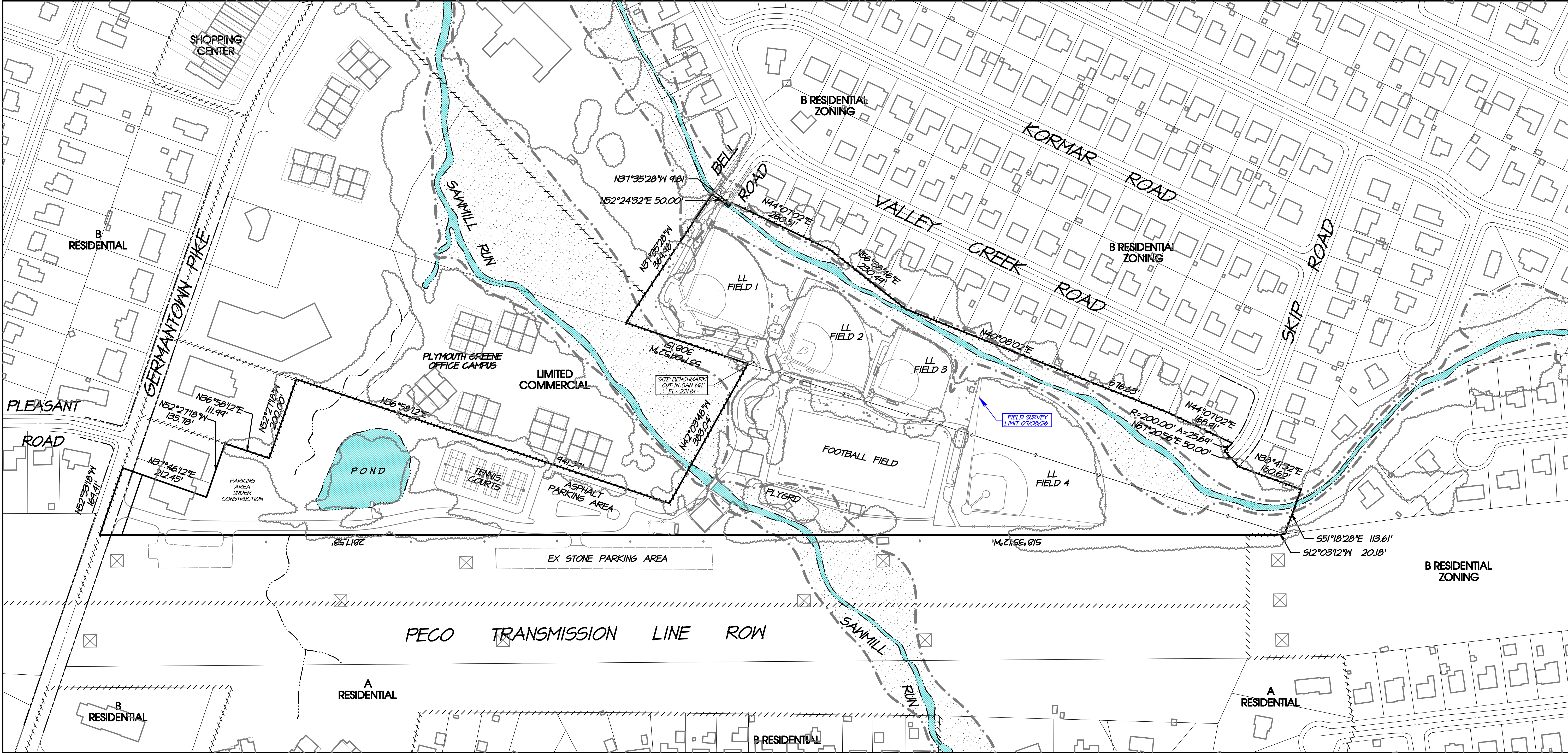


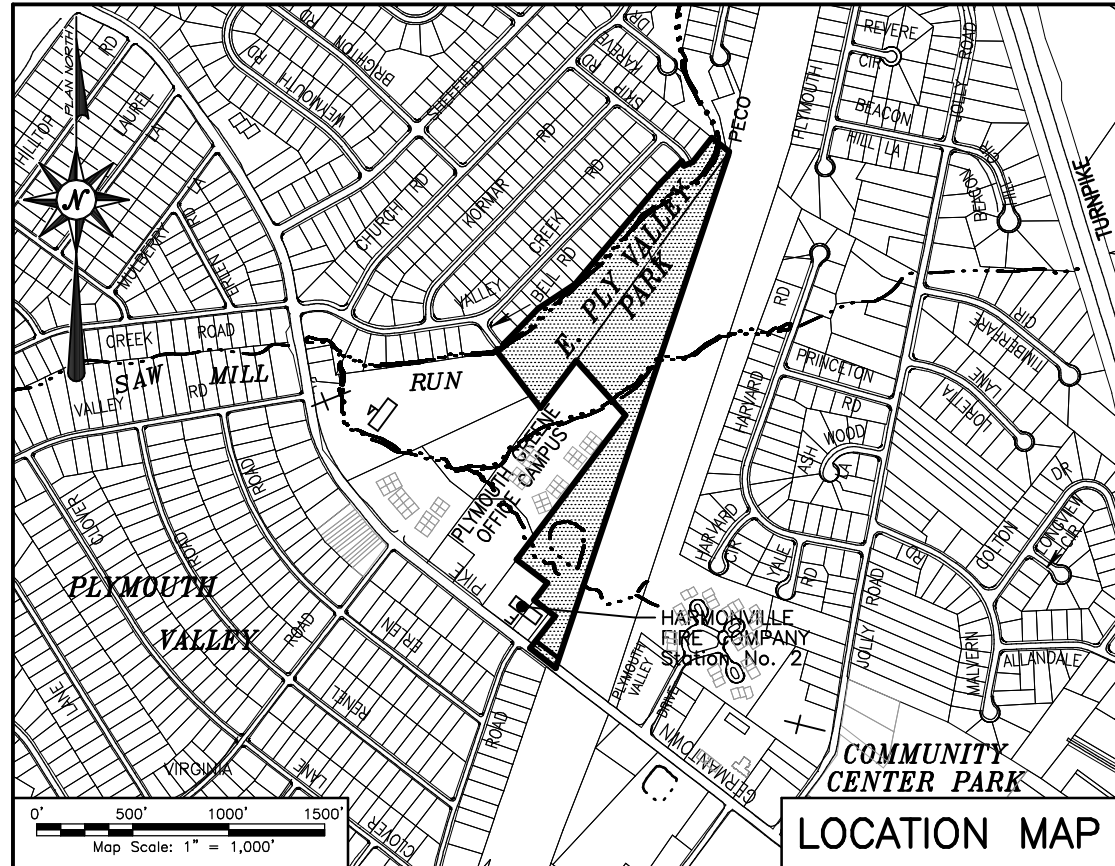


GENERAL PLAN NOTES

EXISTING FEATURES and SURVEY NOTES:

- The metes and bounds illustrated on this plan was prepared from documents of record and without the benefit of a Title Report. This property may be subject to additional rights of others that might be listed in a Title Report. This data has not been verified by field survey and is to be used for planning purposes only. All Bearings shown reflect rotation from Deed Bearing Basis to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis.
- All topographic and existing features illustrated on this plan was prepared from documents of record with select project area field survey as noted on the plan. Site elevation datum is referenced per note 3 below.
- This plan was prepared utilizing the following references:
 - Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD88 vertical datum. Flight date was Spring 2008, updated by DMRPC flight 2010.
 - Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated June 18, 2018, updated July 01, 2026.
- There has been no field investigation performed to verify any existence of any wetlands, waters of the U.S. or Commonwealth or Alluvial Soils at the time of the site survey.
- Flood zone limits illustrated are per Community Panel Number 42091-C-0270G, effective date March 2, 2016 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan. Additional verification of floodplain limits based on elevation cross-section data provided by FEMA GIS mapping.
- All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 811 or go to www.paonecall.org.
- Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility connections exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.

PLAN LEGEND			
	Tract Boundary Line		Existing Storm Sewer Piping
	Existing Right-of-Way Line		Existing Sanitary Sewer Piping
	Existing Right-of-Way Centerline		Existing Gas Main
	FEMA Mapped Floodplain		Existing Water Main / Service
	Existing Zoning Boundary		Existing Overhead Wires
	Existing Topographic Contour		Existing Fence Line
			Existing Woodlands Drip-line



REVISIONS

PROJECT SERIAL NUMBER FOR DESIGN:
(800-242-1776 or Dial 811)

Seal

Seal

PROJECT INFORMATION:
N/F Lands Of:
PLYMOUTH TOWNSHIP
49-00-04057-00-7
Block 27 Unit 7
D.B.: 5394 Pg: 2283

Deed Area: 22.25 Acres
Legal RW: 0.09 Acres
Util. RW: 0.09 Acres
NET Area: 22.06 Acres

Applicant:
PLYMOUTH TOWNSHIP

c/o 700 Belvoir Road
Plymouth Meeting, PA 19462
(610) 277 - 4100

Scale in Feet (1" = 120')
© COPYRIGHT 2026
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PARKS & RECREATION – BID SET

OVERALL MASTER PARK PLAN

EAST PLYMOUTH VALLEY PARK

PLYMOUTH TOWNSHIP – MONTGOMERY COUNTY – PENNSYLVANIA

WOODROW & ASSOCIATES, INC.

MUNICIPAL / CIVIL CONSULTING ENGINEERS

1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 242-3548 Web: www.woodrowinc.com

Layer List:

Job No:

Plan Date:

Sheet No:

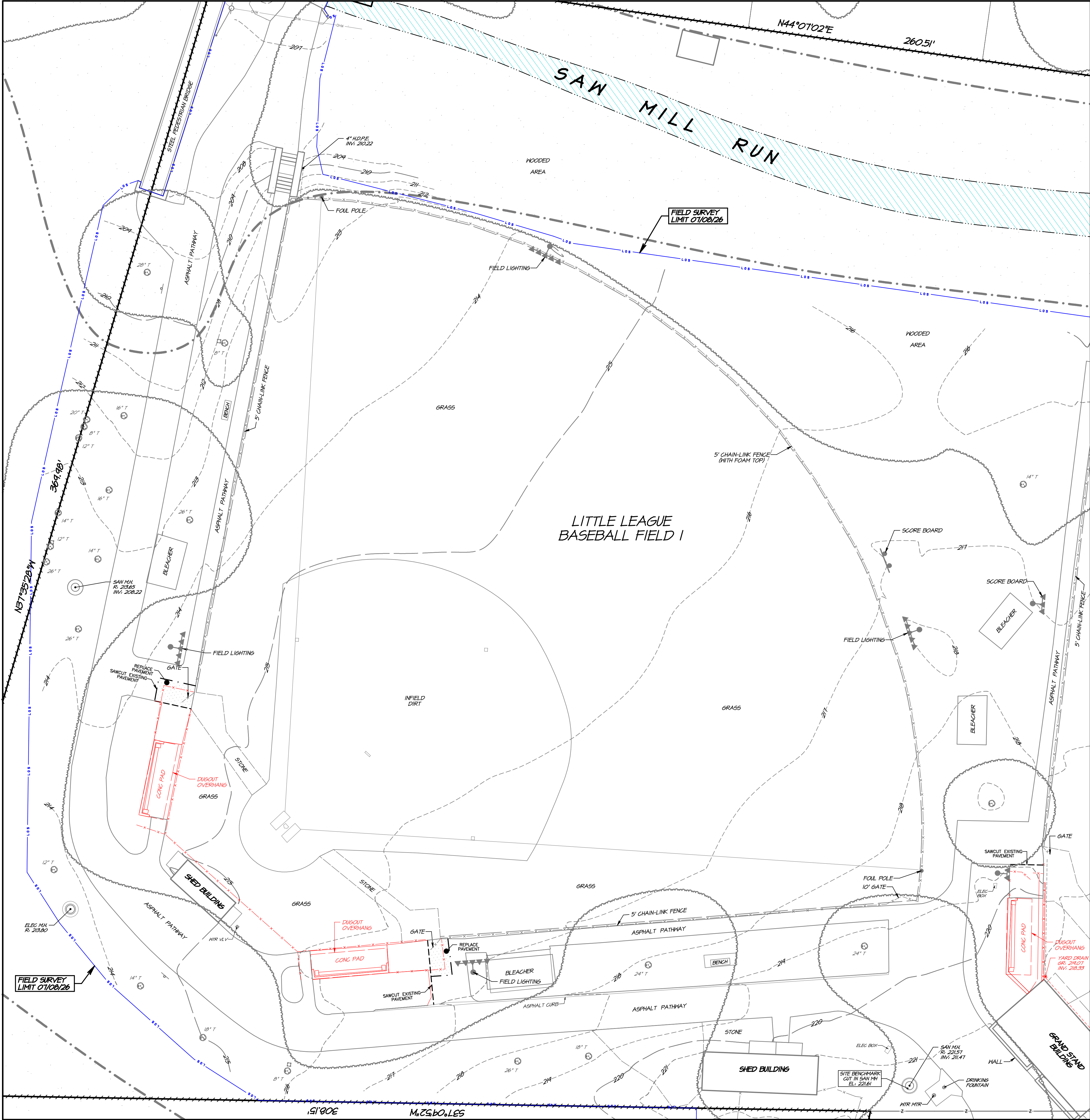
EPVP_01-Master

20-0101 P

JULY 16, 2026

1 of 7

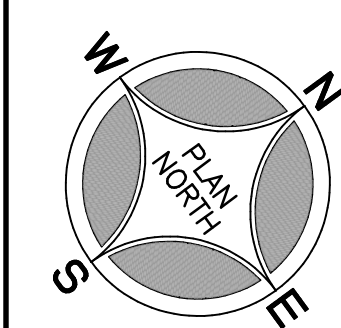
Print Date: Jul 28, 2026 (21:03) Print Scale: 1" = 15.00'
File Name: C:\2025\20-0101\20-0101.dwg



PLAN LEGEND	
EXISTING (EX) FEATURES	
	EX TRACT BOUNDARY
	EX R/W CENTERLINE
	EX R/W LINE
	EX ZONING BOUNDARY
	FEMA MAPPED FLOODPLAIN
	EX TOPOGRAPHIC CONTOURS
	EX SOIL BOUNDARY
	EX FENCE LINE
	EX TREE GIRTH LINE
	EX DECIDUOUS TREE
	EX CONIFEROUS TREE
	EX SIGN
	EX LIGHT/LAMP POST
	EX UTILITY POLE & O.H. WIRES
	EX SEWER CLEAN OUT
	EX WATER VALVE
	EX FIRE HYDRANT
	EX STORM SEWER AND INLET
	EX SANITARY SEWER & MH
	EX WATER MAIN & SERVICE

- ### GENERAL PLAN NOTES
- EXISTING FEATURES and SURVEY NOTES:
- The metes and bounds illustrated on this plan was prepared from documents of record and without the benefit of a Title Report. This property may be subject to additional rights of others that might be listed in a Title Report. This data has not been verified by field survey and is to be used for planning purposes only. All bearings shown reflect rotation from Deed Bearing Basis to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis.
 - All topographic and existing features illustrated on this plan was prepared from documents of record with select project area field survey as noted on the plan. Site elevation datum is referenced per note 3 below.
 - This plan was prepared utilizing the following references:
 - Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum. Flight date was Spring 2008, updated by DVRPC flight 2010.
 - Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated June 18, 2018, updated July 01, 2026.
 - There has been no field investigation performed to verify any existence of any wetlands, waters of the U.S. or Commonwealth or Alluvial Soils at the time of the site survey.
 - Flood zone limits illustrated are per Community Panel Number 42091-C-0270G, effective date March 2, 2016 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan. Additional verification of floodplain limits based on elevation cross-section data provided by FEMA GIS mapping.
 - All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paoncall.org.
 - Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility connections exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.

REVISIONS



SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
(800-242-1776 or Dial 811)

Pennsylvania 811
A Priority Number with PA's Pennsylvania Corporation

Parcel Information:
N/F Lands Of:
PLYMOUTH TOWNSHIP
49-00-04057-00-7
Block 27 Unit 7
D.B.: 5394 Pg: 2283

Deed Area: 22.25 Acres
Legal RW: 0.09 Acres
Util. RW: 0.09 Acres
NET Area: 22.06 Acres

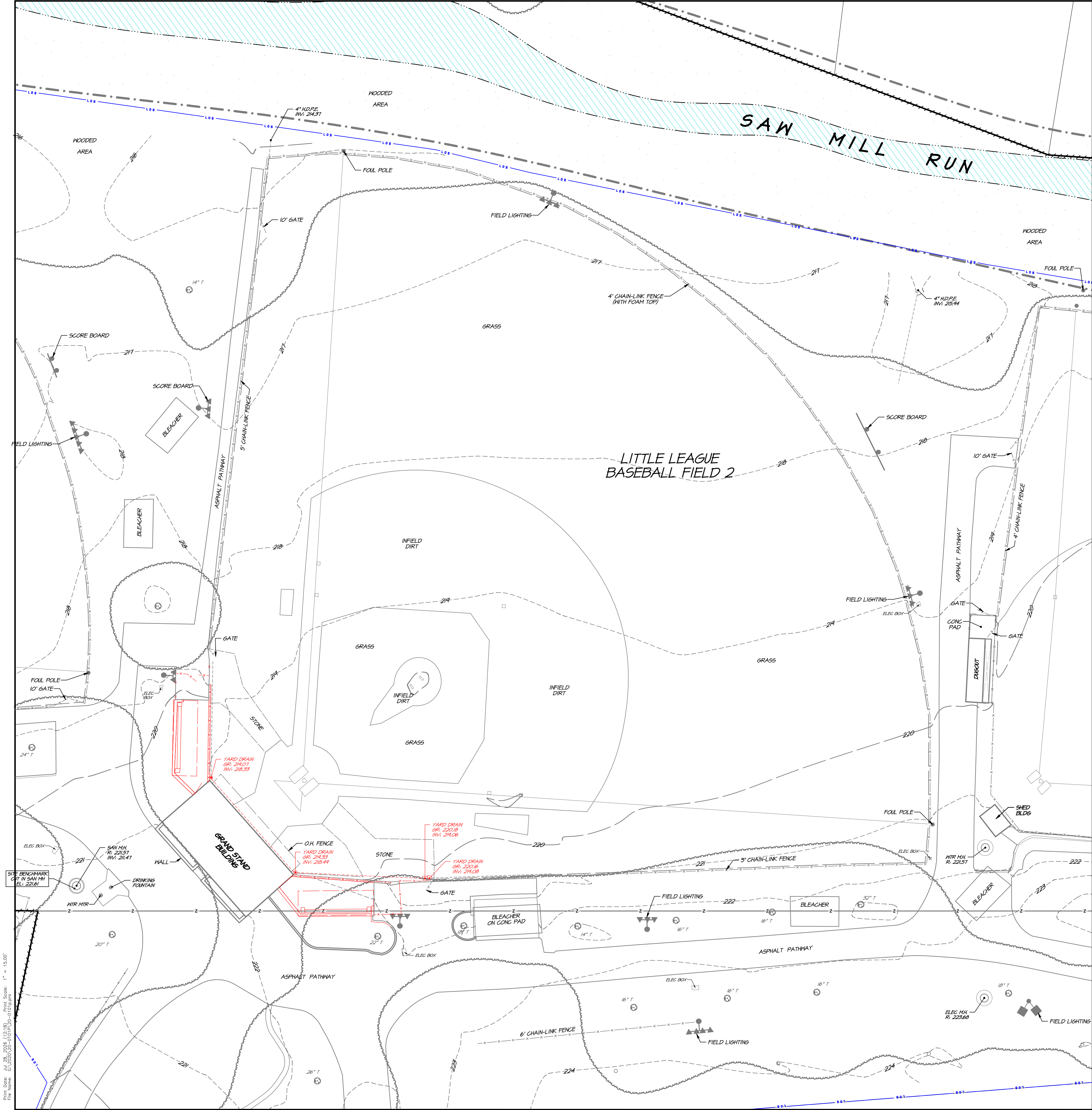
Applicant:
PLYMOUTH TOWNSHIP
c/o
700 Belvoir Road
Plymouth Meeting, PA 19462
(610) 277 - 4100

Scale in Feet (1" = 15')
7.5' 0' 15'

© COPYRIGHT 2026
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PARKS & RECREATION - BID SET
EXISTING FEATURES/DEMOLITION PLAN
EAST PLYMOUTH VALLEY PARK
PLYMOUTH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA
WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 15 - Lower Merion - PA 19002
Phone: (215) 242-2949 Web: www.Woodrowinc.com

Layer List:
Job No: EPVP_02-Fields
Plan Date: 20-0101 P
Sheet No: JULY 16, 2026



PLAN LEGEND	
EXISTING (EX) FEATURES	
	EX TRACT BOUNDARY
	EX R/W CENTERLINE
	EX R/W LINE
	EX ZONING BOUNDARY
	EX FEMA MAPPED FLOODPLAIN
	EX TOPOGRAPHIC CONTOURS
	EX SOIL BOUNDARY
	EX FENCE LINE
	EX TREE GIRTH LINE
	EX DECIDUOUS TREE
	EX CONIFEROUS TREE
	EX SIGN
	EX LIGHT/LAMP POST
	EX UTILITY POLE & O.H. WIRES
	EX SEWER CLEAN OUT
	EX WATER VALVE
	EX FIRE HYDRANT
	EX STORM SEWER AND INLET
	EX SANITARY SEWER & MH
	EX WATER MAIN & SERVICE

- ### GENERAL PLAN NOTES
- EXISTING FEATURES and SURVEY NOTES:
- The metes and bounds illustrated on this plan was prepared from documents of record and without the benefit of a Title Report. This property may be subject to additional rights of others that might be listed in a Title Report. This data has not been verified by field survey and is to be used for planning purposes only. All bearings shown reflect rotation from Deed Bearing Basis to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis.
 - All topographic and existing features illustrated on this plan was prepared from documents of record with select project area field survey as noted on the plan. Site elevation datum is referenced per note 3 below.
 - This plan was prepared utilizing the following references:
 - Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum. Flight date was Spring 2008, updated by DVRPC flight 2010.
 - Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated June 18, 2018, updated July 01, 2026.
 - There has been no field investigation performed to verify any existence of any wetlands, waters of the U.S. or Commonwealth or Alluvial Soils of the time of the site survey.
 - Flood zone limits illustrated are per Community Panel Number 42091-C-0270G, effective date March 2, 2016 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan. Additional verification of floodplain limits based on elevation cross-section data provided by FEMA GIS mapping.
 - All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paoncall.org.
 - Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility connections exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.

