN ON THE DRAWINGS. MAXIMUM LENGTH SHALL NOT EXCEED 6'-0".
19.	THE CONTRACTOR SHALL COORDINATE THE RIGGING, MOVING AND HOISTING OF EQUIPMENT FURNISHED UNDER THIS CONTRACT WITH EXISTING ARCHITECTURAL CONSTRAINTS.
20.	ALL CONDENSATE AND CLEAN, CLEAR WATER FROM MECHANICAL EQUIPMENT MUST BE PIPED TO A DRAIN CONNECTED TO THE STORM SYSTEM AND NOT SANITARY.
21.	ALL REFRIGERANT PIPE SIZES SHALL BE VERIFIED BY THE CONDENSING UNIT MANUFACTURER.

NOTES:

1. PROVIDE INTEGRAL DISCONNECT SWITCH & SINGLE POINT POWER CONNECTION
2. PROVIDE 2-STAGE BUILT-IN THERMOSTAT.

GRILLE, REGISTER, & DIFFUSER SCHEDULE									
⊕	# CFM	V = TAG	V = VOLUME						
TAG No.	MFR.	MODEL No.	PATTERN	TYPE	SIZE	MOUNT	FINISH	MAX N.C.	NOTES
1	TITUS	300 RL	3/4" SPACING, 2X DEFLECTION	S/A	20"x6"	SURFACE MOUNT	NOTE 1	25	1
2	TITUS	350 FL	3/4" SPACING, 35° DEFLECTION	R/A	12"x12"	SURFACE MOUNT	BWE	25	-

NOTES:

1. PROVIDE CUSTOM COLOR AS SELECTED BY THE ARCHITECT

MECHANICAL SYMBOLS & ABBREVIATIONS			
G.C.	GENERAL CONTRACTOR	C.D.	CONDENSATE DRAIN
H.C. / M.C.	MECHANICAL CONTRACTOR	F.D.	FLOOR DRAIN
E.C.	ELECTRICAL CONTRACTOR	RS	REFRIGERANT SUCTION
P.C.	PLUMBING CONTRACTOR	RL	REFRIGERANT LIQUID
S/A	SUPPLY AIR	—HWS—	HOT WATER SUPPLY
R/A	RETURN AIR	---- HWR ----	HOT WATER RETURN
T/A	TRANSFER AIR	—CWS—	CHILLED WATER SUPPLY
E/A	EXHAUST AIR	---- CWR ----	CHILLED WATER RETURN
O/A	OUTSIDE AIR	—CS—	CONDENSER WATER SUPPLY
A.F.F.	ABOVE FINISHED FLOOR	-----CR-----	CONDENSER WATER RETURN
AL	ACOUSTICAL LINING	—FOS—	FUEL OIL SUPPLY
O.E.D.	OPEN END DUCT	---- FOR ----	FUEL OIL RETURN
NC	NORMALLY CLOSED	—LPS—	LOW PRESSURE STEAM SUPPLY
NO	NORMALLY OPEN	---- LPR ----	LOW PRESSURE STEAM RETURN
DISC	DISCONNECT SWITCH	 	GATE/BUTTERFLY VALVE
	REMOVE EXISTING	 	BALL VALVE
	CONNECT TO EXISTING	 	BALANCING VALVE
	SUPPLY AIR DIFFUSER/DROP/RISE	 	3-WAY ATC VALVE
	RETURN AIR GRILLE/DROP/RISE	 	2-WAY ATC VALVE
	EXHAUST AIR GRILLE/DROP/RISE	 	AUTOMATIC FILL VALVE
	DUCT MOUNTED SMOKE DETECTOR	 	RELIEF VALVE
	TEMPERATURE/HUMIDITY SENSOR	 	CHECK VALVE
	CARBON DIOXIDE SENSOR	 	TRIPLE DUTY VALVE
	SWITCH	 	STRAINER
	PRESSURE SENSOR	 	PIPE ANCHOR
	VOLUME DAMPER	 	PIPE GUIDE
	ATC	 	AUTOMATIC TEMPERATURE CONTROL DAMPER
	BDD	 	BACKDRAFT DAMPER
	SD	 	SMOKE DAMPER
	AP	 	ACCESS PANEL
	FD	 	FIRE DAMPER
	DP	 	DIFFERENTIAL PRESSURE SENSOR
			UNION

NOTE: NOT ALL SYMBOLS & ABBREVIATIONS SHOWN ARE USED ON THIS PROJECT.

DESIGN CODE COMPLIANCE	
PA - UCC	PENNSYLVANIA UNIFORM CONSTRUCTION CODE; 2021
IBC	ICC - INTERNATIONAL BUILDING CODE; 2021
IMC	ICC - INTERNATIONAL MECHANICAL CODE; 2021
IEEC	ICC - INTERNATIONAL ENERGY CONSERVATION CODE; 2021
IFGC	ICC - INTERNATIONAL FUEL GAS CODE; 2021
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NEC	NATIONAL ELECTRIC CODE; 2020

ELECTRIC CABINET HEATER SCHEDULE														
ECH = ELECTRIC CABINET HEATER # = MARK														
TAG No.	AREA SERVED	MFR.	MODEL No.	FAN			HEATING COIL (ELECTRIC)				ELECTRICAL		MOUNTING	NOTES
				SPEED	CFM	HP	EAT DB°F	LAT DB°F	KW	STAGES	AMPS	V/Phz		
ECH-1	A-100 ENTRY	BERKO	CUH935	HIGH	500	1/8	60.0	98.0	3.0	2	15.0	208/1/60	CONCEALED, DUCTED	1, 2

NOT FOR CONSTRUCTION



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26-012 MCIU - ELA ENTRANCE RENOVATIONS

Sheet Title:

PARTIAL 1ST FLOOR
DEMOLITION PLAN -
MECHANICAL

Release

BH Job Number: 26-012

Scale: As indicated

Drawn By: AMR

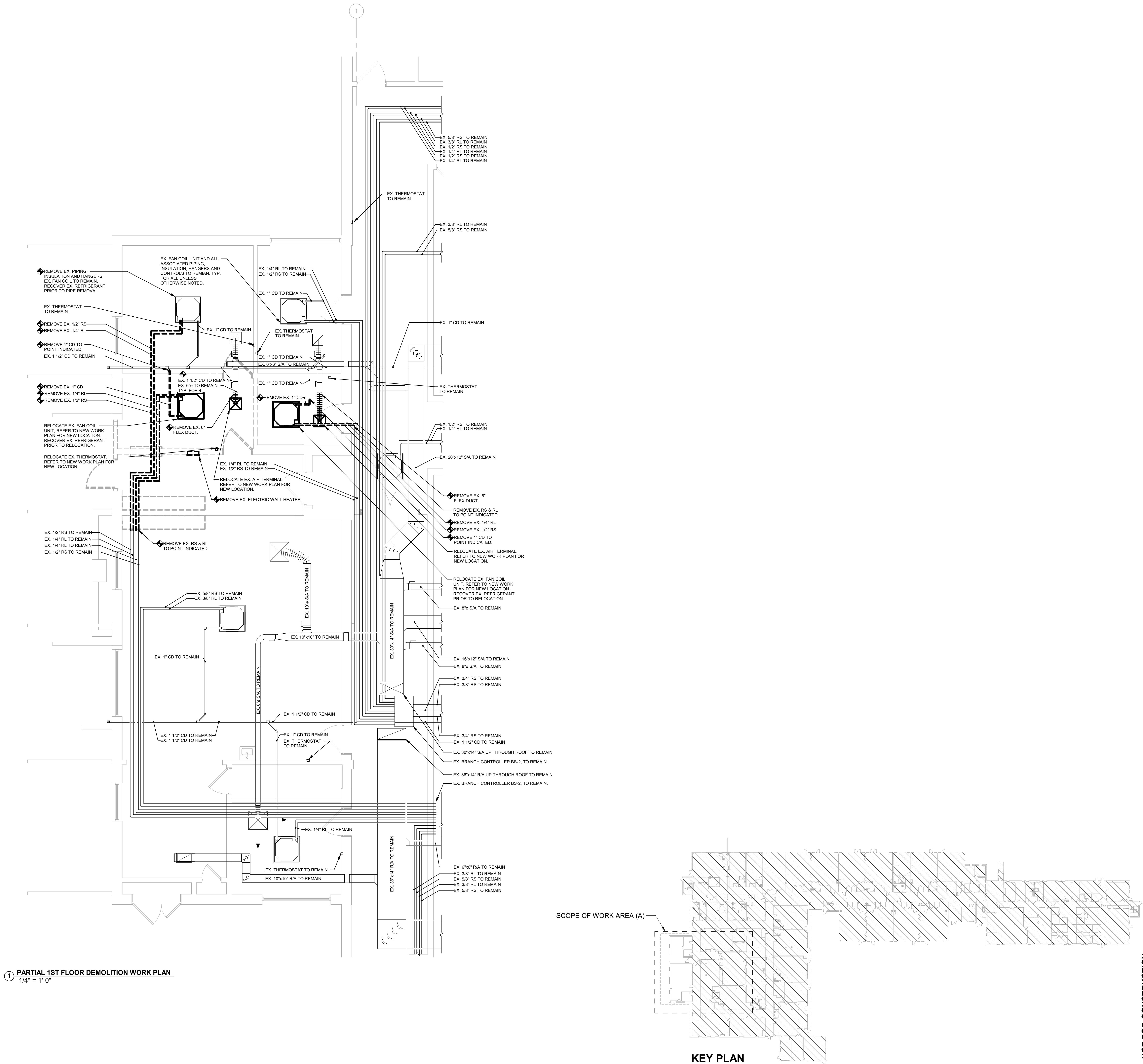
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Approved By: SEN

Sheet No.

MD1.01

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OWNER
MCIU
phone: 610.755.9404
Contact Person: Alfred Howard

MEP
Snyder Hoffman
phone: 610.694.8020
Contact Person: Shane Nipper

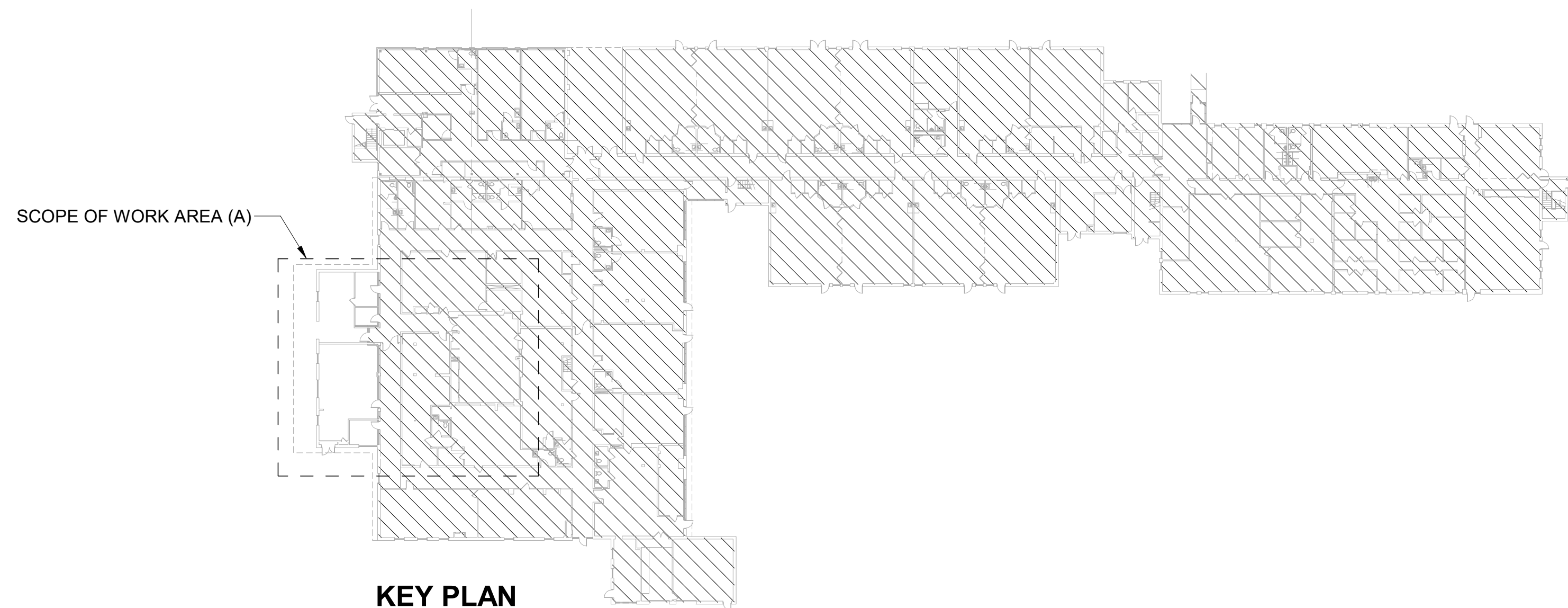
26-012 MCIU - ELA ENTRANCE RENOVATIONS

PARTIAL 1ST FLOOR NEW WORK PLAN - MECHANICAL

Sheet No.

