

LAND DEVELOPMENT SUBMISSION

MONTGOMERY COUNTY- NORRISTOWN PUBLIC LIBRARY

1001 POWELL STREET, NORRISTOWN PA 19401

DATE: 04.14.2025

REVISED: 04.03.2026

prepared for

MONTGOMERY COUNTY

prepared by



607 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090

Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE CALL SYSTEM, INC. (1-800-242-1776) AND REQUESTED INFORMATION REGARDING THE LOCATION OF UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.

SERIAL NUMBER(S): 20242410560

UTILITY COMPANY:

	PHONE NUMBER
NORRISTOWN MUNICIPALITY OFFICE	610-324-6604
COMCAST	484-368-4391
NORRISTOWN MUNICIPAL WASTE AUTHORITY	610-270-3190
PECO AN EXELON COMPANY CIO USIC	484-681-5720
PENNSYLVANIA AMERICAN WATER	610-292-3575
VERIZON BUSINESS FORMERLY MCI	919-414-2782

Surveyor Certification

To: Montgomery County- Norristown Public Library

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(a),(b), 7(a),7(b)(1)(2),7(c), 8, 9, 10, 11(a),11(b), 13, 14, 16, 17, 18 and 19 of Table A thereof.

I made a field survey per the record description of the land shown herein; the fieldwork was completed on October 4, 2024 and the survey and plan were made in accordance with the requirements for an ALTA/NSPS Land Title Survey, as defined in the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys. I hereby certify that the survey on the above mentioned ground is true and accurate and is within the maximum allowable relative position precision for an ALTA/NSPS Land Title Survey.

Date: April 4, 2025

Company: Control Pollint

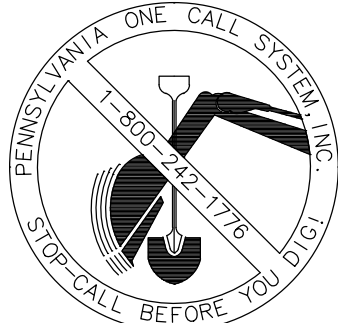
Signature: James C. Weed

Recorder of Deeds Certificate

Recorded in the office for recording of deeds, in and for Montgomery County, Pennsylvania,

This ____ day of _____, 20____.

Instrument Number _____.



Serial Number: 20242410560

Act 287

ALL PARTIES UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF THE PENNSYLVANIA ACT 287 AS AMENDED BY PENNSYLVANIA ACT 199, OF 2004 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". ALL EXISTING UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE ONLY AND ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE SITE WORK, IN ACCORDANCE WITH ACT 287.

ENGINEER'S CERTIFICATION:

THIS PLAN WAS PREPARED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER. ALL DATA CONCERNING EXISTING LAND, BUILDINGS, STREETS AND OTHER LOCATIONS ARE CORRECT AND THAT TO THE BEST OF MY KNOWLEDGE, THE PLAN COMPLIES WITH ALL ORDINANCES AND REGULATIONS OF THE TOWNSHIP.

(SIGNED) (TITLE)

Stormwater Management Site Plan Acknowledgement

I hereby acknowledge that any revisions to the approved stormwater management plan must be approved by the municipality and that a revised erosion and sediment control plan must be submitted to the conservation district.

Applicant Signature

Owner's Certification and Dedicatory Statement

It is hereby certified that the undersigned has legal or equitable title to the land shown and that the plan as presented herein is their act and deed. All roads and streets shown heron, if not previous dedicated, are hereby offered for public use.

I acknowledge that any revision to the approved SWM Site Plan must be approved by the municipality and that a revised E&S plan must be submitted to the Conservation District.

For: Montgomery County

State of _____

County of _____

On this the ____ day of ____ 20____, before me,

The undersigned officer, personally appeared _____,

known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledges that he/she executed the same for the purposes therein contained.

In witness thereof, I hereunto set my hand and official seal.

(NOTARY SEAL)

Design Engineer

I, _____, on this this ____ day of _____, 20____, hereby certify that the SWM Site Plan meets all design standards and criteria of The Norristown Municipality Stormwater Management Ordinance or Plan.

Signature: _____

Municipal Engineer Certification:

I, _____, The Municipal Engineer of Norristown certify that the plan has been approved and the design of all improvements is correct.

Municipal Engineer (Seal & Signature)

(Date)

Norristown Municipality Council

Approved by the Norristown Municipality Council, Montgomery County, PA

Approved this ____ day of _____, 20____.

Chairman

Municipal Administrator

Municipal Planning Commission

Reviewed this ____ day of _____, 20____ by the Municipal Planning Commission

Planning Chairman

Montgomery County Planning Commission

Reviewed this ____ day of _____, 20____ by the Montgomery County Planning Commission

Director of Planning

Variances Granted on June 24, 2025:

Section 320-42 - Section 320-42.C.(4) - Section 320-42.C.(6) - Section 320-42.C.(7) - Section 320-42.C.(8) - Section 320-47.A.(1) - Section 320-260.A.(2) -	Dimensional Criteria, permitting parking spaces and trash receptacle area to be located in the side yard setback Dimensional Criteria, permitting the decrease of the side yard setback to twelve (12) feet; Dimensional Criteria, permitting the building height to be in excess of the permitted thirty-five (35) feet; Dimensional Criteria, permitting the increase of impervious coverage by 269 square feet; Dimensional Criteria, permitting an increase in building coverage; Fences and Walls, permitting a six (6) foot high fence; Refuse Collection Facilities, permitting a six (6) foot high fence.
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Waivers received on October 14, 2025

Section 282-305 & 282-307 -

Section 282-304.6.C.1 thru 7 -

Section 282-433.1.C.5 -

Section 282-433.2.B -

Section 282-433.2.C -

Section 282-433.2.F.1 -

Section 282-433.5.A -

Section 282-433.5.B.8 -

Section 282-433.5.A&B -

Section 282-433.2.E. & J.
Section 282-433.3.B.5. & Code 282-433.7.A -

For relief to permit the application to proceed concurrently for preliminary and final land development approval or submission of separate preliminary and final land development plans.
PRELIMINARY PLAN SUBMISSION REQUIREMENTS: For relief to not provide the required sanitary information within 100 feet of the tract boundaries
TREE REPLACEMENT PLANTING REQUIREMENTS: For relief to allow quantity reduction of the required tree replacement planting due to limited on-site space.
STREET TREES: For relief to allow street trees to be located outside of the ultimate right-of-way and building setback lone to account for trees along curbs and to waive the requirement to provide street trees in an existing alley and to allow columnar canopy trees due to existing site conditions.
\ BUFFER AREA LOCATIONS AND DIMENSIONS: For relief to permit the use of a limited buffer per Section 282-433.2.D.(2) as opposed to a 10-foot buffer along property lines and external street boundaries.
DUMPSTER AREA BUFFER: For relief to not provide the required landscape buffering around the dumpster area.
PARKING LOT LANDSCAPING: For relief to not provide the required parking lot landscaping due to existing site limitations.
PARKING LOT LANDSCAPING- PERIMETER LANDSCAPING: For relief to not provide the required perimeter landscaping due to existing site limitations and an existing wall that partially meets the perimeter landscaping requirement.
ADDITIONAL PLANTINGS- FACADE PLANTING: For relief to reduce the required facade and landscaping and to allow columnar canopy trees due to existing site limitation.
Waiver requested for relieve to permit plant species to be used that are not on the Norristown Approved Plant List but that are native and adapted to the project site and meet the specific requirements of the project.

Existing Non-Conformities to be Maintained:

Section 320-41.C.(8) - Section 320-42.C.(3) - Section 320-42.C.(5) -	USE REGULATIONS: A library use is only permitted within the R-2 Zoning District by a special exception. DIMENSIONAL CRITERIA: The minimum front yard setback from the curbline for a library use shall be 25 feet. DIMENSIONAL CRITERIA: The minimum rear yard setback for a library use shall be 25 feet.
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NOTE: THE APPROVED IMPROVEMENT CONSTRUCTION PLAN, A COPY OF WHICH MAY BE INSPECTED AT THE MUNICIPAL OFFICE, HAS BEEN MADE A PART OF THE APPROVED FINAL PLAN

PLAN INDEX

ENGINEERING PLANS:					
DRAWING NO.	SHEET NO.	NAME	DATE	REV DATE	
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2436 02 03	3 OF 10	LAND DEVELOPMENT PLAN	04-14-2025	04-03-2026	
2436 02 04	4 OF 10	GRADING & UTILITY PLAN	04-14-2025	04-03-2026	
2436 02 05	5 OF 10	EROSION AND SEDIMENT CONTROL PLAN	04-14-2025	04-03-2026	
2436 02 06	6 OF 10	EROSION AND SEDIMENT CONTROL DETAILS	04-14-2025	04-03-2026	
2436 02 07	7 OF 10	EROSION AND SEDIMENT CONTROL NOTES	04-14-2025	04-03-2026	
2436 02 08	8 OF 10	SITE DETAILS	04-14-2025	04-03-2026	
2436 02 09	9 OF 10	SITE DETAILS	04-14-2025	04-03-2026	
2436 02 10	10 OF 10	SITE DETAILS	04-14-2025	04-03-2026	

LIGHTING PLANS:

DRAWING NO.	SHEET NO.	NAME	DATE	DATE
LI- 01	1 OF 2	LIGHTING PLAN	04-14-2025	04-03-2026
LI- 02	2 OF 2	LIGHTING PLAN AXON	04-14-2025	04-03-2026

LANDSCAPE PLANS:

DRAWING NO.	SHEET NO.	NAME	DATE	DATE
L1.0	1 OF 4	TREE REMOVAL PLAN	04-14-2025	04-03-2026
L2.0	2 OF 4	MATERIALS PLAN	04-14-2025	04-03-2026
L5.0	3 OF 4	PLANTING PLAN	04-14-2025	04-03-2026
L6.0	4 OF 4	DETAILS	04-14-2025	04-03-2026

ARCHITECTURAL PLANS:

DRAWING NO.	SHEET NO.	NAME	DATE	DATE
A2.2a	1 OF 3	2nd FLOOR CONST. PLAN AREA A	09-30-1974	09-30-1974
A4.14	2 OF 3	ENLARGED PLANS	04-14-2025	04-03-2026
A8.9	3 OF 3	DETAILS	04-14-2025	04-03-2026

PROJECT NO. 2436-02



Serial Number: 20242410560

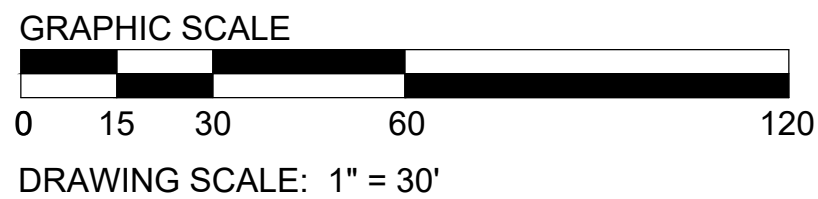
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General Notes

- Boundary information is based on a field survey performed by Control Point on April 4, 2024.
- The bearings shown hereon are referenced to PA State Plane Coordinate System, NAD83 based on Static GPS observations performed on the site.
- FEMA FIRM map number 42091C0352G, effective 3/2/2016 designates the site as Zone X, areas outside the 500 yr. floodplain.
- Only above ground visible improvements have been located. The location of the underground utilities must be field verified by contractor before commencement of any construction.
- At the time of the survey, there was not any evidence of earth moving or any ongoing construction on the site.
- At the time of the survey, the surveyor was not aware of any proposed changes in street right-of-way lines and no recent street or sidewalk construction or repairs were observed.
- At the time of the survey, there was not any evidence of wetlands delineation, observed in the process of conducting the fieldwork.
- Lands shown on the survey are the same as the lands described in the title commitment.
- The property has access to Swede Street, Powell Street, Spruce Street, Spring Alley, Grady Alley which are Public Streets.
- Utilities (water, gas, electric, telephone and sewer) are available and service the Property and all utilities lines enter the premises through adjoining private street or through appurtenant easements which are shown on the Survey.
- All parcels and elements shown on this survey are mathematically closed figures are there are no gaps /gores.
- *** Denotes supplemental information drafted from the Site Plan, sheet P-1, prepared by Ewing Cole Erdman & Eubank, dated September 30, 1974, last revised (as-built) October 31, 1977.
- Said information should be considered approximate and field verified by the contractor prior to construction.

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SHEET 1 OF 12



Location Map

Scale: 1" = 1000'

LEGEND

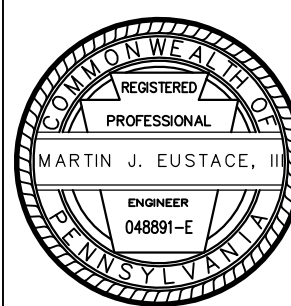
- EXISTING CONTOUR
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- EXIST. DOOR SILL ELEVATION
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- OVERHEAD WIRES
- DEPRESSED CURB
- HYDRANT
- FIRE DEPARTMENT CONNECTION (F.D.C.)
- WATER VALVE
- ELECTRIC BOX
- GAS METER
- GAS VALVE
- UNKNOWN VALVE
- ELECTRIC MANHOLE
- UNKNOWN MANHOLE
- SANITARY/SEWER MANHOLE
- TELEPHONE MANHOLE
- "WASTE" AUTHORITY MANHOLE
- CLEAN OUT
- POST
- GUY WIRE
- UTILITY POLE
- UTILITY POLE/LIGHT POLE/SOLAR PANEL
- TRAFFIC SIGNAL
- PAINTED HANDICAPPED
- DETECTABLE WARNING PAD
- METAL COVERS
- SIGN
- BOLLARD
- U-BOLLARD
- GATE POST
- FLAG POLE
- AREA LIGHT
- DECIDUOUS TREE & TRUNK SIZE
- CONIFEROUS TREE & TRUNK SIZE
- PARKING SPACE COUNT
- BUILDING FOOTPRINT AREA
- BUILDING
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- DEPRESSED CURB
- EDGE OF CONC.
- EDGE OF PAVEMENT
- HEIGHT
- METAL COVER
- SOLID WHITE LINE
- TYPICAL
- EVIDENCE FOUND
- DEED DIMENSION
- STATE PLANE
- SURVEY DIMENSION

"WASTE" AUTHORITY MANHOLE LOCATIONS ARE APPROXIMATE BASED ON THE NORRISTOWN MUNICIPAL WASTE AUTHORITY, MAP GRID(S) 11 AND 19

2	04/03/2026	DSC	BID & PERMIT RESUBMISSION
1	10/03/2025	DSC	BID & PERMIT SUBMISSION

EXISTING CONDITIONS PLAN MONTGOMERY COUNTY- NORRISTOWN PUBLIC LIBRARY

MUNICIPALITY OF NORRISTOWN, MONTGOMERY COUNTY, PA



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DRAWN BY DSC
CHECKED BY MJE
DATE 10-03-2025
DRAWING No. D 2436-02 01

X:\PROJECTS\2400 - 2499\2436\02 - Norristown Public Library LD\AutoCAD\DRAWINGS\Land Development\02.d - DEMOLITION PLAN.dwg October 2, 2025



Serial Number: 20242410560

Act 287

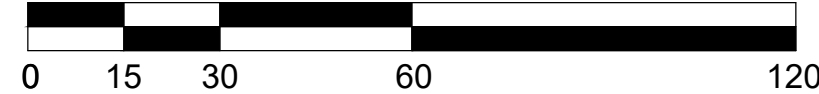
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GRAPHIC SCALE



DRAWING SCALE: 1" = 30'

SHEET 2 OF 12



Location Map

Scale: 1" = 1000'

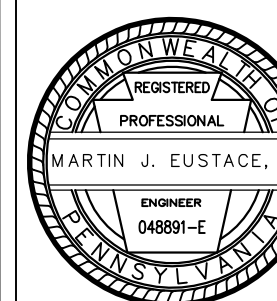
LEGEND

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	HEIGHT
	METAL COVER
	SOLID WHITE LINE
	TYPICAL
	EVIDENCE FOUND
	DEED DIMENSION
	STATE PLANE
	SURVEY DIMENSION
	EXISTING ASPHALT - TBR
	EXISTING CONCRETE - TO BE REPLACED IN KIND
	EXISTING TREES - TBR
	EXISTING SITE ELEMENTS - TBR

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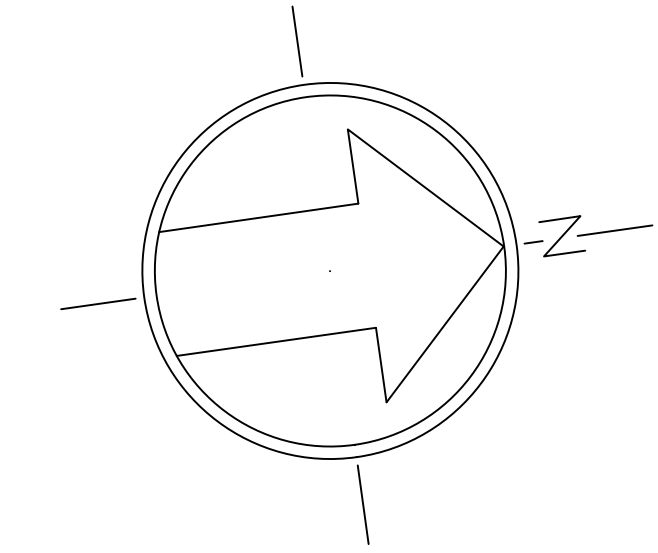
DEMOLITION PLAN MONTGOMERY COUNTY- NORRISTOWN PUBLIC LIBRARY

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- Proposed 6'FT wall extension- dry laid stone, random ashlar, pa fieldstone or approved equal, 18" wide, 1" per foot batter, extend 6" below grade, on 2" pa2a aggregate. review in field with owner's representative after initial excavation, to review tree roots and final top of wall elevation/slope. Root cutting and tree review by contractors arborist.
- Contractor to install Expansion joints to be located at corners wherever possible (wall corners, tree pits, buildings, etc). Isolation joints to be located at all building facades. Other joints to be installed as contraction joints.