REVISIONS

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
(800-242-1776 or Dial 811)

Pennsylvania 811
A Priority Numbered and Marked Pennsylvania Corporation

Parcel Information:

N/F Lands Of:
PLYMOUTH TOWNSHIP
49-00-04057-00-7
Block 27 Unit 7
D.B.: 5394 Pg: 2283

Deed Area: 22.25 Acres
Legal RW: 0.09 Acres
Util. RW: 0.09 Acres
NET Area: 22.06 Acres

Applicant:
PLYMOUTH TOWNSHIP
c/o 700 Belvoir Road
Plymouth Meeting, PA 19462
(610) 277 - 4100

7.5' 0' 15'
Scale in Feet (1" = 15')

© COPYRIGHT 2026
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PARKS & RECREATION - BID SET
EXISTING FEATURES DEMOLITION PLAN
EAST PLYMOUTH VALLEY PARK
PLYMOUTH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 242-2648 Web: www.woodrowinc.com

Layer List:
EPVP_03-Fields

Job No:
20-0101 P

Plan Date:
JULY 16, 2026

Sheet No:
3 of 7

Print Date: Jul 28, 2026 (12:26) - Print Scale: 1" = 15.00'
File Name: C:\Users\jwoodrow\OneDrive\Documents\Woodrow & Associates\Projects\2026\2026-0101-P\2026-0101-P.dwg



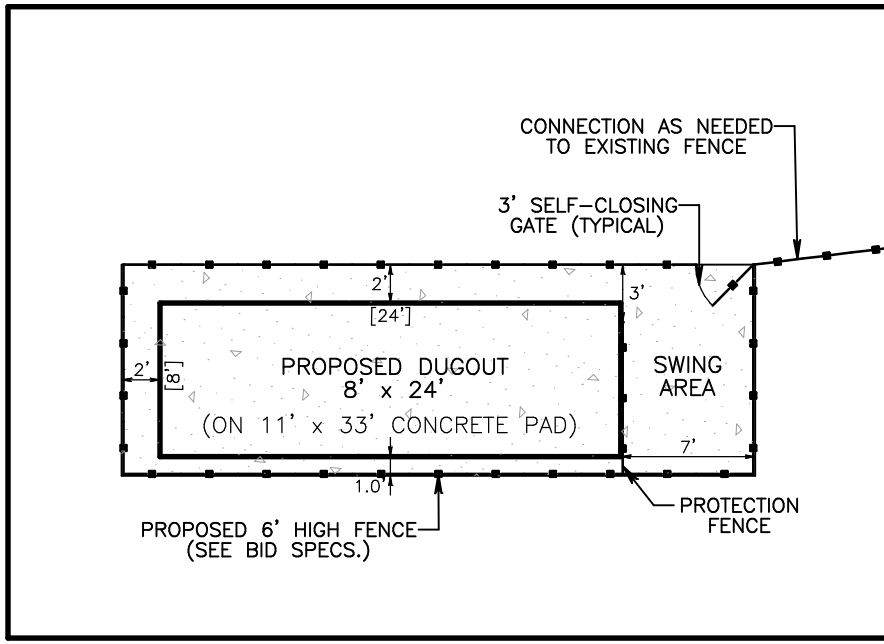
GENERAL PLAN NOTES

EXISTING FEATURES and SURVEY NOTES:

- The metes and bounds illustrated on this plan was prepared from documents of record and without the benefit of a Title Report. This property may be subject to additional rights of others that might be listed in a Title Report. This data has not been verified by field survey and is to be used for planning purposes only. All bearings shown reflect rotation from Deed Bearing Basis to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis.
- All topographic and existing features illustrated on this plan was prepared from documents of record with select project area field survey as noted on the plan. Site elevation datum is referenced per note 3 below.
- This plan was prepared utilizing the following references:
 1. Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 2. Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 3. Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum. Flight date was Spring 2008, updated by DVRPC flight 2010.
 4. Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated June 18, 2018, updated July 01, 2026.
- There has been no field investigation performed to verify any existence of any wetlands, waters of the U.S. or Commonwealth or Alluvial Soils of the time of the site survey.
- Flood zone limits illustrated are per Community Panel Number 42091-C-0270G, effective date March 2, 2016 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan. Additional verification of floodplain limits based on elevation cross-section data provided by FEMA GIS mapping.
- All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.paonecall.org.
- Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility conditions exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.

GRADING AND DRAINAGE NOTES:

- All contractors working on this project shall comply with the requirements of P.L. 852, No. 287, December 10, 1974, as amended on December 12, 1986 P.L. 1574, No. 172. Contractors must notify PA One Call System, Inc. three (3) days prior to the start of any construction. 1-(800)-242-1776.
- Contractors shall not encroach onto adjoining properties unless a temporary grading easement has been obtained from the adjoining owners. All property lines must be shall be adequately marked and any area that proposed grading encroaches within five (5) feet of the property line the contractor shall install temporary Orange Construction Fence to prevent encroachment onto adjoining properties.
- All contractors working on this project shall ensure that all construction performed is in accordance with all applicable OSHA (Occupational Safety and Health Administration) standards and specifications.
- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work within the tributary area.
- Buring of trees, tree stumps and construction debris is prohibited. All debris shall be removed and disposed of in strict accordance with all Federal, State and Local Municipality standards and specifications. Tree stumps may be ground or chipped and spread on site.
- All construction requirements, methods, materials and specifications shall be in accordance with all Municipal Authority Standards, Municipality Standards and Penn-DOT Form 408 (Latest Edition). Where in the case of conflict the more stringent requirement shall apply.
- All storm sewer piping shall be class HDPE unless noted otherwise.
- Utility installation must be in accordance with the requirements of the Pennsylvania Uniform Construction Code, as adopted by the Municipality.
- All slopes with grades three (3) feet horizontal to one (1) foot vertical (3:1) shall be stabilized with a North American Green or approved equal Erosion Control Blanket installed in strict accordance with manufacturers standards and specifications. See Erosion Control Plans for location and details.
- Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. test D-1557, moisture content at time of placement shall be no more than 2% above nor 3% below optimum, contractor shall submit a compaction report, prepared by a qualified soils engineer, registered within the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
- A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
- Subbase material for sidewalks, curb, or asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).



TYPICAL DUGOUT LAYOUT

SCALE: 1" = 10'

REVISIONS

SEAL

REGISTERED PROFESSIONAL

TIMOTHY E. WOODROW

ENGINEER

No. 03875-E

PROJECT SERIAL NUMBER FOR DESIGN:

(800-242-1776 or Dial 811)

Pennsylvania 811

A History United with Great Pennsylvania Corporation

Parcel Information:

N/F Lands Of:
PLYMOUTH TOWNSHIP
49-00-04057-00-7
Block 27 Unit 7
D.B.: 5394 Pg: 2283

Deed Area: 22.25 Acres
Legal RW: 0.09 Acres
Util. RW: 0.09 Acres
NET Area: 22.06 Acres

Applicant:

PLYMOUTH TOWNSHIP
700 Belvoir Road
Plymouth Meeting, PA 19462
(610) 277 - 4100

Scale in Feet (1" = 15')

© COPYRIGHT 2026
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PARKS & RECREATION - BID SET

SITE IMPROVEMENTS PLAN

EAST PLYMOUTH VALLEY PARK

PLYMOUTH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.

MUNICIPAL / CIVIL CONSULTING ENGINEERS

1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 342-3948 Web: www.Woodrowinc.com

Layer List:

EPVP_05-Grading

Job No:

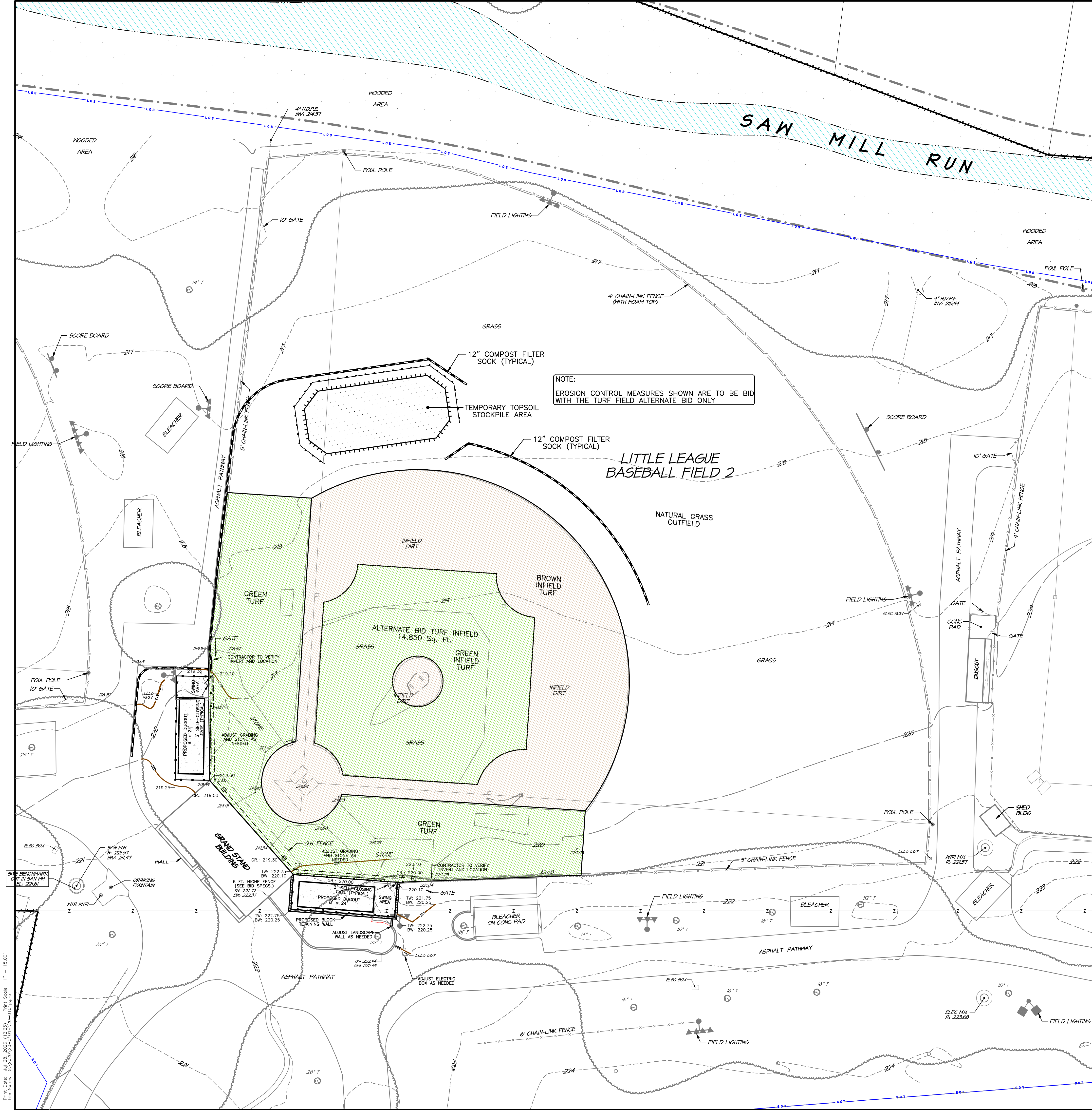
20-0101 P

Plan Date:

JULY 16, 2026

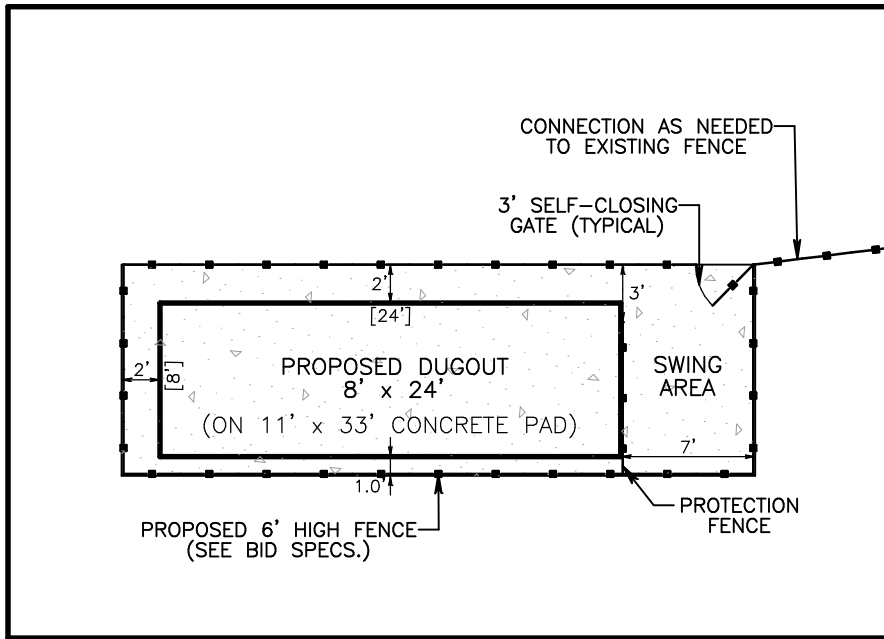
Sheet No:

4 of 7



GENERAL PLAN NOTES

- EXISTING FEATURES and SURVEY NOTES:
- The metes and bounds illustration on this plan was prepared from documents of record and without the benefit of a Title Report. This property may be subject to additional rights of others that might be listed in a Title Report. This data has not been verified by field survey and is to be used for planning purposes only. All Bearings shown reflect rotation from Deed Bearing Basis to match Pennsylvania South Zone 3702 State Plane Coordinate Bearing Basis.
 - All topographic and existing features illustrated on this plan was prepared from documents of record with select project area field survey as noted on the plan. Site elevation datum is referenced per note 3 below.
 - This plan was prepared utilizing the following references:
 - Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - Existing Soils classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - Vertical datum references provided by the PA Spatial Data Access system (PASDA). PAMAP data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum. Flight date was Spring 2008, updated by DVRPC flight 2010.
 - Aerial imagery used for base plan reference provided by NearMap, Inc. Imagery from flight dated June 18, 2018, updated July 01, 2026.
 - There has been no field investigation performed to verify any existence of any wetlands, waters of the U.S. or Commonwealth or Alluvial Soils at the time of the site survey.
 - Flood zone limits illustrated are per Community Panel Number 42091-C-0270G, effective date March 2, 2016 as prepared by the Federal Emergency Management Agency. No computational floodplain study has been performed for this plan. Additional verification of floodplain limits based on elevation cross-section data provided by FEMA GIS mapping.
 - All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 811 or go to www.paonecall.org.
 - Existing subsurface utility information illustrated on these plans were based upon visual field locations obtained as part of site survey operations. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility corrections exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.
- GRADING AND DRAINAGE NOTES:
- All contractors working on this project shall comply with the requirements of P.L. 852, No. 287, December 10, 1974, as amended on December 12, 1986 P.L. 1574, No. 172. Contractors must notify PA One Call System, Inc. three (3) days prior to the start of any construction. 1-(800)-242-1776.
 - Contractors shall not encroach onto adjoining properties unless a temporary grading easement has been obtained from the adjoining owners. All property lines must be shall be adequately marked and any area that proposed grading encroaches within five (5) feet of the property line the contractor shall install temporary Orange Construction Fence to prevent encroachment onto adjoining properties.
 - All contractors working on this project shall ensure that all construction performed is in accordance with all applicable OSHA (Occupational Safety and Health Administration) standards and specifications.
 - The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
 - Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work within the tributary area.
 - Buring of trees, tree stumps and construction debris is prohibited. All debris shall be removed and disposed of in strict accordance with all Federal, State and Local Municipality standards and specifications. Tree stumps may be ground or chipped and spread on site.
 - All construction requirements, methods, materials and specifications shall be in accordance with all Municipal Authority Standards, Municipality Standards and Penn-DOT Form 408 (Latest Edition). Where in the case of conflict the more stringent requirement shall apply.
 - All storm sewer piping shall be class HDPE unless noted otherwise.
 - All utility installation must be in accordance with the requirements of the Pennsylvania Uniform Construction Code, as adopted by the Municipality.
 - All slopes with grades three (3) feet horizontal to one (1) foot vertical (3:1) shall be stabilized with a North American Green or approved equal Erosion Control Blanket installed in strict accordance with manufacturers standards and specifications. See Erosion Control Plans for location and details.
 - Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soft, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per A.S.T.M. Test D-1557. Moisture content at time of placement shall be no more than 2% above nor 3% below optimum, contractor shall submit a compaction report, prepared by a qualified soils engineer, registered within the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
 - A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
 - Subbase material for sidewalks, curb, or asphalt shall be free of organics and other unsuitable materials. Should subbase be deemed unsuitable, subbase is to be removed and filled with approved fill material compacted to 95% optimum density (as determined by modified proctor method).



REVISIONS

No.	DATE	DESCRIPTION
-----	------	-------------

SEAL

PROJECT SERIAL NUMBER FOR DESIGN:
(800-242-1776 or Dial 811)

Pennsylvania 811
A Priority Line® and 811® Pennsylvania Corporation

Parcel Information:
N/F Lands Of:
PLYMOUTH TOWNSHIP
49-00-04057-00-7
Block 27 Unit 7
D.B.: 5394 Pg: 2283

Deed Area: 22.25 Acres
Legal RW: 0.09 Acres
Util. RW: 0.09 Acres
NET Area: 22.06 Acres

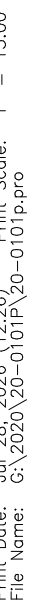
Applicant:
PLYMOUTH TOWNSHIP
c/o 700 Belvoir Road
Plymouth Meeting, PA 19462
(610) 277 - 4100

Scale in Feet (1" = 15')
© COPYRIGHT 2026
WOODROW & ASSOCIATES, INC.
ALL RIGHTS RESERVED

PARKS & RECREATION - BID SET
SITE IMPROVEMENTS PLAN
EAST PLYMOUTH VALLEY PARK
PLYMOUTH TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

WOODROW & ASSOCIATES, INC.
MUNICIPAL / CIVIL CONSULTING ENGINEERS
1108 North Bethlehem Pike / Suite 5 - Lower Gwynedd - PA 19002
Phone: (215) 342-3548 Web: www.woodrowinc.com

Layer List:
EPVP_05-Grading
Job No:
20-0101 P
Plan Date:
JULY 16, 2026
Sheet No:
5 of 7



EXISTING FEATURES and SURVEY NOTES:

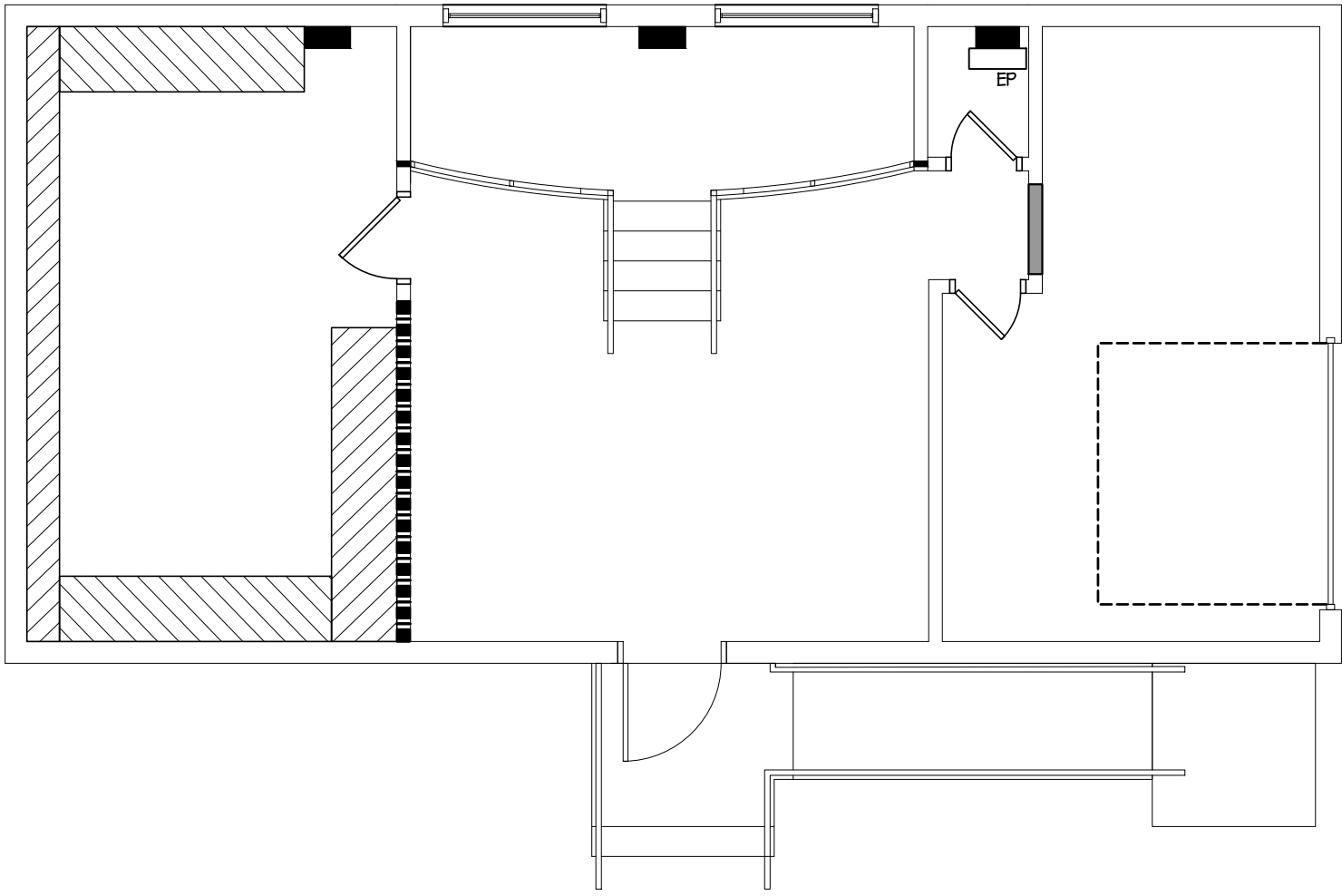
- GRADING AND DRAINAGE NOTES:

-
- Diagram illustrating the layout of a proposed dog pad and surrounding fence:
- Proposed Dog Pad:** A central rectangular area labeled "PROPOSED DOG PAD" with dimensions **8' x 24'**.
 - Concrete Pad:** A rectangular area within the dog pad labeled **(ON 11' x 33' CONCRETE PAD)**.
 - Fence:** A **PROPOSED 6' HIGH FENCE (SEE BID SPECS.)** surrounds the dog pad.
 - Swing Area:** An area to the right of the dog pad labeled **SWING AREA**.
 - Protection Fence:** A fence line labeled **PROTECTION FENCE** is shown on the right side.
 - Gate:** A **3' SELF-CLOSING GATE (TYPICAL)** is indicated on the right side of the fence.
 - Connection:** A note indicates **CONNECTION AS NEEDED TO EXISTING FENCE** at the top right corner.
 - Dimensions:** Various dimensions are marked, including **2'-0"**, **2'-6"**, **1'-0"**, **3'**, and **7'**.

TYPICAL DUGOUT LAYOUT

EPV PRESS BOX RENOVATION

900 GERMANTOWN PIKE
PLYMOUTH MEETING,
PA 19462



NOTE:
Contractors shall verify and be responsible for all field dimensions and conditions and shall notify Baglivo Associates of any discrepancies before proceeding with the project.

PA:15903B NJ: 15154 OH: 12708 KY: 7551 DE: 5988
VA: 401018610 CT: ARI.0014657

MD: 16301 FL: 96363 NY: 038058-1 MA: 31299



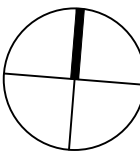
BAGLIVO ■ ASSOCIATES

ARCHITECTURE ■ INTERIORS ■ PLANNING

472 Norristown Road
Blue Bell, PA 19422
P: 610.277.7107 F: 484.801.2608
www.baglivoassociates.com

ISSUED FOR REVIEW 07.28.2026
ISSUED FOR REVIEW 08.06.2026

Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way on these sealed documents. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.



