



CHESTNUT STREET

LOT 'H'

RACC WAREHOUSE

WORK AREA

CONSTRUCTION WASTE DUMPSTER

C-CAN (OPTIONAL)

CONSTRUCTION ENTRANCE DOOR #3

S 2ND STREET

SPRUCE STREET

SITE PLAN NOTES

- GC TO PROVIDE PROTECTION AT ALL CURBS AND EXISTING PAVING TO REMAIN IN CONSTRUCTION CIRCULATION ZONES AND ACCESS ROUTES.
- CONTRACTOR SHALL COORDINATE FINAL SITE LOGISTICS WITH INPUT FROM OTHER PRIMES AND OWNER.

1 SITE PLAN

1. GC TO PROVIDE PROTECTION AT ALL CURBS AND EXISTING PAVING TO REMAIN IN CONSTRUCTION CIRCULATION ZONES AND ACCESS ROUTES.
2. CONTRACTOR SHALL COORDINATE FINAL SITE LOGISTICS WITH INPUT FROM OTHER PRIMES AND OWNER.

1. EACH PRIME CONTRACTOR AND ITS SUBCONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK OR PURCHASING ANY MATERIALS. VERIFY LAYOUT IN RELATION TO PROPERTY LINES, BENCH MARKS, OR OTHER FIXED CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
2. ALL CONTRACTOR(S) SHALL COMPARE AND COORDINATE THE DRAWINGS AND SPECIFICATIONS WITH THEIR OWN WORK AND ADJACENT WORK. EACH IS REQUIRED TO NOTIFY ARCHITECT OF DISCREPANCIES OR INCOMPLETE INFORMATION WITHIN THE CONTRACT DOCUMENTS OR DESIGN INTENT IMMEDIATELY UPON DISCOVERY. EACH CONTRACTOR SHALL OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE WORK SITE IN A CLEAN AND ORDERLY MANNER AND ALLOW FOR SAFE USE OF PREMISES BY THE OWNER, OCCUPANTS AND VISITORS. EACH PRIME AND/OR SUBCONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN CLEANLINESS AND PROTECTION OF ITS OWN WORK AREAS, WORKMANSHIP, AND PROTECTION OF ADJACENT WORK.
4. EACH PRIME CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SITE SAFETY, EROSION AND SEDIMENTATION CONTROL, AND COORDINATING WITH THE WORK OF OTHER TRADES.
5. GENERAL CONTRACTOR IS THE DESIGNATED LEAD PRIME CONTRACTOR AND SHALL COORDINATE CONSTRUCTION ACTIVITIES AND EXTENTS OF WORK WITH OTHER PRIME CONTRACTORS. OWNER'S STAFF AND VENDORS WHEN REQUIRED FOR FULL EXECUTION OF THE WORK. HE SHALL COORDINATE WORK AREAS, LOGISTICS AND SCHEDULES WITH THE OWNER AND ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
6. ALL REFUSE SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A LEGAL MANNER. SEE THE PROJECT SPECIFICATIONS FOR WASTE DISPOSAL ASSIGNMENTS AND RESPONSIBILITIES.
7. EACH PRIME CONTRACTOR SHALL PROVIDE WORKERS EXPERIENCED IN THE TRADES AND ACTIVITIES TO BE PERFORMED AND BE FAMILIAR WITH THE PRODUCTS, MATERIALS, AND FINISHES INVOLVED IN THE SCOPE OF WORK OF THIS PROJECT. CONTRACTORS SHALL PROVIDE INSTALLERS CERTIFIED OR ACCREDITED BY APPLICABLE MANUFACTURERS AND/OR TRADE ASSOCIATIONS WHERE SPECIFIED.
8. EACH PRIME CONTRACTOR SHALL PERFORM DEMOLITION CUTTING IN SUCH A MANNER THAT PATCHED AREAS MAY BE RETURNED TO UNIFORM CONDITION AND APPEARANCE WITH SURROUNDINGS. EACH CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO THE SITE CAUSED BY ITS DEMOLITION AND CONSTRUCTION ACTIVITIES.
9. GENERAL CONTRACTOR SHALL PLAN THE SCHEDULE OF ACTIVITIES TO MAINTAIN THE SECURITY OF THE BUILDING THROUGHOUT THE CONSTRUCTION PROCESS. GENERAL CONTRACTOR SHALL LOCK AND SECURE PROJECT AREA AT THE END OF EACH WORK DAY.
10. EACH PRIME CONTRACTOR SHALL ENSURE THAT ALL WORK AREAS ENCOMPASSED WITHIN ITS SCOPE OF WORK, INCLUDING THOSE ON ROOFS, SHALL BE IN COMPLIANCE WITH OSHA STANDARDS AND REQUIREMENTS, INCLUDING ANY FLAGGING, TIE-OFFS, AND TEMPORARY BARRIERS.
11. THE OWNER RESERVES THE RIGHT TO KEEP ANY ITEMS REMOVED AS SCHEDULED IN THE DOCUMENTS FOR REMOVAL OR LATER IDENTIFIED IN THE FIELD. ALL OTHER REMOVED ITEMS SHALL BECOME THE PROPERTY AND RESPONSIBILITY OF THE CONTRACTOR FOR LEGAL DISPOSAL.
12. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS AS APPLICABLE.
13. THE ARCHITECT AND OWNER ACCEPTS NO RESPONSIBILITY FOR CHANGES OR DEVIATIONS FROM THE PROJECT DOCUMENTS UNLESS AUTHORIZED VIA WRITTEN CORRESPONDENCE FROM THE ARCHITECT OR OWNER.
14. THE SERVICES TO BE PERFORMED BY THE ARCHITECT UNDER THE OWNER-ARCHITECT AGREEMENT ARE INTENDED SOLELY FOR THE BENEFIT OF THE OWNER. NOTHING CONTAINED HEREIN SHALL CONFER ANY RIGHTS UPON OR CREATE ANY DUTIES ON THE PART OF THE ARCHITECT TOWARD ANY PERSON(S) NOT A PARTY TO THE OWNER-ARCHITECT AGREEMENT, INCLUDING, BUT NOT LIMITED TO ANY CONTRACTOR, SUBCONTRACTOR, SUPPLIER, OR THE AGENTS, OFFICERS, EMPLOYEES, INSURERS OR SURETIES OF ANY SUCH PERSON(S).