M1.01

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KEY PLAN

NOT FOR CONSTRUCTION



OWNER
MCIU
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Contact Person: Alfred Howard

Snyder Hoffman
phone: 610.694.8020
Contact Person: Shan

NOTES: DISABLE SMART SET TECHNOLOGY IN ALL SPACES.

CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OCCUPANCY SENSORS WITH MANUFACTURER PRIOR TO ROUGH-IN

NOTES:

1. SYSTEMS NOT INDICATED IN MATRIX, BUT SHOWN ON DRAWINGS OR SPECIFICATIONS SHALL BE FURNISHED AND INSTALLED BY THE E.C.

DUTY TO INSPECT CONSTRUCTION DOCUMENTS PRIOR TO STARTING WORK:

Any party who relies in part or whole on the content of these Construction Documents shall, before beginning work, be responsible for fully inspecting the complete set of documents, including but not limited to the Specifications, and Addenda, for completeness, conflicts, omissions, and errors. It is the responsibility of the subsupplier of work, and liability for constructing the building. All parties relying on these documents represent and warrant that they have read and understood the documents and are knowledgeable regarding industry standards, product requirements and code requirements and that they are qualified to fully evaluate and interpret the documents. Construction documents must be submitted to the Architect in writing. All parties who begin work without certifying that the documents are suitable for their intended purposes unless noted in specific written exception beforehand.

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[illegible]

BH Job Number: 26-012

Scale: NO SCALE

Drawn By: EMH

Checked By: DN

Approved By: _____ DN: _____

Sheet No. _____

5000

FOOD

£0.00

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LOW VOLTAGE DEVICES LEGEND	
NOTE: NOT ALL DEVICES SHOWN ON THE LEGEND ARE USED ON THIS PROJECT	
	TELEPHONE OUTLET (POTS LINE)
	TELEPHONE OUTLET (PROVIDE (1) DATA DROP)
	WALL-MOUNTED TELEPHONE OUTLET (PROVIDE (1) DATA DROP AND MOUNTING PLATE)
	COMPUTER OUTLET (NUMBER DENOTES NUMBER OF JACKS. (WHERE NO NUMBER IS SHOWN, PROVIDE TWO JACKS MINIMUM.)
	VAPE DETECTOR. PROVIDE (1) DATA DROP FOR EACH LOCATION INDICATED.
	WIRELESS ACCESS POINT. PROVIDE TWO DATA DROPS IN CEILING OR ON WALL FOR EACH LOCATION INDICATED. FIELD COORDINATE TERMINATION. PLATE TYPE WITH OWNER PROVIDED DEVICE REQUIREMENTS.
	AV INPUT/OUTPUT JACK
	FIBER CONNECTION
	TELEVISION CABLE OUTLET
	CLOCK, SPEAKER UNIT
	WALL MOUNTED CLOCK. 2 INDICATES DOUBLE FACE CLOCK.
	MICROPHONE JACK - SOUND SYSTEM
	PUBLIC ADDRESS/INTERCOM SPEAKER (FLUSH, CEILING-MOUNTED)
	PUBLIC ADDRESS/INTERCOM SPEAKER (SURFACE, CEILING-MOUNTED)
	PUBLIC ADDRESS/INTERCOM SPEAKER (SURFACE, WALL-MOUNTED)
	PUBLIC ADDRESS/INTERCOM SPEAKER (FLUSH, WALL-MOUNTED)
	PUBLIC ADDRESS/INTERCOM VOLUME CONTROL
	PUBLIC ADDRESS/INTERCOM CALL/TALKBACK BUTTON

CIRCUITING LEGEND

NOTE: NOT ALL DEVICES SHOWN ON THE LEGEND ARE USED ON THIS PROJECT

	WIRING CONCEALED ABOVE CEILING OR IN WALL. CROSS LINES INDICATE NUMBER OF #12 A.W.G. WIRES IN A 34" CONDUIT. GROUND WIRES ARE NOT SHOWN. NO CROSS LINES INDICATE #12 A.W.G., #12 A.W.G. GROUND IN A 34" CONDUIT.
	CIRCUIT HOME RUN WITH CIRCUIT NUMBER INDICATED
	WIRING CONCEALED BELOW GRADE OR FLOOR
	NORMAL-EMERGENCY OR EMERGENCY ONLY BRANCH CIRCUIT WIRING
	CRITICAL BRANCH CIRCUIT WIRING
	HORIZONTAL AND VERTICAL SURFACE RACEWAY. REFER TO FLOOR PLANS FOR ADDITIONAL INFORMATION