NORTH

Project

EPV PRESS BOX RENOVATION

900 GERMANTOWN PIKE
PLYMOUTH MEETING, PA 19462

File Name

900GermantownPike_EPV_CD_072726.dwg

Scale

AS NOTED

Date

08.06.2026

Drawn By

AGK/JLK

Project Number

2026-059

Drawing Title

COVER SHEET

Drawing Number

CS

INDEX OF DRAWINGS

CS	COVER SHEET
AI	DEMOLITION AND ARCHITECTURAL PLANS AND DOOR SCHEDULE
AI.1	STAIR AND RAMP DETAILS
AI.2	EXTERIOR ELEVATIONS
AI.3	EXTERIOR ELEVATIONS
A2	REFLECTED CEILING PLAN, ELECTRICAL AND LIFE SAFETY PLAN

CODE INFORMATION

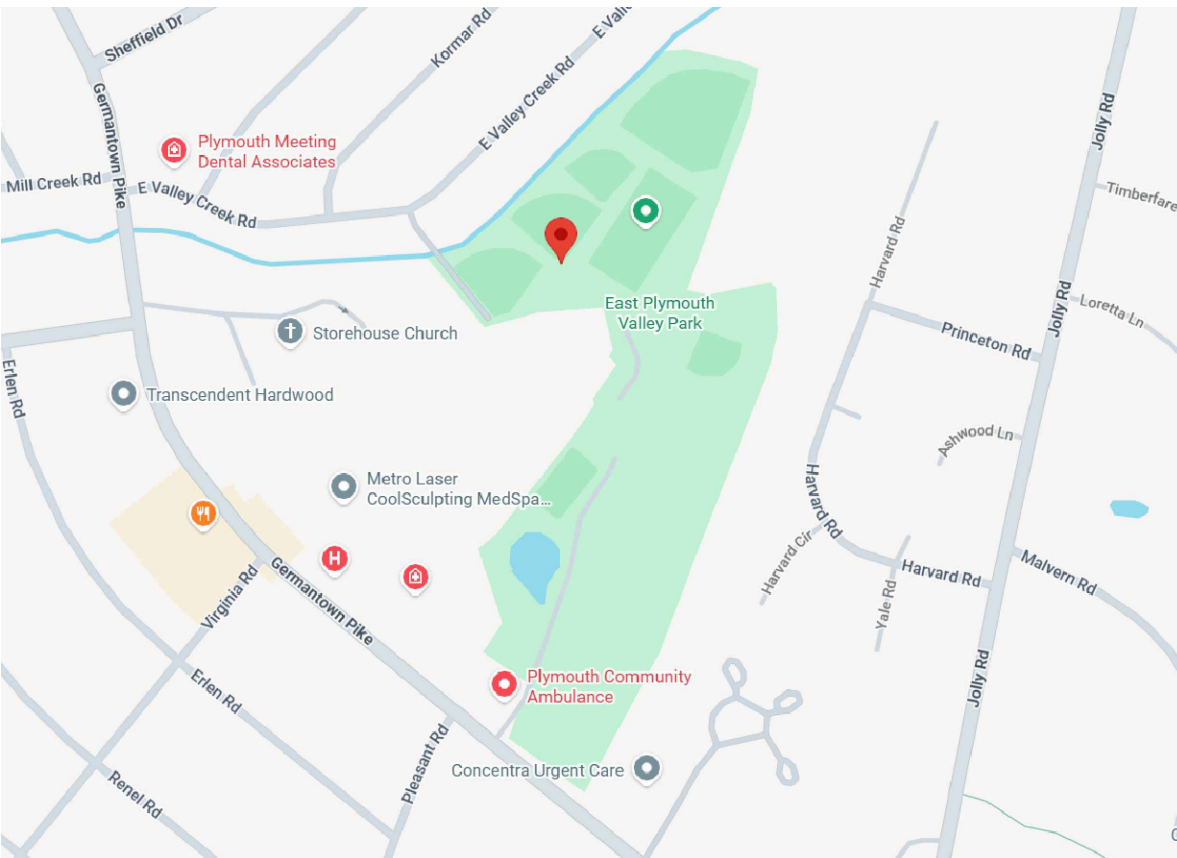
CODE REFERENCE	2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL FIRE CODE 2021 INTERNATIONAL MECHANICAL CODE NFPA 70-2017 NATIONAL ELECTRIC CODE 2021 INTERNATIONAL PLUMBING CODE ANSI 117.1-2009 & IBC 2021 CHAPTER 11 AND APPENDIX E
USE GROUP CLASSIFICATION	UTILITY - GROUP U
CONSTRUCTION CLASSIFICATION	VB
FIRE PROTECTION	THE BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT, IN ACCORDANCE WITH NFPA #13.
OCCUPANCY CAPACITY	OCCUPANCY GROUP PRESS BOX: 145.88 SF @ 150 SF PER PERSON 3 OCCUPANTS
OCCUPANCY CAPACITY PER PLAN	4 PER PLAN
TRAVEL DISTANCE ALLOWABLE	75'-0"
TRAVEL DISTANCE BY PLAN	27'-0"

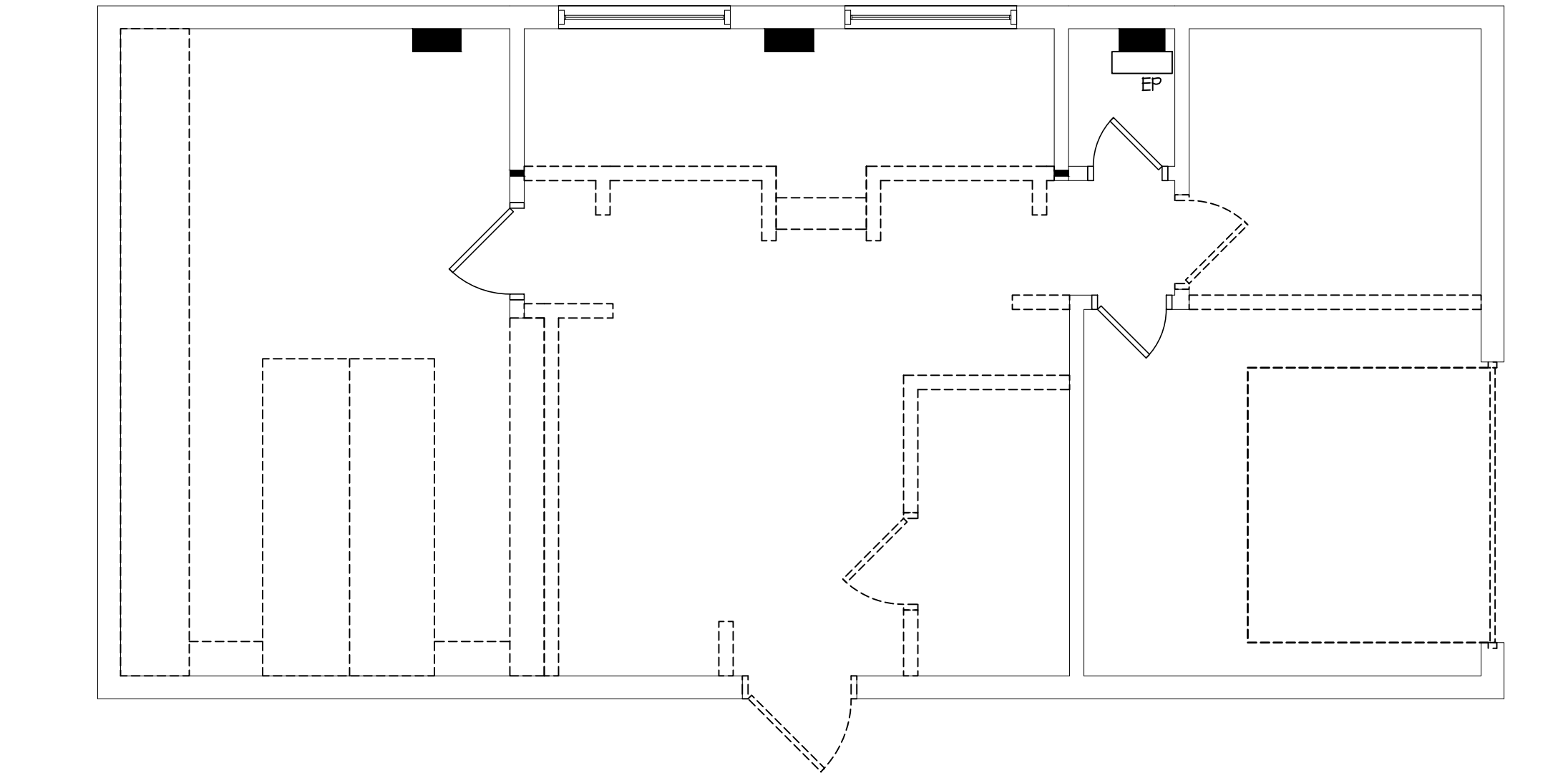
ALL INTERIOR FINISHES & TRIM TO BE IN ACCORDANCE WITH ASTM, NFPA, AND CHAPTER 8 OF IBC 2021. THEY SHALL MEET OR EXCEED THE REQUIRED FLAME SPREAD RATINGS AND BE PROPERLY CLASSIFIED.

PROJECT DIRECTORY

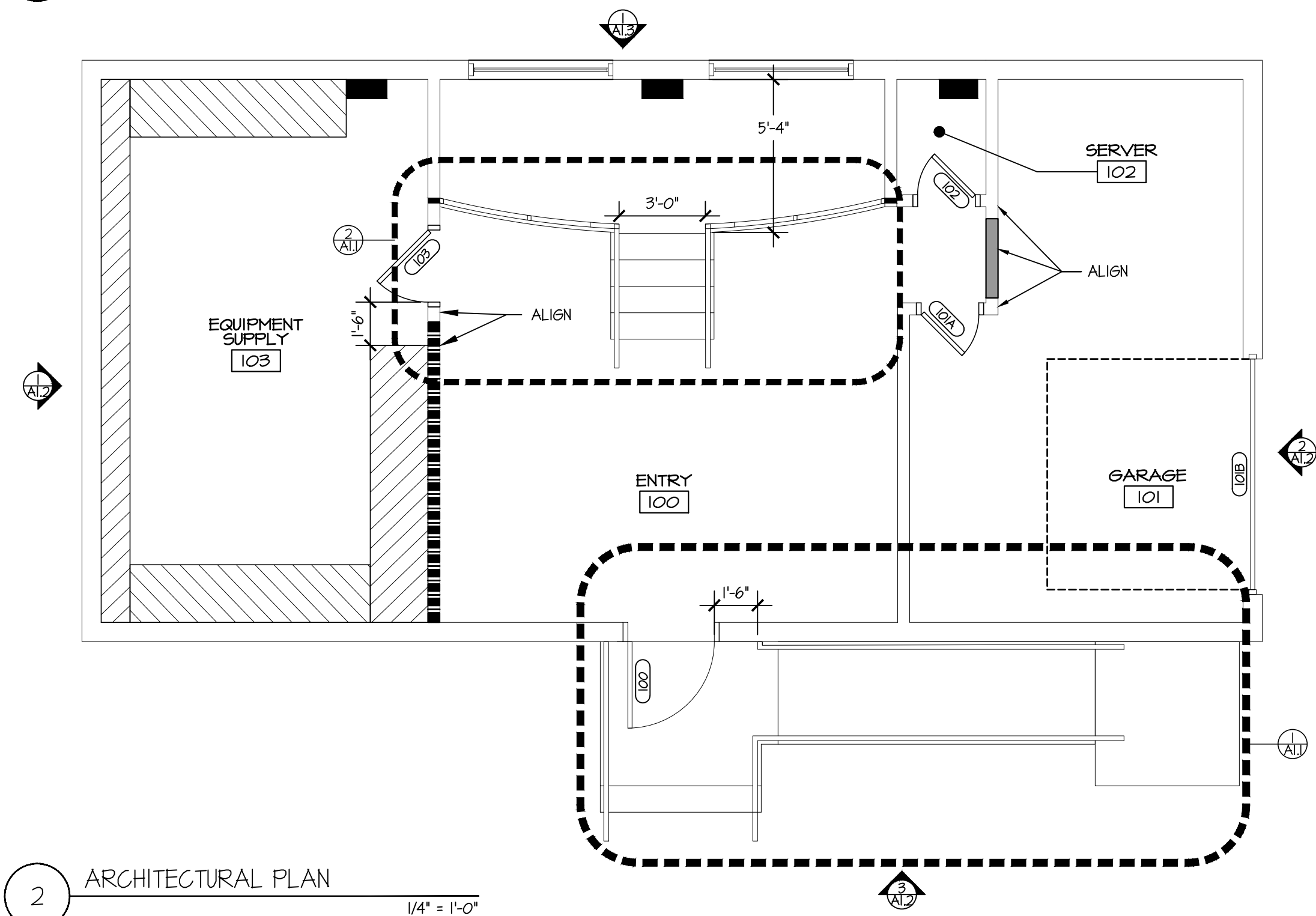
TENANT	ARCHITECT
EPV PRESS BOX 900 GERMANTOWN PIKE PLYMOUTH MEETING, PA 19462	THOMAS P. BAGLIVO, AIA BAGLIVO ASSOCIATES 472 NORRISTOWN ROAD BLUE BELL, PA 19422 TBAGLIVO@BAGLIVOASSOCIATES.COM PHONE: 610.277.7107
BUILDING OWNER	CONTRACTOR
PLYMOUTH TOWNSHIP BUILDINGS AND GROUNDS DIRECTOR 2910 JOLLY RD PLYMOUTH MEETING, PA 19462	TBD

SITE MAP





1 DEMOLITION PLAN
1/4" = 1'-0"



2 ARCHITECTURAL PLAN
1/4" = 1'-0"

DOOR SCHEDULE

NUM	SIZE	ROOM NAME	DOOR		FRAME		HDHR SET	REMARKS
			MATL	FIN	MATL	FIN		
100	3'-0" X 7'-0"	ENTRY	MATCH EXISTING	TBD	MATCH EXISTING	TBD	1	
101A	2'-0" X 7'-0"	GARAGE	E.T.R.	E.T.R.	E.T.R.	E.T.R.	2	
101B	8'-0" X 6'-6"	GARAGE	MATCH EXISTING	TBD	MATCH EXISTING	TBD	N/A	
102	2'-0" X 7'-0"	SERVER	E.T.R.	E.T.R.	E.T.R.	E.T.R.	2	2X2 LOUVER
103	2'-6" X 7'-0"	EQUIPMENT SUPPLY	E.T.R.	E.T.R.	E.T.R.	E.T.R.	2	

DOOR NOTES:

ETR - INDICATES EXISTING TO REMAIN.

DOOR FINISH:
STAIN TO MATCH BUILDING STANDARD UNLESS OTHERWISE NOTED.

NO THROUGH BOLTING ON DOORS WITH CLOSERS.
FULL LENGTH MOOD ASTRAGAL ON DOUBLE DOORS.

2'X2' LOUVER ON SERVER ROOM DOOR.

HARDWARE SETS

HARDWARE SETS

ALL HARDWARE AND LEVER LOCK/LATCHSETS - REUSE EXISTING WHERE EVER POSSIBLE & ALL NEW TO MATCH EXISTING.

KEYING: ALL DOORS TO BE INDIVIDUALLY KEYED ON A SINGLE MASTER KEY AND KEYED TO MATCH BUILDING MASTER KEY SYSTEM.

ALL DOOR CLOSERS ARE TO BE ADA COMPLIANT WITH CLOSING SPEC AS FOLLOWS:

- FROM AN OPEN POSITION OF 90° IT WILL TAKE 5 SEC MINIMUM TO MOVE TO AN OPEN POSITION OF 12°.
- MAXIMUM OPENING FORCE 5LBS.

SET #1 SUITE ENTRY

- (1) SUITE ENTRY LOCKSET LEVER HANDLE
- (3) HINGES, MORTISED, HEAVY DUTY
- (3) SILENCERS
- (1) CLOSER
- (1) DOOR STOP

SET #2 STORAGE LOCK

- (1) STOREROOM LOCK SET, LEVER HANDLE
- (3) HINGES, MORTISED, HEAVY DUTY
- (3) SILENCERS
- (1) DOOR STOP

DEMOLITION/ARCHITECTURAL LEGEND

- EXISTING PARTITION TO BE DEMOLISHED.
- ===== EXISTING PARTITION TO REMAIN. PROTECT AS REQUIRED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- ===== NEW BUILDING STANDARD DEMISING PARTITION FROM FLOOR TO UNDERSIDE OF DECK, U.N.O. SEE PARTITION TYPE 1/A1.
- CONTRACTOR TO PROVIDE ALL NEW BUILDING STANDARD PARTITIONS FROM FLOOR TO UNDERSIDE OF SUSPENDED CEILING, U.N.O. SEE PARTITION TYPE 2/A1.
- EXISTING DOOR, FRAME & HARDWARE TO BE DEMOLISHED. CONTRACTOR TO INVENTORY FOR REUSE OR ATTIC STOCK.
- EXISTING DOOR TO REMAIN. PROTECT AS REQUIRED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- EXISTING SHELVES TO BE DEMOLISHED.
- ===== NEW EPV PROVIDED SHELVING TO BE INSTALLED, GC TO COORDINATE WITH EPV FOR EXACT SPECIFICATIONS.

DEMOLITION/ARCHITECTURAL NOTES

- PROTECTION: CONTRACTOR TO PROVIDE TEMPORARY PROTECTION IN ALL BUILDING CORRIDORS USED THROUGHOUT DEMOLITION AND NEW CONSTRUCTION, AND IN ALL EXISTING AREAS TO REMAIN. ANY DAMAGE TO EXISTING FINISHES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGED SURFACES TO BE REPAIRED AND REFINISHED TO NEAREST INSIDE CORNER. ALL REPAIR WORK SUBJECT TO APPROVAL BY ARCHITECT/BUILDING MANAGEMENT.
- EGRESS: CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EGRESS EXIT DOORS THROUGHOUT ALL DEMOLITION AND NEW CONSTRUCTION.
- SHUTDOWN: CONTRACTOR TO CONTACT BUILDING MANAGEMENT TO SCHEDULE A SHUTDOWN WHEN IT BECOMES NECESSARY TO TEMPORARILY DISTURB SYSTEMS TO PERMIT DEMOLITION. CONTRACTOR TO ALLOW MINIMUM OF 24 HOURS ADVANCE NOTICE FOR ANY SHUTDOWN. ALL REQUESTS AND APPROVALS FOR SHUTDOWNS MUST BE IN WRITING.
- LIGHTING: CONTRACTOR TO PROVIDE SUPPLEMENTAL LIGHTING SUFFICIENT FOR SAFE WORKING CONDITIONS THROUGHOUT COURSE OF DEMOLITION AND NEW CONSTRUCTION.
- HVAC: CONTRACTOR TO INSTALL FILTER OR GAUZE MATERIAL AT BUILDING'S HVAC RETURN OPENINGS TO MINIMIZE DUST IN HVAC SYSTEM.
- CHALK LINE REVIEW: CONTRACTOR TO CONTACT BUILDING MANAGEMENT AND BAGLIVO ASSOCIATES FOR REVIEW OF CHALK LINES PRIOR TO START OF CONSTRUCTION.
- BLOCKING: PROVIDE FIRE TREATED WOOD BLOCKING IN ALL NEW PARTITIONS WHERE REQUIRED FOR FURNITURE, SHELVING, MILLWORK INSTALLATION AND WALL MOUNTED TELEVISIONS.
- BACKER PANEL: NEW 4'X8' PAINTED FIRE-TREATED PLYWOOD PANEL FOR SERVER AND TELEPHONE EQUIPMENT.
- WINDOWS: CONTRACTOR TO REPAIR WINDOW SILLS, JAMBS AND HEADS AS REQUIRED AT ALL PERIMETER WINDOWS.
- BLINDS: PROTECT EXISTING BLINDS DURING DEMOLITION AND NEW CONSTRUCTION. PULL TO TOP POSITION AND BAG. BLINDS TO BE CLEANED/REPAIRED AS REQUIRED FOR LIKE NEW OPERATION.
- RECEPTACLES: AT NEW PARTITIONS TO BE CONSTRUCTED; CONTRACTOR TO PROVIDE AND COORDINATE STUD SPACING WITH CRITICAL RECEPTACLE LOCATIONS.
- DOOR ASSEMBLIES: CONTRACTOR TO DEMO AND REMOVE EXISTING DOORS, FRAMES AND HARDWARE AS INDICATED BY PLAN. CLEAN, REPAIR AND SET-ASIDE FOR ATTIC STOCK. COORDINATE ATTIC STOCK LOCATION WITH BUILDING MANAGEMENT.
- CEILING GRID AND FIXTURES: EXISTING CEILING GRID AND TILE TO BE REMOVED, EXCEPT WHERE NOTED OTHERWISE. CONTRACTOR TO DEMO AND REMOVE EXISTING LIGHT FIXTURES AND EXIT SIGNS AS REQUIRED BY NEW LAYOUT. CLEAN, REPAIR AND SET-ASIDE FOR REUSE/ATTIC STOCK. REFER TO DRAWING A2 FOR NEW LAYOUT.
- POWER / DATA: CONTRACTOR TO MAINTAIN ELECTRICAL CONNECTIONS AT ALL EXISTING PARTITIONS TO REMAIN. U.N.O. AT PARTITIONS TO BE REMOVED: DEMO AND REMOVE ALL EXISTING ELECTRICAL AND TELE/DATA CONNECTIONS BACK TO DEMISING PARTITIONS, DEAD-END ALL DEMOLISHED ELECTRICAL WIRING IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. AT EXISTING PARTITIONS TO REMAIN: IN A CODE-CONFORMING MANNER, DEMO AND REMOVE ANY EXISTING WALL SWITCHES, POWER AND DATA CONNECTIONS (INCLUDING BLANK PLATE CONNECTIONS) THAT CANNOT BE REUSED. REMOVE ALL BACK BOXES. FILL, PATCH AND REPAIR PARTITIONS AND PREPARE SUBSTRATE FOR INSTALLATION OF NEW FINISHES AS REQUIRED.
- EXISTING FINISHES: CONTRACTOR TO REMOVE EXISTING FLOOR AND WALL FINISHES (INCLUDING CARPET, BASE, TILE, AND WALL COVERING) THROUGHOUT. SET-ASIDE OR MATERIAL FOR PATCHING EXISTING AREAS TO REMAIN AS REQUIRED. PREPARE SUBSTRATE TO RECEIVE NEW FINISHES. SKIM-COAT PARTITIONS AS REQUIRED.
- OPEN CEILING: REMOVE CEILING MOUNTED TRACK, ADHESIVES, LOOSE PLASTER AND EXTRANEIOUS ITEMS SUCH AS CLIPS, TIES, CONDUIT AND WIRES BACK TO PANEL. BUNDLE AND TIE REMAINING WIRES. REMOVE FLEX DUCT AND REPLACE WITH GRILL ON MAIN DUCT. REMOVE LIGHTS AND STOCK PILE FOR REUSE. TURN UP SPRINKLER HEADS. PREPARE SURFACES TO RECEIVE NEW PAINT. PAINT ALL SURFACES INCLUDING PIPES AND DUCTS.

DETAIL	NOTES
	5/8" GNB, JOINTS FINISHED TO ABOVE CLG 3 5/8" 25GA MTL STUD @ 16" O.C. 3" BATTS INSULATION - BASE AS SCHEDULED - PERIMETER CAULKED 14'-0" MAXIMUM STUD HEIGHT WITH 25GA STUD. INCREASE TO 20GA IF HIGHER THAN 14'-0". - PROVIDE SLIP TRACK AT TOP OF WALL AT STRUCTURE ABOVE.
1	NON-RATED, FULL HEIGHT, ATTENUATED GNB PARTITION

GENERAL NOTES

- DISCREPANCIES: CONTRACTOR TO VERIFY ALL EXISTING FIELD CONDITIONS AND SPECIFICATIONS AND NOTIFY BAGLIVO ASSOCIATES OF ANY CONFLICTING INFORMATION INCLUDING, BUT NOT LIMITED TO PRODUCT SPECIFICATIONS, DIMENSIONS, FIELD CONDITIONS AND DISCREPANCIES AFFECTING NEW LAYOUT. DO NOT MAKE ASSUMPTIONS.
- BUILDING COORDINATION: CONTRACTOR TO VERIFY ALL BUILDING STANDARD REQUIREMENTS, FINISHES & SPECIFICATIONS PRIOR TO BID AND CONSTRUCTION. CONTRACTOR TO COMPLETE ALL BASE BUILDING CONSTRUCTION PER BUILDING STANDARDS. COORDINATE WITH BUILDING OWNER / TENANT.
- PRICING: PRICING TO INCLUDE COMPLETE INSTALLATION OF ALL MATERIALS, INCLUDING, BUT NOT LIMITED TO REQUIRED PREP WORK, ADHESIVE, TAXES, FREIGHT, DELIVERY, INSTALLATION, STORAGE, OVERHEAD AND PROFIT.
- CODES: CONTRACTOR TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ALL LOCAL, STATE AND FEDERAL LIFE SAFETY REGULATIONS AND CODES, INCLUDING BUT NOT LIMITED TO, ACCESSIBLE ROUTES FOR ACCESS TO BUILDING ENTRANCE AND OTHER BASE BUILDING AREA SUCH AS TOILET ROOMS, STAIRS, ELEVATORS, ETC.
- PERMITS: CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL BUILDING PERMITS AND LICENSES REQUIRED.
- DUMPSTER: CONTRACTOR TO COORDINATE PLACEMENT OF DUMPSTER WITH BUILDING MANAGEMENT.
- EXISTING CONDITIONS TO BE REUSED SHALL BE CLEANED AND REPAIRED AS REQUIRED FOR "LIKE NEW" APPEARANCE AND OPERATIONAL CONDITION AND PRESERVE DURING CONSTRUCTION OPERATIONS INCLUDING BLINDS, HEATING UNITS, CONVECTOR COVERS, ETC.
- FLOOR: LEVEL AND PREPARE EXISTING CONCRETE FLOOR SLABS AS REQUIRED TO PROVIDE A LEVEL SURFACE WITH A VARIANCE OF NO MORE THAN 1/4 INCH IN 10 FEET.
- REPAIR ALL EXISTING WALL AND CEILINGS WHERE DAMAGED BY DEMOLITION OR OTHER CONSTRUCTION WORK, AND PREPARE TO RECEIVE SPECIFIED FINISH.
- CLOSE, FILL OR STOP ALL OPENINGS IN FLOORS, CEILINGS OR OTHER RATED ASSEMBLIES.
- MEP: ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WILL BE PROVIDED ON A DESIGN/BUILD BASIS BY THE GENERAL CONTRACTOR.
- HVAC: INSPECT AND ENSURE THAT ALL EXISTING SYSTEMS ARE OPERATIONAL UPON COMPLETION.
- HVAC: CONFIRM EXISTING HVAC IN NEW SPACE HAS ADEQUATE DISTRIBUTION
- RECONFIGURE HVAC, SPRINKLERS AND FIRE ALARM AS REQUIRED TO MEET NEW LAYOUT.
- THERMOSTATS: ALL NON DIGITAL THERMOSTATS TO BE REPLACED WITH DIGITAL THERMOSTATS
- APPLIANCES: MAINTENANCE AND REPAIR OF APPLIANCES PURCHASED AND INSTALLED BY CONTRACTOR ARE THE RESPONSIBILITY OF THE TENANT OUTSIDE OF THE WARRANTY.