Site Data:

Address: 1001 POWELL ST
NORRISTOWN, PA 19401

Zoned: R-2 SPECIAL EXCEPTION (LIBRARY)

Lot Area: 2.176 ACRES

Owner/Applicant:
MONTGOMERY COUNTY
ADDRESS

Parcel Information:
Parcel ID: 13-00-31532-00-9

ZONING DATA TABLE		
DESCRIPTION	REQUIRED	PROVIDED
NORRISTOWN BOROUGH - ZONING	R-2	SPECIAL EXCEPTION 320-41C.(8) - LIBRARY
USE DESCRIPTION	SPECIAL EXCEPTION 320-41C.(8) - LIBRARY (nothing on file)	SPECIAL EXCEPTION 320-41C.(8) - LIBRARY
MINIMUM LOT AREA	43,560 SF	94,779SF / 2.176 AC.
MINIMUM LOT WIDTH AT BSBL	100 FT	636.53 FT
BUILDING SETBACKS (BSBL)		
FRONT	25 FT	SEE PLAN DIMENSIONS (EXISTING NON-CONFORMING)
REAR	25 FT	SEE PLAN DIMENSIONS (EXISTING NON-CONFORMING)
SIDE	25 FT	SEE PLAN DIMENSIONS (EXISTING NON-CONFORMING)
MAXIMUM IMPERVIOUS COVERAGE	30%	82.4% (EXISTING NON-CONFORMING)
MAXIMUM BUILDING COVERAGE	20%	36% / 55.9% WITH OVERHANG (EXISTING NON-CONFORMING)
MAXIMUM BUILDING HEIGHT	35 FT	28.8 FT / 31 FT / 42.67 FT / 45.67 FT
PARKING SETBACKS (PSBL)		
MINIMUM SETBACK FROM TRACT BOUNDARY	15 FT	5 FT (EXISTING NON-CONFORMING)
MINIMUM SETBACK FROM LEGAL RIGHT-OF-WAY	10 FT	2.2 FT building façade overage above grade at 12ft ht
REQUIRED PARKING STALL DIMENSIONS	9 FT x 18 FT (AISLE 22 FT)	10 FT x 20 FT and 9 FT x 18 FT (AISLE 24 FT)
PARKING: 1SP / 800 S.F. OF FLOOR AREA IN PUBLIC USE	82 PARKING SPACES	85 PARKING SPACES, INCLUDING 4 ADA SPACES

AREA WITHIN PROPERTY LINE = 94,779.10 SF / 2.18 AC

*GROSS ACREAGE = 70,654.32 SF / 1.622 AC

LIMIT OF DISTURBANCE = 25,000 SF / 0.57 AC

*NOTE: GROSS ACREAGE BASED ON MONTCO PA PROPERTY RECORDS

BUILDING COVERAGE:
EXISTING LIBRARY = 26,928 SF
EXISTING ACCESS = 231 SF
TOTAL EXISTING = 27,159 SF

PROPOSED LIBRARY = 6,882 SF
PROPOSED ACCESS = 93 SF
TOTAL INCREASE = 6,975 SF
TOTAL OVERALL BUILDING COVERAGE = 34,134 SF

BUILDING OVERHANG (TO REMAIN) = 18,808 SF

PERCENTAGE OF BUILDING COVERAGE:
EXISTING: 27,159 SF / 94,779 SF = 28.7%
PROPOSED: 34,134 SF / 94,779 SF = 36%
WITH OVERHANG: 52,942 SF / 94,779 SF = 55.9%

ZONING MAXIMUM BUILDING COVERAGE = 20%

NOTE: A VARIANCE MAY BE REQUIRED FOR BUILDING COVERAGE

PARKING CALCULATIONS:
EXISTING = 88 SPACES
PROPOSED = 85 SPACES

REQUIRED PARKING:
1 SPACE PER 800 SF OF LIBRARY SPACE (76,758 SF) = 96 SPACES
15% REDUCTION (WITHIN 660 FT OF PUBLIC TRANSIT) = 14 SPACES
TOTAL PARKING SPACES REQUIRED = 82 SPACES

IMPERVIOUS CALCULATIONS (WITHIN PROPERTY LINE):
EXISTING = 79,090.55 SF
PROPOSED = 81,428.17 SF
GREEN ROOF (SUBTRACT) = 1,319.00 SF
POROUS PAVEMENT (SUBTRACT) = 1,412.00 SF
TOTAL PROPOSED = 78,705.42 SF

TOTAL PERCENT IMPERVIOUS:
EXISTING: 79,090.55 SF / 94,778.72 SF = 83.4%
PROPOSED: 78,705.42 SF / 94,778.72 SF = 83.0%

NOTE: IMPLEMENTATION OF POROUS PAVERS AND GREEN ROOF TO BE UTILIZED TO BRING OVERALL IMPERVIOUS CALCULATIONS BELOW EXISTING CONDITIONS FOR EXEMPTION OF SWM REQUIREMENTS.



Location Map
Scale: 1" = 1000'

Legend	
	Property Line
	Existing Building
	Existing Concrete
	Existing Asphalt Paving
	Existing Minor Contour
	Existing Major Contour
	Existing Spot Grade Elevation
	Existing Tree w/ Caliper Size
	Existing Sanitary Sewer Line
	Existing Storm Sewer Line
	Existing Overhead Wire
	Existing Chain Link Fence
	Existing Double Head Light Pole
	Existing Utility Pole
	Existing Curb
	Existing Inlet
	Existing Sign
	Existing Manhole
	Existing Fire Department Connection
	Existing Gas Valve
	Existing Air Conditioner Unit
	Point of Beginning
	Proposed Porous Pavement
	Proposed Building Additions
	Proposed Concrete
	Proposed Pavers
	Proposed Curb
	Proposed Fence
	Concrete Joints

NOTE: THE APPROVED IMPROVEMENT CONSTRUCTION PLAN, A COPY OF WHICH MAY BE INSPECTED AT THE MUNICIPAL OFFICE, HAS BEEN MADE A PART OF THE APPROVED FINAL PLAN

GRAPHIC SCALE



DRAWING SCALE: 1" = 30'



Act 287

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2	04/03/2026	DSC	BID & PERMIT RESUBMISSION
1	10/03/2025	DSC	BID & PERMIT SUBMISSION

LAND DEVELOPMENT PLAN
MONTGOMERY COUNTY-
NORRISTOWN PUBLIC LIBRARY

MUNICIPALITY OF NORRISTOWN, MONTGOMERY COUNTY, PA

EUSTACE
ENGINEERS | LANDSCAPE ARCHITECTS | SURVEYORS

307 Easton Road
Building B - 2nd Floor
Willow Grove, PA 19090

Tel: (215) 346-8757
Fax: (215) 346-8759
www.eustaceeng.com

Martin J. Eustace, III, P.E.
PA Lic. PE048891E

DRAWN BY	DSC
CHECKED BY	MJE
DATE	10-03-2025
DRAWING No.	2436-02-03

Description	C Value	Area (Ac.)	Product	Composite C Value
YD-1				
Pervious	0.55	0.043	0.02	
Impervious	1.00	0.052	0.05	
Total		0.095	0.08	0.80
TC = 5.0 min				
Description	C Value	Area (Ac.)	Product	Composite C Value
YD-2				
Pervious	0.55	0.039	0.02	
Impervious	1.00	0.002	0.00	
Total		0.041	0.02	0.57
TC = 5.0 min				

NOTE: Impervious area for YD-1 Includes all proposed pervious pavers/pavement.

Municipality:		Norristown																	
Land Development:		Norristown Public Library																	
Computed By:		MLS		Date:		07/28/25				Storm Frequency:		100 Yr.							
Revised by:				Date:						Pipe Material:		HDPE							
										Manning's "n" value:		0.011		HDPE					



Location Map
Scale: 1" = 1000'

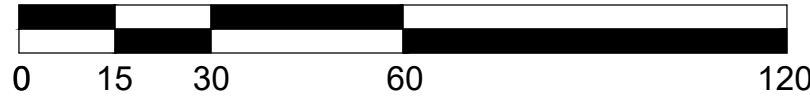
Legend

---	Property Line
---	Existing Building
---	Existing Concrete
---	Existing Asphalt Paving
---	Existing Minor Contour
---	Existing Major Contour
---	Existing Spot Grade Elevation
---	Existing Tree w/ Caliper Size
---	Existing Sanitary Sewer Line
---	Existing Storm Sewer Line
---	Existing Overhead Wire
---	Existing Chain Link Fence
---	Existing Double Head Light Pole
---	Existing Utility Pole
---	Existing Curb
---	Existing Inlet
---	Existing Sign
---	Existing Manhole
---	Existing Fire Department Connection
---	Existing Gas Valve
---	Existing Air Conditioner Unit
---	Point of Beginning
---	Proposed Storm pipe and inlet
---	Proposed grading
---	Proposed spot elevations
---	Proposed Inlet Drainage Area
---	Proposed Perforated Underdrain
---	Proposed Solid Underdrain
---	Proposed Cleanout
---	Proposed Concrete
---	Proposed Pavers

NOTE:
--- Denotes supplemental information drafted from the Site Plan, sheet P-1, prepared by Ewing Cole Erdman & Eubank, dated September 30, 1974, last revised (as-built) October 31, 1977.
Said information should be considered approximate and field verified by the contractor prior to construction.

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GRAPHIC SCALE



DRAWING SCALE: 1" = 30'

Grading Notes

- It is the responsibility of the contractor to review all drawings, specifications and referenced documents associated with the project scope of work prior to the start of construction. Should the contractor find a conflict with the documents relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to start of construction. Failure by the contractor to notify the engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full compliance with local regulations and codes.
- The locations of all existing and proposed utilities are approximate and shall be confirmed independently with local utility companies prior to commencement of any construction or excavation. All utility connection points shall be confirmed by the contractor in the field prior to commencement of construction. All discrepancies shall be reported immediately in writing to the engineer.
- All fill, compaction and backfill materials required for utility installation shall be per recommendations of the geotechnical engineer and shall be coordinated with the applicable utility company specifications.
- The contractor shall comply with the latest standards of O.S.H.A. directives, or other agency having jurisdiction for excavation and trenching procedures.
- All asphalt paving grades shall have 1.5% minimum slopes unless otherwise noted on the plan.
- All ADA grades for parking space areas shall be 2% maximum slope in all directions.
- All concrete gutter grades shall have 1% minimum longitudinal slopes.
- All accessible curb ramps shall conform with current ADAAG and ADA regulations.
- All finish grade on lawn/grass slopes or swales shall be 3:1 maximum.
- Any soil brought onto the site, including topsoil and other fill soil shall be certified clean soil. The contractor shall provide the owner and Municipality with written certifications from soil suppliers.
- All construction shall be performed in accordance with the most recent edition of PennDOT Publication 408 and the Municipality of Norristown Specifications and Design Standards.
- The placement of fill shall be performed under the supervision of a geotechnical engineer. Refer to the Construction Sequencing within this plan set for additional information.
- Refer to Landscape Plans for additional landscape and grading information for areas west and north of building.

Utility Notes

- It is the responsibility of the contractor to review all drawings, specifications and referenced documents associated with the project scope of work prior to the start of construction. Should the contractor find a conflict with the documents relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to start of construction. Failure by the contractor to notify the engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full compliance with local regulations and codes.
- The locations of all existing and proposed utilities are approximate and shall be confirmed independently with local utility companies prior to commencement of any construction or excavation. All utility connection points shall be confirmed by the contractor in the field prior to commencement of construction. All discrepancies shall be reported immediately in writing to the engineer.
- All fill, compaction and backfill materials required for utility installation shall be per recommendations of the geotechnical engineer and shall be coordinated with the applicable utility company specifications.
- The contractor shall comply with the latest standards of O.S.H.A. directives, or other agency having jurisdiction for excavation and trenching procedures.
- All proposed on-site utilities shall be installed underground.
- All construction shall be performed in accordance with the most recent edition of PennDOT Publication 408 and the Municipality of Norristown Specifications and Design Standards.
- All sanitary sewer materials and installation shall be in accordance with the Municipality of Norristown standards and specifications.
- All construction of water facilities for this project shall be in accordance with the Standard Specifications of the Norristown Water Authority.
- The site contractor shall be responsible for installation of all utilities to within five (5) feet of the buildings.
- All inlet grates shall be bicycle-safe type unless otherwise noted.
- At the direction of the developer/owner, the Contractor shall hire and pay for a Master Locator Service for verification of all underground utilities.
- See MEP plans for electrical conduit sizing.
- All pipe slopes are given in ft./ft.
- All non-concrete storm piping shall be ADS N-12 HDPE Dual Wall pipe or equal. Pipe shall be non-perforated unless otherwise noted on the plans.
- The contractor is responsible for coordinating with the utility companies for the termination, shut off, relocation and installation of any existing/proposed utilities.



Act 287

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YD-1 TO EXISTING INLET

Scale: W: 1" = 3'
H: 1" = 30'

YD-2 TO EXISTING MANHOLE

Scale: W: 1" = 3'
H: 1" = 30'

SHEET 4 OF 12

X:\PROJECTS\2400 - 2499\2436\02 - Norristown Public Library LD\AutoCAD\DRAWINGS\Land Development\105-d- EROSION & SEDIMENT CONTROL PLAN.dwg September 25, 2025



Serial Number: 20242410560

Act 287

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EARTH DISTURBANCE

TOTAL LIMIT OF DISTURBANCE 37,179 SF

ORIGINAL SOILS

GROUP	SYMBOL	NAME	GROUP
Ub	Ub	Urban Land	0-8% slopes

GRAPHIC SCALE



DRAWING SCALE: 1" = 30'

SHEET 5 OF 12



Location Map

Scale: 1" = 1000'

Legend

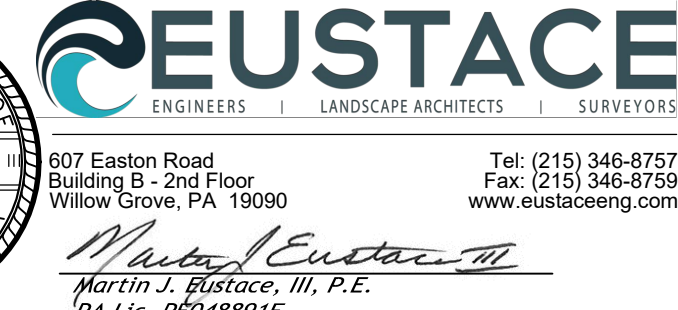
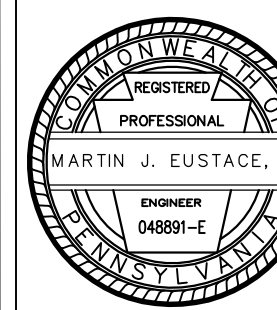
	Property Line
	Existing Building
	Existing Concrete
	Existing Asphalt Paving
	Existing Minor Contour
	Existing Major Contour
	Existing Spot Grade Elevation
	Existing Tree w/ Caliper Size
	Existing Sanitary Sewer Line
	Existing Storm Sewer Line
	Existing Overhead Wire
	Existing Chain Link Fence
	Existing Double Head Light Pole
	Existing Utility Pole
	Existing Curb
	Existing Inlet
	Existing Sign
	Existing Manhole
	Existing Fire Department Connection
	Existing Gas Valve
	Existing Air Conditioner Unit
	Proposed Filter Sock
	Proposed Limit of Disturbance
	Proposed Tree Protection
	Proposed Staging Area
	Proposed Stockpile
	Proposed Rock Construction Entrance
	Proposed Concrete
	Proposed Pavers
	Proposed Concrete Washout
	Proposed Inlet Protection
	Proposed Storm pipe and inlet
	Proposed Waterline
	Proposed grading

NOTE: THE APPROVED IMPROVEMENT CONSTRUCTION PLAN, A COPY OF WHICH MAY BE INSPECTED AT THE MUNICIPAL OFFICE, HAS BEEN MADE A PART OF THE APPROVED FINAL PLAN.

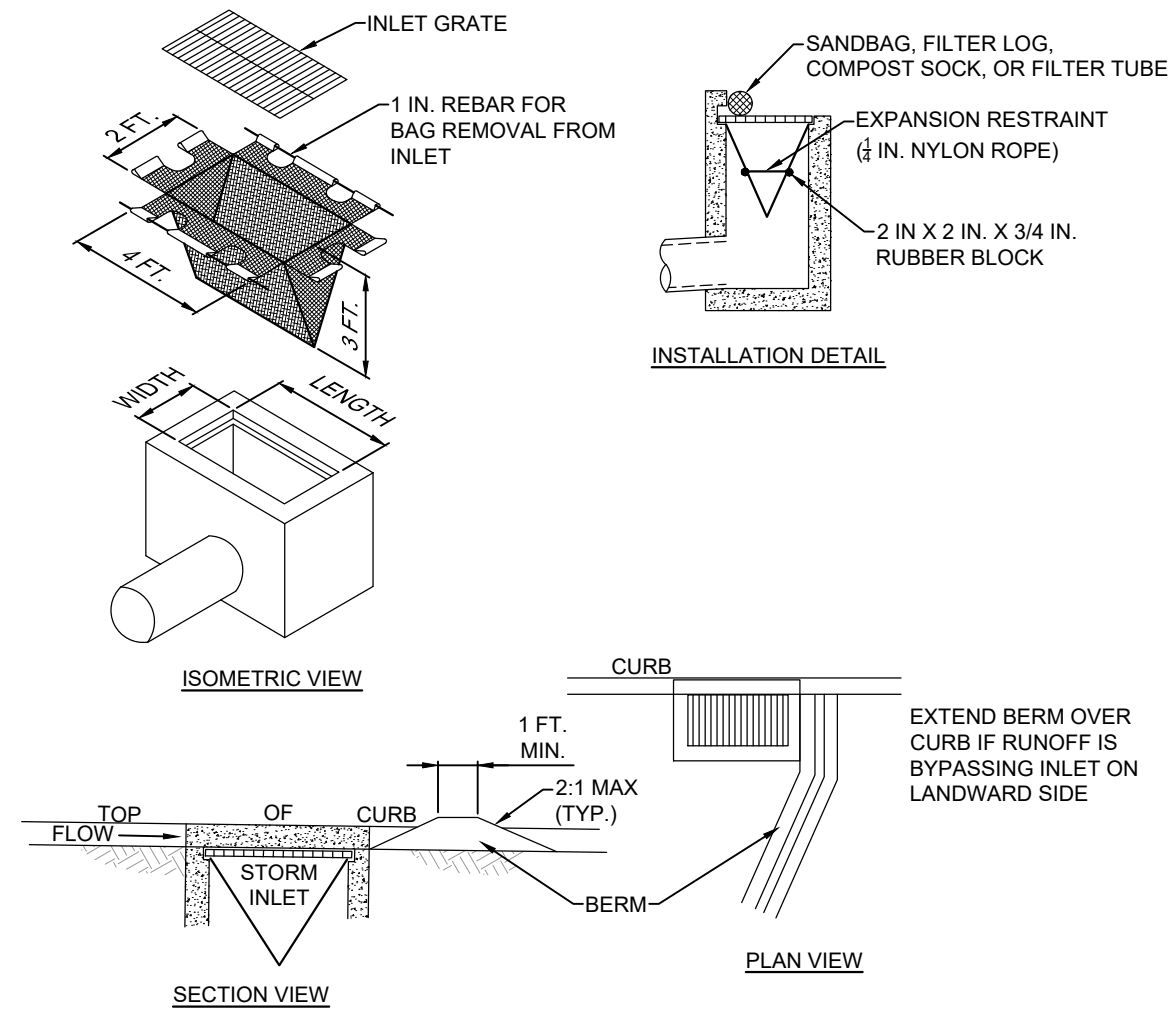
2	04/03/2026	DSC	BID & PERMIT RESUBMISSION
1	10/03/2025	DSC	BID & PERMIT SUBMISSION

EROSION & SEDIMENT CONTROL PLAN MONTGOMERY COUNTY- NORRISTOWN PUBLIC LIBRARY

MUNICIPALITY OF NORRISTOWN, MONTGOMERY COUNTY, PA



DRAWN BY	DSC
CHECKED BY	MJE
DATE	10-03-2025
DRAWING No.	D 2436-02 05



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.