EQUIPMENT TAG LEGEND	
NOTE: NOT ALL TAGS SHOWN ON THE LEGEND ARE USED ON THIS PROJECT.	
(ACC) X	AIR-COOLED CHILLER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(ACU) X	AIR-COOLED CONDENSER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(AHU) X	AIR HANDLING UNIT - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(B) X	BOILER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(BCU) X	BLOWER COIL UNIT - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(BF) X	BOOSTER FAN - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(CH) X	CABINET HEATER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(CP) X	CONDENSATE PUMP - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(CT) X	COOLING TOWER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(CU) X	CONDENSING UNIT - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(DC) X	DUST COLLECTOR - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(DHU) X	DEHUMIDIFICATION UNIT - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(DSS) X	DUCTLESS SPLIT SYSTEM - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(ECH) X	ELECTRIC CABINET HEATER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(EDC) X	ELECTRIC DUCT COIL - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(EF) X	EXHAUST FAN - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(ER) X	ELECTRIC RADIATION - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(ERU) X	ENERGY RECOVERY UNIT - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(EHU) X	ELECTRIC UNIT HEATER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(EWH) X	ELECTRIC WALL HEATER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(FOP) X	FUEL OIL TRANSFER PUMP - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(FPV) X	FAN-POWERED VAV BOX - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(GF) X	GAS FURNACE - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(GUR) X	GAS-FIRED UNIT HEATER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(H) X	HUMIDIFIER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(HP) X	HEAT PUMP - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(HRU) X	HEAT RECOVERY UNIT - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(IR) X	INFRARED HEATER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(MAU) X	MAKEUP AIR UNIT - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(P) X	PUMP - SUPPLIED AND INSTALLED BY OTHERS, FINAL CONNECTION BY E.C.
(PTAC) X	PACKAGED THRU-WALL A/C UNIT - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(RF) X	RETURN AIR FAN - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(RTU) X	ROOFTOP UNIT - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(SF) X	SUPPLY FAN - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(SV) X	SMOKE VENT - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(UH) X	UNIT HEATER - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(UV) X	UNIT VENTILATOR - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.
(VAV) X	VARIABLE AIR VOLUME BOX - SUPPLIED AND INSTALLED BY H.C., FINAL CONNECTION BY E.C.

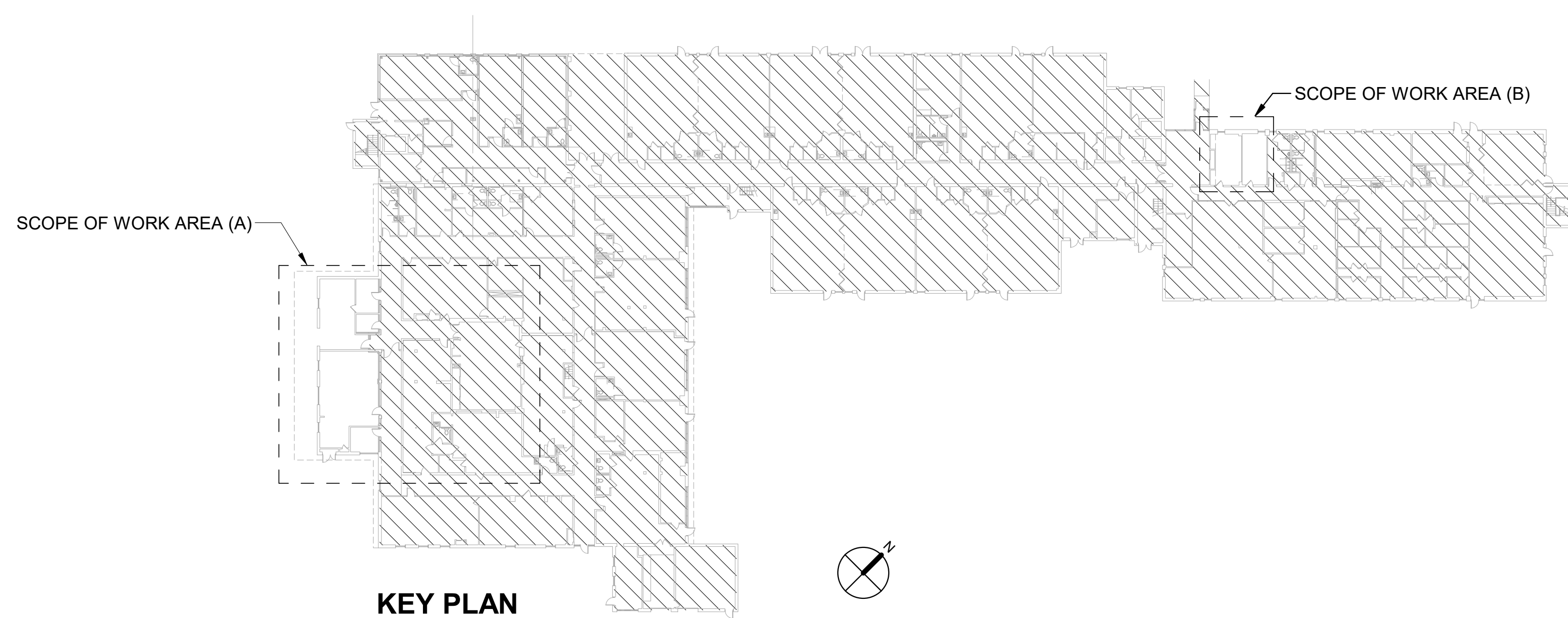
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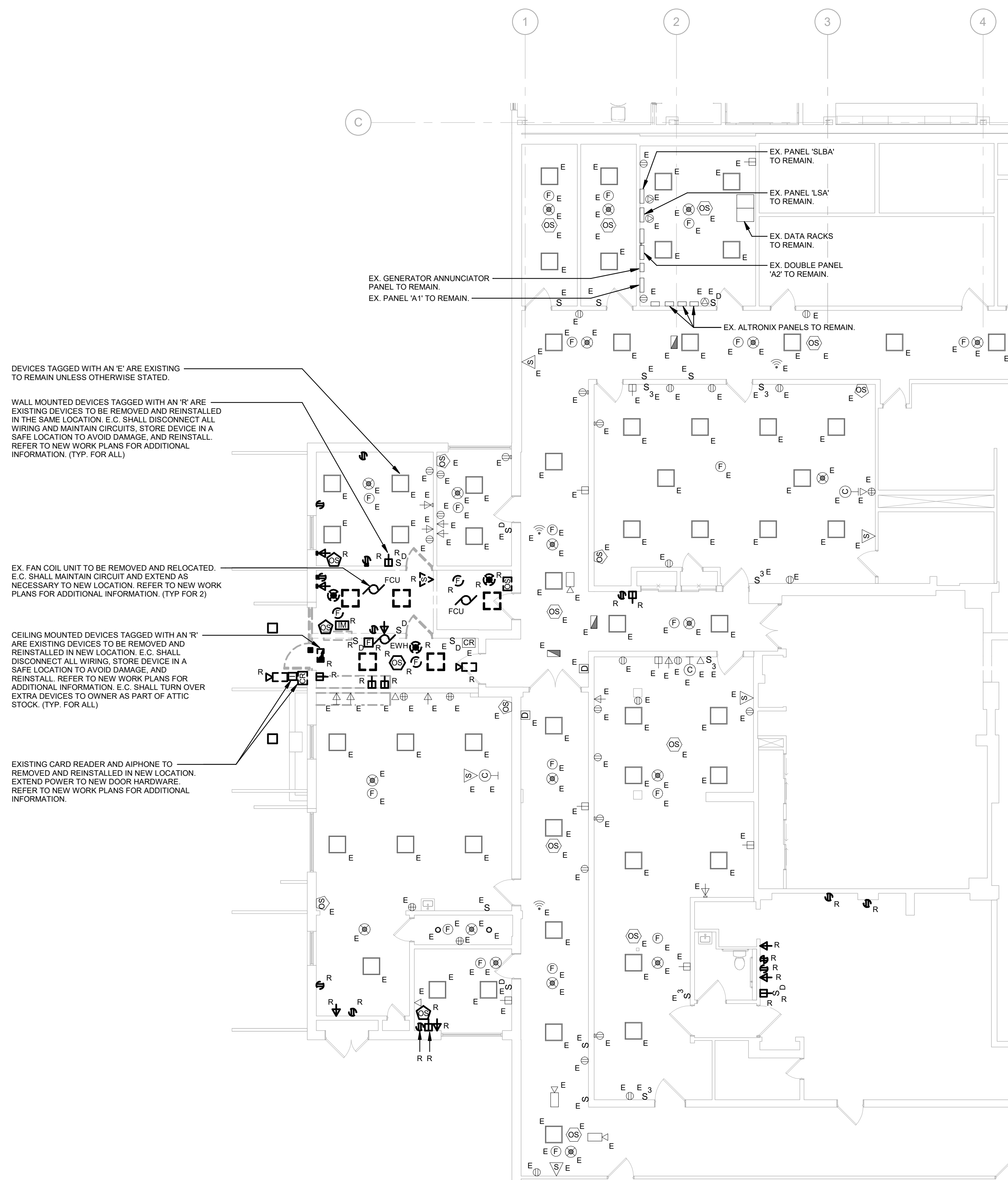
phone: (215) 829.0922 ext. 131
Contact Person: TROY HILL