ACCESSIBILITY NOTES

- ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH ANSI A117.1-2009 / IBC 2018 - CHAPTER 11 & APPENDIX E.
- FLOOR SURFACES: ALL FLOOR SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. CHANGES IN LEVEL OF FLOOR SURFACES GREATER THAN 1/2" IN HEIGHT SHALL BE RAMPED.
- TURNING SPACES: TURNING SPACES SHALL HAVE A FLOOR SURFACE WITH A SLOPE NO STEEPER THAN 1:48. A CIRCULAR TURNING SPACE SHALL BE 60" IN DIAMETER, MINIMUM. A T-SHAPED TURNING SPACE SHALL BE 60" SQUARE WITH BASE AND ARMS OF 36" MINIMUM IN WIDTH.
- CLEAR FLOOR SPACE: CLEAR FLOOR SPACE SHALL BE 30" X 48" MINIMUM AND IS TO BE POSITIONED FOR EITHER FORWARD OR PARALLEL APPROACH.
- FLOOR SPACE OVERLAP: WHERE CLEAR FLOOR SPACE OVERLAPS AN ELEMENT KNEE AND TOE CLEARANCE SHALL BE PROVIDED AS SPECIFIED IN SECTION 306.
 - OBJECTS LOCATED WITHIN 21" AND 80" ABOVE THE FLOOR SHALL PROTRUDE A MAXIMUM OF 4" INTO THE PATH. REFER TO SECTION 307.2 FOR EXCEPTIONS.
 - THE REQUIRED CLEAR WIDTH OF A CIRCULATION PATH CANNOT BE REDUCED BY PROTRUDING OBJECTS.
 - GUARDRAILS OR OTHER BARRIERS ARE REQUIRED WHERE PROTRUDING OBJECTS FALL BEYOND LIMITS ALLOWED AND/OR VERTICAL CLEARANCE IS LESS THAN 80" ABOVE THE FINISHED FLOOR.
- DOOR HARDWARE: ALL DOORS TO RECEIVE LEVER TYPE HARDWARE.
- DOORS: WHEN TWO DOORS ARE PLACED IN A SERIES A MINIMUM DISTANCE OF 48" PLUS THE WIDTH OF ANY DOOR SWINGING INTO THE SERIES IS REQUIRED BETWEEN THEM. A TURNING SPACE COMPLYING WITH SECTION 304 SHALL ALSO BE PROVIDED.
- OPERABLE PARTS SHALL BE LOCATED ADJACENT TO A CLEAR FLOOR SPACE AS SPECIFIED IN SECTION 305 AND BE USED WITHIN REACH RANGES AS ILLUSTRATED IN SECTION 306.
- TACTILE SIGNS TO COMPLY WITH SECTION 703. CHARACTERS AND PICTOGRAMS TO CONTRAST WITH THE BACKGROUND AND HAVE NON-GLARE FINISH. BRAILLE IS TO BE LOCATED UNDER THE CORRESPONDING TEXT AND BE SEPARATED BY A MINIMUM OF 3/8" FROM ANY OTHER TACTILE CHARACTER, DECORATION AND/OR BORDER. MOUNT BRAILLE AT A MINIMUM OF 48" AND A MAXIMUM OF 60" FROM THE FINISHED FLOOR. MEASURE MOUNTING HEIGHT FROM THE BASELINE.

DETAIL	NOTES
	5/8" GNB, JOINTS FINISHED TO UNDERSIDE OF CLG 3 5/8" 25GA MTL STUD @ 16" O.C. 3" BATTS INSULATION - BASE AS SCHEDULED - PERIMETER CAULKED 14'-0" MAXIMUM STUD HEIGHT WITH 25GA STUD. INCREASE TO 20GA IF HIGHER THAN 14'-0". - PROVIDE SLIP TRACK AT TOP OF WALL AT STRUCTURE ABOVE.
2	NON-RATED, CEILING HEIGHT, ATTENUATED GNB PARTITION

NOTE:
Contractors shall verify and be responsible for all field dimensions and conditions and shall notify Baglivo Associates of any discrepancies before proceeding with the project.

PA:15903B NJ: 15154 OH: 12708 KY: 7551 DE: 5988
VA: 401018610 CT: ARI.0014657

MD: 16301 FL: 96363 NY: 038058-1 MA: 31299



BAGLIVO ASSOCIATES

ARCHITECTURE ■ INTERIORS ■ PLANNING

472 Norristown Road

Blue Bell, PA 19422

P: 610.277.7107 F: 484.801.2608

www.baglivoassociates.com

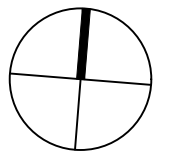
ISSUED FOR REVIEW

07.28.2026

ISSUED FOR REVIEW

08.06.2026

Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way on these sealed documents. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.



NORTH

Project

EPV PRESS BOX RENOVATION

900 GERMANTOWN PIKE
PLYMOUTH MEETING, PA 19462

File Name

900GermantownPike_EPV_CD_072726.dwg

Scale

AS NOTED

Date

08.06.2026

Drawn By

AGK/JLK

Project Number

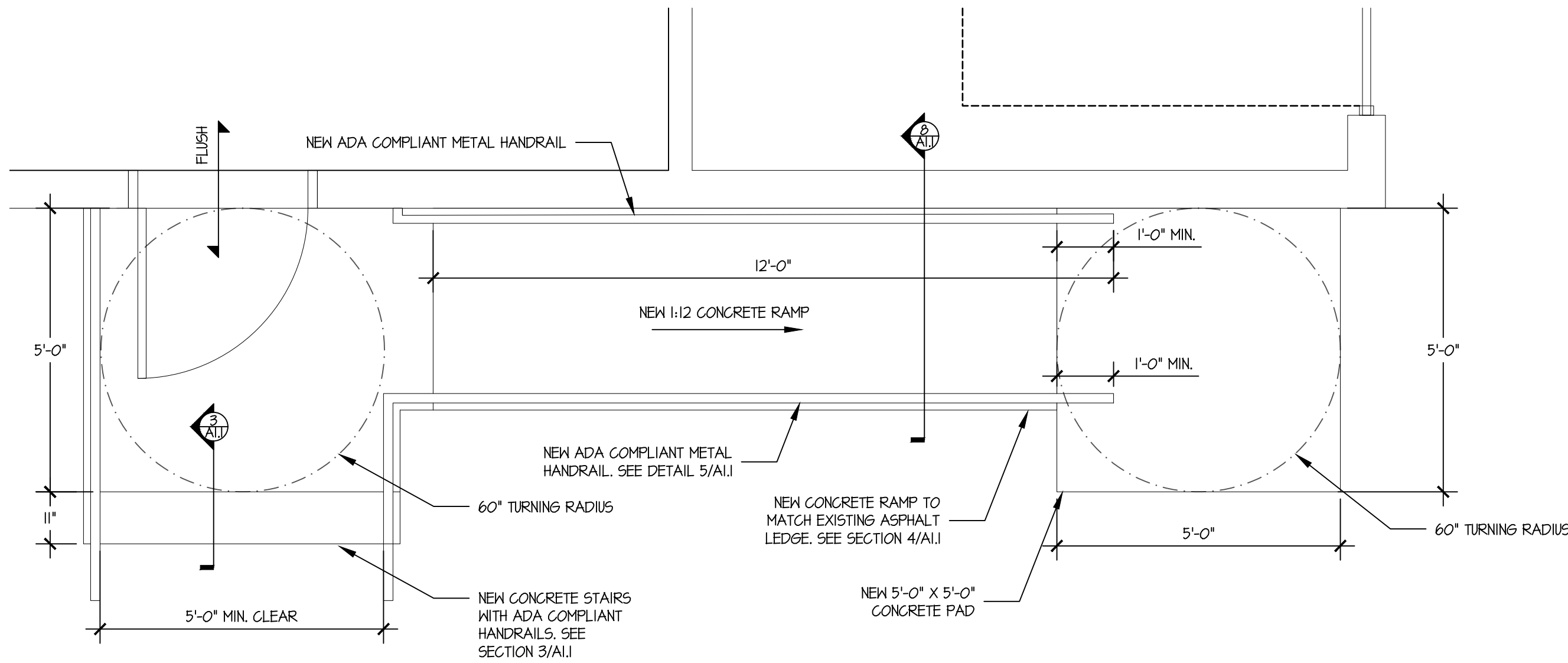
2026-059

Drawing Title

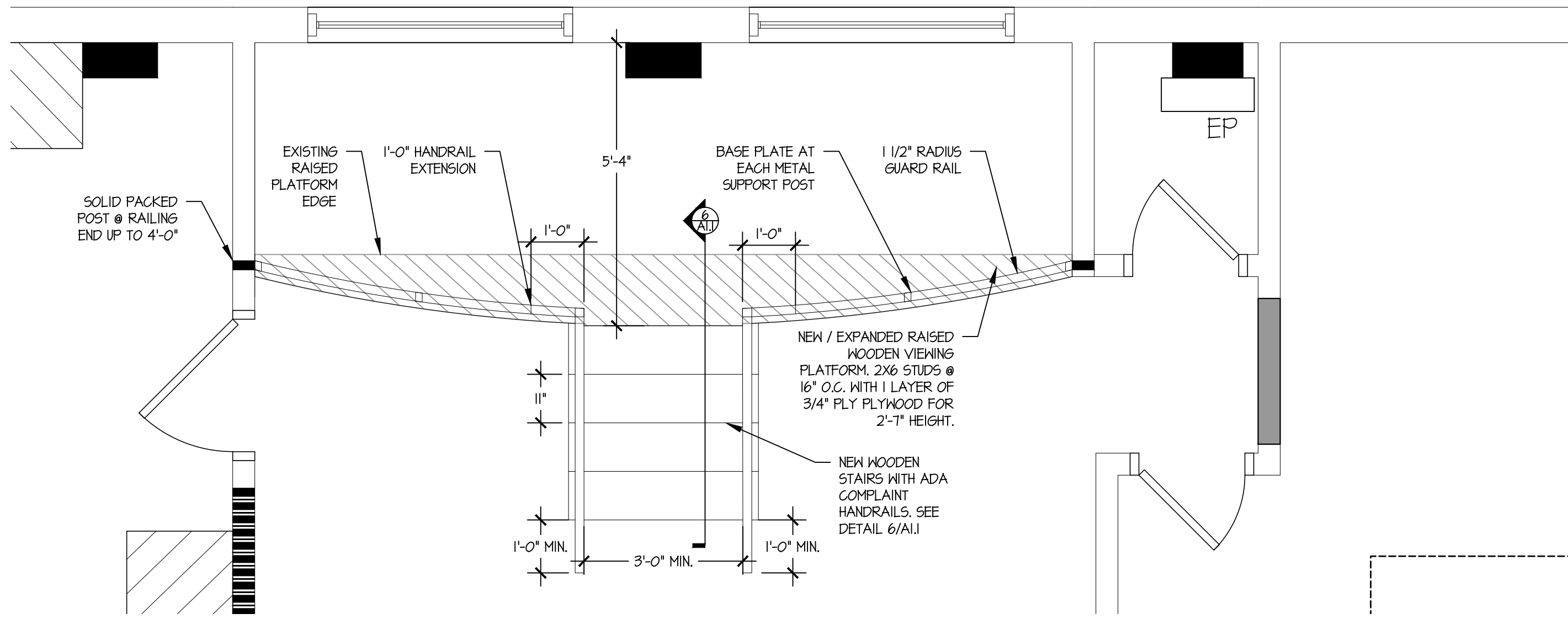
DEMOLITION AND
ARCHITECTURAL PLANS AND
DOOR SCHEDULE

Drawing Number

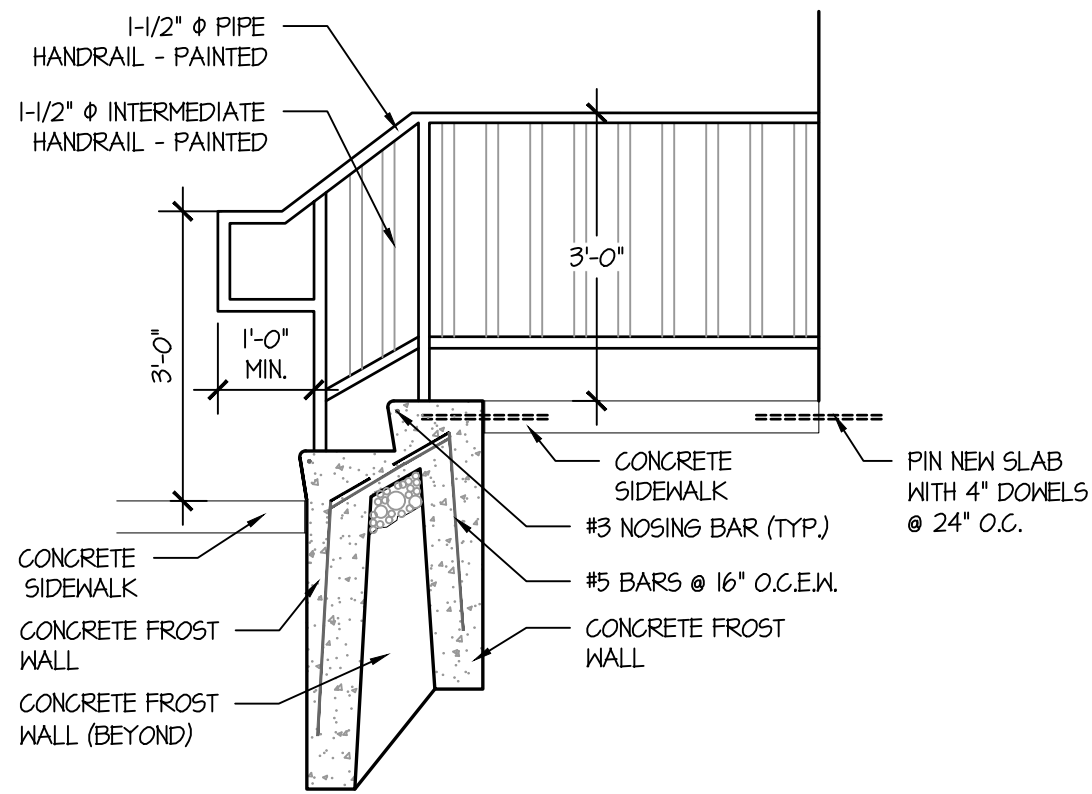
A1



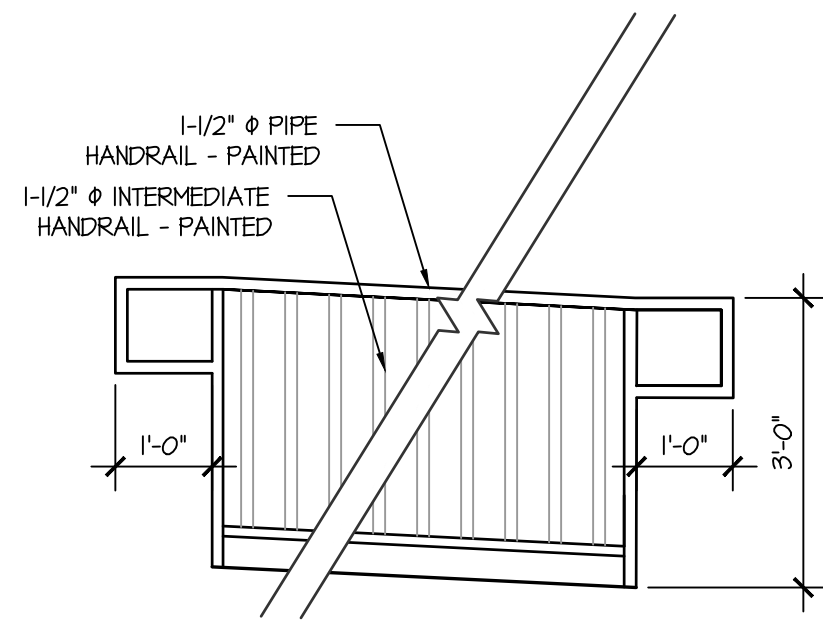
1 ENLARGED EXTERIOR STAIR AND RAMP
1/2" = 1'-0"



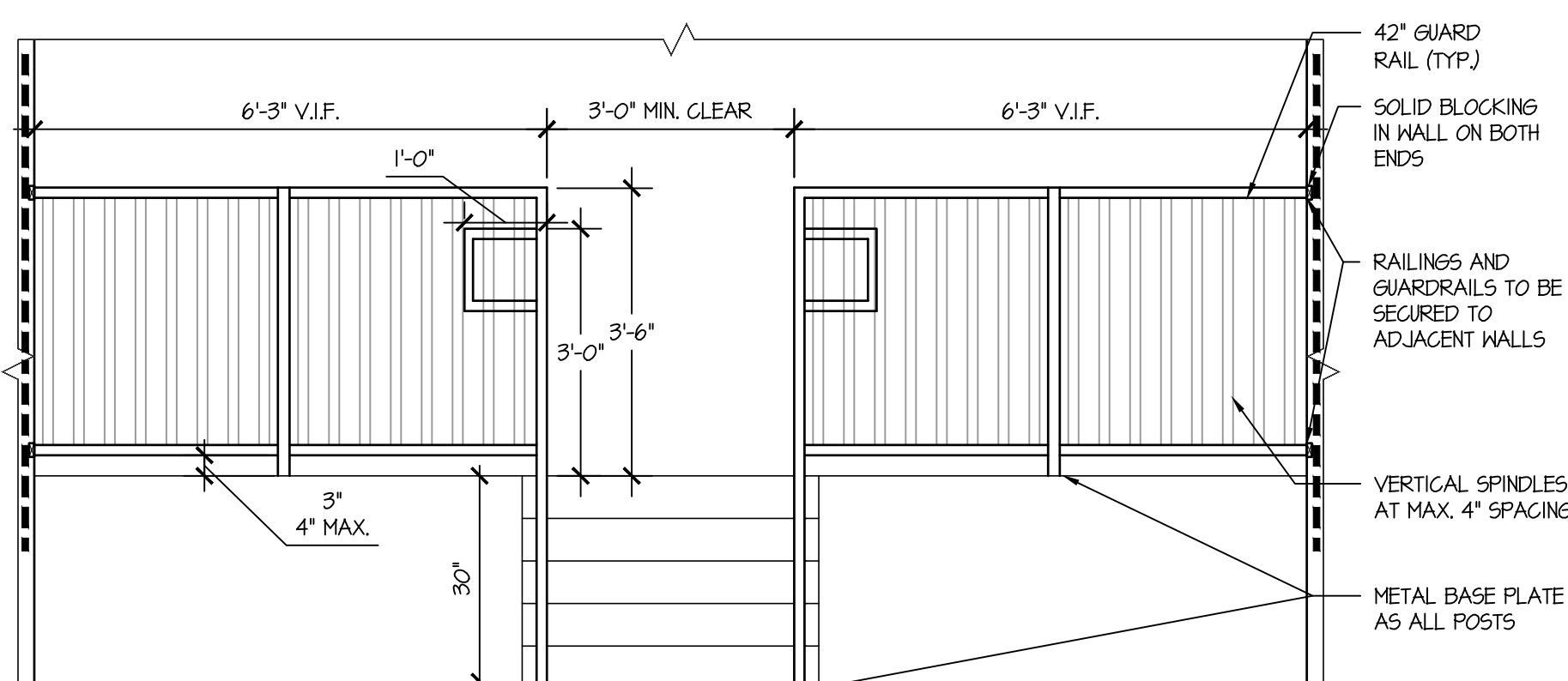
2 ENLARGED INTERIOR STAIR PLAN
1/2" = 1'-0"



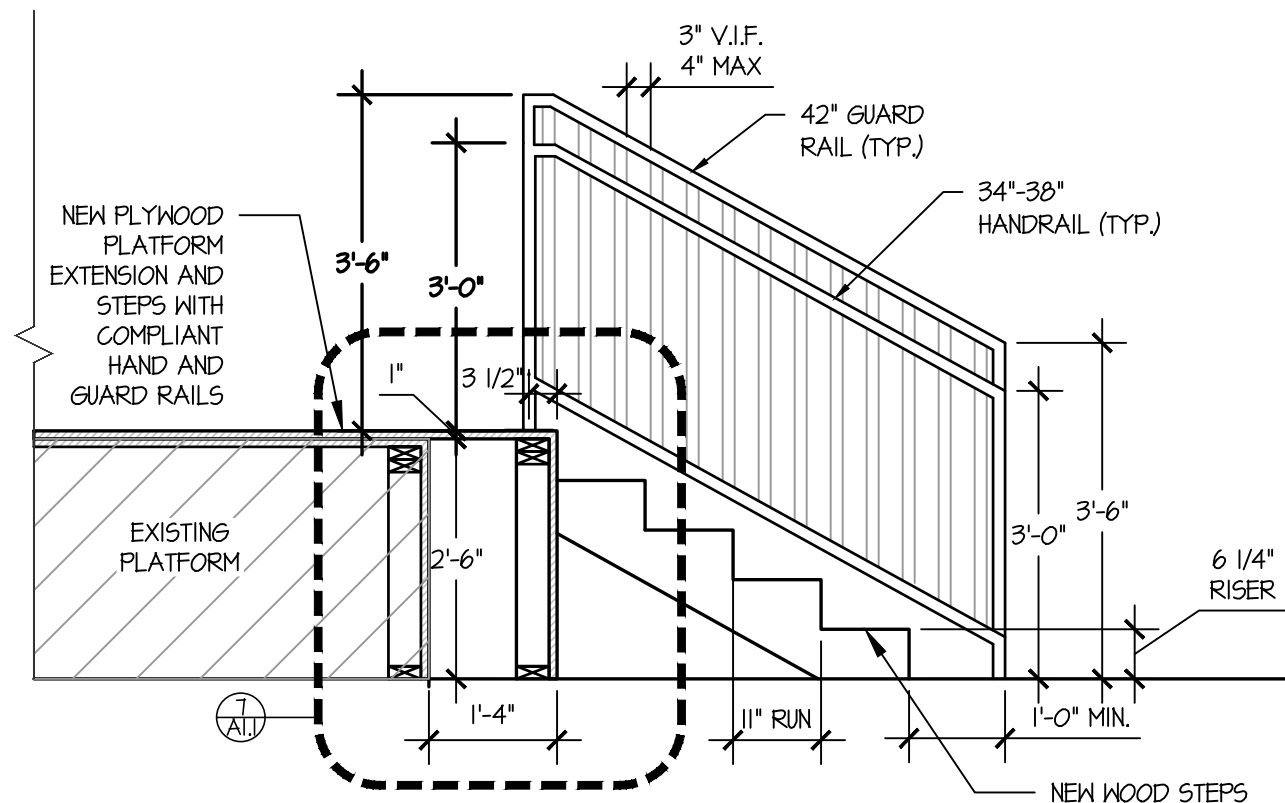
3 EXTERIOR STAIR SECTION DETAIL
1/2" = 1'-0"