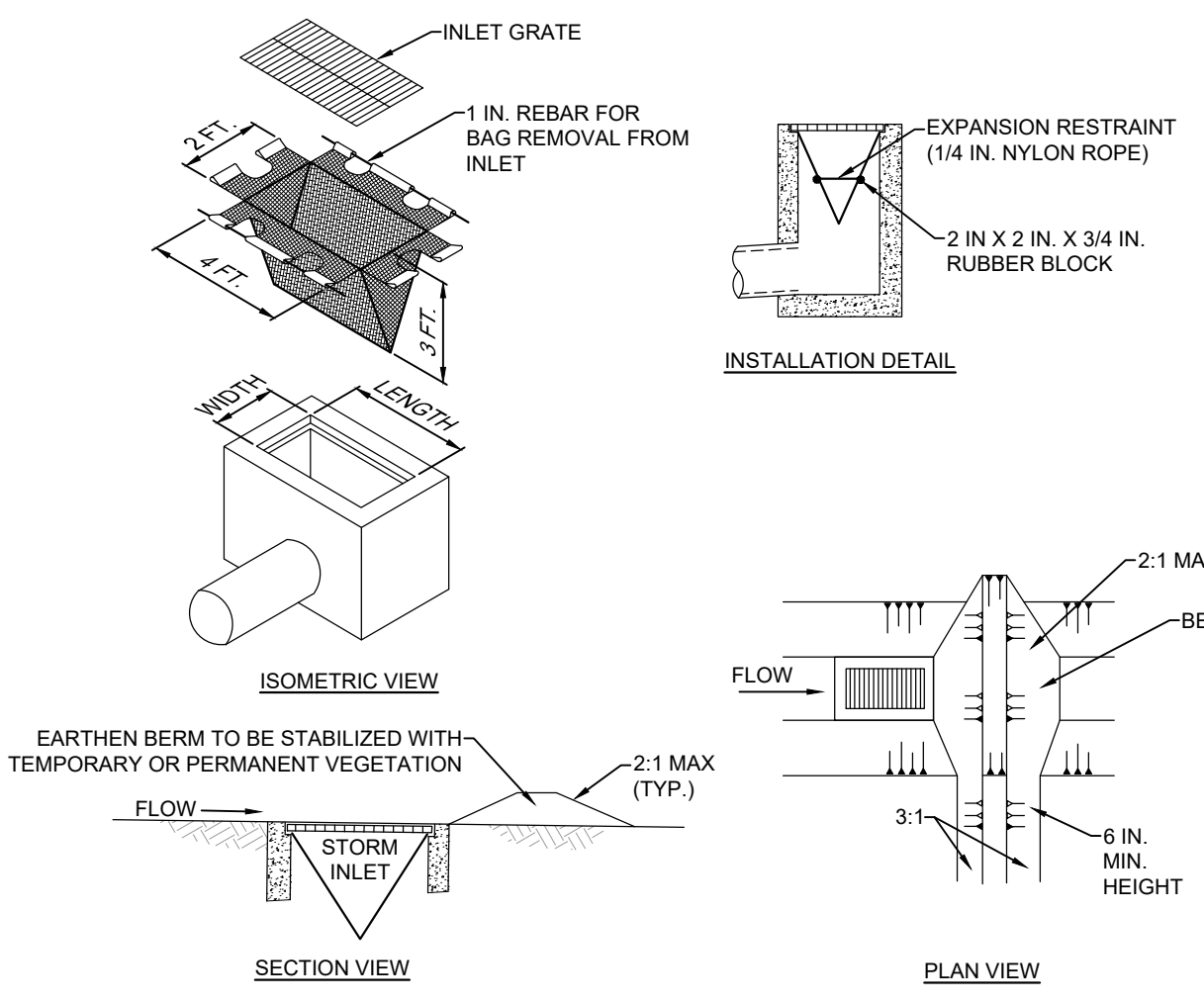
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI. AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-15
FILTER BAG INLET PROTECTION - TYPE C INLET

NOT TO SCALE



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

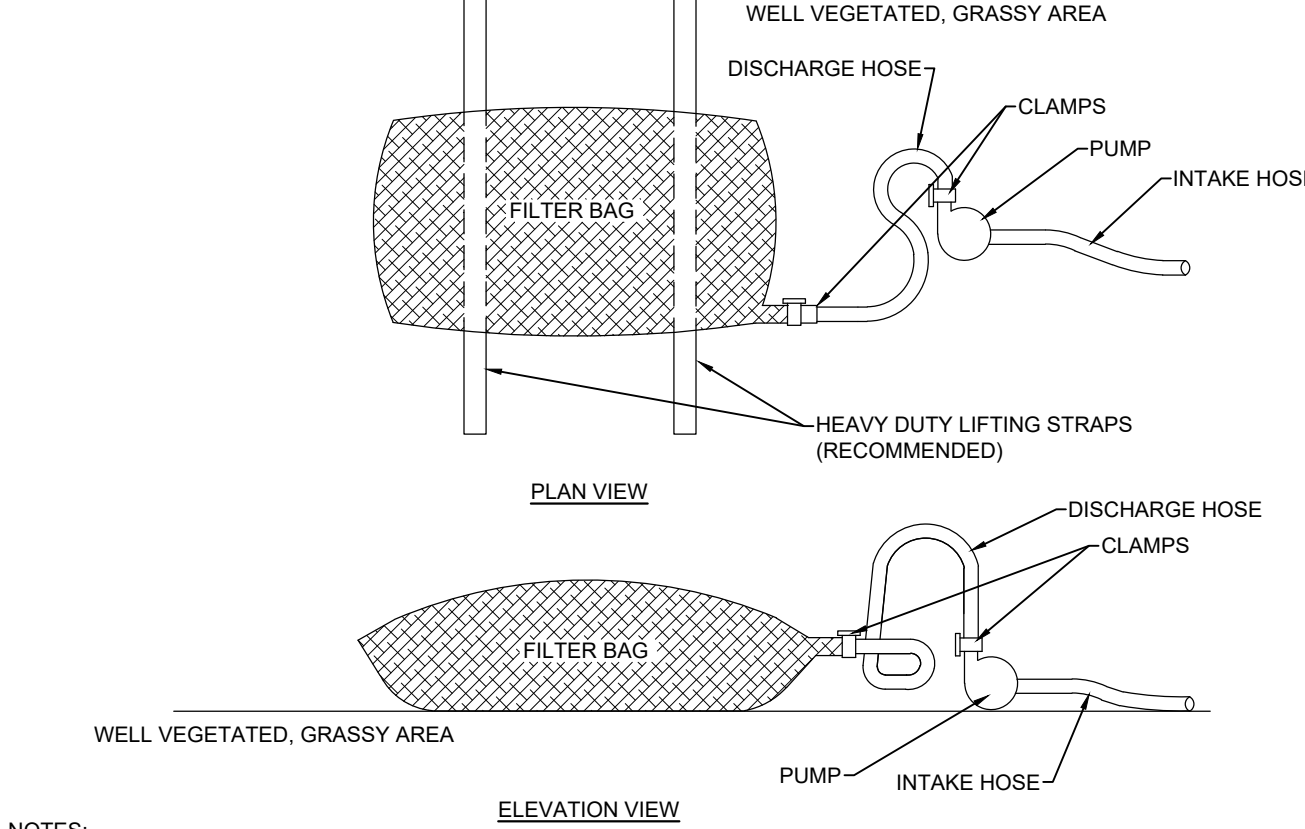
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI. AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET

NOT TO SCALE



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

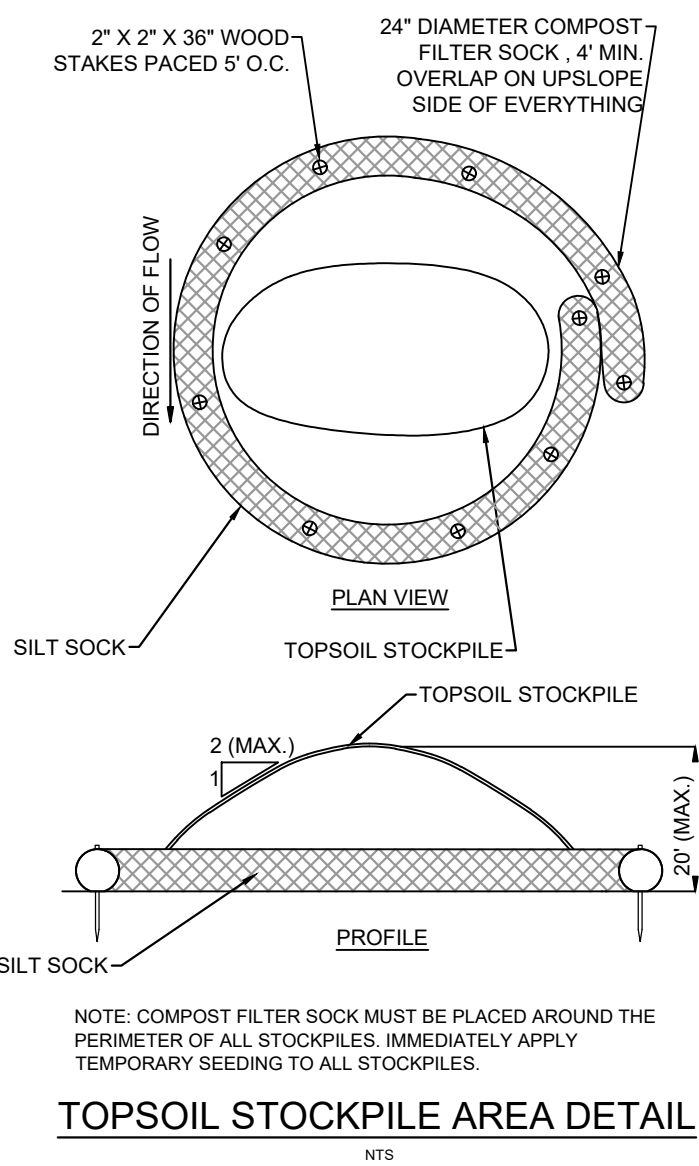
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG

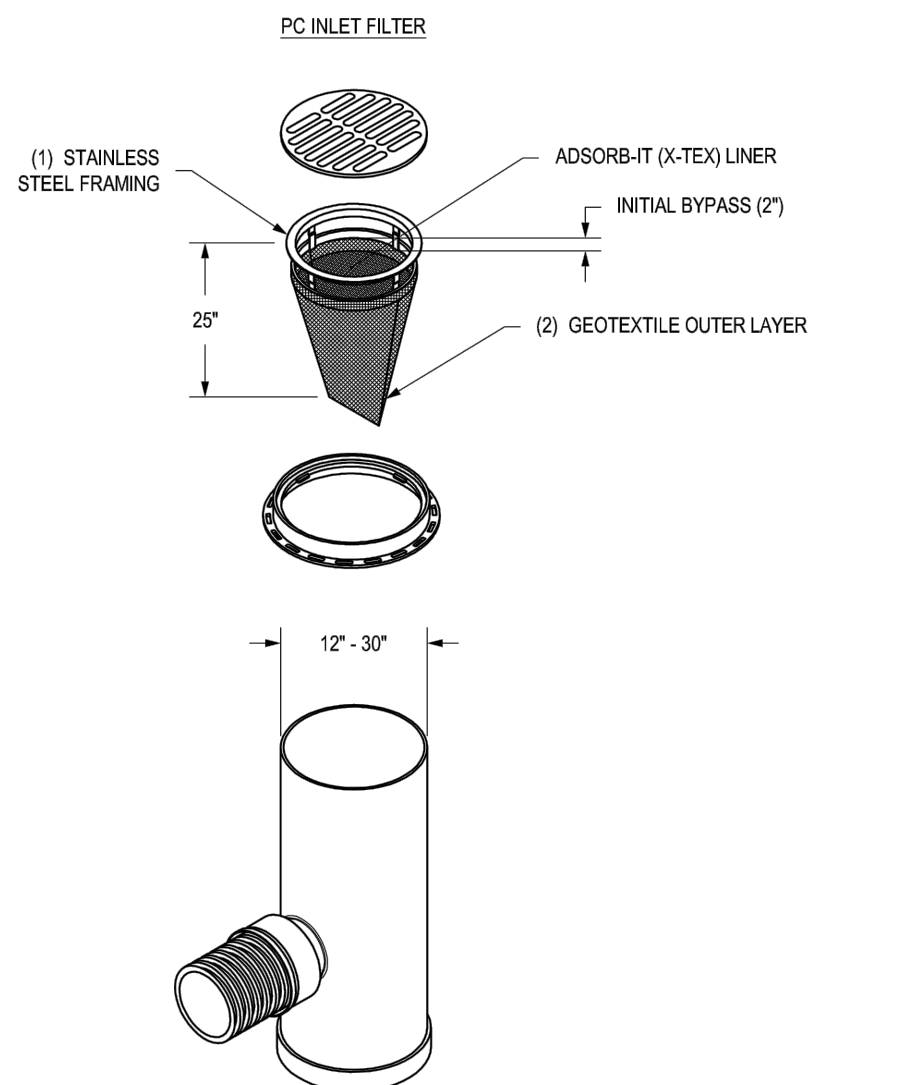
NOT TO SCALE



TOPSOIL STOCKPILE AREA DETAIL

NTS

- Stockpile heights must not exceed 35'. Stockpile slopes must be 2:1 or flatter.
- Upon completion of an earth disturbance activity or any stage or phase of an activity, the operator shall stabilize immediately the disturbed areas to protect from accelerated erosion. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be redisturbed within 1 year may be stabilized in accordance with temporary seeding specifications. Disturbed areas, which are either at finished grade or will not be redisturbed within 1 year, must be stabilized in accordance with permanent seeding specifications.
- Stockpiles must be stabilized immediately.
- Hay or straw mulch must be applied at rates of at least 3.0 tons per acre. Straw mulch should be applied in long strands, not chopped or finely broken.
- Until the site has achieved final stabilization the owner and/or contractor shall properly implement, operate and maintain all the best management practices. Maintenance shall include inspections of all erosion and sedimentation control after each runoff event and on a daily/weekly basis as noted. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the MCCD and DEP upon request.
- Site inspections and maintenance of all BMP's shall be conducted daily/weekly as noted, after every runoff event and also prior to any anticipated precipitation events. All site inspections will be documented in an inspection log kept for this purpose, including the compliance actions and the date, time, and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the MCCD and DEP upon request.
- All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching, and renetting, must be performed immediately. If erosion and sediment BMP's fail to perform as expected, replacement BMP's or modifications of those installed will be needed.
- Where BMP's are found to fail to alleviate erosion and sediment pollution, the permittee shall include the following information:
 - The location and severity of the BMP's failure and any pollution events.
 - All steps taken to reduce, eliminate, and prevent the recurrence of the non-compliance.
 - The time frame to correct the non-compliance, including the exact dates when the activity will return to compliance.
- After final site stabilization has been achieved, temporary erosion and sediment BMP's must be removed. Areas disturbed during removal of final BMP's must be stabilized immediately.
- An area shall be considered to have achieved final stabilization when it has a minimum of 70% uniform perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.
- Erosion control blankets must be installed on all slopes 3:1 or greater on all disturbed areas within 50 feet of streams and wetlands.

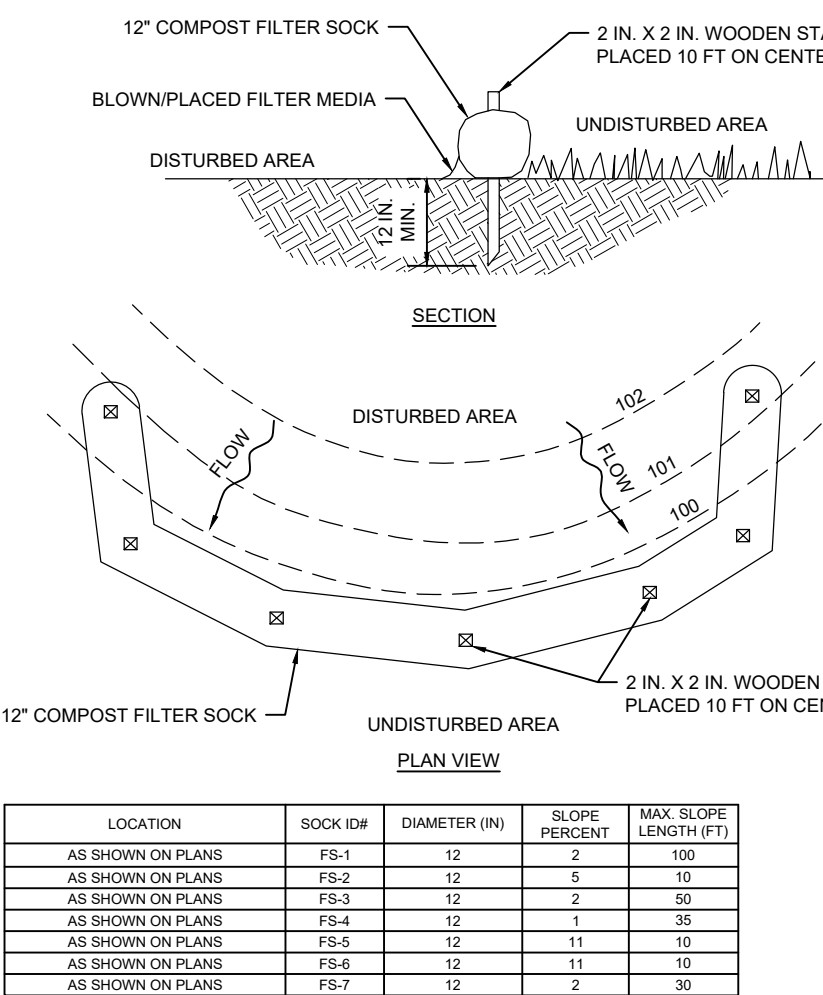


- FLEXSTORM PC FRAME MATERIAL SHALL BE 304 STAINLESS STEEL.
- FLEXSTORM PC OUTER GEOTEXTILE MATERIAL SHALL BE PROPOX GEOTEX 11F.
- FLEXSTORM PC AVAILABLE FOR ALL 12" - 36" DRAIN BASIN, ROAD & HIGHWAY, & CURB INFILTRATION OPTIONS.