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phone: 610.755.9404
Contact Person: Alfred Howard

MEP
Snyder Hoffman
phone: 610.694.8020
Contact Person: Shane Nipper



KEY PLAN



1 1ST FLOOR PARTIAL PLAN (A) - DEMOLITION
1/8" = 1'-0"

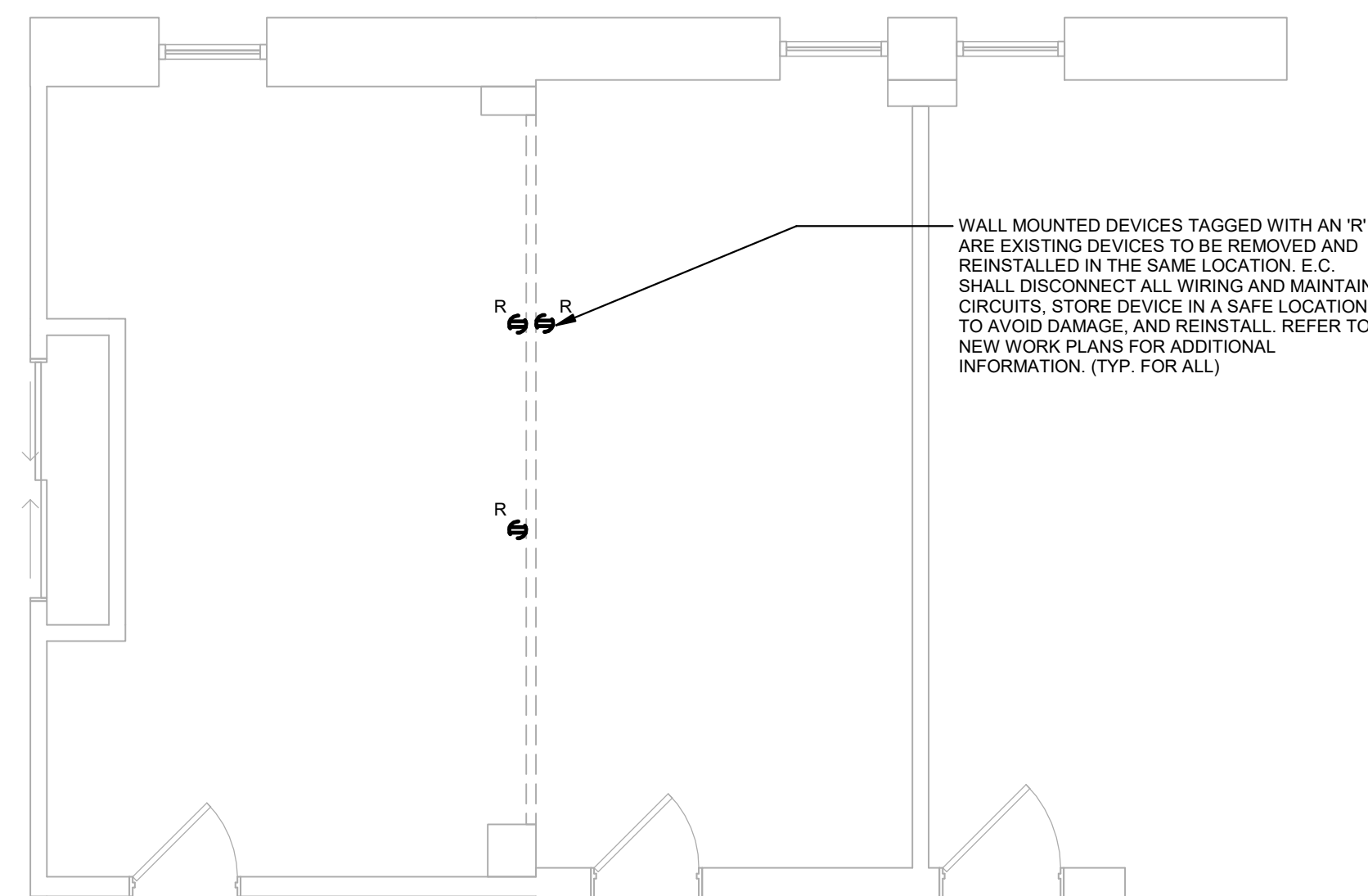
DEMOLITION NOTES

UNLESS OTHERWISE INDICATED OR NOTED, ALL ELECTRICAL ITEMS SHOWN ARE TO BE REMOVED. THIS REMOVAL INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING ITEMS: LIGHTING FIXTURES, RECEPTACLES, JUNCTION BOXES, LOW-VOLTAGE JACKS, AND ALL OTHER ELECTRICAL ITEMS SHOWN ON THIS DRAWING. THIS INCLUDES ANY ASSOCIATED BRANCH CIRCUIT AND LOW VOLTAGE WIRING BACK TO THE MAIN SERVICE. THE E.C. SHALL BE RESPONSIBLE FOR THE REMOVAL OF MOUNTING DEVICES, HANGERS, ETC. ASSOCIATED WITH THIS EQUIPMENT.

AN ATTEMPT HAS BEEN MADE TO SHOW ALL THE LIGHTING FIXTURES, RECEPTACLES, JUNCTION BOXES, VARIOUS LOW-VOLTAGE JACKS, AND ALL OTHER ELECTRICAL ITEMS ON THE DEMOLITION DRAWINGS. HOWEVER, THE E.C. SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY AND ALL OF THESE COMPONENTS THAT EXIST IN THE FIELD AND ARE IN THE WAY OF THE NEW CONSTRUCTION.

NO WIRING SHALL BE ABANDONED IN PLACE. IT SHALL BE REMOVED. ALL CONDUIT SHALL BE REMOVED EXCEPT WHERE IT IS BURIED IN MASONRY WALLS AND OR IN BELOW FLOOR SLABS. IN THESE CASES CUT THE ENDS OF THE CONDUIT FLUSH WITH THE WALL OR FLOOR AND FILL WITH PATCHING MATERIALS TO MATCH ADJACENT SURFACES.

THE E.C. SHALL BE RESPONSIBLE FOR RECONNECTING ANY EXISTING DEVICE WHICH IS TO REMAIN ENERGIZED AND HAS BEEN DISCONNECTED DUE TO THE DEMOLITION. PROVIDE ALL WIRING AND DEVICES NECESSARY TO RECONNECT.



② 1ST FLOOR PARTIAL PLAN (B) - DEMOLITION
1/4" = 1'-0"

Project:

26-012 MCIU - ELA ENTRANCE RENOVATIONS

Project Address:
1605 W Main St,
Norristown, PA 19403

Sheet Title:

FIRST FLOOR DEMOLITION PLANS - ELECTRICAL

Seal

DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR

TO STARTING WORK:
Any party who relies in part or whole on the content of these Construction Documents shall, before beginning construction, make a diligent inspection of the complete set of Contract Documents, including all Drawings, Specifications, and Addenda, for completeness, conflicts of scope of work, and suitability for constructing the building. All parties relying on these documents represent and warrant that they are competent to interpret that they have expertise in the area of their responsibility under the contract documents, and that they understand, product requirements and code requirements and therefore are qualified to fully evaluate and interpret the contract documents. All parties relying on these documents must, prior to beginning work, submit all requests for clarifications and additional information to the Architect in writing. The parties hereby warrant and hereby certify that the documents are suitable for their intended purposes unless noted in specific written exception beforehand.

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Releas

[illegible]

BH Job Number: 26-012

Scale: As indicated

Drawn By: EMH

Checked By: DN

Sheet No.

ED1.01

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Release

Date	Comments	
05.01.2026	PROGRESS SET	Δ
05.22.2026	ISSUED FOR BID	

BH Job Number: 26-012

Scale: As indicated

Drawn By: EMH

Checked By: DN

Approved By: DN

Sheet No.

E1.01

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SCOPE OF WORK AREA (A)

SCOPE OF WORK AREA (B)

KEY PLAN

④ 1ST FLOOR NEW WORK PARTIAL PLAN (B) - POWER

1/4" = 1'-0"

① 1ST FLOOR NEW WORK PARTIAL PLAN (A) - SIGNAL

1/8" = 1'-0"

② 1ST FLOOR NEW WORK PARTIAL PLAN (A) - LIGHTING

1/8" = 1'-0"

③ 1ST FLOOR NEW WORK PARTIAL PLAN (A) - POWER

1/8" = 1'-0"

GENERAL SIGNAL NOTES:

- REFER TO E0.00 FOR LEGEND AND GENERAL NOTES.
- REFER TO POWER PLANS FOR ELECTRICAL PANEL DESIGNATIONS.

GENERAL LIGHTING NOTES:

- REFER TO E0.00 FOR LEGEND AND GENERAL NOTES.
- REFER TO POWER PLANS FOR ELECTRICAL PANEL DESIGNATIONS.

GENERAL POWER NOTES:

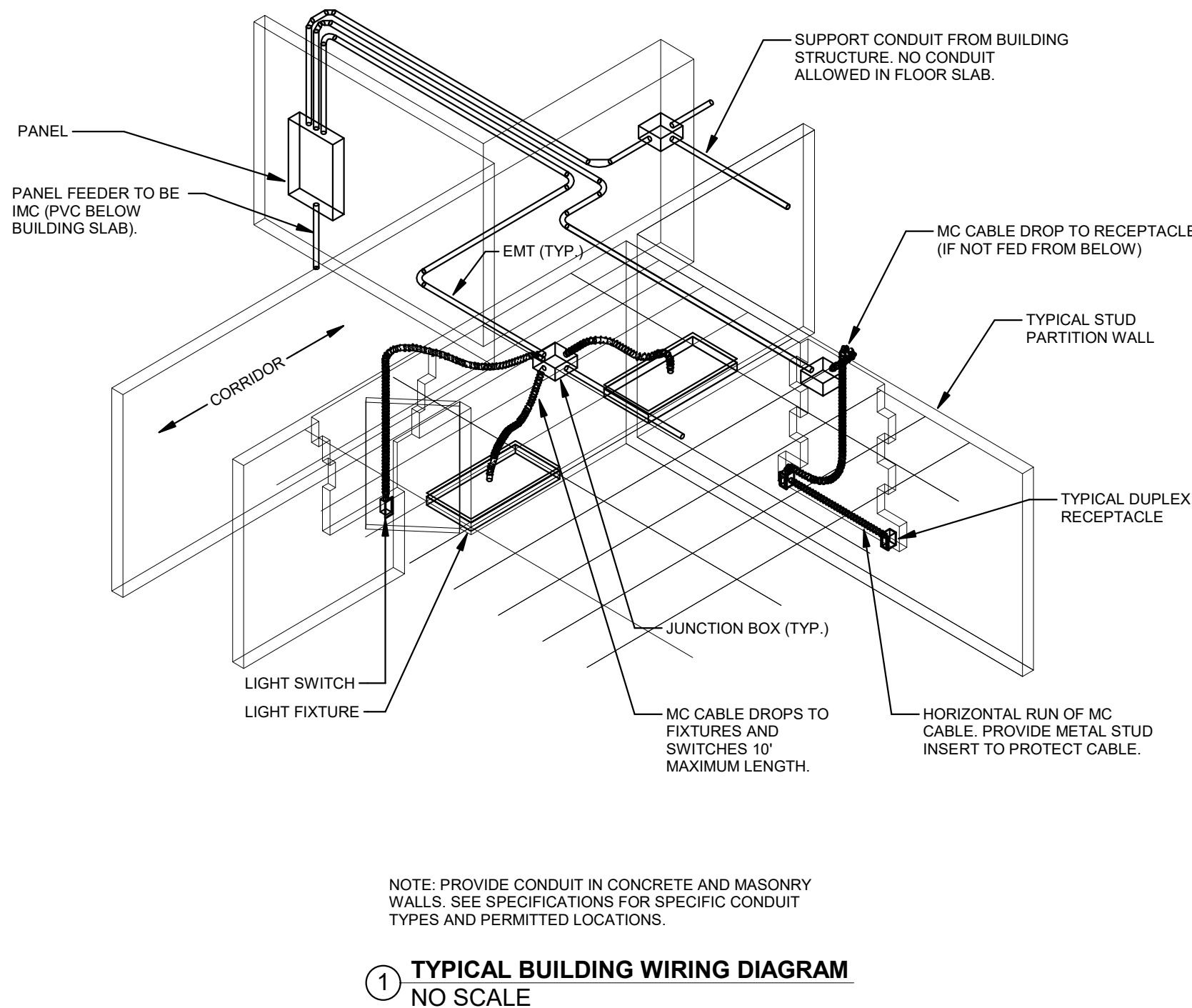
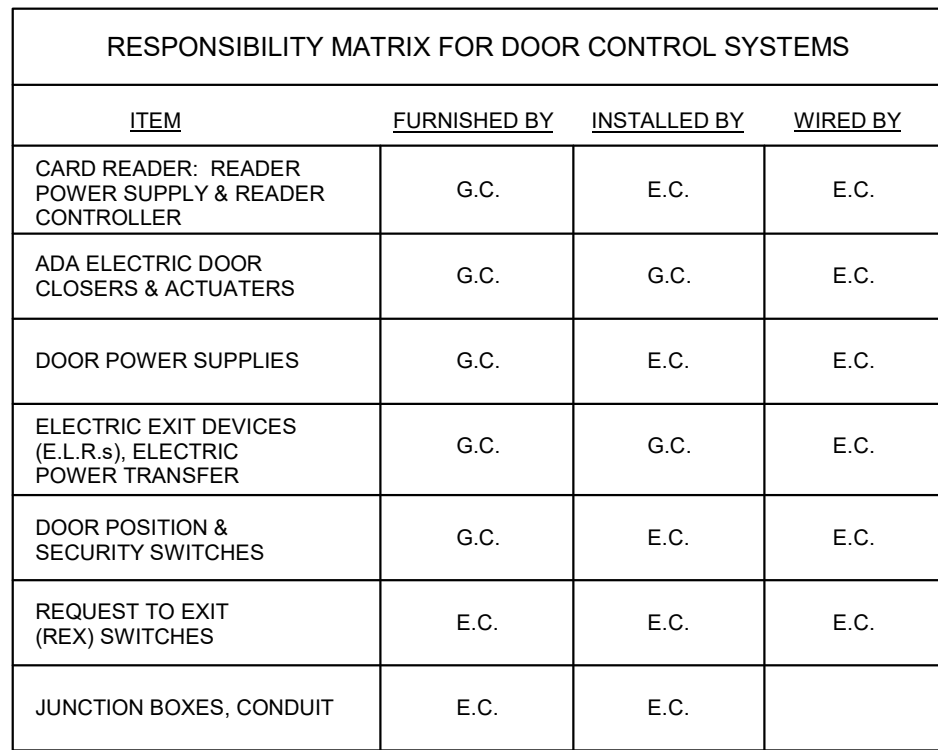
- REFER TO E0.00 FOR LEGEND AND GENERAL NOTES.
- ALL NEW RECEPTACLES SHALL BE TAMPER RESISTANT.



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Contact Person: TROY HILL

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ELEC - Lighting Fixture Schedule										
Type	Apparent Load	Manufacturer	Catalog Number	Mounting	Total Depth	No. of Lamps	Lamp Type	Voltage	Additional Remarks	Sched - Approved Equiv.
A1	30 VA	COLUMBIA	LCAT24-S-35L042 GDEDU	RECESSED	2.25"	LED	4671LU 3500K	UNV	2x4 ARCHITECTURAL TROFFER WITH 0-10V DIMMING	ELITE OVER- BAYNETE FLUORESCENT HIGHLIGHTER BETALUX CRUIZE ET
D	9 VA	ALPHABET	NULRD-SW-10LM 30K-80/650V-HET- WH-WH	RECESSED	4.5"	LED	990LU 3500K	UNV	4' DOWNLIGHT W/ 0-10V 1% DIMMING.	ELITE HMR CALCULITE 4", HALO HCA
S	15 VA	BEACON	SRT15-15-3KT-SOW- UN	SURFACE	N/A	LED	2276LU 3000K	UNV	2" SURFACE MOUNT CANOPY FIXTURE W/ 0-10V DIMMING	ELITE HMR CALCULITE 4", HALO HCA