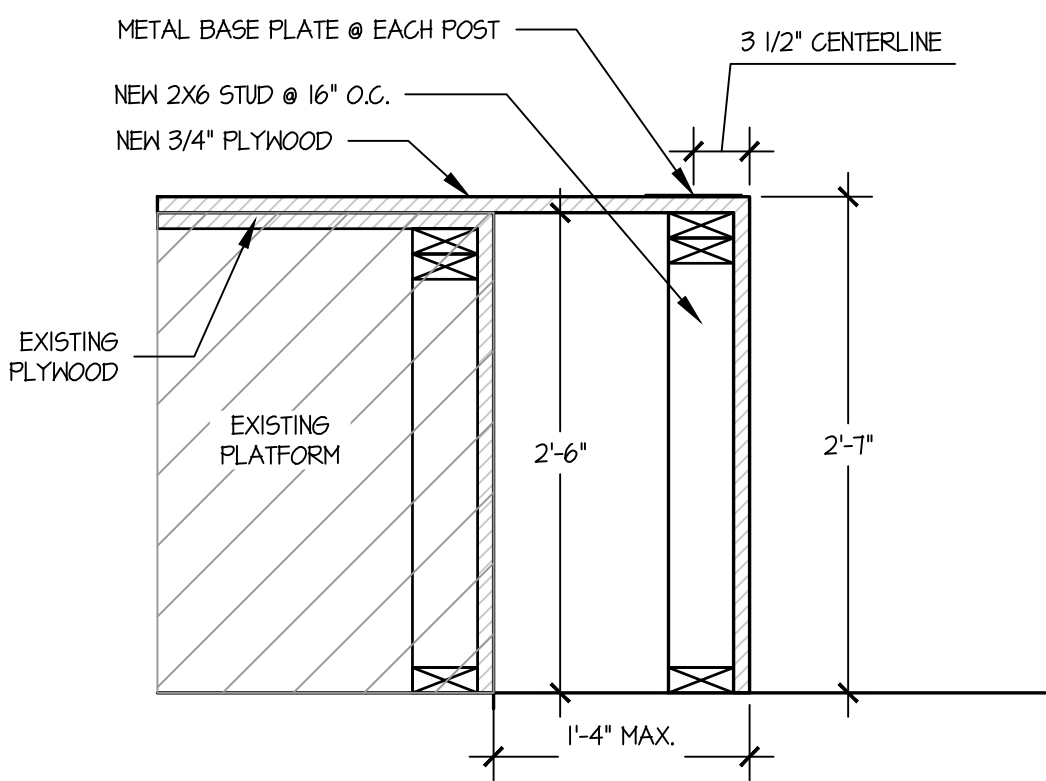
4 TYPICAL HANDRAIL DETAIL
1/2" = 1'-0"



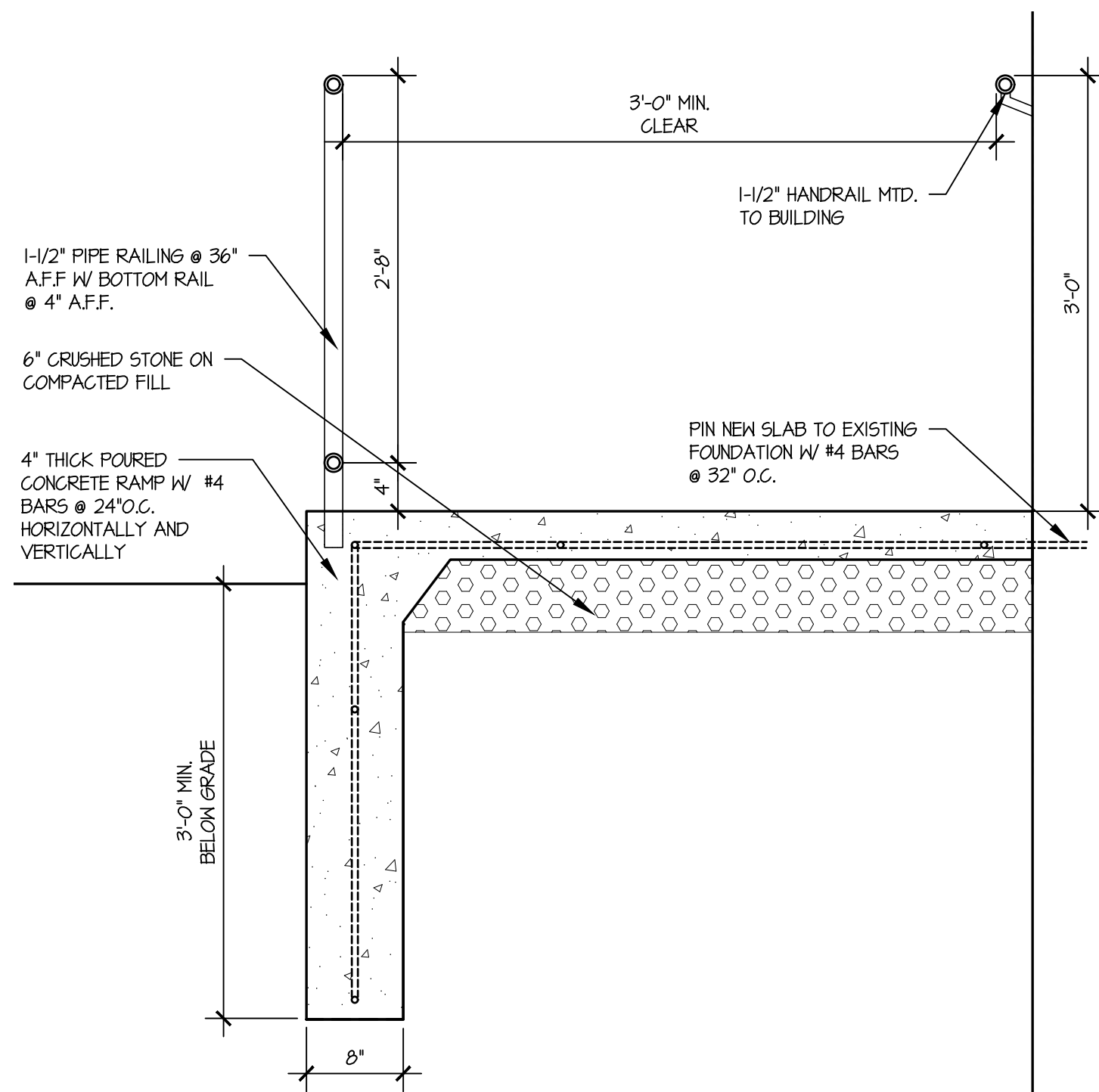
5 INTERIOR STAIR ELEVATION
1/2" = 1'-0"



6 INTERIOR STAIR SECTION
1/2" = 1'-0"



7 DETAILED PLATFORM SECTION
1" = 1'-0"



8 1:12 RAMP SECTION DETAIL
1" = 1'-0"

STAIR NOTES

- HANDRAILS**
 - 1.1. PROVIDE HANDRAIL - MINIMUM ONE SIDE
 - 1.2. HEIGHT OF RAILINGS ABOVE TREADS - 36" (34" MIN. - 38" MAX.)
 - 1.3. EXTEND HANDRAILS 12" NOSING OF TOP OF TREAD AND 12" PLUS TREAD WIDTH BEYOND THE BOTTOM NOSING
 - 1.4. RETURN AND TERMINATE ENDS OF HANDRAILS TO WALL OR POST
 - 1.5. PROVIDE 1-1/2" CLEAR BETWEEN HANDRAIL AND WALL
 - 1.6. CROSS-SECTIONAL DIMENSION HAND GRIP PORTION OF HANDRAILS' 1-1/4" MINIMUM
- TREADS**
 - 2.1. ALL TREAD SURFACES TO BE SLIP RESISTANT
 - 2.2. ALL EXPOSED EDGES OF TREADS ARE TO BE SMOOTH, ROUNDED OR CHAMFERED. NO ABRUPT EDGES AT LOWER FRONT EDGE OF NOSING
- NOSING**
 - 3.1. NOSING PROJECTION PAST FACE OR RISER BELOW TO BE 1-1/2" MAXIMUM
- RISERS**
 - 4.1. SUFFICIENTLY SOLID TO PREVENT PASSAGE OF OBJECTS LARGER THAN 1/4".
- DIMENSIONS (UNLESS NOTED OTHERWISE)**
 - 5.1. RISERS: 7" MAXIMUM, VERTICAL 4" MINIMUM
 - 5.2. TREADS: 11" MINIMUM HORIZONTAL
- MAXIMUM VARIATION IN HEIGHT OF RISERS OR WIDTH OF TREADS IN ANY GIVEN FLIGHT: 1/4"**
- MINIMUM HEADROOM CLEARANCE MEASURED VERTICALLY FROM THE PLAN OF THE CEILING FINISH TANGENT TO THE TREAT NOSING AT THE STAIRWELL: 6'-8" MINIMUM CLEAR**
- MAXIMUM VERTICAL DISTANCE BETWEEN STAIRWAY LANDINGS: 12'-0"**
- STAIR LANDINGS**
 - 9.1. STAIR LANDINGS SHALL BE THE SAME WIDTH AND DEPTH AS THE STAIR IT SERVES WITH MINIMUM DIMENSIONS OF 36" EACH WAY.
 - 9.2. PROVIDE HANDRAIL @ STAIRS AND 36" HIGH GUARD RAIL (42" HIGH MINIMUM IF OCCUPANCY LOAD IS HIGHER THAN 10) @ STAIR LANDINGS WITH CLEAR SPACE BETWEEN BALUSTERS AND HORIZONTAL TOP RAIL @ 4" MINIMUM CLEAR, TYPICAL.
- HANDICAPPED COMPLIANCE**
 - 10.1. MARK WITH A 2" WIDE STRIPE OF CONTRASTING COLOR PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE UPPER APPROACH AND LOWER TREAD OF EACH STAIR, USE A SLIP RESISTANT MATERIAL FOR THE STRIP @ EACH NOSING AND LANDING.
- ENCLOSED USABLE SPACE UNDER STAIRS:**
 - 11.1. SHALL BE PROTECTED WITH ONE-HOUR FIRE RESISTIVE PROTECTION.

NOTE:
Contractors shall verify and be responsible for all field dimensions and conditions and shall notify Baglivo Associates of any discrepancies before proceeding with the project.

PA:15903B NJ: 15154 OH: 12708 KY: 7551 DE: 5988
VA: 401018610 CT: ARI.0014657

MD: 16301 FL: 96363 NY: 038058-1 MA: 31299



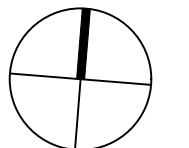
BAGLIVO ASSOCIATES

ARCHITECTURE ■ INTERIORS ■ PLANNING

472 Norristown Road
Blue Bell, PA 19422
P: 610.277.7107 F: 484.801.2608
www.baglivoassociates.com

ISSUED FOR REVIEW 07.28.2026
ISSUED FOR REVIEW 08.06.2026

Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way on these sealed documents. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.



NORTH

Project

EPV PRESS BOX RENOVATION

900 GERMANTOWN PIKE
PLYMOUTH MEETING, PA 19462

File Name

900GermantownPike_EPv_CD_072726.dwg

Scale

AS NOTED

Date

08.06.2026

Drawn By

AGK/JLK

Project Number

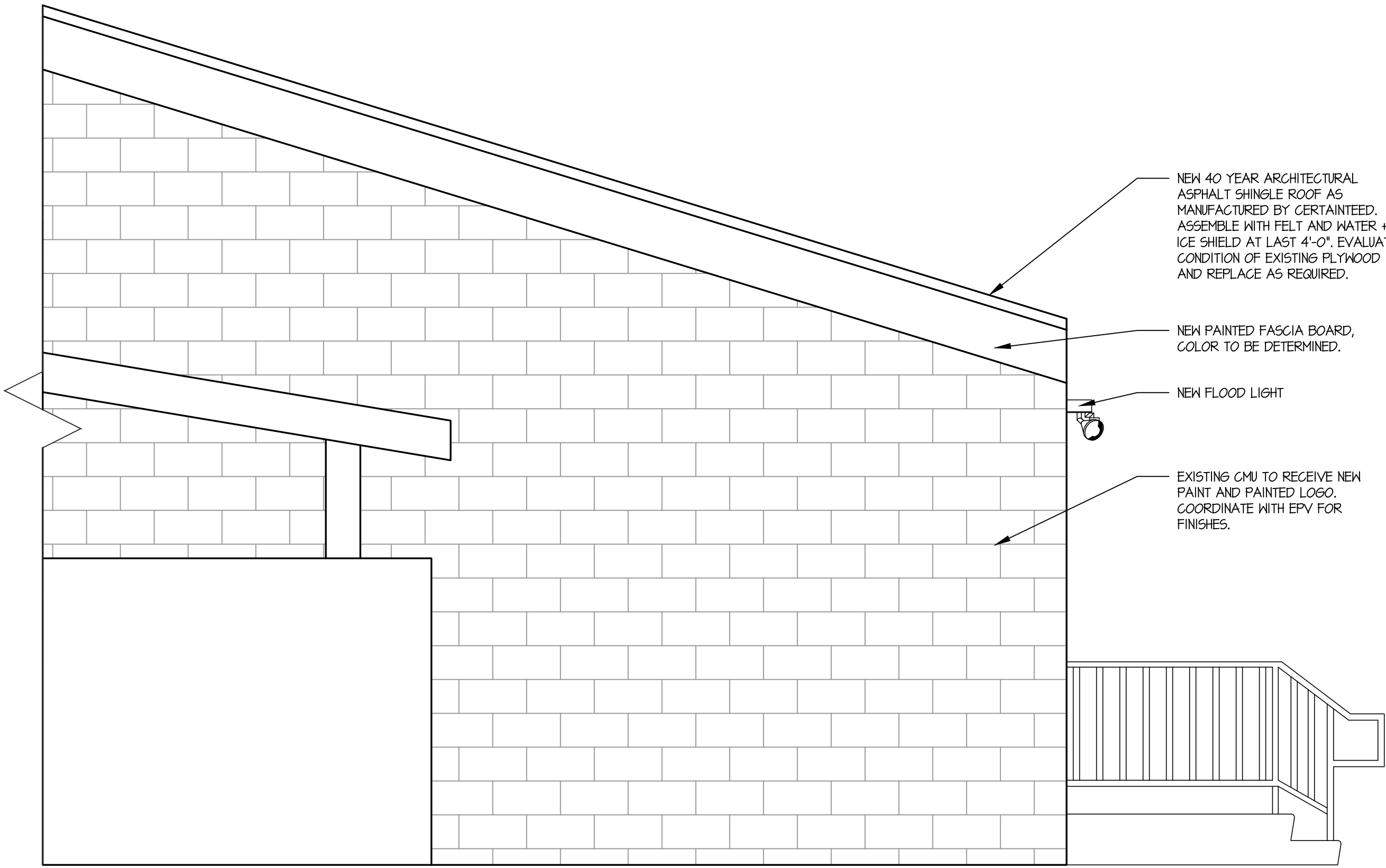
2026-059

Drawing Title

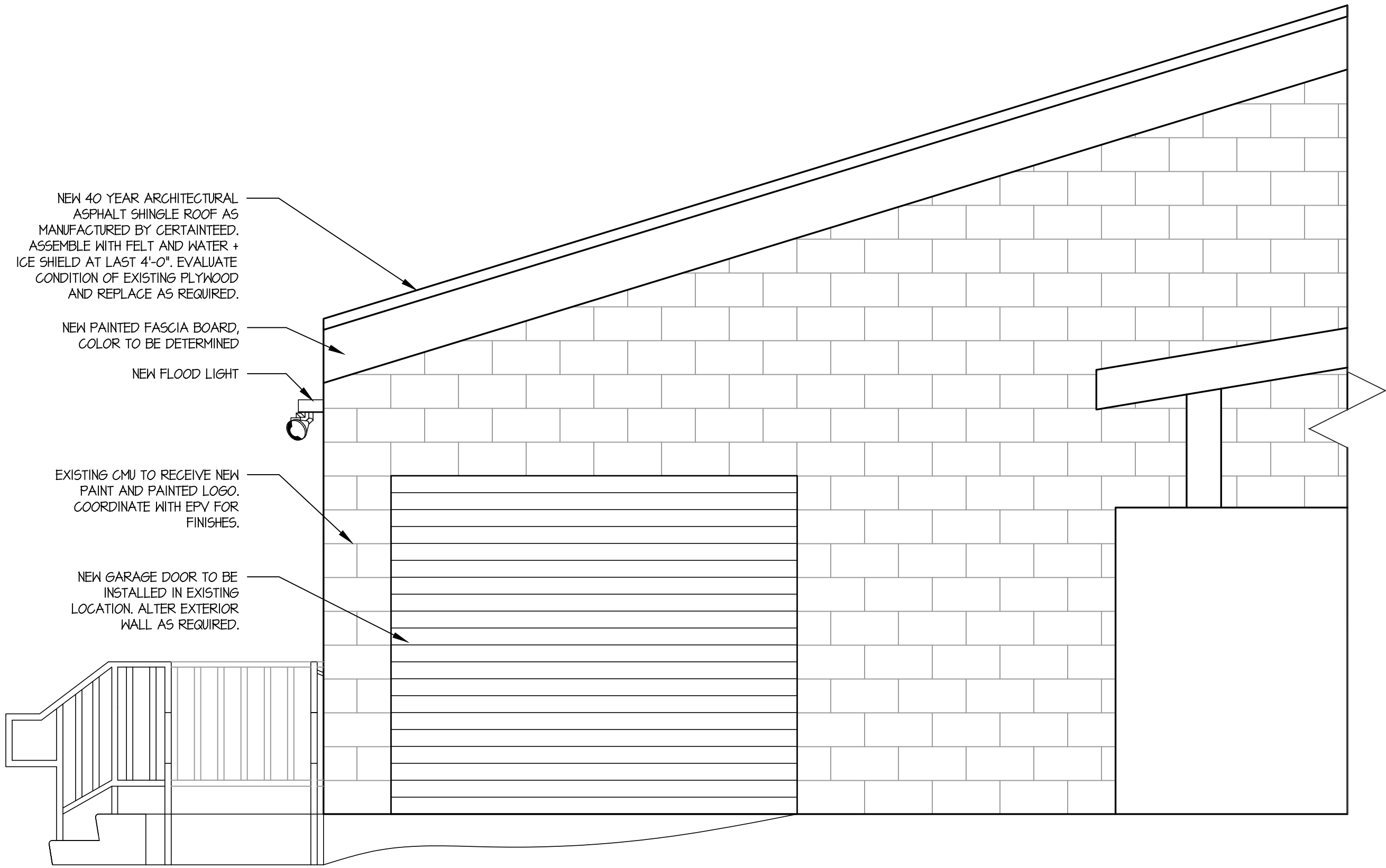
STAIR AND RAMP DETAILS

Drawing Number

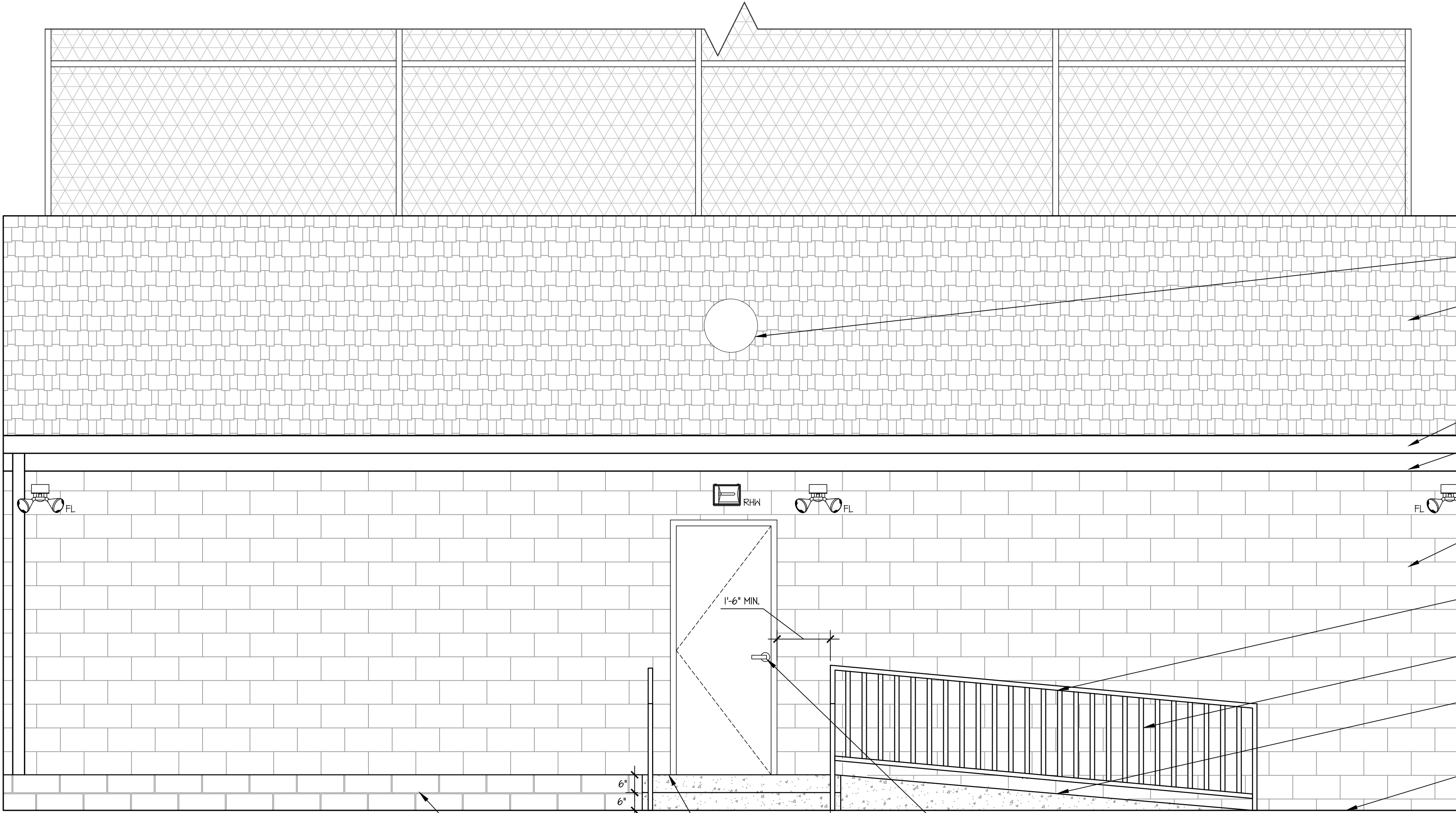
A1.1



1 EXTERIOR SIDE ELEVATION
1/2" = 1'-0"



2 EXTERIOR SIDE ELEVATION
1/2" = 1'-0"



3 EXTERIOR FRONT ELEVATION
1/2" = 1'-0"

NOTE:
Contractors shall verify and be responsible for all field dimensions and conditions and shall notify Baglivo Associates of any discrepancies before proceeding with the project.

PA:15903B NJ: 15154 OH: 12708 KY: 7551 DE: 5988
VA: 401018610 CT: ARI.0014657

MD: 16301 FL: 96363 NY: 038058-1 MA: 31299



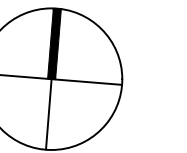
BAGLIVO ■ ASSOCIATES

ARCHITECTURE ■ INTERIORS ■ PLANNING

472 Norristown Road
Blue Bell, PA 19422
P: 610.277.7107 F: 484.801.2608
www.baglivoassociates.com

ISSUED FOR REVIEW 07.28.2026
ISSUED FOR REVIEW 08.06.2026

Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter on item in any way on these sealed documents. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.