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CONSTRUCTION DETAIL
ADS NYLOPLAST - FLEXSTORM PC INLET FILTER

NOT TO SCALE



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

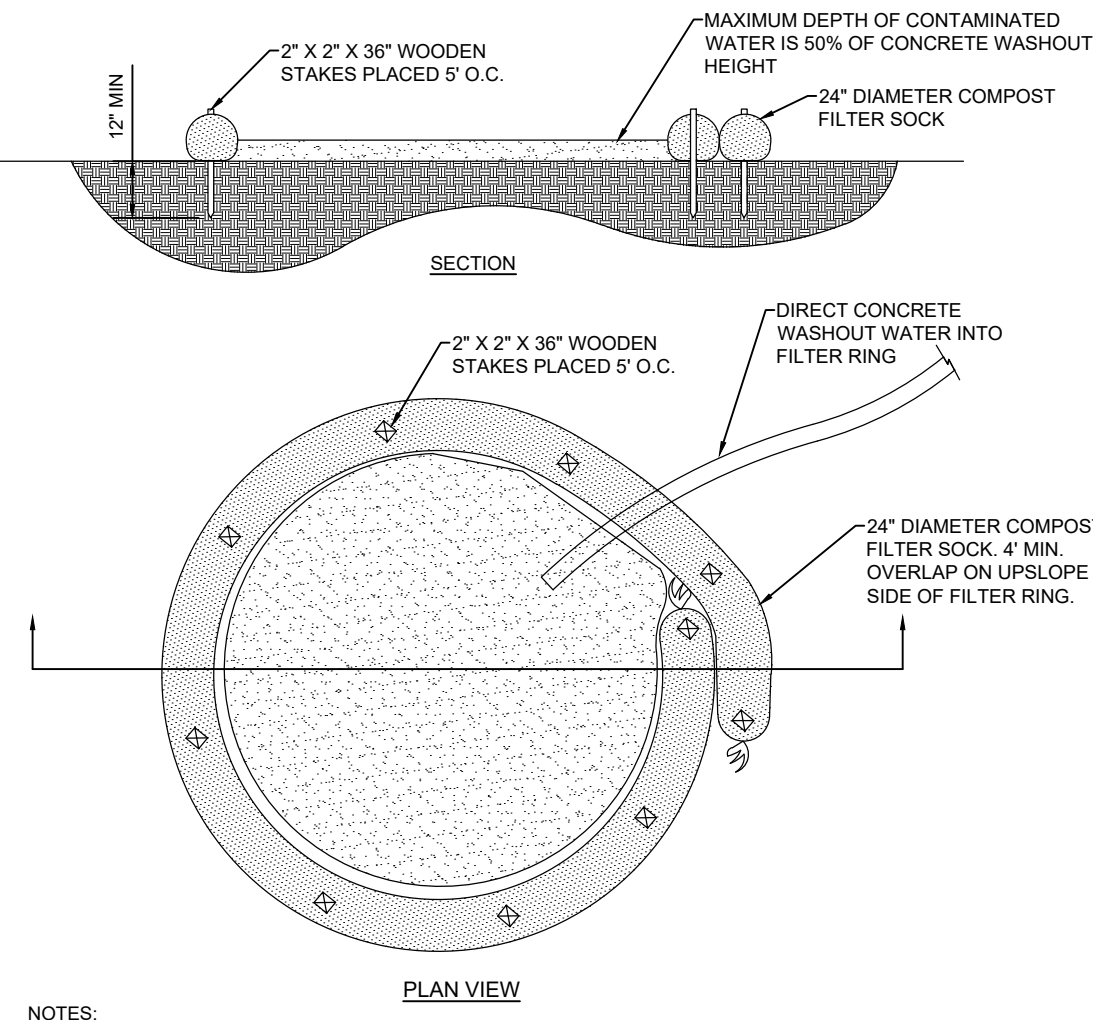
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK

NTS



NOTES:

INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.

18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

FOR ANY PROJECT ON WHICH CONCRETE WILL BE POURED OR OTHERWISE FORMED ON SITE, A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS. MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.

WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS. THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE TRUCKS, PREFERABLY NEAR THE PLACE WHERE THE CONCRETE IS BEING POURED, BUT FAR ENOUGH FROM OTHER VEHICULAR TRAFFIC TO MINIMIZE THE POTENTIAL FOR ACCIDENTAL DAMAGE OR SPILLS. WHEREVER POSSIBLE, THEY SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE.

ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.

ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.

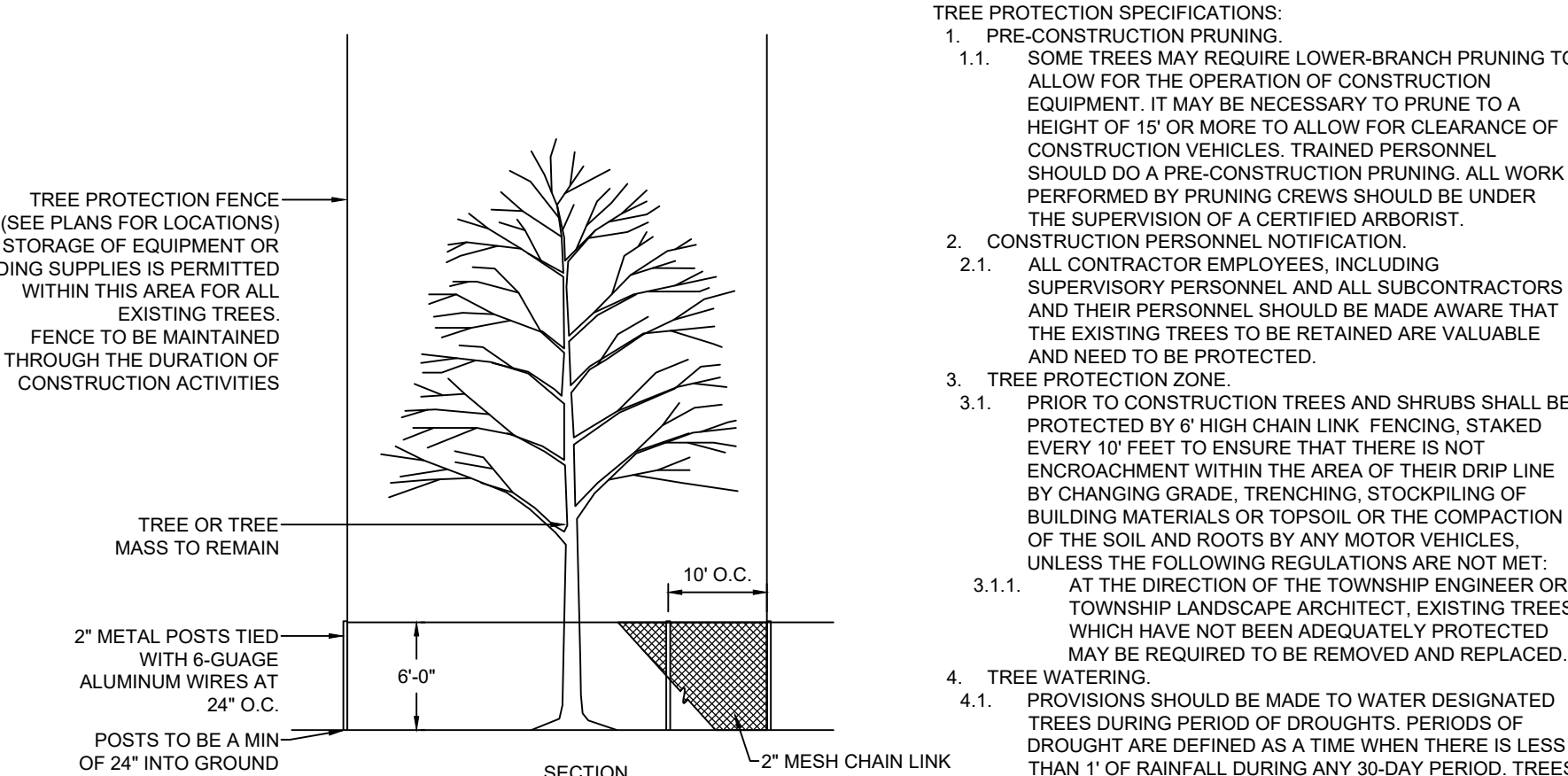
PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

CONCRETE WASHOUT

NTS

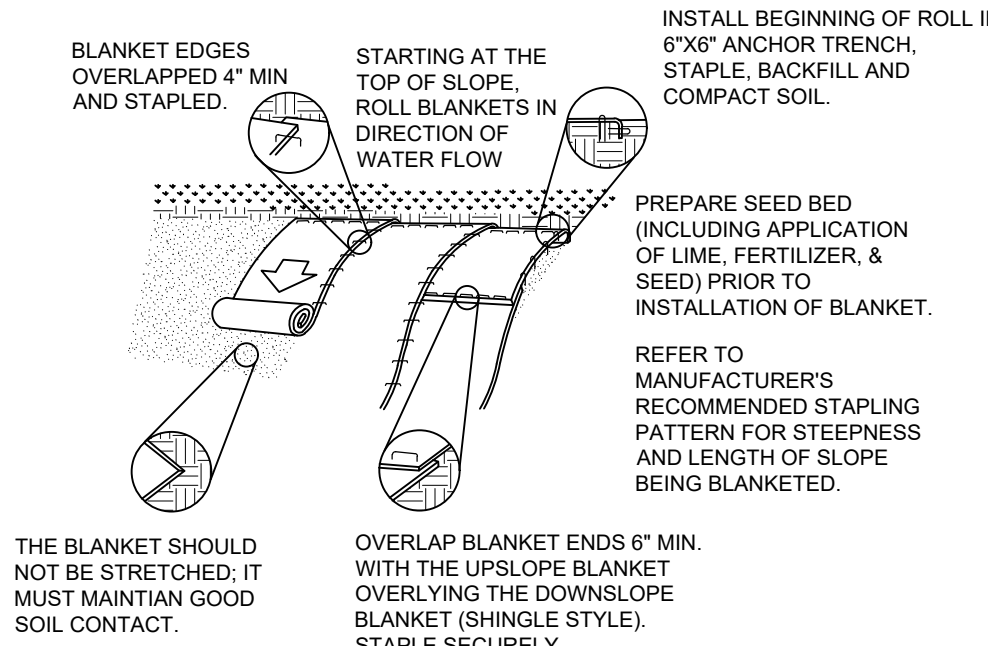
TREE PROTECTION DETAIL

NTS



TREE PROTECTION SPECIFICATIONS:

- PRE-CONSTRUCTION PRUNING.
 - SOME TREES MAY REQUIRE LOWER-BRANCH PRUNING TO ALLOW FOR THE OPERATION OF CONSTRUCTION EQUIPMENT. IT MAY BE NECESSARY TO PRUNE TO A HEIGHT OF 15' OR MORE TO ALLOW FOR CLEARANCE OF CONSTRUCTION VEHICLES. TRAINED PERSONNEL SHOULD DO A PRE-CONSTRUCTION PRUNING. ALL WORK PERFORMED BY PRUNING CREWS SHOULD BE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
- CONSTRUCTION PERSONNEL NOTIFICATION.
 - ALL CONTRACTOR EMPLOYEES, INCLUDING SUPERVISORY PERSONNEL AND ALL SUBCONTRACTORS AND THEIR PERSONNEL, SHOULD BE MADE AWARE THAT THE EXISTING TREES TO BE RETAINED ARE VALUABLE AND NEED TO BE PROTECTED.
- TREE PROTECTION ZONE.
 - PRIOR TO CONSTRUCTION TREES AND SHRUBS SHALL BE PROTECTED BY 6' HIGH CHAIN LINK FENCING, STAKED EVERY 10' FEET TO ENSURE THAT THERE IS NOT ENCROACHMENT WITHIN THE AREA OF THEIR DRIP LINE BY CHANGING GRADE, TRENCHING, STOCKPILING OF BUILDING MATERIALS OR TOPSOIL OR THE COMPACTION OF THE SOIL AND ROOTS BY ANY MOTOR VEHICLES, UNLESS THE FOLLOWING REGULATIONS ARE NOT MET:
 - AT THE DIRECTION OF THE TOWNSHIP ENGINEER OR TOWNSHIP LANDSCAPE ARCHITECT, EXISTING TREES WHICH HAVE NOT BEEN ADEQUATELY PROTECTED MAY BE REQUIRED TO BE REMOVED AND REPLACED.
- TREE WATERING.
 - PROVISIONS SHOULD BE MADE TO WATER DESIGNATED TREES DURING PERIOD OF DROUGHTS. PERIODS OF DROUGHT ARE DEFINED AS A TIME WHEN THERE IS LESS THAN 1" OF RAINFALL DURING ANY 30-DAY PERIOD. TREES SHOULD BE WATERED AT A RATE OF 50 GALLONS PER INCH DIAMETER. APPLICATION SHOULD BE MADE SO THAT THE WATER SLOWLY SOAKS INTO THE GROUND AND DOES NOT RUN OFF.
- POST-CONSTRUCTION PRUNING.
 - SOME TREES MAY BE INADVERTENTLY DAMAGED DURING CONSTRUCTION ACTIVITIES. ALL POST-CONSTRUCTION PRUNING SHOULD BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.



BLANKETS ON SLOPES GREATER THAN 3:1 SHALL BE NORTH AMERICAN GREEN, SC150, LASTING UP TO 24 MONTHS. BLANKETS ON 3:1 SLOPES SHALL BE NORTH AMERICAN GREEN, S75, LASTING UP TO 12 MONTHS.

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

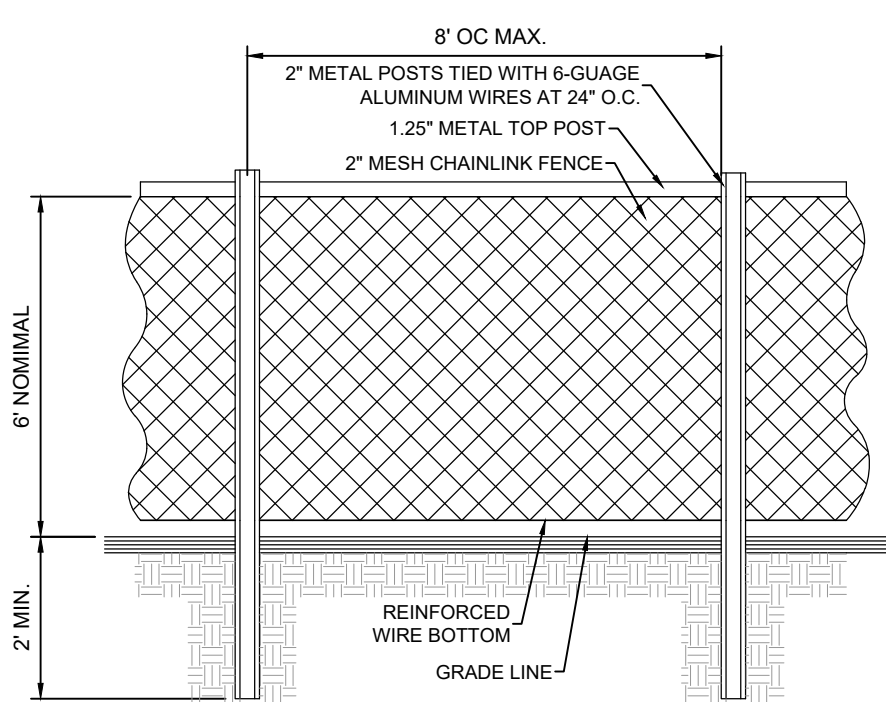
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DON NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL #11-1
EROSION CONTROL BLANKET INSTALLATION

NTS



CONSTRUCTION FENCE

NTS

2	04/03/2026	DSC	BID & PERMIT RESUBMISSION
1	10/03/2025	DSC	BID & PERMIT SUBMISSION

EROSION & SEDIMENT CONTROL DETAILS

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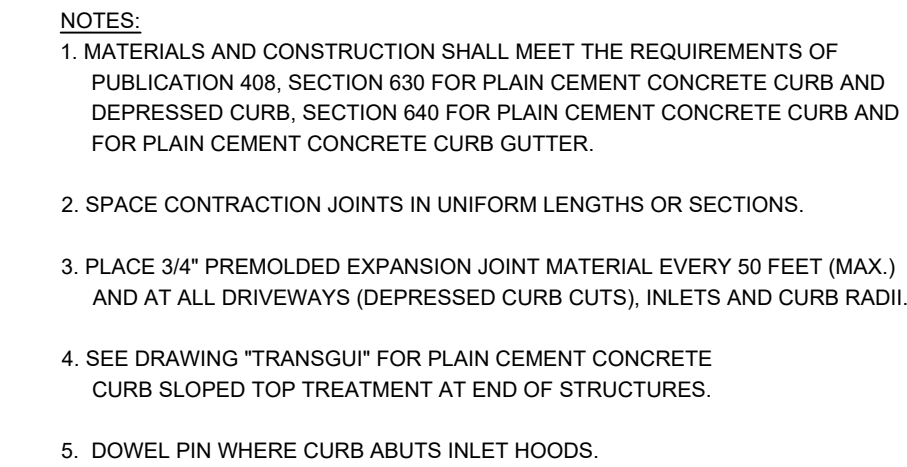
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DRAWN BY	DSC
CHECKED BY	MJE
DATE	10-03-2025
DRAWING No.	D 2436-02 06



CURB RAMP
SIDE FLARE
ROUNDED EDGE (TYP)

RAMP WIDTH

CURB RAMP SIDE FLARE
SIDE FLARE SLOPE 10.00% MAX
TOP OF CURB
ROADWAY SURFACE

CURB RAMP
SEE NOTE 15
DETECTABLE WARNING SURFACE FULL WIDTH OF RAMP

PLAIN CEMENT CONCRETE
DEPRESSED CURB
ROUNDED EDGE (TYP)

**TYPE 1
ELEVATION**
N.T.S.



PERCENT SLOPE	EQUIVALENT SLOPE
10.00%	10:1 (1:10)
8.33%	12:1 (1:12)
7.14%	14:1 (1:14)
2.00%	50:1 (1:50)
1.00%	100:1 (1:100)

The diagram illustrates a cross-section of a pavement structure. From top to bottom, the layers are:

- TACK COAT EDGE OF EXISTING PAVEMENT AND PROPOSED CURB AND SEAL PAVEMENT JOINTS:** Indicated by a line pointing to the top surface of the existing pavement and the joint area.
- SUPERPAVE HMA WEARING COURSE, PG 58-28, 0.3 TO < 3 ESALS, 12.5mm MIXTURE, 1.5" DEPTH, SRL-H:** The top layer of the new pavement, shown with a cross-hatch pattern.
- SUPERPAVE HMA BASE COURSE, PG 58-28, 0.3 TO < 3 ESALS, 25.0mm MIXTURE, 3" ON SITE, 5" OFF SITE:** The layer below the wearing course, shown with a diagonal hatch pattern.
- PENNDOT 2A COARSE AGGREGATE MATERIAL, MECHANICALLY COMPACTED, 6" ON SITE, 8" OFF SITE:** A layer below the base course, shown with a brick-like pattern.
- EXISTING SOILS OR GRANULAR FILL COMPACTED TO 95% MODIFIED (ASTM D-1557):** The bottom layer, shown with a stippled pattern.