NOTES:

1. FINISHES SELECTED BY ARCHITECT AT TIME OF SHOP DRAWINGS. ASSUME PREMIUM FINISH.
2. FIXTURES LISTED AS EQUALS SHALL MEET ALL REQUIREMENTS OF SPECIFIED INCLUDING BUT NOT LIMITED TO CONSTRUCTION, LUMENS, WATTAGE, AND AESTHETICS

Branch Panel: A2										
Location:				Volts: 120/208 Vrye			A.I.C. Rating: 10000			
Supply From:				Phases: 3			Maine Type: MLO			
Mounting: Surface				Wires: 4			Mains Rating: 225 A			
Enclosure: Type 1										
Manufacturers:										
CKT	Poles	Trip	Circuit Description	A	B	C	Circuit Description	Trip	Poles	CKT
5	2	30 A	EW H - 2 in Stairwell D4	0 / 0			Rop ts - A150, A137	20 A	1	2
3	--	--	--		0 / 0		Rop ts - A150	20 A	1	4
7	2	30 A	VR - 1 in Storage W101			0 / 0	Rop ts - Storage A138	20 A	1	6
9	2	--	--	0 / 0			Rop ts - A148	20 A	1	8
9	2	20 A	EW H - 1 Mens Restroom A104	0 / 0	0 / 0		Rop ts - A148	20 A	1	10
11	--	--	--		0 / 0	0 / 0	Rop ts - A149	20 A	1	12
13	2	20 A	EW H - 1 Womens TR A106	0 / 0			Rop ts - A149	20 A	1	14
15	--	--	--		0 / 0		Rop ts - A149	20 A	1	16
17	2	20 A	EW H - 1 Womens TR A108a	0 / 0		0 / 0	Rop ts - A144	20 A	1	18
19	--	--	--				Rop ts - A144	20 A	1	20
21	2	20 A	EW H - 1 Mens TR A108b		0 / 0		Rop ts - A145	20 A	1	22
23	--	--	--			0 / 0	Rop ts - A145	20 A	1	24
25	2	20 A	ECH-1	1500 / 0			Rop ts - A111, A113	20 A	1	26
27	--	--	--		1500 / 0		Rop ts - A146, Hall 100B	20 A	1	28
29	2	20 A	Spare			0 / 0	Rop ts - A111	20 A	1	30
31	--	--	--	0 / 0			Rop ts - A113	20 A	1	32
33	2	20 A	Spare		0 / 0		Rop ts - A137	20 A	1	34
35	--	--	--			0 / 0	Rop ts - A153, A155	20 A	1	36
37	2	20 A	Spare	0 / 0			Rop ts - A152, A154	20 A	1	38
39	--	--	--		0 / 0		Rop ts - A101	20 A	1	40
41	1	20 A	Ex Fan W101				Rop ts - A101	20 A	1	42
43	1	20 A	Rcp ts - A101, A103	0 / 0			Rop ts - A100D, C Hall	20 A	1	44
45	1	20 A	Rcp ts - A137	0 / 0	0 / 0		Rop ts - A109	20 A	1	46
47	1	20 A	Rcp ts - A137	0 / 0		0 / 0	Rop ts - A109, A108	20 A	1	48
49	1	20 A	Ex Load				Rop ts - A108	20 A	1	50
51	1	20 A	Ex Load		0 / 0		Ex Load	20 A	1	52
53	1	20 A	Ex Load			0 / 0	Ex Load	20 A	1	54
55	1	20 A	Ex Load		0 / 0		Ex Load	20 A	1	56
57	1	20 A	Ex Load		0 / 0		Ex Load	20 A	1	58
59	1	20 A	Ex Load			0 / 0	Ex Load	20 A	1	60
61	1	20 A	Ex Load	0 / 0			Ex Load	20 A	1	62
63	2	20 A	Ex Load		0 / 0		Ex Load	20 A	2	64
65	--	--	--			0 / 0	Ex Load	--	--	66
67	1	20 A	Ex Load	0 / 0	0 / 0		Ex Load	30 A	2	68
69	3	30 A	Ex Load	0 / 0	0 / 0	0 / 720	Rop ts - A154	--	--	70
71	--	--	--				Rop ts - A108	20 A	1	72
73	--	--	--	0 / 0	0 / 0		Ex Load	60 A	3	74
75	1	20 A	Ex Load		0 / 0		--	--	--	76
77	1	20 A	Motorized Door - A-100			0 / 0	--	--	--	78
79	1	20 A	Spare	0 / 0	0 / 0		Spare	20 A	1	80
81	1	20 A	Ex Load		0 / 0		Rop ts - A109	20 A	1	82
83	1	20 A	Spare			0 / 0	Ex Load	20 A	1	84
				1500 VA 14 A	1500 VA 14 A	720 VA 6 A				
Load Classification			Connected Load	Demand Factor	Estimated...		Panel Totals			
							Total Conn. Load: 3720 VA			
							Total Est. Demand: 3720 VA			
							Total Conn. Current: 10 A			
							Total Est. Demand...: 10 A			
Notes:										
Existing Loads and Breakers Designated By <i>Italic font</i> .										
New Loads and Breakers Designated by Bold Font .										
Field Verify Existing Panel AIC rating and provide equivalent AIC Rating for All New Breakers. Provide New Typed Circuit Directory										

Project:

26-012 MCIU - ELA
ENTRANCE
RENOVATIONS

Project Address:
1605 W Main St,
Norristown, PA 19403

Sheet Title:

DETAILS, DIAGRAMS, AND SCHEDULES - ELECTRICAL

Seal

DUTY TO INSPECT CONTRACT DOCUMENTS PRIOR

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Release		
Date	Comments	
05.01.2026	PROGRESS SET	
05.22.2026	ISSUED FOR BID	

[illegible]

BH Job Number: 26-012

Scale: NO SCALE

Drawn By: EM

Checked By: _____ DN: _____

Approved

Chest No.

E5.00

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