Project NORTH

EPV PRESS BOX RENOVATION

900 GERMANTOWN PIKE
PLYMOUTH MEETING, PA 19462

File Name
900GermantownPike_EPV_CD_072726.dwg

Scale
AS NOTED

Date
08.06.2026

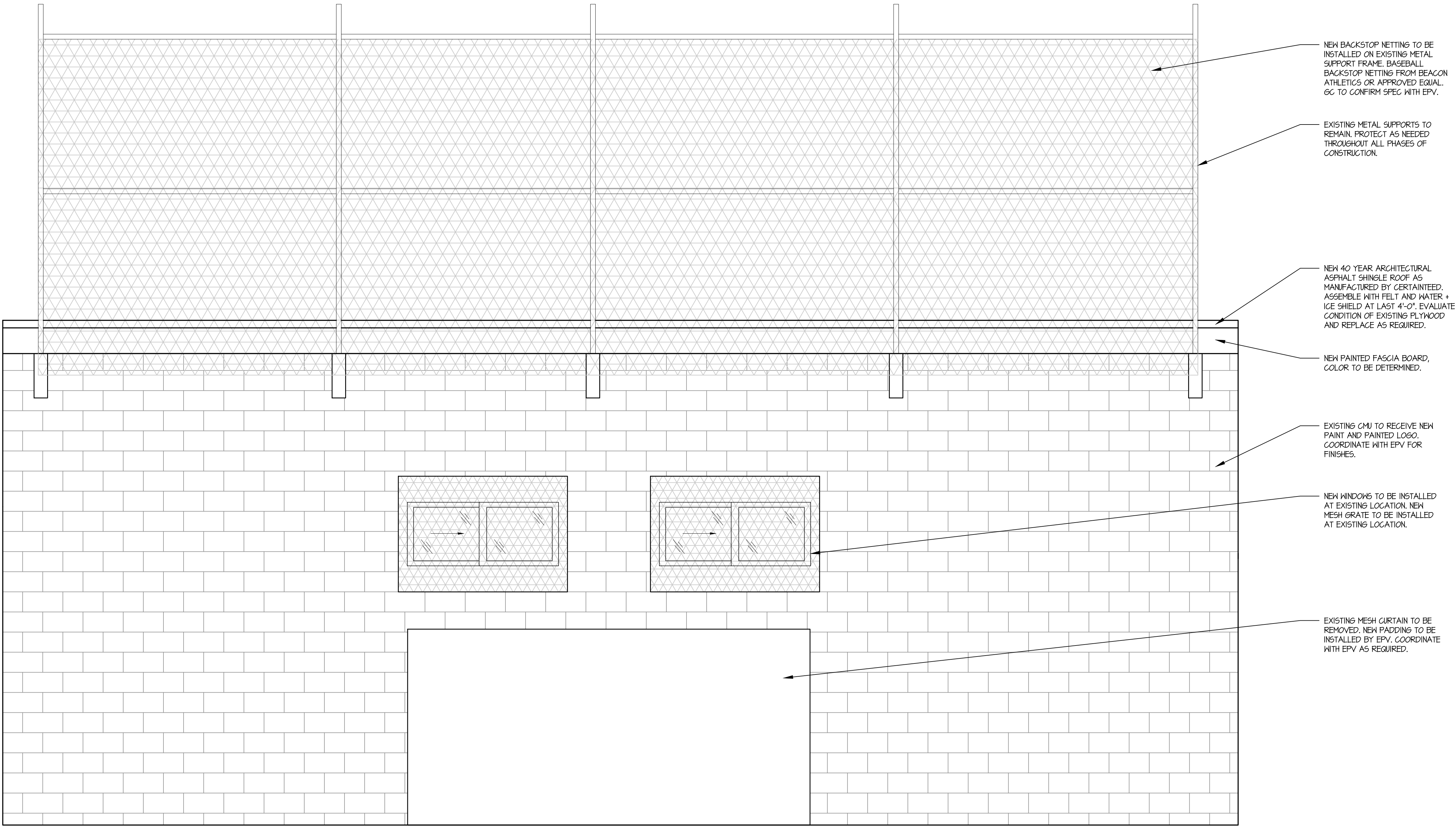
Drawn By
AGK/JLK

Project Number
2026-059

Drawing Title
EXTERIOR ELEVATIONS

Drawing Number

A1.2



1 EXTERIOR REAR ELEVATION
1/2" = 1'-0"

NOTE:
Contractors shall verify and be responsible for all field dimensions and conditions and shall notify Baglivo Associates of any discrepancies before proceeding with the project.

PA:15903B NJ: 15154 OH: 12708 KY: 7551 DE: 5988
VA: 401018610 CT: ARI.0014657

MD: 16301 FL: 96363 NY: 038058-1 MA: 31299

BAGLIVO ■ ASSOCIATES
ARCHITECTURE ■ INTERIORS ■ PLANNING
472 Norristown Road
Blue Bell, PA 19422
P: 610.277.7107 F: 484.801.2608
www.baglivoassociates.com

ISSUED FOR REVIEW 07.28.2026
ISSUED FOR REVIEW 08.06.2026

Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way on these sealed documents. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

Project

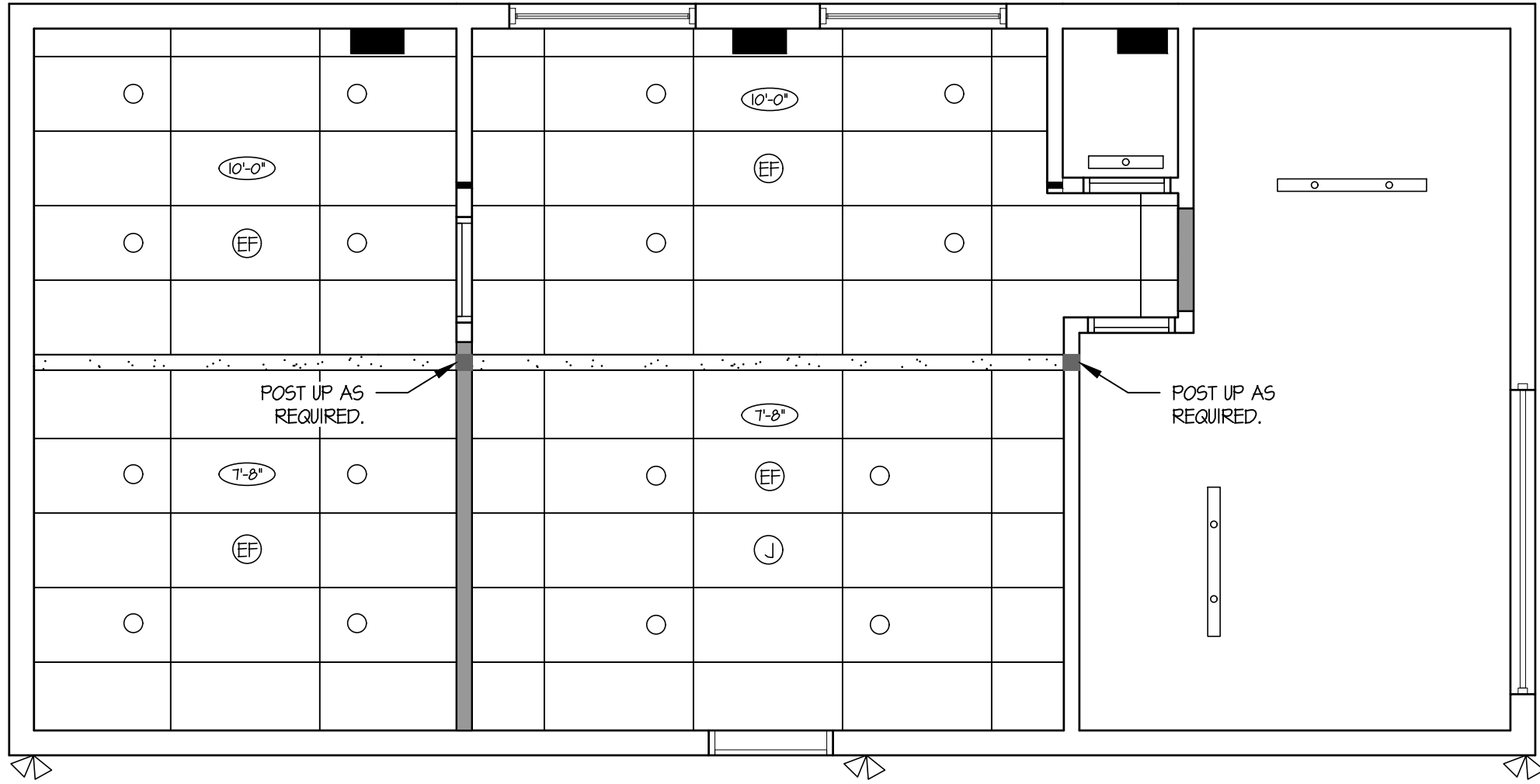
NORTH

EPV PRESS BOX RENOVATION

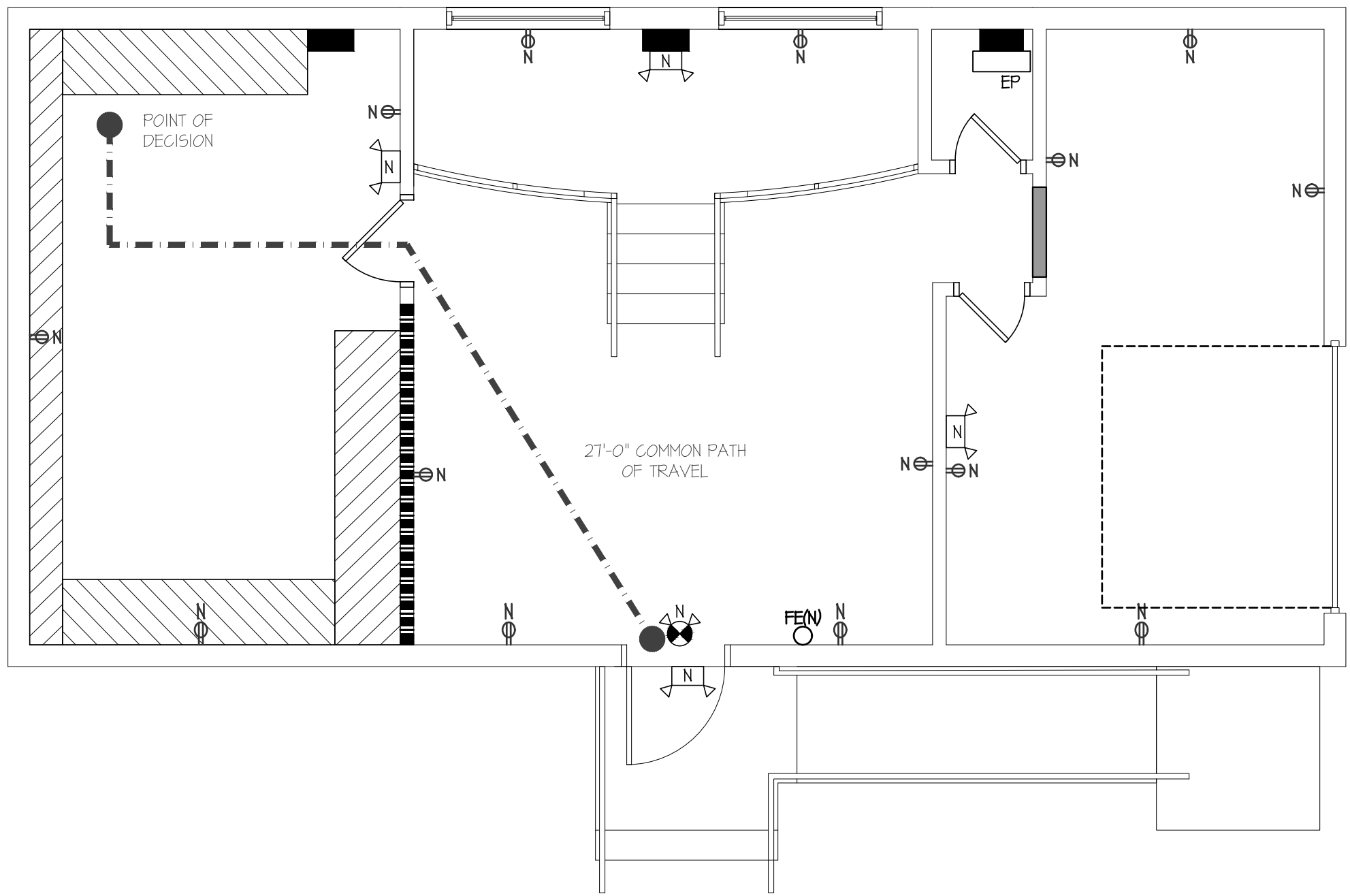
900 GERMANTOWN PIKE
PLYMOUTH MEETING, PA 19462

File Name
900GermantownPike_EPV_CD_072726.dwg
Scale
AS NOTED
Date
08.06.2026
Drawn By
AGK/JLK
Project Number
2026-059
Drawing Title
EXTERIOR ELEVATIONS
Drawing Number

A1.3



1 REFLECTED CEILING PLAN
1/4" = 1'-0"



2 ELECTRICAL AND LIFE SAFETY PLAN
1/4" = 1'-0"

REFLECTED CEILING LEGEND

- NEW 2' X 4' SUSPENDED CEILING SYSTEM, AS MANUFACTURED BY: ARMSTRONGS, MODEL: SECOND-LOOK, ANGLED REGULAR WITH 15/16" GRID SYSTEM. INSTALL NEW GRID AS INDICATED ON PLAN.
- NEW GNB SOFFIT, INSTALL AT 7'-6". POST UP AS REQUIRED.
- NEW 2' X 4' STRIP FIXTURE.
- NEW BUILDING STANDARD LED RECESSED CAN LIGHT FIXTURE.
- NEW DOUBLE FLOOD LIGHT.
- NEW CEILING MOUNTED JUNCTION BOX FOR TENANT SUPPLIED CEILING FAN.
- NEW CEILING MOUNTED EXHAUST FAN VENTED TO PLENUM.
- **NOTE:**
- EXISTING CEILING TO REMAIN IN GARAGE/SUPPLY AREA. MODIFY AS REQUIRED FOR LIKE SEAMLESS APPEARANCE. PROVIDE SUPPORTS AS REQUIRED FOR NEW 2'X4' LED LIGHTS.

ELECTRICAL LEGEND

- DUPLEX ELECTRICAL RECEPTACLE.
- **NOTE:**
- ALL NEW RECEPTACLES & COVER PLATES TO MATCH EXISTING BUILDING.
 - ALL EXISTING ELECTRICAL TO REMAIN THROUGHOUT. ALL ICONS WITH (N) INDICATE NEW TO MATCH EXISTING.
 - ALL EXISTING EXTERIOR OUTLETS TO REMAIN.

REFLECTED CEILING NOTES

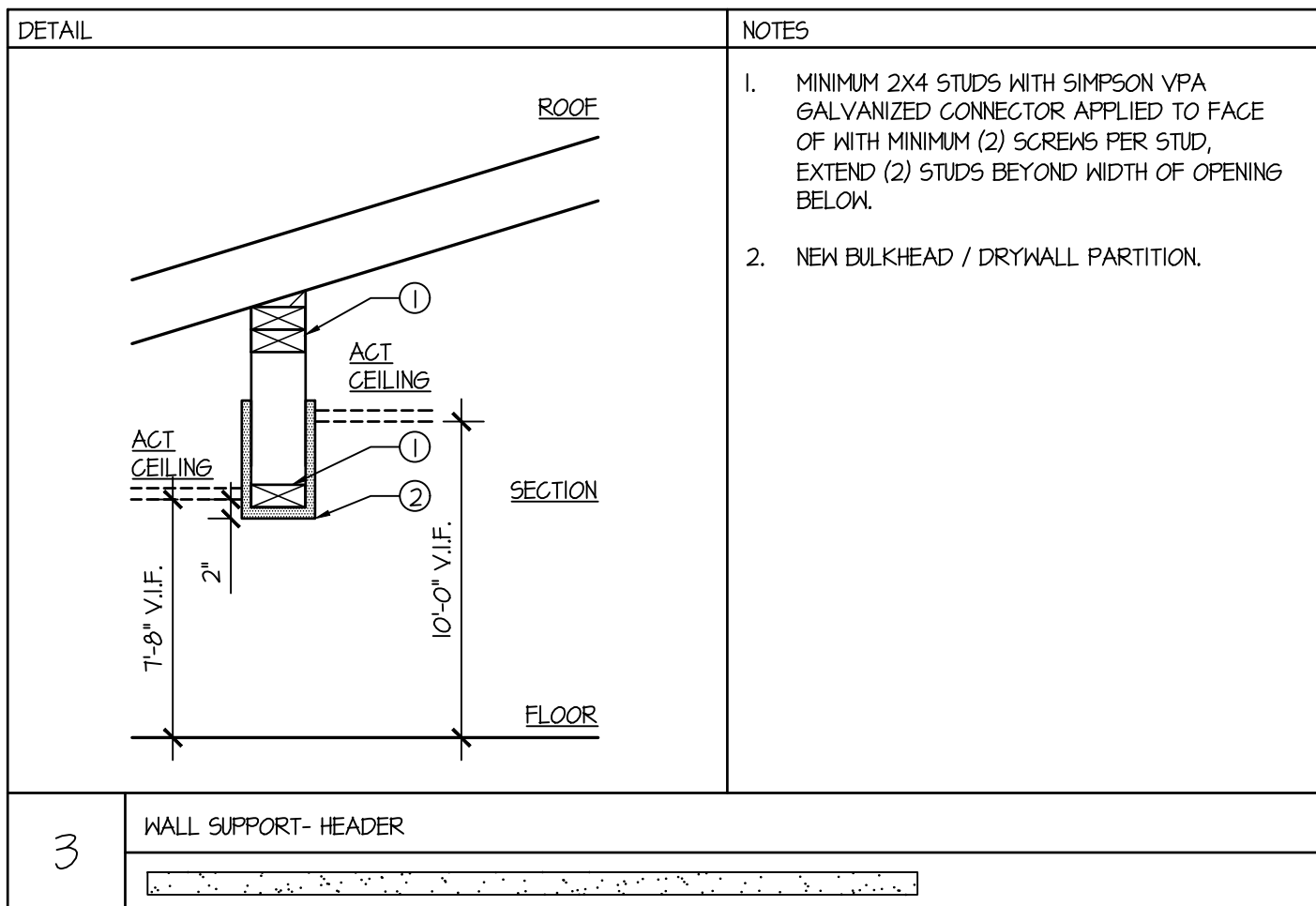
- DISCREPANCIES: NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH CEILING SYSTEMS, DUCTS, STRUCTURES, HVAC, AND/OR EX CONDITIONS. PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING GRID LOCATION AND ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.
- COORDINATION: COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS.
- CEILING TILES: DO NOT MIX NEW CEILING TILES WITH EXISTING. SALVAGE TILES FROM ONE ROOM, AREA OR SPACE TO BE USED TO REPLACE IN RECONFIGURED SPACES. REPLACE CEILING TILES WITH NEW IN AREA USED FOR SALVAGE.
- CEILING GRID: INSTALL NEW SUSPENDED CEILING SYSTEM TO MATCH EXISTING AT AREAS OF EXPANSION OR CEILING DEMOLITION WORK.
- LIGHT FIXTURES: EXISTING LIGHTS TO REMAIN AND SHALL BE CLEANED AND RELAMPED. NEW LIGHTS TO MATCH EXISTING.
- FIXTURE LOCATIONS: LIGHT FIXTURES, EXIT SIGNS AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN CENTER OF INDIVIDUAL CEILING TILE UNLESS OTHERWISE NOTED.
- DRAWING REFERENCE: THIS PLAN IS FOR CEILING FIXTURE LOCATIONS ONLY. SEE DESIGN/BUILD ELECTRICAL & MECHANICAL DRAWINGS FOR ALL CIRCUITING, PANEL SCHEDULES, BALANCING, ETC.
- FASCIAS: FASCIAS OR ANY BREAK IN THE CEILING HEIGHTS CREATED BY THE INSTALLATION AND/OR ALTERATION OF HEATING, VENTING AIR CONDITIONS OR MECHANICAL DUCTS, PIPING OR OTHER EQUIPMENT, SHALL BE FORMED OF GYPSUM WALLBOARD ON FURRING CHANNELS.
- CEILING ANGLE: PERIMETER CEILING ANGLE, WHERE OCCURS, SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH.
- PROTECTIVE FILM: INSTALL LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER OVER LOUVER, LENS, BAFFLE, AND THE LIKE, TO AVOID FIXTURE SOILING OR DAMAGE; FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW; LAMPS SHALL BE NEW AT PROJECT COMPLETION.
- FIRE ALARM DEVICES: ALL FIRE ALARM DEVICES TO BE WIRED TO EXISTING ALARM PANELS AND COORDINATE WITH BUILDING FIRE PROTECTION SUBCONTRACTOR.

ELECTRICAL NOTES

- DISCREPANCIES: ARCHITECTURAL DRAWINGS DETERMINE LOCATION OF ALL OUTLETS AND TAKE PRECEDENCE OVER ALL OTHERS. UNO. ELECTRICAL DESIGN-BUILD POWER PLAN SHALL GOVERN THE WIRING LAYOUT AND INSTALLATION IN COMPLIANCE WITH ALL LAWS APPLICABLE AND ENFORCED BY GOVERNING AUTHORITIES. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- MOUNTING HEIGHT: INSTALL WALL MOUNTED OUTLETS 18" ABOVE FINISHED FLOOR, UNO. HEIGHTS SHALL BE DETERMINED FROM FINISHED FLOOR TO THE CENTERLINE OF COVERPLATE, INSTALLED VERTICALLY, GROUNDING POLE AT BOTTOM, UNO. OUTLETS MOUNTED HIGHER THAN 21" SHALL BE HORIZONTALLY, GROUNDING POLE AT LEFT, UNO. QUAD OUTLETS TO BE INSTALLED VERTICALLY, UNO.
- MOUNTING: OUTLETS SHOWN BACK TO BACK ON PARTITION WALLS SHALL BE OFFSET 1'-0", MAXIMUM, OR MOUNTED AT DIFFERENT HEIGHTS IF INDICATED.
- DIMENSIONS: INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVERPLATE OR MONUMENT; CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, UNO.; GANG COVERPLATES SHALL BE ONE-PIECE TYPE, UNO.
- CIRCUITS: CONTRACTOR TO SEPARATE ALL CIRCUITS WITHIN THE SPACE PER TENANT'S NEW LAYOUT.
- POWER: PROVIDE ALL THE NECESSARY POWER FOR CIRCUITS, PANELS, TRANSFORMER, ETC.
- SLAB PENETRATIONS: ALL NEW FLOOR SLAB PENETRATIONS FOR CONDUIT SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.
- FURNITURE: FURNITURE, IF SHOWN, IS FOR REFERENCE ONLY AND IS NOT IN CONTRACT, UNO.
- COORDINATION: COORDINATE ALL WORK RELATED TO EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.
- COVER PLATES AND DEVICES: ALL DEVICES AND COVER PLATES TO BE SAME COLOR. COLOR TO BE WHITE. PATCH ALL UNSAVABLE OUTLETS AND TELE/DATA PORTS.
- CONDUIT: 2" CONDUIT/ SPACE FOR TENANT PROVIDED VGA, HDMI, DATA, ETC. FROM FLOOR OUTLET TO WALL MOUNTED TELEVISION.
- VOICE AND DATA WIRING: VOICE AND DATA IS THE RESPONSIBILITY OF THE TENANT. CONTRACTOR TO PROVIDE RING AND STRING IN JUNCTION BOX ONLY. INSTALLATION WILL NEED TO BE COORDINATED TENANT'S VENDOR.

LIFE SAFETY LEGEND

- PATH OF EGRESS
- ILLUMINATED EXIT SIGN WITH EMERGENCY LIGHT BATTERY PACK.
- NEW ABC 10LB FIRE EXTINGUISHER. GC TO ENSURE FIRE EXTINGUISHER IS FULLY CHARGED AND OPERATIONAL AS REQUIRED PER CODE.
- **NOTE:**
- ALL NEW DEVICES TO MATCH BUILDING STANDARD.
 - ALL ICONS WITH (N) INDICATE NEW TO MATCH EXISTING.



NOTE:
Contractors shall verify and be responsible for all field dimensions and conditions and shall notify Baglivo Associates of any discrepancies before proceeding with the project.

PA:159038 NJ: 15154 OH: 12708 KY: 7551 DE: 5988
VA: 401018610 CT: ARI.0014657

MD: 16301 FL: 96363 NY: 038058-1 MA: 31299



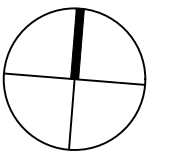
BAGLIVO ■ ASSOCIATES

ARCHITECTURE ■ INTERIORS ■ PLANNING

472 Norristown Road
Blue Bell, PA 19422
P: 610.277.7107 F: 484.801.2608
www.baglivoassociates.com

ISSUED FOR REVIEW 07.28.2026
ISSUED FOR REVIEW 08.06.2026

Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way on these sealed documents. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.