Additional details include:

- A **SEAL** is shown at the joint between the existing pavement and the new pavement.
- A **5/8" PREMOULDED EXPANSION JOINT MATERIAL** is shown at the bottom of the joint.
- The **EXISTING PAVEMENT** is shown on the left side of the diagram.
- The **PROPOSED PAVEMENT** is shown on the right side of the diagram.

NOTE: THE ENGINEER MAY INCREASE THE PAVEMENT REQUIREMENTS GIVEN HEREIN WHEN THE RESULTS FROM IN PLACE CBR TESTS ON THE SUBGRADE BECOME AVAILABLE. FINAL PAVING SECTION TO BE DETERMINED BY GEOTECHNICAL ENGINEER.

PAVING SECTION MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CURRENT TOWNSHIP AND PENNDOT SPECIFICATIONS.

5/8" PREMOULDED EXPANSION JOINT MATERIAL TO BE PLACED EVERY 50 L.F. AND AT DRIVEWAYS, INLETS AND CURB RADIUS

CURBS TO BE SEALED WITH AC-20 OR OTHER TOWNSHIP APPROVED SEALER.

AS NOTED ON PLANS
(UNLESS OTHERWISE NOTED ON PLAN)

4" CLASS "AAA" CEMENT CONCRETE
4,000 P.S.I., 28 DAY STRENGTH

4" OF PENNDOT CLASS 2A STONE
SUBBASE MECHANICALLY COMPACTED

COMPACTED SUBGRADE 95%
MODIFIED (ASTM - 1557)

SECTION

4'-0"

(UNLESS OTHERWISE NOTED ON PLAN)

AS NOTED ON PLANS
(UNLESS OTHERWISE
NOTED ON PLAN)

ALL EDGES SHALL BE
FINISHED WITH AN
APPROVED EDGING TOOL

BROOM FINISH (TRAVERSE
TO WALKING DIRECTION)

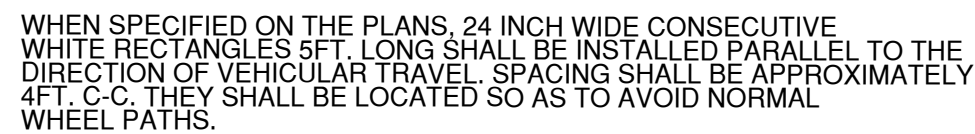
4'-0" WIDE x 1" DEEP) TO BE
PLACED EVERY 5' MAXIMUM. (TYP) REFER
TO PLANS FOR ADDITIONAL
PATTERN REQUIREMENTS).

PLAN

PREMOLDED EXPANSION JOINT FOR
DULL DEPTH OF SIDEWALK (TYP) PLACED
EVERY 24 FEET (MAXIMUM)

NOTES:

1. $\frac{1}{4}$ PREMOLDED EXPANSION JOINTS TO BE PLACED EVERY 24 FEET (MAXIMUM). WHERE SIDEWALKS ARE REQUIRED TO BE 5 FEET WIDE, AND AT ALL LOCATIONS WHERE EXISTING PAVEMENT OR SIDEWALK MEETS PROPOSED SIDEWALK, WHERE SIDEWALK ABUTS CURB OR OTHER SIMILAR STRUCTURES, AND WHERE SIDEWALK TRANSITIONS FROM $\frac{1}{4}$ THICK TO $\frac{1}{2}$ THICK (DRIVEWAY APRONS, ETC.)
2. WITH ALL PROPOSED SIDEWALK, A NON-SLIP SURFACE TEXT SHALL BE BROOMED TRAVERSE TO THE SLOPE OF THE SIDEWALK
3. CONCRETE TO BE $\frac{1}{2}$ THICK WITH WIRE MESH AT DRIVEWAY APRONS, WHERE APPLICABLE.



8" 4000 PSI CONCRETE W/
FIBER REINFORCEMENT

6" 2A MODIFIED
STONE SUBBASE

COMPACTED SUBGRADE

HEAVY DUTY SIDEWALK DETAIL

N.T.S.

- NOTES:**
1. LOCATE HEAVY DUTY CONCRETE AT ALL CONCRETE APRONS AS INDICATED ON PLANS.
 2. TRAVERSE DUMMY JOINT ($\frac{1}{8}$ " WIDE X 1" DEEP) TO BE PLACED EVERY 5' MAXIMUM, TYP. (REFER TO PLANS FOR ADDITIONAL PATTERN REQUIREMENTS).



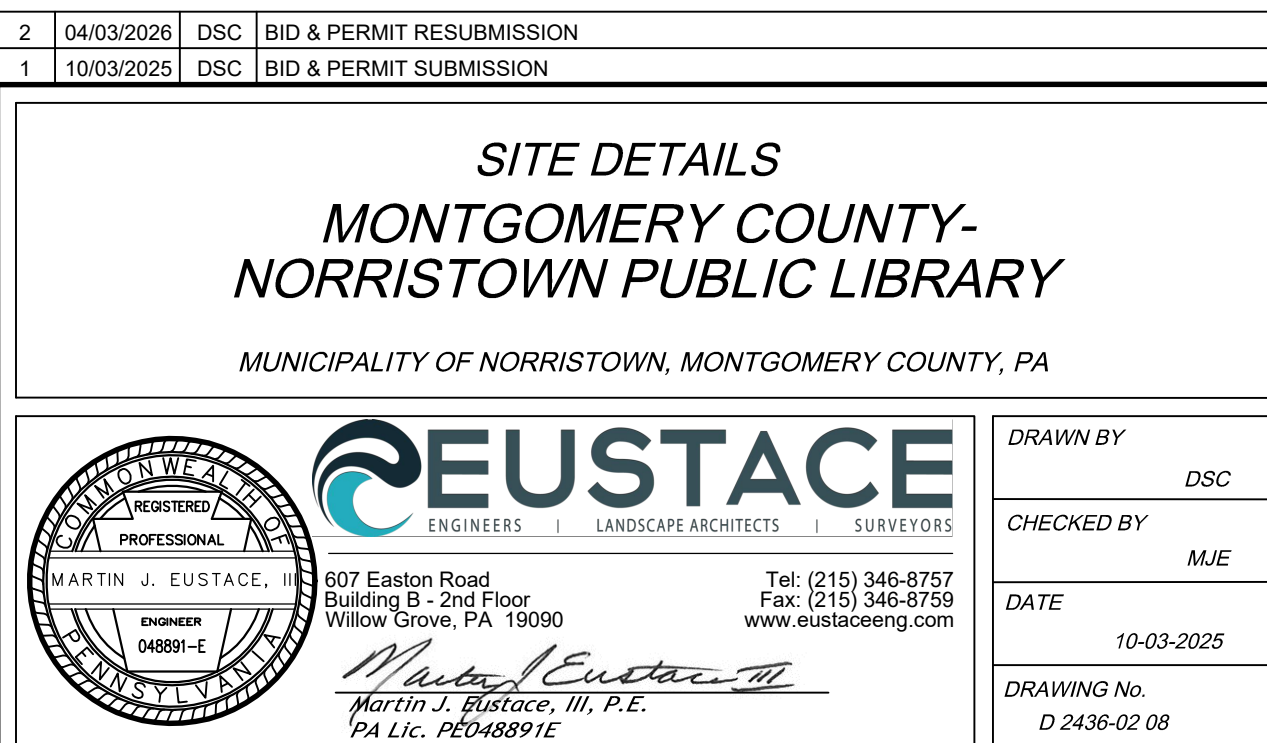
- SIGN INSTALLATION INSTRUCTIONS:**

1. DETERMINE THE PROPER SIZE AND NUMBER OF SIGN POSTS
2. PUNCH OUT APPROPRIATE KNOCKOUTS AND ATTACH THE SIGN POSTS TO THE PROPER ANCHOR POST FROM THE SQUARE SIGN POSTS TAB ON THIS SHEET
3. DRIVE THE ANCHOR POST INTO THE GROUND, USING THE APPROPRIATE SIZE DRIVE CAP (UNTIL ONLY ONE HOLE REMAINS ABOVE THE GROUND SURFACE AND THE ELEVATION IS CORRECT)
4. PUNCH OUT THE THREE KNOCKOUTS FROM THE BOTTOM OF THE SIGN POST
5. ATTACH A MINIMUM OF 6" OF THE SIGN POST INTO THE ANCHOR POST
6. ATTACH THE SIGN POST TO THE ANCHOR POST WITH ONE M8 (5/16") CORNER BOLT AND NUT (OR ALTERNATIVELY ONE M10 (3/4") BOLT AND NUT)
7. TIGHTEN THE BOLT AND NUT BY TURN-OF-THE-NUT METHOD. BRING NUT TO A SNUG CONDITION TO ENSURE THAT ALL PARTS ARE BROUGHT TOGETHER TO FULL CONTACT WITH EACH OTHER. THEN TIGHTEN AN ADDITIONAL 1/2 TURN

INSTALLATION IN CONCRETE:

INSTALL AS NOTED ABOVE, BUT PLACE A 450 (18") LONG ANCHOR SLEEVE OUTSIDE THE ANCHOR POST SO THAT THE TOPS OF THE ANCHOR POST AND ANCHOR SLEEVE ARE EVEN. SELECT THE PROPER SIZE ANCHOR SLEEVE

- NOTES:**
1. MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH PUB. 408
 2. SIGN POSTS AND SPLICE SLEEVES SHALL HAVE $\frac{7}{16}$ " DIAMETER HOLES OR DIE-CUT KNOCKOUTS ON 1" CENTERS ON ALL FOUR SIDES. ANCHOR SLEEVES SHALL HAVE $\frac{7}{16}$ " DIAMETER HOLES ON 1" CENTERS ON ALL FOUR SIDES
 3. BOLTS AND NUTS SHALL BE ASTM A 307, GRADE B
 4. DRIVE RIVETS MAY BE USED TO FASTEN SIGN BLANKS TO THE SIGN POST



NOTE:
CORE DRILL 1-1/8" DIAMETER HOLE
AT FULL DEPTH OF CONCRETE FOR
DROP ROD INSERTION POINT

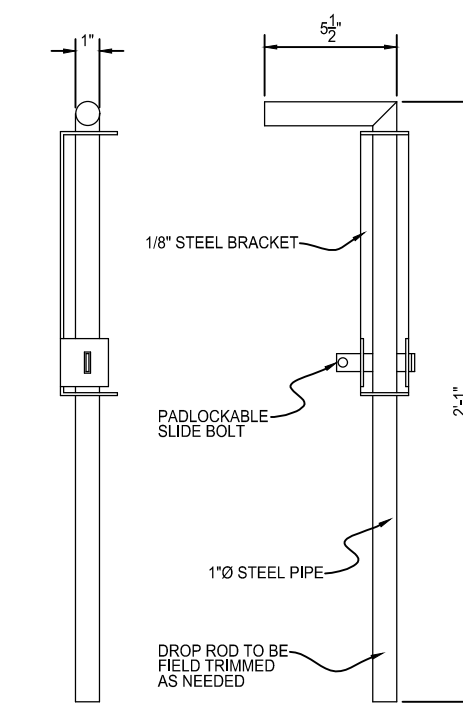
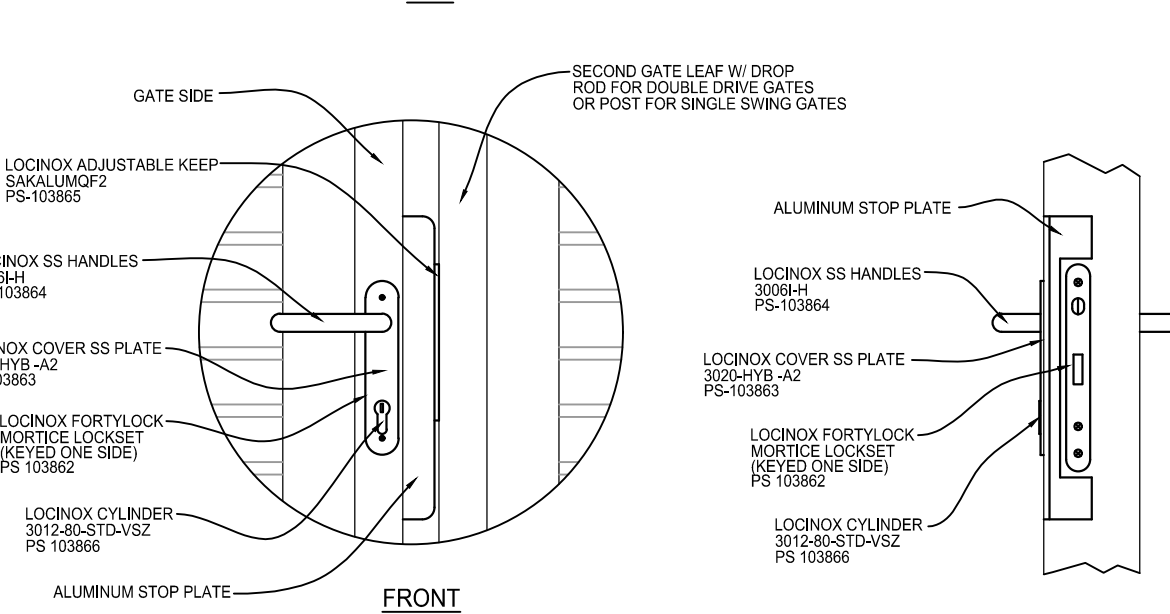


Diagram illustrating the components of a LOCONIX lock assembly:

- LOCONIX SS HANDLES
3009H4
PS-103894
- LOCONIX FORTYLOCK
MORTISE LOCKSET
(REVIEW ONE SIDE)
PS-113692
- GATE SIDE
- LOCONIX CYLINDER
502000-STD-152
PS-103666
- LOCONIX COVER SS PLATE
1004H19-42
PS-103683
- ALUMINUM STOP PLATE
- LOCONIX ADJUSTABLE KEEP
SARALIMQ#2
PS-103693
- BEFORE GATE LEAK W DROP
NOT FOR DOUBLE-DRIVE GATES
OR POST FOR SINGLE SWING GATES
- TOP



Technical drawing of a 22'-10" long metal building section, showing interior layout, dimensions, and structural details. The drawing includes a side elevation and a plan view.

Dimensions:

- Overall Length: 22'-10"
- Overall Width: 6'-0"
- Interior Width: 5'-11 1/4"
- Vertical Spacing (from top): 1'-3 3/4", 1'-4 3/4", 1'-4 3/4", 1'-3 3/4"
- Horizontal Spacing (from left): 5'-3 1/2", 4", 5'-3 1/2", 4", 5'-3 1/2", 4", 5'-3 1/2", 4"
- Top Offset: 4" INCLUDES CAP

Structural Details:

- Interior walls are shown with horizontal siding.
- Vertical structural members (posts) are indicated by dashed lines.
- Roof structure is shown with horizontal siding.
- Foundation details are shown at the bottom.

INFL FILL RETAINING ANGLE

$\frac{3}{8}$ " HOLES FOR
FOR STAINLESS
FASTENERS

WOOD TONGUE AND GROOVE
INFILL SLATS

AL L $3 \times 3 \times \frac{1}{4}$ "
PANEL FRAME TYP,
FOUR SIDES

Labels: t_2 , $1\frac{1}{2}"$, $1\frac{1}{2}"$, $1\frac{1}{2}"$, S_{21}

SPECIFICATION:
 80MM THICK CAST BRONZE NON-FREEZE VARD HYDRANT
 WITH SATIN NIKADIL® HONEY LATCHING COVER, INTERNAL 3/4" CITY OR 1" CSD INLET, BRONZE CASING, NIPROOF PLENUM, BRONZE OPERATING PARTS AND 3/4" FEMALE INLET CONNECTION.

HYDRANTS
 YARD TYPE, NON-FREEZE
 WITH BOX

SERIES 71600

CONTROL KEY
 (5/8" x 3/8")

CONTROL KEY USED TO OPEN COVER AND OPERATE HYDRANT

NOTE:
 PROVIDE CYLINDER LOCK WITH CONTROL KEY

TYPE	DEPTH
71600-2	2"
71600-3	3"
71600-4	4"
71600-5	5"

-52 SATIN FINISH FACE, CAST BRONZE BOX	
-60 NIKADIL® DEEP BOX (42-5/8" DEEP)	
-61 VACUUM BREAKER (UPC, ASSE 181D)	
-91 1" HOSE PIPE THREADED OUTLET	
-95 CYLINDER VANDAL-PROOF LOCK	
-97 1/8" TAPPED DRAIN HOLE IN BOX	

VAC. BREAKER C-80 REQUIRES DEEP BOX C-80 FOR COVER TO CLOSE

DATE OF LAST CHANGE: 9/18/01

THINKING OF UPGRADING TO IMPROVEMENTS?
 OUTLINE: 1/2" CITY OR 1" CSD INLET
 1/2" CITY OPERATING PARTS
 1/2" CITY OPERATING PARTS

JOSAM
 MICHIGAN CITY, INDIANA

NOTES

WARNING: Cover not for decorative item - www.SCSHydrants.com

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DRAWN BY **DSC**

CHECKED BY **MJE**

DATE **10-03-2025**

DRAWING NO. **D 24-36-02 09**

[illegible]

Technical drawing of a double track gate assembly. The drawing shows a side view of the gate with two tracks. Key dimensions and components are labeled:

- 1'-0" 1/4"**: Total width of the gate assembly.
- 2" X 2" X 1/8" SQ. TUBE FRAME**: The square tube frame supporting the gate.
- DOUBLE TRACK**: The two tracks on which the gate rolls.
- INSIDE**: The interior side of the gate.
- OUTSIDE (PICKETS)**: The exterior side of the gate, featuring vertical pickets.
- 5" X 2" X 1/8" RECT. TUBE**: The rectangular tube used for the pickets.
- 1" POST HEIGHT**: The height of the post supporting the gate.
- 10" TOP OF GATE HEIGHT**: The height from the top of the post to the top of the gate.
- 6"**: The height of the picket from the bottom of the gate to the top of the post.
- C 01** and **D 01**: Callouts for the top and bottom of the gate assembly.

BRASS OR PVC SCREW PLUG

18"

10"

CONCRETE CLEANOUT BOX

CONCRETE RING ONLY REQUIRED IN TRAFFIC SETTINGS

WYE

3,000 P.S.I. CONCRETE (TRAFFIC APPLICATIONS ONLY)

PIPE CAP FOR END CLEANOUT ONLY

10"

2'-6" X 2'-6"

10"

CLEANOUT DETAIL

N.T.S.

NYLOPLAST 24" DRAIN BASIN: 2824AG _ X

(1, 2) INTEGRATED DUCTILE IRON FRAME & GRATE TO MATCH BASIN O.D.