Project NORTH

EPV PRESS BOX RENOVATION

900 GERMANTOWN PIKE
PLYMOUTH MEETING, PA 19462

File Name

900GermantownPike_EPV_CD_072726.dwg

Scale

AS NOTED

Date

08.06.2026

Drawn By

AGK/JLK

Project Number

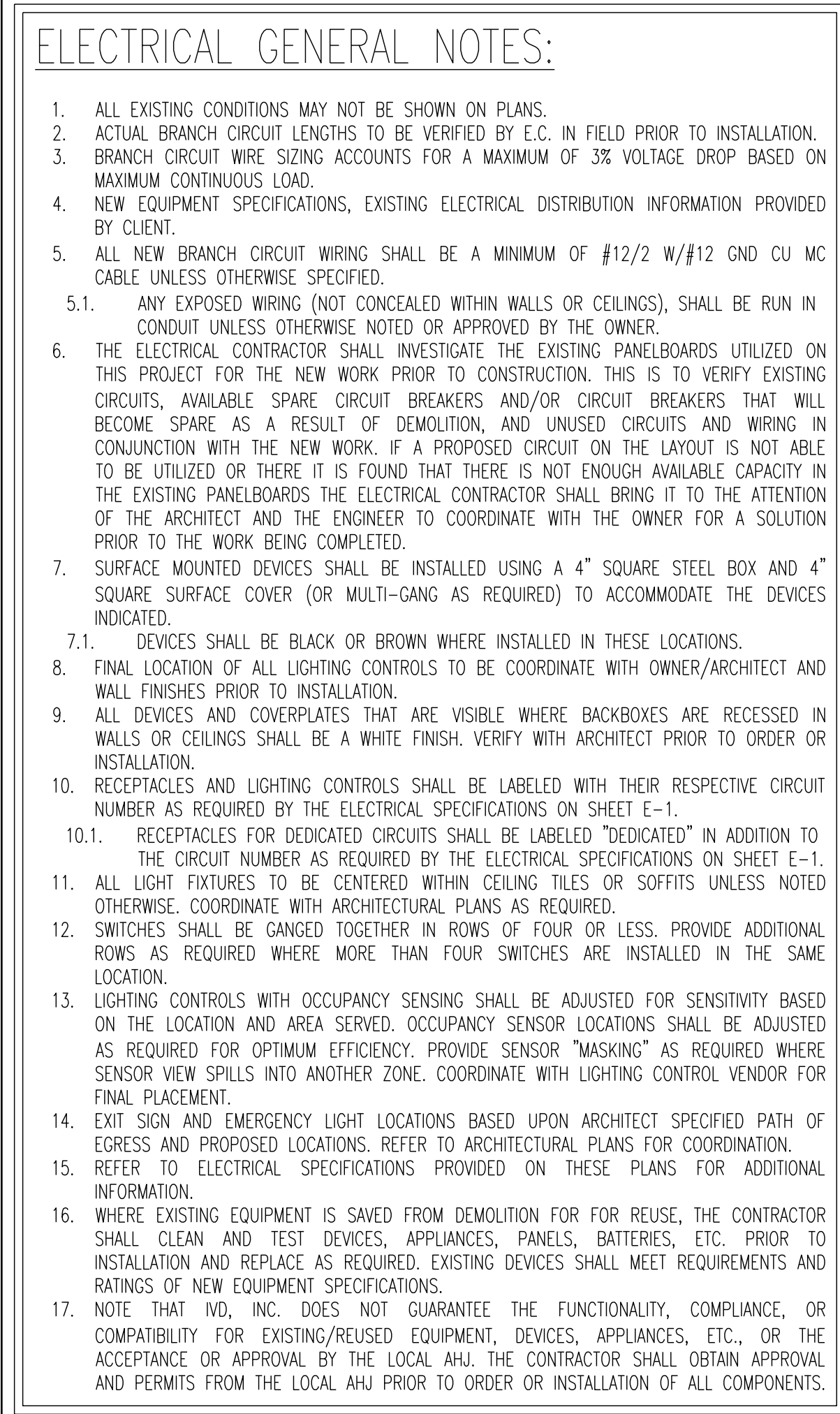
2026-059

Drawing Title

REFLECTED CEILING PLAN,
ELECTRICAL AND LIFE SAFETY PLAN

Drawing Number

A2



GENERAL:

1.1. CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE WORK AREA AT ALL TIMES. ALL SAFETY PROCEDURES AND ENFORCEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL CONFORM TO ALL OSHA STANDARDS.

1.2. CONTRACTOR SHALL PROVIDE A COMPLETE AND WORKING SYSTEM, AND SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL ELECTRICAL PERMITS, LICENSES, OR OTHER REGISTRATIONS REQUIRED TO COMPLETE THE WORK. ALL CHARGES BY THE UTILITY COMPANIES SHALL BE PAID BY THE ELECTRICAL CONTRACTOR UNLESS COORDINATED WITH THE OWNER PRIOR.

1.3. INSTALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL OTHER APPLICABLE CODES AND STANDARDS. ALL PERTINENT CODES, LAWS, ORDINANCES, REGULATIONS, AND RESPECTIVE MANUFACTURER'S WRITTEN INSTRUCTIONS SHALL BE ADHERED TO.

1.4. COORDINATE ELECTRICAL WORK WITH THE WORK OF ALL OTHER CONTRACTORS AND OWNER.

1.5. THE DRAWINGS MUST BE FOLLOWED AS CLOSELY AS CIRCUMSTANCES PERMIT. HOWEVER, THE ELECTRICAL CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE INSTALLATION WITHIN THE INTENT AND MEANING OF THE CONTRACT DOCUMENTS.

1.6. CONTRACTOR SHALL ARRANGE THE PROGRESS OF THEIR WORK SO AS TO CONFORM TO THE PROGRESS OF THE TRADES AND SHALL COMPLETE THE ENTIRE INSTALLATION AS SOON AS THE CONDITION OF THE PROJECT WILL PERMIT.

1.7. ALL ITEMS OF LABOR, MATERIAL, AND EQUIPMENT NOT SPECIFICALLY DESCRIBED HEREIN NOR DETAILED ON THE DRAWINGS BUT INCIDENTAL TO OR NECESSARY FOR THE COMPLETION OF THE WORK, SHALL BE CONSIDERED AS INCLUDED WITHOUT EXTRA COST.

1.8. PROVIDE NECESSARY SUPPORTS, HANGERS AND HARDWARE TO PROPERLY SECURE CONDUITS, BOXES, EQUIPMENT, FIXTURES, AND DEVICES TO THE BUILDING STRUCTURE.

1.9. SUBMIT SHOP DRAWINGS AND PRODUCT DATA GROUPED TO INCLUDE COMPLETE SUBMITTALS OF RELATED SYSTEMS, PRODUCTS, AND ACCESSORIES IN A SINGLE SUBMITTAL.

1.10. VERIFY ALL BUILDING STANDARD REQUIREMENTS, FINISHES AND SPECIFICATIONS PRIOR TO INSTALLATION WITH OWNER/ARCHITECT.

1.11. ALL FINAL DEVICE COLORS SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER/ARCHITECT.

1.12. EXACT LOCATION OF ALL DEVICES TO BE COORDINATED WITH FIELD CONDITIONS, OTHER TRADES, AND APPROVED BY THE OWNER/ARCHITECT, FOR FINAL PLACEMENT.

1.13. EXCEPT WHERE OTHERWISE INDICATED, ALL CUTTING, PATCHING, AND RESTORATION OF WALLS, CEILING, FLOORS, OR OTHER FINISHES REQUIRED FOR THE ELECTRICAL WORK SHALL BE BY THE ELECTRICAL CONTRACTOR. DO NOT CUT STRUCTURAL MEMBERS.

1.14. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS AT THE SITE. FAILURE TO VISIT AND INSPECT THE EXISTING CONDITIONS SHALL NOT BE VALID REASON FOR AUTHORIZATION OF A CHANGE ORDER. NOTIFY ENGINEER IN WRITING PRIOR TO INSTALLATION OF ANY DISCREPANCIES AFFECTING THE NEW LAYOUT.

1.15. CONTRACTOR TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND ALL LOCAL, STATE AND FEDERAL LIFE SAFETY REGULATIONS, INCLUDING, BUT NOT LIMITED TO, ACCESSIBLE ROUTES FOR ACCESS TO BUILDING ENTRANCE AND OTHER BASE BUILDING AREAS SUCH AS TOILET ROOMS, STAIRS, ELEVATORS, ETC.

1.16. WARRANTY: CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE IN WRITING ALL MATERIALS, EQUIPMENT, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER.

2. RECEPTACLES:

2.1. GENERAL PURPOSE RECEPTACLES:

2.1.1. ALL GENERAL PURPOSE RECEPTACLES SHALL BE (STANDARD) COMMERCIAL GRADE, NEMA 5-20, 120V, 20A (DECORATOR STYLE) DEVICES.

2.2. SHALL BE MOUNTED VERTICALLY AT 18" TO CENTER ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

2.3. RECEPTACLE ORIENTATION SHALL BE CONSISTENT THROUGHOUT THE ENTIRE PROJECT UNLESS NOTED OTHERWISE.

2.4. WHERE RECEPTACLES ARE NOTED TO BE INSTALLED HORIZONTALLY, THE GROUND POLE OF THE DEVICE SHALL BE TO THE LEFT UNLESS NOTED OTHERWISE OR IN COORDINATION WITH ARCHITECTURAL SPECIFICATIONS.

2.5. COORDINATE COUNTER TOP INSTALLATIONS WITH CASEWORK DIMENSIONS AND BACKSPLASH FINISHES PRIOR TO INSTALLATION.

2.6. COMPLY WITH ALL ADA REQUIREMENTS.

2.7. GFCI PROTECTION:

2.7.1. PROVIDE GFCI TYPE RECEPTACLES WHERE INDICATED ON PLANS.

2.7.2. WHERE GFCI TYPE RECEPTACLES WOULD NOT BE READILY ACCESSIBLE TO BE TESTED OR RESET, GFCI PROTECTION SHALL BE PROVIDED USING A GFCI TYPE CIRCUIT BREAKER.

2.7.3. REFER TO NEC 210.8 FOR ADDITIONAL GFCI PROTECTION REQUIREMENTS.

2.8. RECEPTACLES INSTALLED OUTDOORS / IN DAMP OR WET LOCATIONS SHALL BE WEATHER-RESISTANT (WR) TYPE WITH GFCI PROTECTION AND BE PROVIDED WITH WEATHERPROOF COVERS IN ACCORDANCE WITH ARTICLE 406.9 OF THE NEC AND OTHER APPLICABLE CODES.

2.9. LOCATIONS OF REQUIRED RECEPTACLES SHALL BE IN ACCORDANCE WITH NEC 210.52 THROUGH 210.71 AND OTHER APPLICABLE ARTICLES.

2.10. ALL RECEPTACLES SHALL BE TAMPER-RESISTANT TYPE WHERE INSTALLED IN LOCATIONS SPECIFIED IN ARTICLE 406.12 OF THE NEC.

3. LIGHTING AND CONTROLS:

3.1. ELECTRICAL CONTRACTOR TO PROVIDE SUPPLEMENTAL/TEMPORARY LIGHTING SUFFICIENT FOR SAFE WORKING CONDITIONS THROUGHOUT THE COURSE OF CONSTRUCTION.

3.2. ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW, RELOCATE EXISTING, OR REMOVE EXISTING LIGHT FIXTURES WHERE INDICATED ON PLAN. PROVIDE ALL NEW WIRING AND DEVICES FOR THE INSTALLATION UNLESS NOTED OTHERWISE. ALL LIGHT FIXTURES SHALL BE COMPATIBLE WITH CEILING CONSTRUCTION TYPES.

3.3. LIGHTING PHOTOMETRICS:

3.3.1. CONTRACTOR SHALL PROVIDE COORDINATION WITH LIGHTING VENDOR TO COMPLETE A PHOTOMETRIC CALCULATION INDICATING MIN./MAX./AVG./RATIO OF ILLUMINATION LEVELS FOR THE LIGHT FIXTURE LAYOUT.

3.3.2. FIXTURE LUMEN LEVELS SHALL BE ADJUSTED AS REQUIRED TO MEET IESNA STANDARDS, AND TO PROVIDE UNIFORM DISTRIBUTION, OR TO MEET MINIMUM FOOTCANDLE LEVELS IF SPECIFIED.

3.3.3. EMERGENCY LIGHT ILLUMINATION SHALL BE CALCULATED TO MEET THE REQUIREMENTS OF THE IBC, ICC, NEC, NFPA, LOCAL AHJ, AND OTHER APPLICABLE CODES AND STANDARDS ALONG THE PATH OF EGRESS OR OTHERWISE REQUIRED. EMERGENCY ILLUMINATION SHALL BE AT A MINIMUM AN AVERAGE OF NOT LESS THAN 1 FOOTCANDLE AND A MINIMUM AT ANY POINT OF 0.1 FOOTCANDLE MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. REFER TO IBC SECTION 1008.3.5 AND ALL OTHER APPLICABLE CODES AS REQUIRED.

3.3.4. THE PHOTOMETRIC CALCULATIONS SHALL BE INCLUDED IN THE LIGHT FIXTURE PACKAGE SUBMITTAL.

3.4. LIGHT FIXTURES:

3.4.1. CONTRACTOR SHALL PROVIDE COORDINATION WITH LIGHTING VENDOR TO COMPLY A LIGHTING PACKAGE SUBMITTAL THAT INCLUDES ALL REQUIRED LIGHT FIXTURE COMPONENTS SHOWN AND ADDITIONAL COMPONENTS THAT MAY NOT BE INDICATED BUT ARE REQUIRED FOR THE INSTALLATION BASED UPON THE LIGHT FIXTURE LAYOUT SPECIFIED HEREIN, OR AN ALTERNATE FIXTURE PACKAGE. NOTE THAT ALTERNATE LIGHT FIXTURE PACKAGES MAY NOT BE ACCEPTABLE IF "OR EQUAL" IS NOT INCLUDED IN THE LIGHT FIXTURE SCHEDULE.

3.4.2. FINISHES OF LIGHT FIXTURES ARE TO BE APPROVED BY THE OWNER / ARCHITECT PRIOR TO ORDER.

3.4.3. MOUNTING HEIGHTS OF SUSPENDED LIGHT FIXTURES SHALL BE AS INDICATED ON THE LAYOUT, LIGHT FIXTURE SCHEDULE, OR ARCHITECTURAL REFLECTED CEILING PLAN.

3.5. EMERGENCY LIGHTING:

3.5.1. PROVIDE AND INSTALL SUFFICIENT LIFE SAFETY EMERGENCY BACKUP LIGHTING FIXTURES AND EXIT SIGNS, INCLUDING FLOOR PROXIMITY EXIT SIGNS (WHERE REQUIRED) TO MEET ALL APPLICABLE CODE REQUIREMENTS FOR EGRESS, AND STATE AND LOCAL REGULATIONS. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ADDITIONAL EXIT SIGNS IF NOT INDICATED ON THE LAYOUT DRAWINGS AS REQUIRED BY CODE, OR BY THE AUTHORITY HAVING JURISDICTION.

3.5.2. ALL NORMAL LIGHT FIXTURES INDICATED WITH AN 'EM' IN THE FIXTURE TYPE DESIGNATION SHALL OVERRIDE ANY LOCAL LIGHTING CONTROL ILLUMINATE IN THE EVENT OF AN OUTAGE. WHERE BATTERY BACKUP IS INTEGRAL TO THE LIGHT FIXTURE THERE SHOULD BE NO ADDITIONAL EQUIPMENT REQUIRED. WHERE BACKUP POWER IS SUPPLIED BY A STANDBY GENERATOR OR OTHER BACKUP POWER SOURCE A LOCAL 'ELCU' (EMERGENCY LIGHTING CONTROL UNIT) SHALL BE PROVIDED IN EACH ROOM/AREA TO CONNECT THE LOCAL EMERGENCY LIGHTING CIRCUIT THROUGH TO THE DESIGNATED FIXTURES.

3.5.3. ALL EXIT SIGNS AND EMERGENCY LIGHTS (TYPE 'EM' FIXTURES (UNIT EQUIPMENT) NOT INTEGRAL TO THE NORMAL LIGHT FIXTURES IN THE AREA) SHALL BE INSTALLED PER THE REQUIREMENTS OF ARTICLE 700.12(f) OF THE NEC, BE SUPPLIED BY THE BRANCH CIRCUIT SERVING THE GENERAL LIGHTING IN THE AREA, AND BE CONNECTED AHEAD OF (TO THE LINE SIDE) OF ANY LOCAL SWITCHES PER ARTICLE 700.12(f)(2)(3) OF THE NEC. ALL EXIT SIGNS SHALL BE CONNECTED TO THE LOCAL NORMAL POWER OR EMERGENCY POWER WIRING FOR CONTINUOUS ILLUMINATION.

3.5.4. EXIT SIGNS SHALL BE INTERNALLY ILLUMINATED, BE CONTINUOUSLY ILLUMINATED, AND CONTAIN AN INTERNAL OR REMOTE BATTERY BACKUP THAT COMPLIES WITH NFPA 101 REQUIREMENTS AND ADDITIONAL CODES AND STANDARDS.

3.5.5. EXIT SIGNS SHALL BE MOUNTED SO THAT THE BOTTOM EDGE OF THE EXIT SIGN DOES NOT EXCEED 6"-8" ABOVE ANY EGRESS OPENING IN ACCORDANCE WITH NFPA 101. EXIT SIGN MOUNTING HEIGHT SHALL BE CONSISTENT THROUGHOUT THE PROJECT UNLESS DOOR HEIGHT OR OTHER SITE CONDITIONS DO NOT ALLOW. EXIT SIGNS, WHERE INSTALLED OVER AN EGRESS OPENING, SHALL BE CENTERED OVER THE OPENING UNLESS SITE CONDITIONS DO NOT ALLOW.

3.5.6. FLOOR PROXIMITY EXIT SIGNS, WHERE REQUIRED (VERIFY WITH LOCAL AHJ), SHALL BE MOUNTED SO THAT THE BOTTOM EDGE OF THE EXIT SIGN IS BETWEEN 6" AND 18" ABOVE FINISHED FLOOR IN ACCORDANCE WITH NFPA 101. ALL PROXIMITY EXIT SIGNS ON THE PROJECT SHALL BE INSTALLED AT THE SAME HEIGHT. THE EDGE OF THE EXIT SIGN SHALL BE WITHIN 4" OF THE DOORFRAME.

3.5.7. EMERGENCY LIGHTS (TYPE 'EM' FIXTURES (UNIT EQUIPMENT) NOT INTEGRAL TO THE NORMAL LIGHT FIXTURES IN THE AREA) SHALL CONTAIN AN INTERNAL OR REMOTE BATTERY BACKUP THAT COMPLIES WITH NFPA 101 REQUIREMENTS AND ADDITIONAL CODES AND STANDARDS.

3.5.8. EMERGENCY LIGHTS (TYPE 'EM' FIXTURES (UNIT EQUIPMENT) NOT INTEGRAL TO THE NORMAL LIGHT FIXTURES IN THE AREA) SHALL BE INSTALLED AT 7"-6" ABOVE FINISHED FLOOR UNLESS MANUFACTURER OR AHJ REQUIREMENTS REQUIRE OTHERWISE.

3.6. LIGHTING CONTROLS:

3.6.1. REFER TO KEYED NOTES WHERE INDICATED/PROVIDED ON THE PLANS.

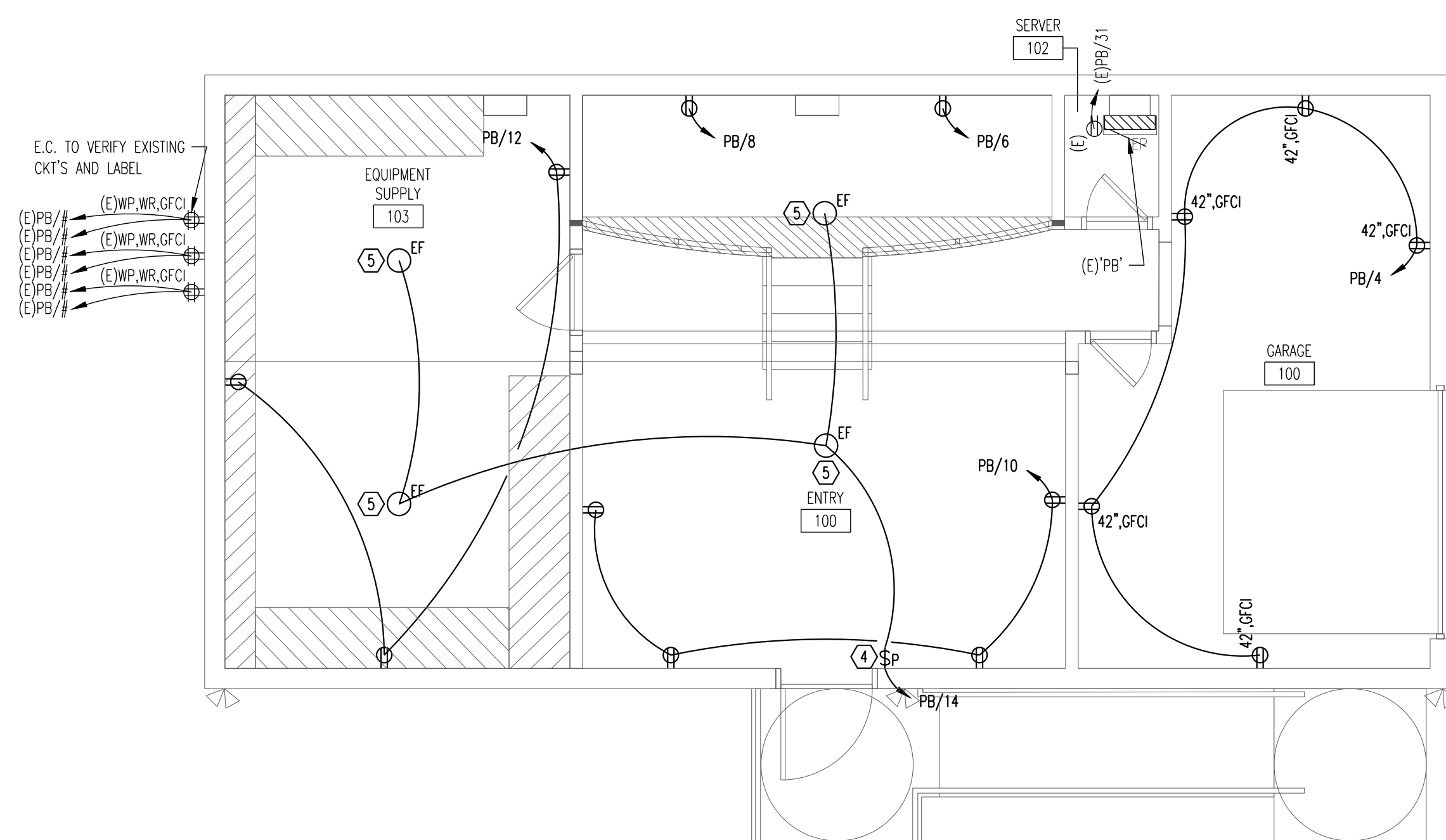
-

AMP / AMPERE		UTILITY POLE
ALTERNATING CURRENT		TRANSFORMER - PAD/VAULT MOUNT
ACCESS CONTROL PANEL		TRANSFORMER - POLE MOUNT
ARC ENERGY REDUCTION		TRANSFORMER - DRY-TYPE
AVAILABLE FAULT CURRENT		METER
ARC FAULT CIRCUIT INTERRUPTER		SUB-METER
ABOVE FINISHED FLOOR		SURGE PROTECTIVE DEVICE
AMPERE-HOUR		PANELBOARD
AMPERE INTERRUPTING CURRENT		DISCONNECT
ALUMINUM		SEE EQUIPMENT SCHEDULE FOR RATING
APPROXIMATE		ENCLOSED CIRCUIT BREAKER
AUTOMATIC TRANSFER SWITCH		SEE EQUIPMENT SCHEDULE FOR RATING
BATTERY		VARIABLE FREQUENCY DRIVE
BUILDING		SEE EQUIPMENT SCHEDULE FOR RATING
BASIS OF DESIGN		MOTOR STARTER
CONDUIT / CONDUCTOR		SEE EQUIPMENT SCHEDULE FOR RATING
CABINET		JUNCTION BOX
CIRCUIT BREAKER		MOTOR
CANDELA		RECEPTACLE:
CEILING		AC - ABOVE CEILING
CHARGER		CM - ARC FAULT CIRCUIT INTERRUPTER
CIRCUIT		CM - CEILING MOUNT
CEILING MOUNT		CTM - COUNTERPOINT MOUNT (INSTALLED IN COUNTER)
CONCRETE		LOCATED
CONDUCTOR		DM - ON EMERGENCY POWER
CONFIGURATION		GFI - GROUND FAULT CIRCUIT INTERRUPTER
CONNECTION		HG - HOSPITAL GRADE
COORDINATE		IG - ISOLATED GROUND
C.S.		SI - SHUNT TRIP
CT		SW - SPLIT-WIRE OR SWITCHED
CURRENT TRANSFORMER		TR - TAMPER-RESISTANT
COUNTERPOINT MOUNTED		UC - UNDER COUNTER
CONTROL / CONTROLLER		USB - RECEPTACLE/USB COMBINATION
COPPER		WP - WEATHER-PROOF
DEDICATED		WR - WEATHER-RESISTANT
DEMO		H - HEIGHT TO CENTER AFF
DIRECT CURRENT		HBD - HEIGHT TO CENTER BDD
DIMENSION		TELEVISION OUTLET/CANCELED BACKBOX:
DISCONNECT		DEVICES AS NOTED ON LAYOUT
DOOR		COAXIAL OUTLET:
DRAWING		SINGLE OUTLET U.N.O.
E / EX		COAXIAL OUTLET:
EXISTING		SINGLE OUTLET U.N.O.
ELECTRICAL CONTRACTOR		USB OUTLET:
ENCLOSED CIRCUIT BREAKER		4-PORT, TYPE-A U.N.O.
EMERGENCY		AUDIO / VIDEO CONNECTIONS:
ELECTRICAL METALLIC TUBING		DEVICES AS NOTED ON LAYOUT
ENCLOSURE		MAXIMUM OUTLET STRIP
END OF LINE DEVICE		CORD DROP:
EQUIPMENT		FLEXIBLE CABLE WITH STRAIN RELIEF GRIP TO PORTABLE
ENERGY-REDUCTION MAINTENANCE SWITCH		OUTLET BOX. PROVIDE WITH DEVICES AS INDICATED ON LAYOUT
FUTURE		CORD REEL:
FIRE ALARM ANNUNCIATOR		REFER TO LAYOUT FOR SPECIFICATION
FIRE ALARM CONTRACTOR		POWER/DATA POLE:
FIRE ALARM CONTROL PANEL		STEEL WITH UNDER U.N.O.
FIRE PUMP		CARD READER:
FIRE PROTECTION CONTRACTOR		PROVIDE POWER TO LOCATION ONLY U.N.O.
GENERAL CONTRACTOR		ELECTRIC STRIKE:
GROUNDING ELECTRODE CONDUCTOR		REFER TO PLANS FOR POWER REQUIREMENTS
GROUND-FAULT CIRCUIT INTERRUPTER		DOOR POSITION SWITCH:
GROUND-FAULT EQUIPMENT PROTECTION		REFER TO PLANS FOR POWER REQUIREMENTS
GROUND-FAULT PROTECTION		INFRARED DOOR PRESENCE SENSOR:
GROUND		REFER TO PLANS FOR POWER REQUIREMENTS
GALVANIZED RIGID STEEL CONDUIT		KEYPAD:
HIGH VOLTAGE		PROVIDE POWER TO LOCATION ONLY U.N.O.
INITIATING DEVICE CIRCUIT		PUSH TO EXIT:
JOCKEY PUMP		POWER WIRING BY E.C. LOW VOLTAGE BY OTHERS
THOUSAND CIRCULAR MILS		DOOR HOLD:
KILOVOLT AMPERES		POWER WIRING BY E.C. LOW VOLTAGE BY OTHERS
KILOWATT		DOORBELL:
LIQUID-TIGHT FLEXIBLE METAL CONDUIT		120V. PROVIDE WIRING TO PUSH BUTTON
LIGHT		PUSH BUTTON:
LUMEN		AS SPECIFIED
LOCATION		TELECOMMUNICATIONS OUTLET:
LIGHTS		2-PORT U.N.O.
LOCKED ROTOR AMPS		W - WALL MOUNTED TELEPHONE
LOW VOLTAGE		W - QUANTITY OF OUTLETS
MAINTENANCE		TELEPHONE
MAXIMUM		DATA
MAIN BONDING JUMPER		WIRELESS ACCESS POINT:
METAL-CLAD CABLE		POE U.N.O.
MECHANICAL CONTRACTOR		FLOORBOYS:
MOTOR CONTROL CENTER		POWER, DATA, AND OTHER SERVICES AS INDICATED ON LAYOUT
MINIMUM CIRCUIT AMPACITY		W - TYPE-A U.N.O.
MAIN CIRCUIT BREAKER		# - QUANTITY OF OUTLETS
MOTORIZED DAMPER		FURNITURE IN-FEED:
MAIN DISTRIBUTION PANEL		TO MODULAR FURNITURE, POWER, DATA, AND OTHER SERVICES
MINIMUM		AS INDICATED ON LAYOUT
MAIN LUG ONLY		Ceiling Drop
MAXIMUM OVERCURRENT PROTECTION		POKE-THRU:
MOTOR STARTER		POWER, DATA, AND OTHER SERVICES AS INDICATED ON LAYOUT
METER		SPEAKER
MEDIUM VOLTAGE		WALL MOUNTED U.N.O.
NEW		CM - CEILING MOUNTED/RECESSED
NOTIFICATION APPLIANCE CIRCUIT		SECURITY CAMERA
NORMALLY CLOSED		WALL MOUNTED U.N.O., POE U.N.O.
NATIONAL ELECTRICAL CODE		CM - CEILING MOUNTED/RECESSED
NEUTRAL		SWITCH:
NON-FUSED		3 - THREE-WAY
NATIONAL FIRE PROTECTION ASSOCIATION		4 - FOUR-WAY
NOT IN CONTRACT		D - DIMMER
NORMALLY OPEN		EW - ON EMERGENCY POWER
NON-SHIELDED TWISTED PAIR		K - KEYS
NOT TO EXCEED		M - MOTOR-RATED
OVERHEAD		OC - OCCUPANCY SENSOR
PHASE		JS - JAMB SWITCH
PLUMBING CONTRACTOR		

	UTILITY POLE	TRANSFORMER - PAD/Vault MOUNT
T		TRANSFORMER - POLE MOUNT
		TRANSFORMER - DRY-TYPE
		METER
		SUB-METER
		SURGE PROTECTIVE DEVICE
		PANELBOARD
	SURFACE	
	RECESSED	
	NON-FUSED	DISCONNECT
	FUSED	SEE EQUIPMENT SCHEDULE FOR RATING
		ENCLOSED CIRCUIT BREAKER
		SEE EQUIPMENT SCHEDULE FOR RATING
		VARIABLE FREQUENCY DRIVE
		SEE EQUIPMENT SCHEDULE FOR RATING
	PUSH TYPE	MOTOR STARTER
	TOGGLE TYPE	SEE EQUIPMENT SCHEDULE FOR RATING
		JUNCTION BOX
		MOTOR
		RECEPTACLE:
	AC	- ABOVE CEILING
	ACI	- ARC FAULT CIRCUIT INTERRUPTER
	CM	- CEILING MOUNT
	CTM	- COUNTERTOP MOUNT (INSTALLED IN COUNTER)
	DC	- DEDICATED
	EM	- ON EMERGENCY POWER
	GFI	- GROUND FAULT CIRCUIT INTERRUPTER
	H	- HOSPITAL GRADE
	ISG	- ISOLATED GROUND
	ST	- SHUNT TRIP
	EM	- ON EMERGENCY POWER
	SM	- SPLIT-WIRED OR SWITCHED
	TMRP	- TRIPPER-RESISTANT
	UC	- UNDER COUNTER
	USB	- RECEPTACLE/USB COMBINATION
	WFRP	- WEATHER-PROOF
	WR	- WEATHER-RESISTANT
	H	- HEIGHT TO CENTER AFF
	TBD	- HEIGHT TO CENTER TBD
		TELEVISION OUTLET/CANGED BACKBOX:
		DEVICES AS NOTED ON LAYOUT
		COAXIAL OUTLET:
		SINGLE OUTLET U.N.O.
		HDMI OUTLET:
		SINGLE OUTLET U.N.O.
		USB OUTLET:
		2-PORT, TYPE-A U.N.O.
		AUDIO / VIDEO CONNECTIONS:
		DEVICES AS NOTED ON LAYOUT
		MULTIOUTLET STRIP
		CORD DROP:
		FLEXIBLE CABLE WITH STRAIN RELIEF GRP TO PORTABLE
		OUTLET BOX. PROVIDE WITH DEVICES AS INDICATED ON LAYOUT
		CORD REEL:
		REFER TO LAYOUT FOR SPECIFICATION
		POWER/DATA POLE:
		STEEL WITH DIMMER U.N.O.
		CARD READER:
		PROVIDE POWER TO LOCATION ONLY U.N.O.
		ELECTRIC STRIKE:
		REFER TO PLANS FOR POWER REQUIREMENTS
		DOOR POSITION SWITCH:
		REFER TO PLANS FOR POWER REQUIREMENTS
		INFRARED DOOR PRESENCE SENSOR:
		REFER TO PLANS FOR POWER REQUIREMENTS
		KEYPAD:
		PROVIDE POWER TO LOCATION ONLY U.N.O.
		PUSH TO EXIT:
		POWER WIRING BY E.C. LOW VOLTAGE BY OTHERS
		DOOR HOLD:
		POWER WIRING BY E.C. LOW VOLTAGE BY OTHERS
		DOORBELL:
		120V. PROVIDE WIRING TO PUSH BUTTON
		PUSH BUTTON:
		AS SPECIFIED
		TELE/DATA
		TELEPHONE
		DATA
		WIRELESS ACCESS POINT:
		POE U.N.O.
		FLOORBOX:
		POWER, DATA, AND OTHER SERVICES AS INDICATED ON LAYOUT
		USB - TYPE-A U.N.O.
		# - QUANTITY OF OUTLETS
		FURNITURE IN-FEED:
		TO MODULAR FURNITURE. POWER, DATA, AND OTHER SERVICES AS INDICATED ON LAYOUT
		POKE-THRU:
		POWER, DATA, AND OTHER SERVICES AS INDICATED ON LAYOUT
		SPEAKER
		WALL MOUNTED U.N.O.
		CM - CEILING MOUNTED/RECESSED
		SECURITY CAMERA
		WALL MOUNTED U.N.O., POE U.N.O.
		CM - CEILING MOUNTED/RECESSED
		SWITCH:
		3 - THREE-WAY
		4 - FOUR-WAY
		D - DIMMER
		EM - ON EMERGENCY POWER
		K - KEYS
		M - MOTOR-RATED
		OC - OCCUPANCY SENSOR
		OS - JAMM SWITCH
		P - PILOT LIGHT
		SC - SPEED CONTROL
		T - TIMER
		Z# - CONTROL ZONE
		WMSD - WALL STATION
		3 = THREE-WAY
		# = CONTROL ZONES
		D = DIMMING
		OCCUPANCY SENSOR - CEILING/WALL:
		360° COVERAGE U.N.O. BY INDICATING ARROWS
		Z# = CONTROL ZONE
		DAYLIGHT SENSOR
		POWER-PACK
		LOAD / DIMMING CONTROLLER
		DRIVER - LED TAPE LIGHT U.N.O.
		EMERGENCY LIGHTING CONTROL UNIT
		EMERGENCY OFF SWITCH

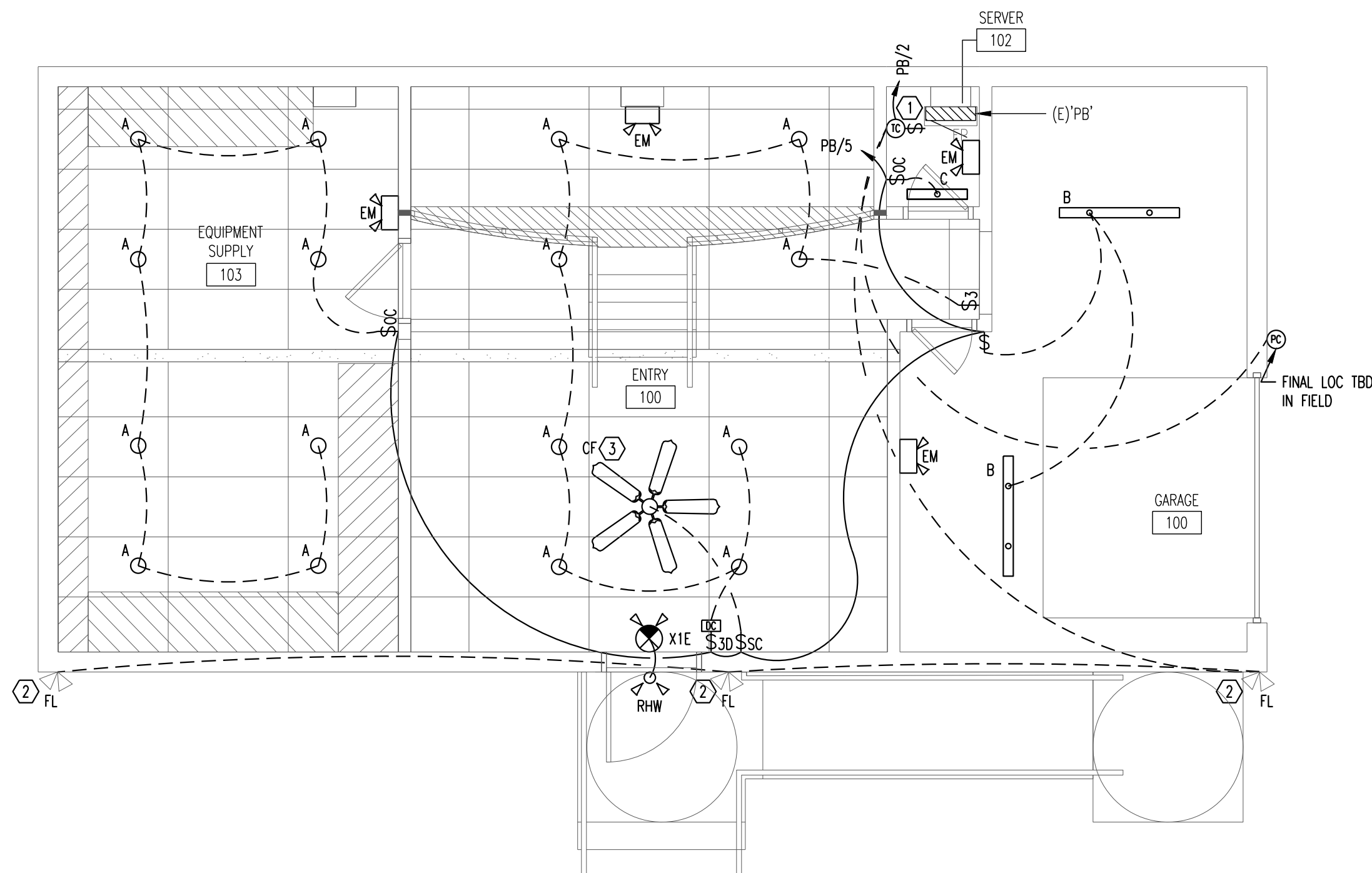
1 OF 2

08/04/26



POWER PLAN

SCALE: 1/4" = 1'-0"



LIGHTING PLAN

SCALE: 1/4" = 1'-0"

NOTE:

1. ALL EXISTING CONDITIONS MAY NOT BE SHOWN ON PLANS
2. ALL WORK IS NEW U.N.O.

LIGHT FIXTURE SCHEDULE:

- | | | |
|-----|---|---|
| A | 6" DOWNLIGHT:
MANUFACTURER:
MODEL:
ELECTRICAL:
DETAIL:
MOUNTING: | HALO
#HC6-25-D010-HM6-0525-840-61-MD-H
120-277V, 27.5W, LED, 4000K CCT, 2,500 LUMENS
RECESSED IN ACT CEILING |
| B | 4" STRIP LIGHT:
MANUFACTURER:
MODEL:
ELECTRICAL:
CCT SETTING:
LUMEN SETTING:
DETAIL:
MOUNTING: | METALUX
#4-SNX-SL3-LW-UNV-C083-CD-1
LUMEN AND CCT SELECTABLE
120-277V, 51.1W MAX, LED, 35/40/50K CCT,
1,947-6,147 LUMENS
4000K
MEDIUM, 4,058 LUMENS, 32.3W
-
SUSPENDED @ 8'-0" AFF MINIMUM OR AS FIELD CONDITIONS ALLOW |
| C | 2" STRIP LIGHT:
MANUFACTURER:
MODEL:
ELECTRICAL:
CCT SETTING:
LUMEN SETTING:
DETAIL:
MOUNTING: | METALUX
#2-SNX-SL3-LW-UNV-C083-CD-1
LUMEN AND CCT SELECTABLE
120-277V, 20.2W MAX, LED, 35/40/50K CCT,
907-2,943 LUMENS
4000K
MEDIUM, 1,942 LUMENS, 13.3W
-
INSTALL WALL MOUNTED ABOVE DOORWAY AS INDICATED ON PLAN |
| FL | FLOOD LIGHT:
MANUFACTURER:
MODEL:
ELECTRICAL:
CCT SETTING:
LUMEN SETTING:
DETAIL:
MOUNTING: | LUMARK
#NHR-S50-U-T
ADD #NHR50-TS2 VISOR KIT
LUMEN AND CCT SELECTABLE
120-277V, 145.10W MAX, LED, 30/40/50K CCT,
19,074-21,718 LUMENS
4000K
25%, ~5,430 LUMENS, ~36W
-
FINAL MOUNTING LOCATION AND AIM TO BE COORDINATED IN FIELD WITH OWNER |
| X1E | EXIT SIGN & EMERGENCY LIGHT COMBINATION, SINGLE FACE:
MANUFACTURER:
MODEL:
ELECTRICAL:
DETAIL:
MOUNTING: | SURE-LITES
#APC-H-7-RG
120-277V, 2.81-3.79W, LED
REMOTE CAPABLE, WHITE HOUSING, RED/GREEN SELECTABLE LED
WALL/CEILING/PENDANT AS FIELD CONDITIONS ALLOW
*DIRECTIONAL ARROWS AS INDICATED ON LAYOUT, WHERE APPLICABLE |
| RHW | REMOTE LIGHT, DUAL HEAD, OUTDOOR RATED:
MANUFACTURER:
MODEL:
ELECTRICAL:
DETAIL:
MOUNTING: | SURE-LITES
#APWR-2
3.6V, 0.78W, LED
WHITE HOUSING
WALL/SURFACE AS FIELD CONDITIONS ALLOW |
| EM | EMERGENCY LIGHT:
MANUFACTURER:
MODEL:
ELECTRICAL:
DETAIL:
MOUNTING: | SURE-LITES
#SEL-35-SF
120-277V, LED, 180 LUMENS
WHITE HOUSING
WALL/SURFACE @ 7'-6" AFF AS FIELD CONDITIONS ALLOW |

LIGHTING INSTALLATION AND CONTROL NOTES:

1. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LOW VOLTAGE WIRING FOR 0-10V CONTROL.
2. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CATSE OR CATGE (REFER TO MANUFACTURER SPECIFICATIONS FOR RECOMMENDATION) CABLING BETWEEN LOCAL NETWORK COMPONENTS/CONTROL DEVICES.
3. LIGHT FIXTURES INSTALLED IN SUSPENDED CEILINGS SHALL BE SUPPORTED FROM THE STRUCTURE ABOVE THE SUSPENDED CEILING USING A WIRE FROM EACH CORNER OF THE LIGHT FIXTURE.
4. ALL EXIT SIGNS SHALL INCLUDE INTERNAL BATTERY BACKUP. DIRECTIONAL ARROWS SHALL BE PROVIDED AS INDICATED ON LAYOUT. ALL EXIT SIGNAGE SHALL BE PLACED IN COORDINATION WITH THE ARCHITECT DESIGNATE PATH OF EGRESS.
5. ALL LIGHTING CONTROLS SHALL BE COMPATIBLE WITH THE SPECIFIED (OR APPROVED EQUAL) LIGHT FIXTURES.
6. ALL LIGHTING CONTROLS SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
7. ALL TOGGLE TYPE WALL SWITCHES SHALL BE 20A, COMMERCIAL GRADE, 120-277V, LEVITON SINGLE-POLE #54521-2, 3-WAY #54523-2, 4-WAY #54524-2 (OR EQUAL) BASED ON LIGHT FIXTURE COMPATIBILITY.
8. OCCUPANCY SENSING CONTROLS:
 - 8.1. ALL WALL SWITCH OCCUPANCY SENSORS SHALL BE DUAL TECHNOLOGY WITH PASSIVE INFRARED AND ULTRASONIC SENSING, LEGRAND-WATTSTOPPER #DW-100 SERIES (OR EQUAL) BASED ON LIGHT FIXTURE COMPATIBILITY.
 - 8.2. ALL WALL SWITCH DIMMING SWITCHES WITH OCCUPANCY SENSING SHALL BE DUAL TECHNOLOGY WITH PASSIVE INFRARED AND ULTRASONIC SENSING, LEGRAND-WATTSTOPPER #DW-311 SERIES (OR EQUAL) BASED ON LIGHT FIXTURE COMPATIBILITY.
 - 8.3. ALL CEILING MOUNTED OCCUPANCY SENSORS SHALL BE DUAL TECHNOLOGY WITH PASSIVE INFRARED AND ULTRASONIC SENSING, LEGRAND-WATTSTOPPER #DT-300 SERIES (OR EQUAL) BASED ON LIGHT FIXTURE COMPATIBILITY. PROVIDE POWER PACKS FOR SENSORS. PROVIDE SENSOR MASKING AS REQUIRED TO MINIMIZE DETECTION CROSSOVER PER LAYOUT OR AS REQUIRED/REQUESTED BY OWNER/ARCHITECT.
9. NOTE THAT THE CONTROLS SPECIFIED HEREIN ARE TYPICAL, AND THE ACTUAL PROJECT LAYOUT MAY CONTAIN VARIOUS CONFIGURATIONS THAT REQUIRE DIFFERENT CONTROLS/DEVICES FOR THE APPLICATION. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE LIGHTING CONTROLS MANUFACTURER FOR ENSURING THAT ALL LIGHTING CONTROL CONFIGURATIONS WILL OPERATE TOGETHER AS THE DESIGN INTENDS, AND SHALL PROVIDE ALL REQUIRED SYSTEM COMPONENTS (SHOWN OR NOT SHOWN) FOR A COMPLETE AND FUNCTIONING SYSTEM.

 KEYED NOTES:

1. EXTERIOR LIGHTING CONTROL:
 - 1.1. PROVIDE TIMECLOCK CONTROL WITH PHOTOCELL AND MANUAL SWITCH OVERRIDE.
 - 1.2. TIMECLOCK SHALL BE INTERMATIC #ET1105C, 1-CIRCUIT TIMECLOCK OR EQUAL, AND BE SET IN COORDINATION WITH OWNER FOR STANDARD HOURS OF BUILDING OCCUPANCY / OPERATION.
 - 1.3. PHOTOCELL SHALL BE INTERMATIC #EK4236S OR EQUAL, AND OVERRIDE TIMECLOCK FOR DUSK TO DAWN OPERATION. PROVIDE INSTALLATION ON SIDE OF BUILDING JUST BELOW ROOF LINE FOR PROPER ACTIVATION UNDER DUSK LIGHTING CONDITIONS. COORDINATE FINAL LOCATION OF PHOTOCELL IN FIELD.
2. NEW FLOOD LIGHT TO BE INSTALLED AT EAVE OF BUILDING. COORD FINAL LOCATION IN FIELD.
3. PROVIDE LOCAL CONTROL AND PROVISIONS FOR CEILING FAN CONNECTION. CEILING FAN PROVIDED BY OWNER.
4. PROVIDE LOCAL MANUAL ON/OFF CONTROL W/PILOT LIGHT FOR PLENUM EXHAUST FANS FOR OPERATION WHILE BUILDING IS BEING USED.
5. PROVIDE CONNECTION TO EXHAUST FAN LOCATED IN PLENUM SPACE ABOVE CEILING. EXHAUST FAN PROVIDED BY OWNER.

PB

LOCATION:

PRESS BOX SERVICE ROOM

PPB@ AT SERVICE BUILDING

SOURCE:

GROUND-FAULT PROTECTION
ARC ENERGY REDUCTION
SURGE-PROTECTIVE DEVICE

NEUTRAL BUS (100% RATED)
GROUND BUS
ISOLATED GROUND BUS
SUB-FEED LUG
THROUGH-FEED LUG
THROUGH-FEED BREAKER

X

X

</

'PB' SCHEDULE

SCALE: NO SCALE

ISSUED FOR REVIEW AND COMMENT

08/04/26

MARTIN S. JORDAN

PROFESSIONAL ENGINEER
LICENSE NO. PE045471E

INDUSTRIAL VALLEY DESIGN
CONSULTING ENGINEERS
MECHANICAL, ELECTRICAL, PLUMBING
PRESS, POTTSTOWN PA 19464
X: 484-941-5077
326

IVD

ELECTRICAL PLAN
EPV PRESS BOX RENOVATION
900 GERMANTOWN PIKE
PLYMOUTH MEETING, PA 19462

REVISIONS:

PROJECT NO.	DATE:
J07826	07/07/20

SCALE:	DRAWN BY:
AS NOTED	SC

CHECKED BY:	DESIGNED BY:
-------------	--------------

DRAWING NO.

E-2

2 OF 2