(3) VARIABLE INVERT HEIGHTS AVAILABLE (ACCORDING TO PLAINSTAKE OFF)

MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURER RECOMMENDATION (MIN. MANUFACTURING REQ. SAME AS MIN. SUMP)

(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE:
4" - 24" FOR CORRUGATED HDPE ADS N-12HANCOR DUAL WALL,
ADSHANCOR SINGLE WALL, N-12 HP, PVC SEWER (SEE SDR 35),
PVC DWV (SEE: SCH 40), PVC C300/C365, CORRUGATED & RIBBED PVC

(5) ADAPTER ANGLES VARIABLE 0° - 30° ACCORDING TO PLANS

18" MIN WIDTH GUIDELINE

8" MIN THICKNESS GUIDELINE

4" MIN

(6) BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

(7) VARIABLE SUMP DEPTH ACCORDING TO PLANS (8" MIN. BASED ON MANUFACTURING REQ.)

WATERTIGHT JOINT (CORRUGATED HDPE SHOWN)

TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS. SEE DRAWING NO. 7001-110-111 FOR NON TRAFFIC INSTALLATION.

GRATE OPTIONS	LOAD RATING FEET/S/IN	PART #	DRAWING #
STANDARD	MEETS H-20	2486-COF	7001-110-216
SOLO COVER	MEETS H-20	2486-COE	7001-110-217
SOLO COVER	MEETS H-20	2486-COE	7001-110-218
PODE	N/A	2486-COF	7001-110-219
DROP IN GRATE	Light Duty	2487-DI	7001-110-215

1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-30-05.
2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-30-05.
3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-005.
4. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D2511 FOR CORRUGATED HDPE (ADS N-12HANCOR DUAL WALL, N-12 HP & PVC SEWER).
5. ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 30°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

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REVISED BY	MMH	PROJECT NO./NAME
DATE	03-14-16	
DWG SIZE	A	SCALE 1:40 SHEET 1 OF 1

NYLOPLAST

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www.nyloplast-usa.com

24 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

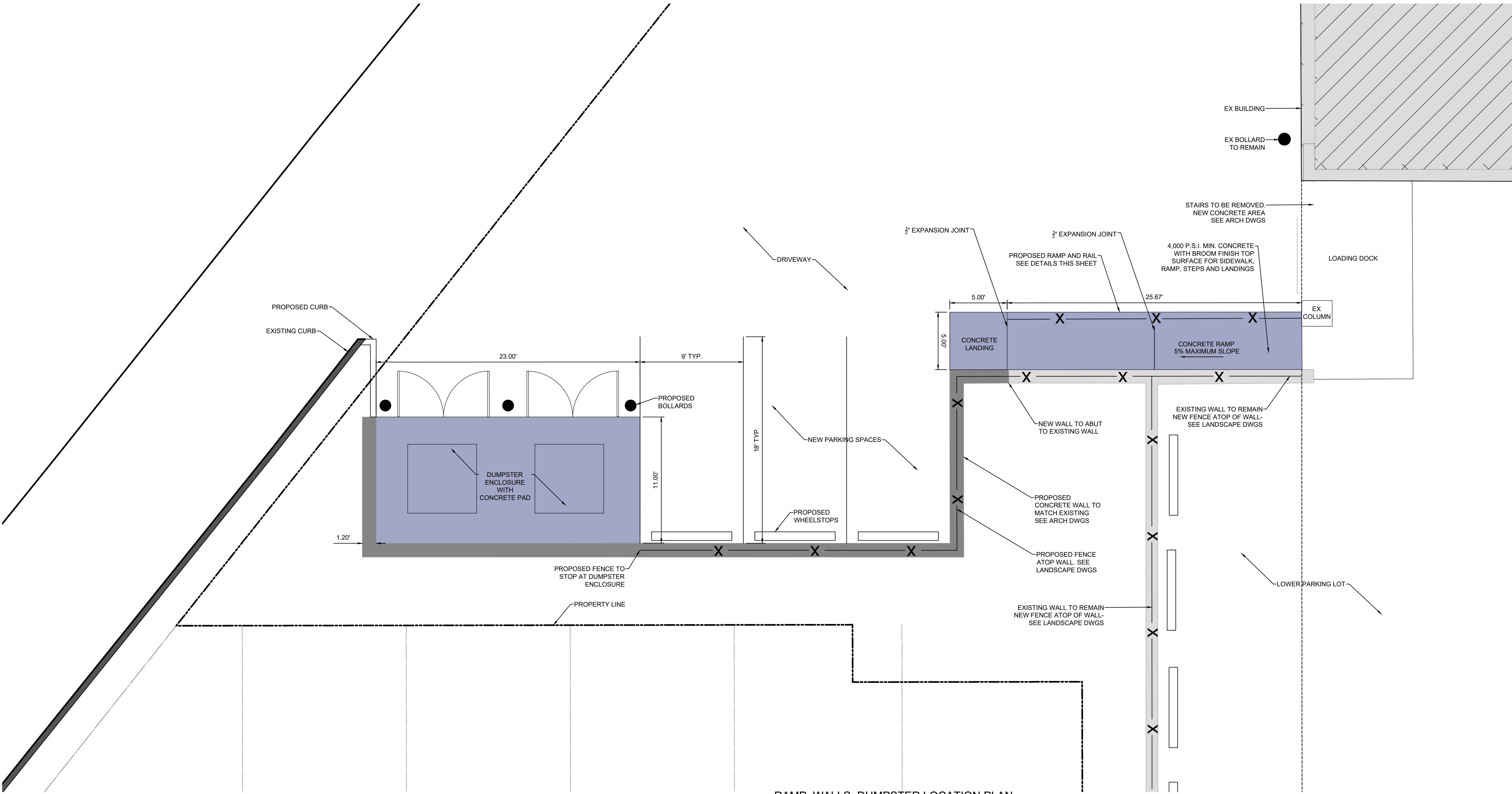
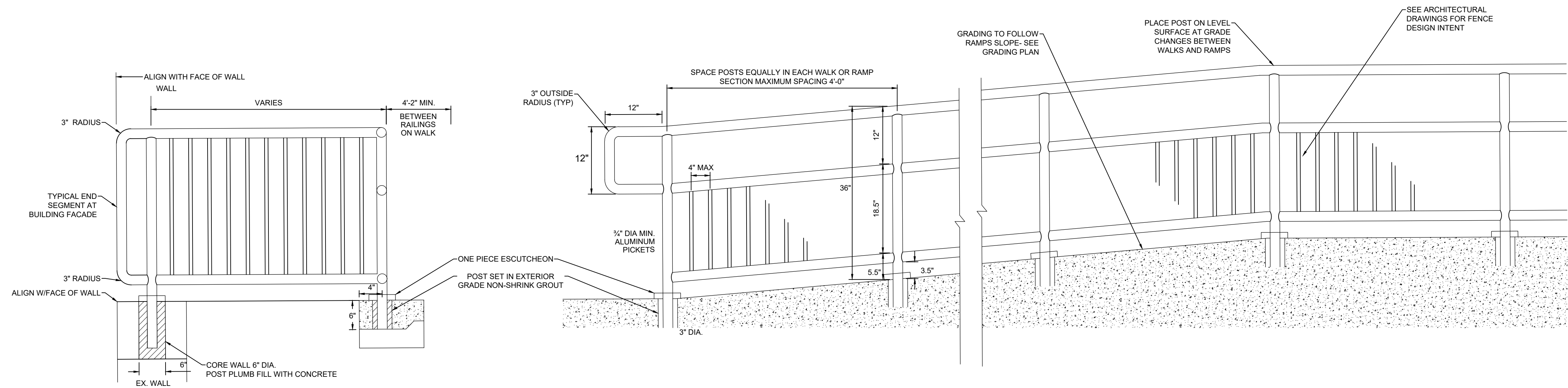
DWG NO. 7001-110-192 REV E

Diagram illustrating the bottom roller bracket assembly. The assembly includes a POST, GATE FRAME, ROLLERS W/ COVERS, and a BOTTOM ROLLER BRACKET. The rollers are mounted on the bottom roller bracket, which is attached to the gate frame.

Diagram illustrating the installation of a padlock on a gate:

- ROUND OR SQUARE MOUNTING BOLTS PER POSTS STYLE
- GATE NOSE
- SLOTTED HOLES FOR PAD LOCK AS GATE NESTS
- LATCH OPTIONAL, NOT USED WITH ALUMINUM GATES
- RECEIVER

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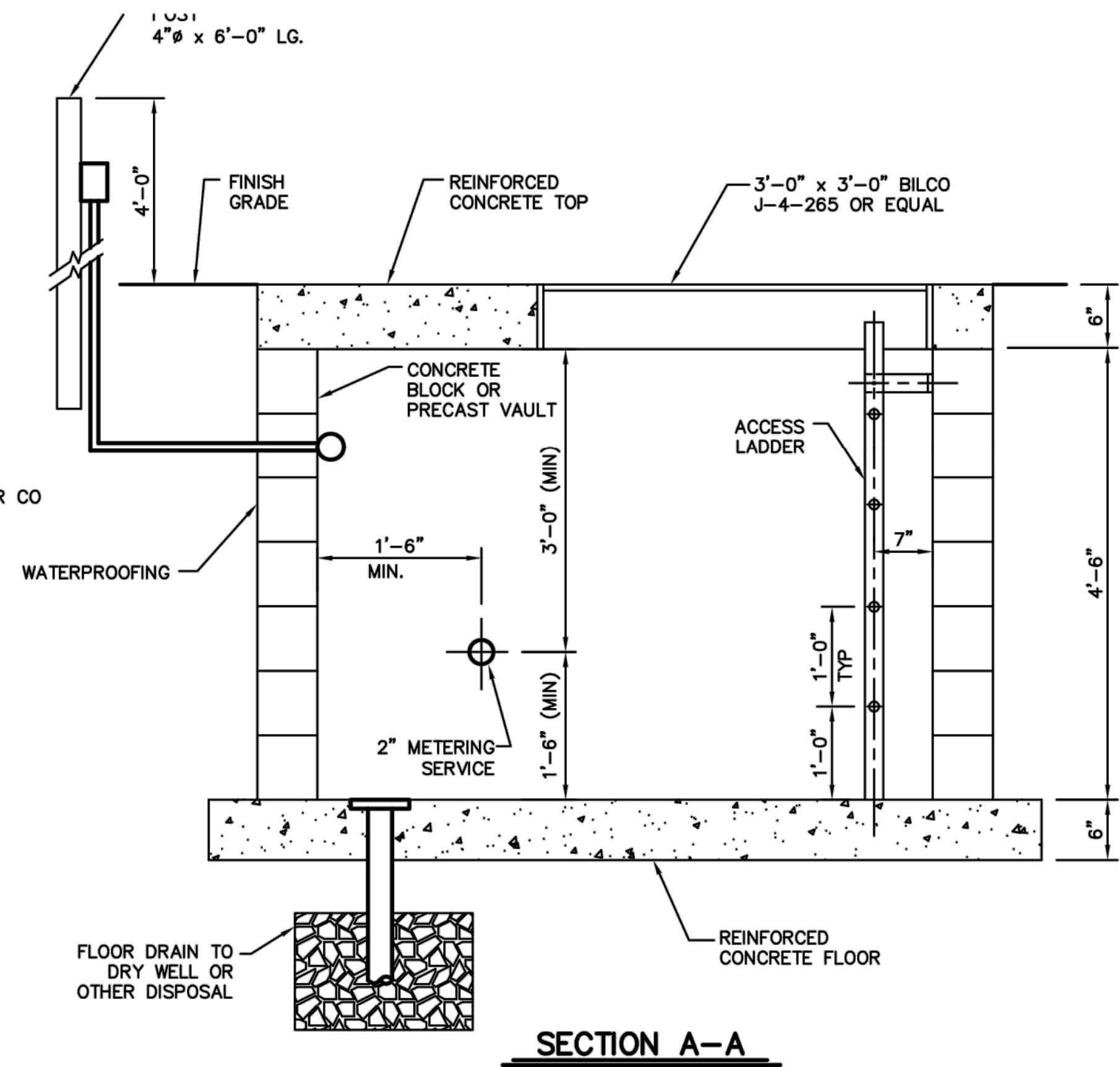
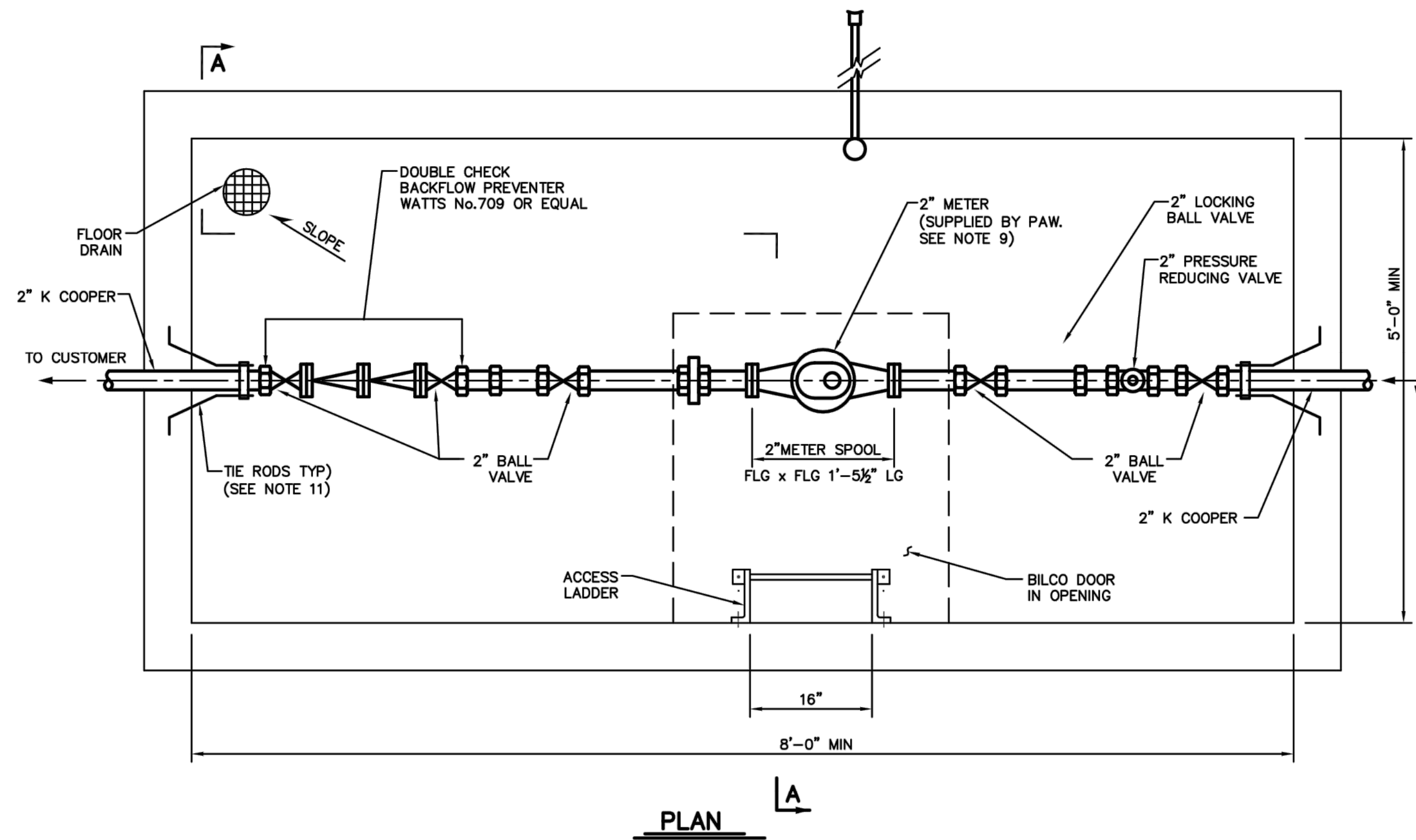
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MJE

DATE
10-03-2025

DRAWING No.
D 2436-02 10

SHEET 11 OF 12

2-INCH METER VAULT SPECIFICATIONS



NOTES :

- 1. - CUSTOMER TO CONSTRUCT METERING VAULT AS SHOWN TO MINIMUM DIMENSIONS AND GENERAL CONFIGURATIONS.
- 2. - PIPE SUPPORTS, TIE RODS, ANCHORS AND THRUST BRACING AT FITTING AND VALVES SHALL BE PROVIDED SUFFICIENT, TO ALLOW PIPING TO STAND WITH THE REMOVAL OF METERS, FRICTION CLAMPS ARE NOT PERMITTED FOR RESTRAINT OF PIPING SYSTEM.
- 3. - THE CONNECTION TO EXISTING WATER MAIN AND VALVE WILL BE INSTALLED BY PAWC.
- 4. - VALVE AND FITTING LESS THAN 1½" ARE I.S.P. ALL ARE TO BE BRASS.
- 5. - GATE VALVES AND PIPING MUST BE SAME SIZE.
- 6. - ALL VALVES TO BE MAINTAINED BY CUSTOMER.
- 7. - BILCO TYPE DOOR TO BE CENTERED OVER METER ASSEMBLY AND ACCESS LADDER.
- 8. - PRESSURE REDUCING VALVE REQUIRED WHEN THE INLET PRESSURE EXCEEDS 100 P.S.I. HIGH PRESSURE VALVE REQUIRED IF INLET PRESSURE EXCEEDS 150 P.S.I.
- 9. - METER ASSEMBLY WILL NOT BE INSTALLED UNTIL ALL PIPING IS COMPLETED IN THE VAULT. A FILLER PIECE SHOULD BE INSTALLED TO ASSURE PROPER ALIGNMENT OF FLANGES. METER ASSEMBLY FURNISHED AND INSTALLED BY PENNSYLVANIA - AMERICAN WATER COMPANY.
- 10. - TIE RODS TO BE EMBEDDED IN CONCRETE OR BOLTED TO STEEL ON PLATES ON EXTERIOR WALLS. WATER COMPANY TO INSPECT BEFORE BACKFILLING.

NOTES :

- a. VAULT DESIGN TO BE BY REGISTERED PROFESSIONAL ENGINEER: IF TRAFFIC LOADS EXPECTED, DESIGN FOR AASHO H20 LOADING. DESIGN MUST PROVIDE FOR ALL EXPECTED FIELD CONDITIONS, INCLUDING SAFE WORKING ENVIRONMENT FOR WATER COMPANY PERSONAL.
- b. PAWC DISCRETION MAY REQUIRE A SUMP PUMP.
- c. IF PIT IS PROVIDED WITH ELECTRICAL SUPPLY PLEASE SUPPLY OUTSIDE DISCONNECT AND PROVISIONS FOR SUMP PUMP (FUTURE)
- d. PRE-CAST VAULTS ARE AVAILABLE AND CUSTOMER SHOULD VERIFY DESIGN BY THEIR ENGINEER.
- e. VAULT AND METER INSTALLATION IS PAWC STANDARD FOR OPTIMUM PERFORMANCE AND DESIGN FOR INSTALLATION AND SERVICING. ALTERNATE DESIGNS MAY BE REQUIRED. PLEASE CONTACT PAWC PERSONAL FOR REVIEW AND APPROVAL.

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2048891E

REGISTERED PROFESSIONAL ENGINEER

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PA Lic. 048891E

PA Lic. 048891E

2

04/03/2026

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1

10/03/2025

DSC

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SITE DETAILS

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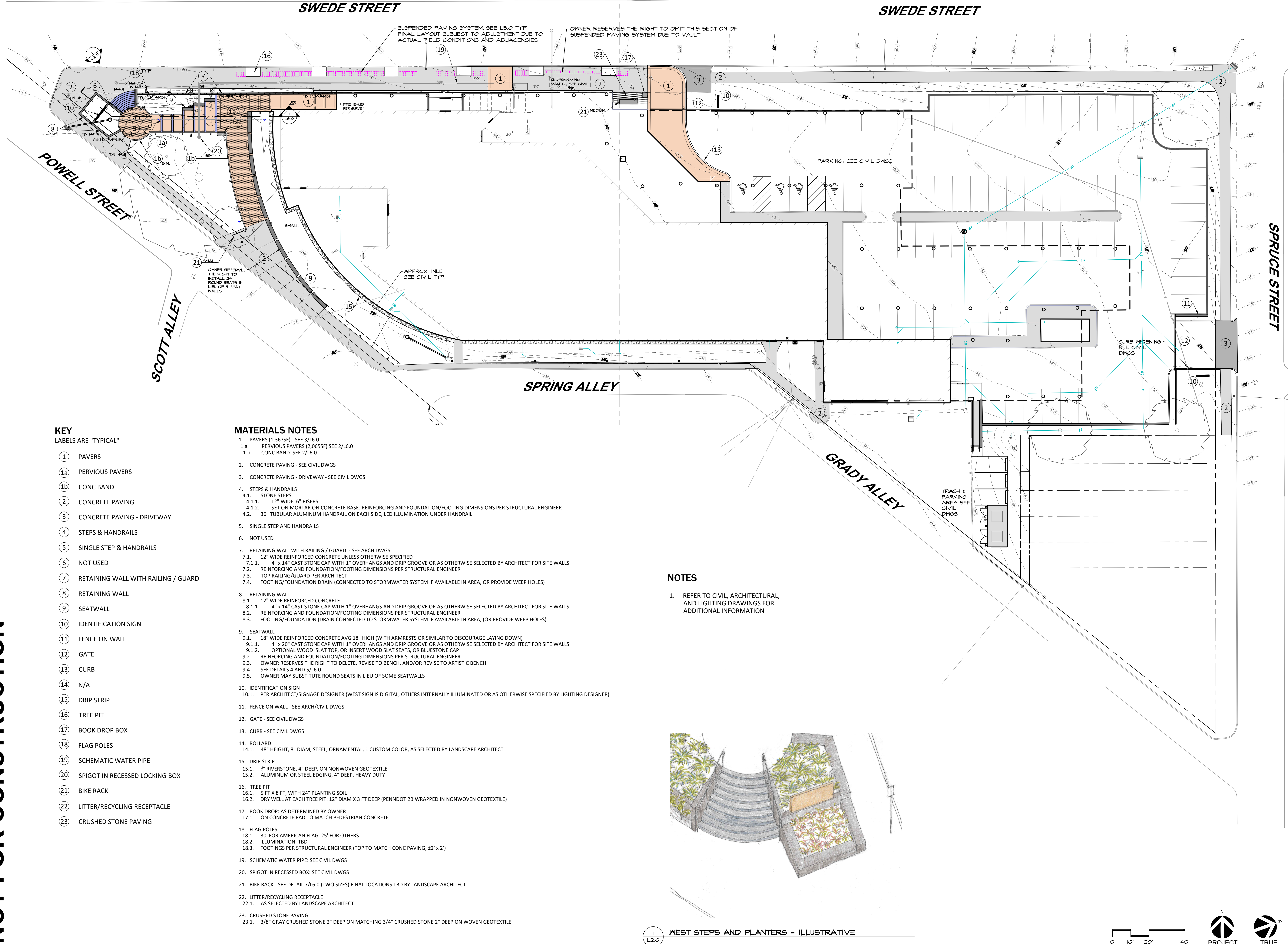
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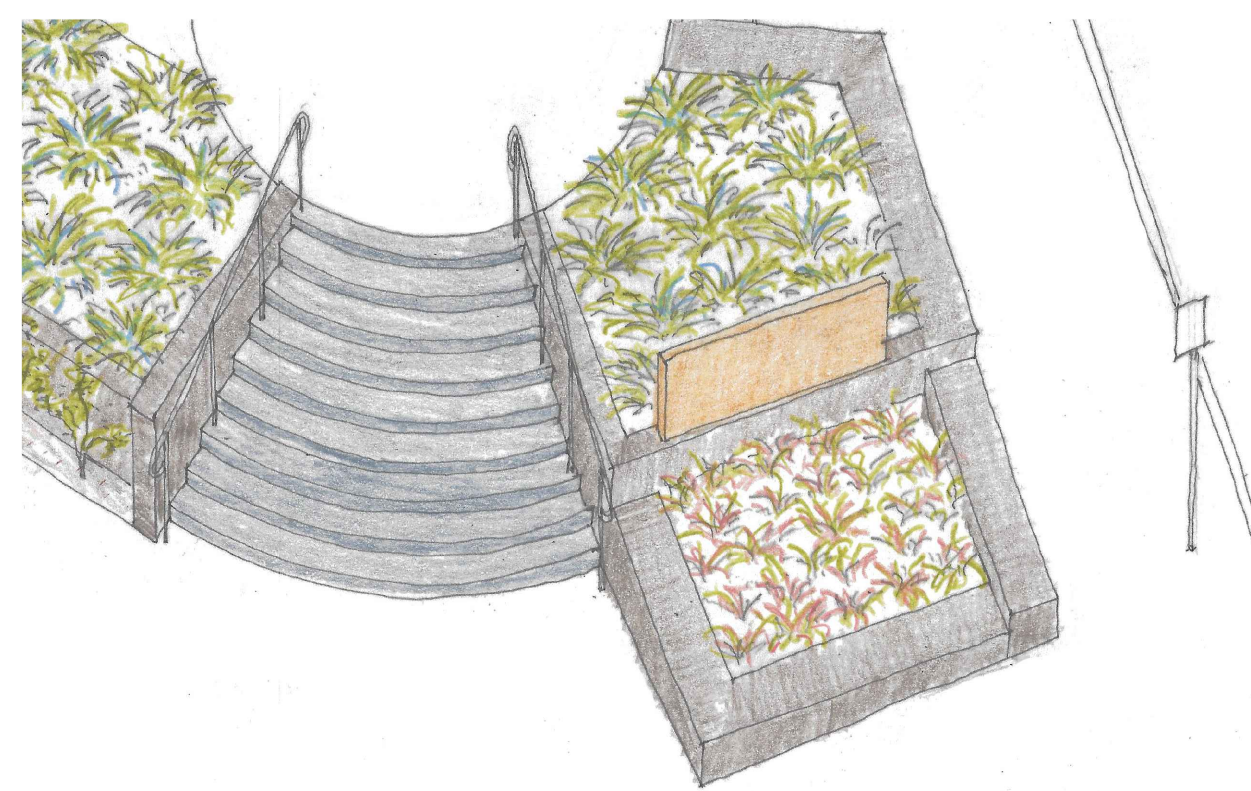
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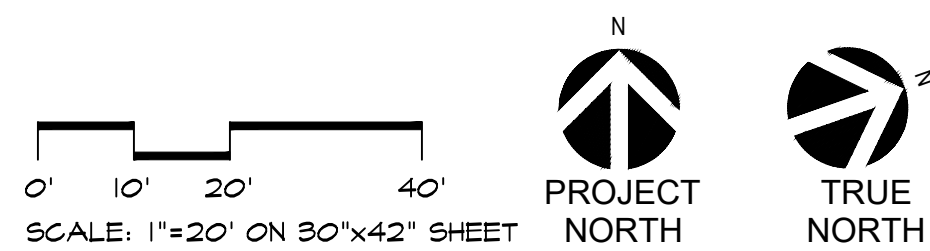
- KEY
LABELS ARE "TYPICAL"
- 1 PAVERS
 - 1a PERVIOUS PAVERS
 - 1b CONC BAND
 - 2 CONCRETE PAVING
 - 3 CONCRETE PAVING - DRIVEWAY
 - 4 STEPS & HANDRAILS
 - 5 SINGLE STEP & HANDRAILS
 - 6 NOT USED
 - 7 RETAINING WALL WITH RAILING / GUARD
 - 8 RETAINING WALL
 - 9 SEATWALL
 - 10 IDENTIFICATION SIGN
 - 11 FENCE ON WALL
 - 12 GATE
 - 13 CURB
 - 14 N/A
 - 15 DRIP STRIP
 - 16 TREE PIT
 - 17 BOOK DROP BOX
 - 18 FLAG POLES
 - 19 SCHEMATIC WATER PIPE
 - 20 SPIGOT IN RECESSED LOCKING BOX
 - 21 BIKE RACK
 - 22 LITTER/RECYCLING RECEPTACLE
 - 23 CRUSHED STONE PAVING

- MATERIALS NOTES
- 1. PAVERS (1,367SF) - SEE 3/L6.0
 - 1a PERVIOUS PAVERS (2,065SF) SEE 2/L6.0
 - 1b CONC BAND: SEE 2/L6.0
 - 2. CONCRETE PAVING - SEE CIVIL DWGS
 - 3. CONCRETE PAVING - DRIVEWAY - SEE CIVIL DWGS
 - 4. STEPS & HANDRAILS
 - 4.1. STONE STEPS
 - 4.1.1. 12" WIDE, 6" RISERS
 - 4.1.2. SET ON MORTAR ON CONCRETE BASE: REINFORCING AND FOUNDATION/FOOTING DIMENSIONS PER STRUCTURAL ENGINEER
 - 4.2. 36" TUBULAR ALUMINUM HANDRAIL ON EACH SIDE, LED ILLUMINATION UNDER HANDRAIL
 - 5. SINGLE STEP AND HANDRAILS
 - 6. NOT USED
 - 7. RETAINING WALL WITH RAILING / GUARD - SEE ARCH DWGS
 - 7.1. 12" WIDE REINFORCED CONCRETE UNLESS OTHERWISE SPECIFIED
 - 7.1.1. 4" x 14" CAST STONE CAP WITH 1" OVERHANGS AND DRIP GROOVE OR AS OTHERWISE SELECTED BY ARCHITECT FOR SITE WALLS
 - 7.2. REINFORCING AND FOUNDATION/FOOTING DIMENSIONS PER STRUCTURAL ENGINEER
 - 7.3. TOP RAILING/GUARD PER ARCHITECT
 - 7.4. FOOTING/FOUNDATION DRAIN (CONNECTED TO STORMWATER SYSTEM IF AVAILABLE IN AREA, OR PROVIDE WEEP HOLES)
 - 8. RETAINING WALL
 - 8.1. 12" WIDE REINFORCED CONCRETE
 - 8.1.1. 4" x 14" CAST STONE CAP WITH 1" OVERHANGS AND DRIP GROOVE OR AS OTHERWISE SELECTED BY ARCHITECT FOR SITE WALLS
 - 8.2. REINFORCING AND FOUNDATION/FOOTING DIMENSIONS PER STRUCTURAL ENGINEER
 - 8.3. FOOTING/FOUNDATION (DRAIN CONNECTED TO STORMWATER SYSTEM IF AVAILABLE IN AREA, (OR PROVIDE WEEP HOLES)
 - 9. SEATWALL
 - 9.1. 18" WIDE REINFORCED CONCRETE AVG 18" HIGH (WITH ARMRESTS OR SIMILAR TO DISCOURAGE LAYING DOWN)
 - 9.1.1. 4" x 20" CAST STONE CAP WITH 1" OVERHANGS AND DRIP GROOVE OR AS OTHERWISE SELECTED BY ARCHITECT FOR SITE WALLS
 - 9.1.2. OPTIONAL WOOD SLAT TOP, OR INSERT WOOD SLAT SEATS, OR BLUESTONE CAP
 - 9.2. REINFORCING AND FOUNDATION/FOOTING DIMENSIONS PER STRUCTURAL ENGINEER
 - 9.3. OWNER RESERVES THE RIGHT TO DELETE, REVISE TO BENCH, AND/OR REVISE TO ARTISTIC BENCH
 - 9.4. SEE DETAILS 4 AND 5/L6.0
 - 9.5. OWNER MAY SUBSTITUTE ROUND SEATS IN LIEU OF SOME SEATWALLS
 - 10. IDENTIFICATION SIGN
 - 10.1. PER ARCHITECT/SIGNAGE DESIGNER (WEST SIGN IS DIGITAL, OTHERS INTERNALLY ILLUMINATED OR AS OTHERWISE SPECIFIED BY LIGHTING DESIGNER)
 - 11. FENCE ON WALL - SEE ARCH/CIVIL DWGS
 - 12. GATE - SEE CIVIL DWGS
 - 13. CURB - SEE CIVIL DWGS
 - 14. BOLLARD
 - 14.1. 48" HEIGHT, 8" DIAM, STEEL, ORNAMENTAL, 1 CUSTOM COLOR, AS SELECTED BY LANDSCAPE ARCHITECT
 - 15. DRIP STRIP
 - 15.1. 3" RIVERSTONE, 4" DEEP, ON NONWOVEN GEOTEXTILE
 - 15.2. ALUMINUM OR STEEL EDGING, 4" DEEP, HEAVY DUTY
 - 16. TREE PIT
 - 16.1. 5 FT X 8 FT, WITH 24" PLANTING SOIL
 - 16.2. DRY WELL AT EACH TREE PIT: 12" DIAM X 3 FT DEEP (PENNDOT 2B WRAPPED IN NONWOVEN GEOTEXTILE)
 - 17. BOOK DROP: AS DETERMINED BY OWNER
 - 17.1. ON CONCRETE PAD TO MATCH PEDESTRIAN CONCRETE
 - 18. FLAG POLES
 - 18.1. 30" FOR AMERICAN FLAG, 25" FOR OTHERS
 - 18.2. ILLUMINATION: TBD
 - 18.3. FOOTINGS PER STRUCTURAL ENGINEER (TOP TO MATCH CONC PAVING, 12' x 2')
 - 19. SCHEMATIC WATER PIPE: SEE CIVIL DWGS
 - 20. SPIGOT IN RECESSED BOX: SEE CIVIL DWGS
 - 21. BIKE RACK - SEE DETAIL 7/L6.0 (TWO SIZES) FINAL LOCATIONS TBD BY LANDSCAPE ARCHITECT
 - 22. LITTER/RECYCLING RECEPTACLE
 - 22.1. AS SELECTED BY LANDSCAPE ARCHITECT
 - 23. CRUSHED STONE PAVING
 - 23.1. 3/8" GRAY CRUSHED STONE 2" DEEP ON MATCHING 3/4" CRUSHED STONE 2" DEEP ON WOVEN GEOTEXTILE

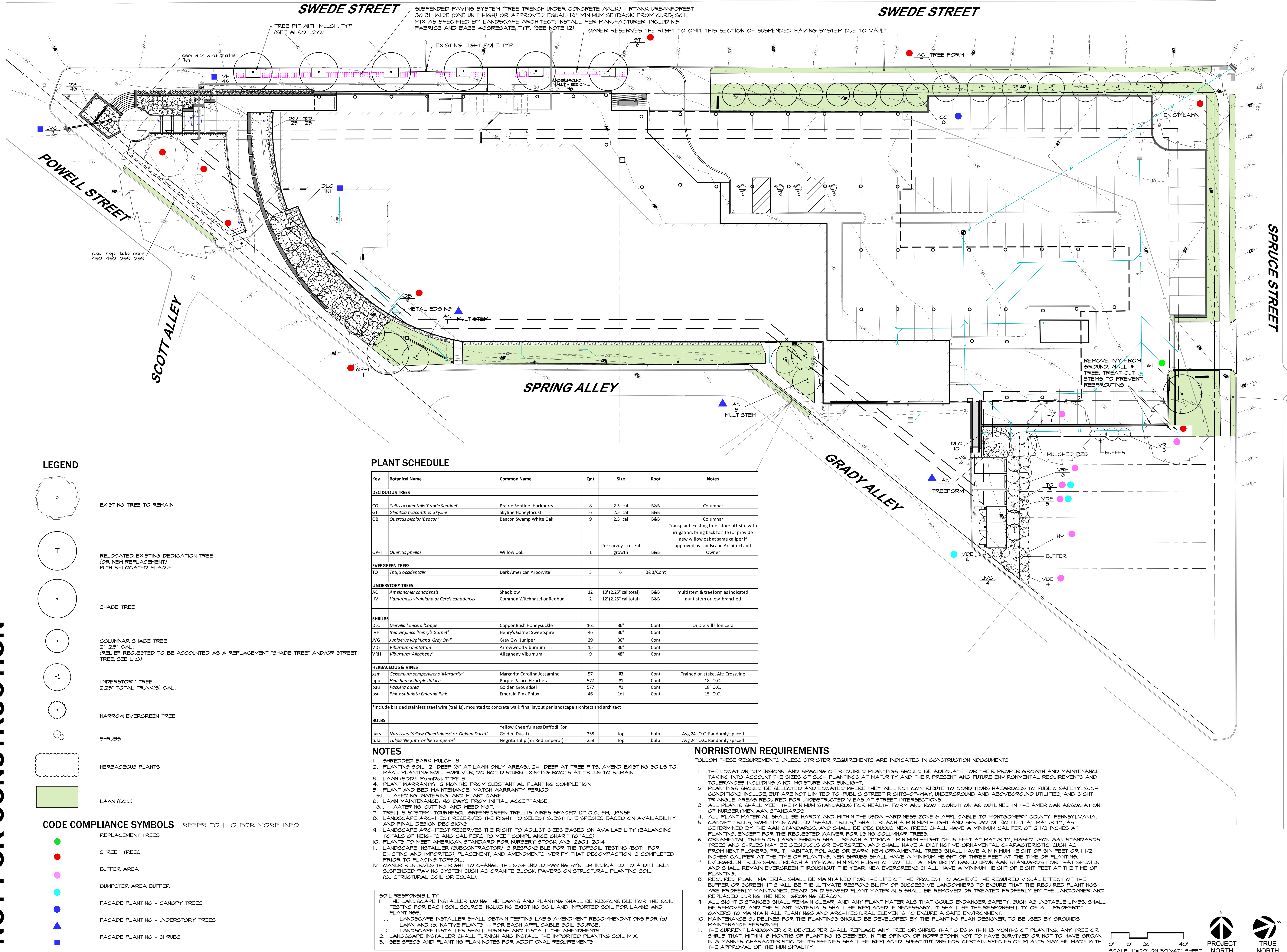
- NOTES
- 1. REFER TO CIVIL, ARCHITECTURAL, AND LIGHTING DRAWINGS FOR ADDITIONAL INFORMATION



WEST STEPS AND PLANTERS - ILLUSTRATIVE

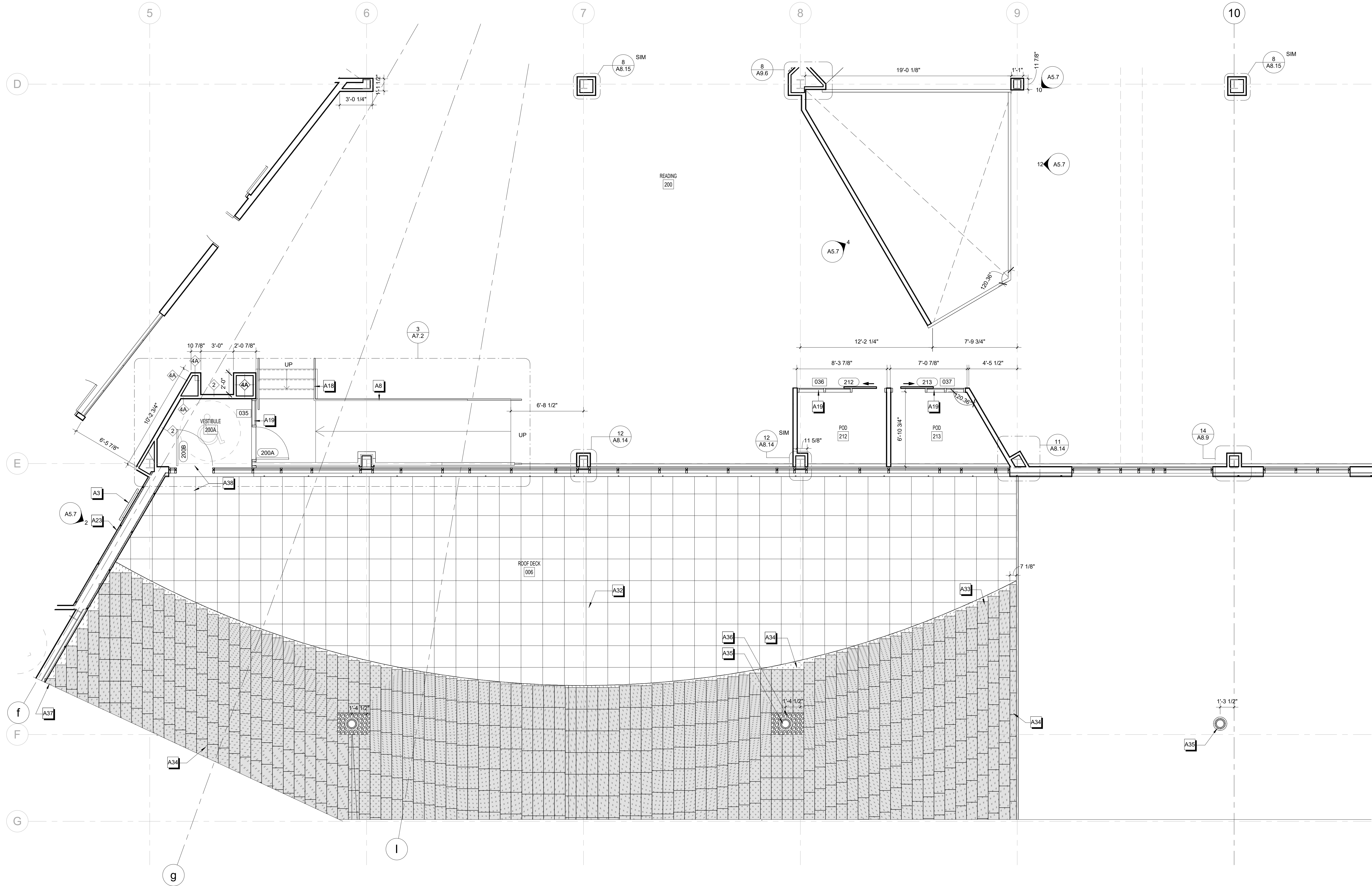


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A2.2a



1 ENLARGED PLAN - ROOF DECK
1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES

- GWB INTERIOR PARTITIONS ARE TYPE UNLESS OTHERWISE NOTED.
- F.E. = FIRE EXTINGUISHER (F.E.) OR F.C. = FIRE EXTINGUISHER CABINET (F.E.)
- REFER TO SHEET A10 SERIES FOR DOOR SCHEDULE.
- REFER TO SHEET A10 SERIES FOR INTERIOR WINDOW SCHEDULE.
- REFER TO SHEET A11 SERIES FOR ROOM FINISH SCHEDULE.

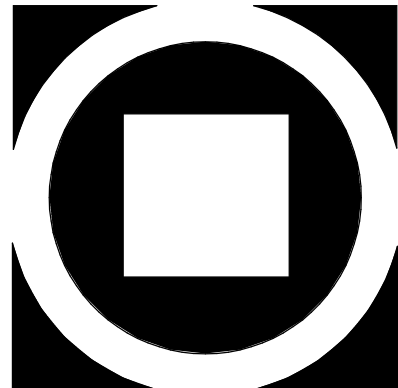
ROOM	NAME
8	A8.15
- MECHANICAL DUCT AS PER MECHANICAL DWGS.
- PATCH AND REPAIR ALL SURFACES TO REMAIN IF DAMAGED AS A RESULT OF DEMOLITION. SURFACES SHOULD PROVIDE A SUITABLE SUBSTRATE TO THE EXTENT NECESSARY FOR NEW MATERIALS AND CONSTRUCTION AS PER CONSTRUCTION DOCUMENTS AND SPECS.
- ALL DIMENSIONS, ELEVATIONS AND PHYSICAL CONDITIONS SHOWN ON DRAWINGS FOR EXISTING STRUCTURES ARE BASED ON LIMITED FIELD INSPECTIONS AND OTHER AVAILABLE SOURCES. SUCH DEPICTIONS OF EXISTING CONSTRUCTION ARE INTENDED TO BE GENERAL, APPROXIMATE, AND LIMITED TO THOSE AREAS FOR WHICH WORK IS REQUIRED, AND ARE PROVIDED ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. CONDUCT A CAREFUL EXAMINATION OF EXISTING CONDITIONS AT THE SITE APPLICABLE TO THE WORK.
- THE EXACT EXTENT OF THE CONSTRUCTION WORK CANNOT BE NECESSARILY OR ACCURATELY DETERMINED PRIOR TO COMMENCEMENT OF WORK. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATIONS TO THE CONSTRUCTION DETAILS. MATERIAL QUANTITIES AND EXTENT OF THE MODIFICATION WORK SHOWN ON CONTRACT DRAWINGS. PERFORM THE WORK TO MEET FIELD CONDITIONS ENCOUNTERED.
- EXAMINE AND FIELD VERIFY ALL EXISTING AND GIVEN DIMENSIONS, AND CONDITIONS, PRIOR TO COMMENCEMENT OF THE WORK AND FABRICATION OF CONSTRUCTION MATERIALS. REPORT VARIANCES FROM DRAWINGS AND POTENTIAL INTERFACES PROMPTLY TO THE ARCHITECT. INCORPORATE ACTUAL FIELD CONDITIONS AND DIMENSIONS IN THE WORK AND INDICATE CHANGES AND ADJUSTMENTS ON DRAWINGS SUBMITTED FOR APPROVAL.
- PROVIDE DEFLECTION TRACK AT ALL METAL STUD FRAMING WHERE WALL PARTITION GOES TO UNDERSIDE OF EXISTING STRUCTURE. ALL PARTITIONS SHOULD GO TO UNDERSIDE OF STRUCTURE, EXCEPT WHERE NOTED.
- PROVIDE FIRE RATED CAULKING AT TOP AND BOTTOM OF ALL RATED WALL ASSEMBLIES AND THRU-FLOOR PENETRATIONS AS PER SPECS.
- ALL GWB TO BE ABUSE RESISTANT TO 6" A.F.F. UNLESS OTHERWISE NOTED.
- PROVIDE MOISTURE RESISTANT GWB AT ALL WET WALLS.
- ALL PLAN DIMENSIONS OF WALLS ARE SHOWN TO FACE OF STUD AND ALL CLEAR DIMENSIONS ARE FACE OF GWB TO GWB. COORDINATE WITH PARTITION TYPE SCHEDULE FOR REQUIRED GWB THICKNESS.
- ALL EXPOSED STEEL, STEEL DECK, AND BEAMS TO BE PAINTED. REFER TO FINISH SCHEDULE.
- ANY FLASHING, COPING, LOUVERS, ETC. TO MATCH ADJACENT EXTERIOR CLADDING. ARCHITECT TO SELECT FROM FULL RANGE.
- COORDINATE ALL MEP PENETRATIONS, REGARDLESS OF ILLUSTRATION ON ARCHITECTURAL ROOF PLANS, WITH TYPICAL ROOFING DETAILS.
- ALL COLUMNS FULLY ENCLOSED IN DRYWALL. SHALL BE PROVIDED WITH A 1-HOUR FIRE-RESISTANCE RATING USING 5/8" TYPE X GYPSUM BOARD.

CONSTRUCTION PLAN LEGEND

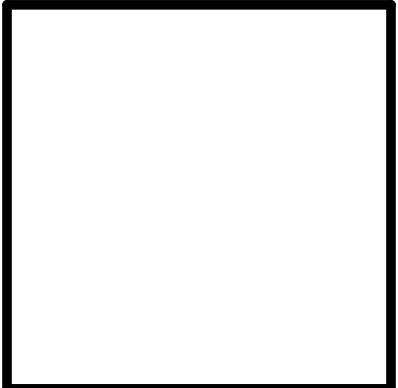
	EXISTING		CMU WALLS
	NEW WALL		CRICKET
	CONSTRUCTION ABOVE		HIGH POINT
	GLAZING		LOW POINT
	SWING DOORS		GREEN ROOF
	CASEWORK ABOVE		

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
A1	INFILL EXISTING FLOOR OPENING WITH NEW CONCRETE FLOOR SLAB AS INDICATED ON PLANS. REFER TO STRUCTURAL DWGS.
A2	GLASS RAILING SYSTEM AS PER DETAILS AND SPECS.
A3	WALL MOUNTED TELEVISION MONITOR. COORDINATE HEIGHT WITH AV. PROVIDE BLOCKING AS REQUIRED.
A4	JANITOR MOP SINK AS PER PLUMBING DWGS.
A5	ACCESSIBLE DRINKING FOUNTAIN AS PER PLUMBING DWGS. PROVIDE ADDITIONAL F.R.T. BLOCKING IN WALL AS PER MANUFACTURER'S STANDARD INSTALLATION DETAILS.
A6	MILLWORK AS PER DETAILS AND SPECS. REFER TO FINISH PLANS FOR MORE DETAILS ON FINISH.
A7	CARD READER AS PER ELECTRICAL DWGS.
A8	RAMP. PROVIDE GUARDRAILS AND HANDRAILS AS PER DETAILS AND SPECS.
A10	2 TIER LOCKERS. REFER TO SPECS FOR MORE INFORMATION.
A11	REFER TO MEP DRAWINGS FOR PLUMBING FIXTURES.
A12	OVERHEAD SECURITY DOOR. REFER TO SPECS FOR MORE INFORMATION.
A13	PERIMETER RADIATOR. REFER TO MECHANICAL DWGS.
A14	APPLIANCES. CONTRACTOR PROVIDED AND CONTRACTOR INSTALLED.
A16	DIGITAL SIGNAGE BOARD.
A17	2X2 WOOD SLAT WALL. REFER TO INTERIOR ELEVATIONS.
A18	PROVIDE NEW GUARDRAILS AND HANDRAILS AS PER DETAILS.
A19	INTERIOR STOREFRONT. REFER TO WINDOW SCHEDULE FOR MORE INFORMATION.
A20	BUILT-IN WOOD BENCH. WOOD VENEER APPLIED TO PLYWOOD FACE AND SOLID WOOD FRAMING.
A21	RESIN PANEL APPLIED TO FACE OF GYP. BOARD. REFER TO FINISH PLANS FOR MORE DETAILS ON FINISH.
A22	SLOP SINK. REFER TO PLUMBING DWGS.
A23	EXTERIOR WALL CONSTRUCTION EXTENDS INTO INTERIOR SPACE. MAINTAIN CONTINUITY OF MATERIALS AND FINISHES PER DRAWINGS.
A24	FLOATING QUARTZ COUNTERTOP W/ CONCEALED METAL BRACKET SUPPORTS.
A25	INFILL CONCRETE TO MATCH THE WIDTH AND ELEVATION OF THE EXISTING RAMP.
A26	FULL-HEIGHT ACOUSTICAL OPERABLE PARTITION WITH MAN DOOR.
A27	WALL MOUNTED ADA-COMPLIANT PUSH PADDLE FOR AUTOMATIC DOOR OPERATION.
A28	EXTERIOR MONUMENT SIGNAGE. SEE DETAIL. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS.
A29	REFER TO CIVIL DWGS FOR ELECTRONIC CANTILEVERED GATE SYSTEM.
A30	INSTALL MEDIUM-SIZE VERTICAL PULL RAIL AND WALL-MOUNTED CARD READER PER ELECTRICAL/SECURITY DRAWINGS.
A31	DISPLAY CASE. SEE A8 SHEETS AND SPECIFICATIONS.
A32	24"X24" PEDESTAL PAVES SYSTEM. REFER TO SHEET A2.2a FOR RADIUS.
A33	12"X24" SEDUM TRAY. TYP. TRIM EDGES OF TRAY, INFILL, AND SPLICE AS REQUIRED FOR CURVE. REFER TO SHEET A2.2a FOR RADIUS. COORDINATE INSTALLATION OF GREEN ROOF SYSTEM WITH MANUFACTURER AND PROVIDE SHOP DWGS PRIOR TO INSTALLATION.
A34	INFILL GAPS AT EDGES OF CURVE WITH SEDUM. TRIM EDGES OF TRAYS AND SPLICE AS REQUIRED FOR CURVE.
A35	ROOF DRAIN. TYP. REFER TO MEP DWGS. PROVIDE BALLAST GUARD IF ROOF DRAIN IS LOCATED WITHIN FOOTPRINT OF GREEN ROOF.
A36	PROVIDE STONE BALLAST AROUND ROOF DRAINS LOCATED WITHIN FOOTPRINT OF GREEN ROOF. REFER TO GREEN ROOF DETAILS IN A8 SERIES DWGS. SPECIFICATIONS AND MANUFACTURER'S DETAILS.
A37	12"X12" SEDUM TRAY. AS REQUIRED. TRIM EDGES OF TRAY, INFILL, AND SPLICE AS REQUIRED FOR CURVE. REFER TO SHEET A2.2a FOR RADIUS.
A38	ALIGN TOP OF PEDESTAL PAVERS WITH LANDINGS AT TOP OF INTERIOR RAMP.
A39	INFILL EXISTING TRENCH RACEWAY. RACEWAY SHOWN IN APPROXIMATE LOCATION FOR COORDINATION ONLY. REFER TO STRUCTURAL DWGS.
A40	LINE OF BULKHEAD ABOVE.
A41	RFD GATE. COORDINATE WITH AV AND ELECTRICAL DRAWINGS.
A42	NEW WINDOW INSTALLED ON PARTIAL EXISTING WALL AT BASE. SEE DEMO AND NEW CONSTRUCTION ELEVATIONS.
A43	CONCRETE SCULPTURE SEATING - "TYPEWRITER KEYS". SEE DETAILS IN A9 SERIES DWGS.
A44	NEW DECORATIVE RAILING ON TOP OF EXISTING RETAINING WALL. PALMSHIELD RUGA RAILING, ARCHITECTURAL BRONZE, 42" HIGH.
A45	NEW 42" DECORATIVE RAILING ON TOP OF EXISTING RETAINING WALL. MATCH COLOR TO ADJACENT BRONZE FINISHES. ARCHITECT TO SELECT FROM FULL RANGE. ALTERNATE PALMSHIELD RUGA RAILING, ARCHITECTURAL BRONZE FINISH. SEE DETAILS ON SHEET A8.18.
A46	PROVIDE BLOCKING IN STEEL WEB, WITH INTUMESCENT PAINT TO MATCH P-2. SEE DETAIL.
A47	THIS ENTIRE GLASS WALL TO RECEIVE GLASS FILM (GL-1). SEE ELEVATIONS AND FINISH LEGEND FOR DETAILS.
A48	BUILDING EXPANSION JOINT. SEE DETAILS IN A8 SERIES AND SPEC.



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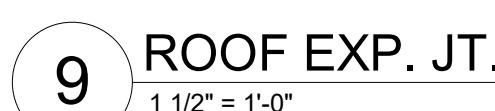
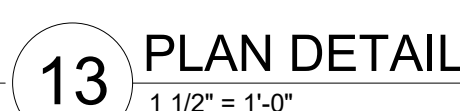
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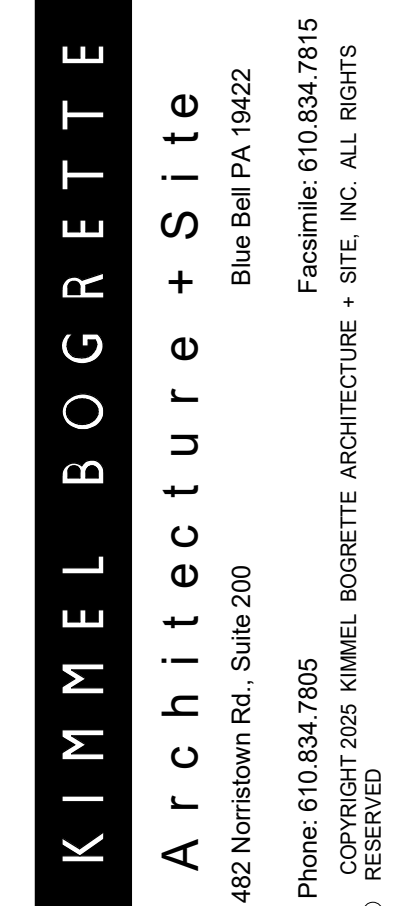
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NO. 02/21/25
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75% GMP
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04/03/26

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NO. 02/21/25
DESCRIPTION DESIGN DEVELOPMENT
75% GMP
BID & PERMIT
03/22/25
04/03/26

A4.14



1. PLAN DETAILS DO NOT ILLUSTRATE FIREPROOFING. ALL STRUCTURAL ELEMENTS SHALL RECEIVE SPRAY-APPLIED FIREPROOFING TO ACHIEVE A 1-HOUR FIRE-RESISTANCE RATING.
2. PROVIDE SPRAY-APPLIED FIREPROOFING ON ALL METAL DECKING TO ACHIEVE A 1-HOUR FIRE-RESISTANCE RATING.
3. ALL COLUMNS FULLY ENCLOSED IN DRYWALL SHALL BE PROVIDED WITH A 1-HOUR FIRE-RESISTANCE RATING USING 5/8" TYPE X GYPSUM BOARD.



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DETAILS		
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	BID & PERMIT	04/03/26

A8.9