KEYNOTE IDENTIFIERS

DOOR IDENTIFIERS

ELEVATION / SECTION MARKER

INTERIOR ELEVATION MARKER

DETAIL / ENL. PLAN MARKER

A.D.	AREA DRAIN	D.T.L.	DETAIL	H.V.A.C.	HEAT VENTILATION AIR-CONDITIONING	P.R.	PAIR	UNLESS NOTED OTHERWISE	U.N.O.	UNLESS NOTED OTHERWISE
A.D.A.	ACCESSIBLE / DOWN WITH DISABILITIES ACT	D.W.G.	DRAWING	H.O.R.I.Z.	HORIZONTAL	P.L.	PLUM	UNDERWRITERS		
A.D.R.	AREA OF REFUGE	D.E.P.T.	DEPTH	H.I.	HEIGHT	Q.T.Y.	QUANTITY	LABORERS		
A.G.	AREA OF REFUGE	D.M.	DEPARTMENT	I.D.	INSULATION / INSULATING	R.C.	RAIN WATER CONDUIT	V.E.C.T.		
A.L.	ALUMINUM	D.R.	DOOR	I.N.C.A.N.D.	INCANDESCENT	R.E.N.F.	REINFORCING / REINFORCED	V.C.T.		VINYL COMPOSITE
A.L.B.	ALUMINUM BURN	E.B.T.	EXISTING	J.	JANITOR	R.F.	REQUIRED			
A.F.F.	ABOVE FINISHED FLOOR	E.D.	EQUAL	J.T.	JOINT	R.O.	ROUGH OPENING	W.C.		WATER CLOSURE
A.F.F.	ABOVE FINISHED FLOOR	E.C.	ELECTRICAL CONTRACTOR	L.	LA	R.V.	REVISED / REVISION	W.D.		WOOD
A.F.	ALUMINUM FACE	E.L.	ELEVATION	L.A.V.	LAVATORY	R.F.L.	REFLECTED			
APFX.	APPROXIMATE / APPROXIMATE / ELECTRICAL	E.L.E.V.	ELEVATION	L.A.M.	LAMINATE	R.C.E.	RECESSED			AND
		E.E.	ELECTRIC / ELECTRICAL	P.	POINT	R.D.	RADIUS			
ASBO	AS SELECTED BY OWNER	E.P.	EXPANSION	M.X.	MAXIMUM	S.S.	STAINLESS STEEL			
B.D.	BOARD	E.X.T.	EXTERIOR	M.F.	MANUFACTURER / S.T.	S.T.	STREET			PLUS OR MINUS
B.C.	BLOCK / BLOCKING	E.A.C.	EACH	M.F.	MANUFACTURED	S.A.	SIMILAR			
B.D.G.	BUILDING	F.D.	FLOOR DRAIN	M.T.	METAL	S.T.L.	STEEL			
B.C.	BOTTOM OF	F.E.	FIRE EXTINGUISHER	M.L.	MIL	S.Q.	SQUARE			
B.O.S.	BOTTOM OF STUD	F.E.C.	FIRE EXTINGUISHER	M.I.R.	MIRROR	S.N.	SANITARY			SQUARE
C.B.	CABINET	F.N.	FINISHED	M.O.	MOUNTED	S.U.S.P.	SUSPENDED			ROUND / DIAMETER
C.B.	CENTER LINE CENTER	F.N.	FINISH / FINISHED	M.S.C.	MISCELLANEOUS OPENING	S.T.	STANDARD			
C.E.	CEILING	F.R.	FLOOR	M.S.C.	MISCELLANEOUS	S.P.C.	SPECIFICATION			FL / PLATE
C.CS.	CLOSET	F.O.	FACE OF	M.E.C.H.	MECHANICAL	T.E.L.	TELEPHONE			
C.F.	CONSTRUCTION MANAGER	F.F.P.	FEET PER FOOT	M.E.C.H.	MECHANICAL	T.O.	TO			
C.MJ	CONCRETE MASONRY UNIT	F.T.	FEET / FOOT	N.O.T.	NOT IN SCALE	T.O.P.	TOP OF STEEL			U-BAR
C.C.	CONCRETE JOINT	F.U.S.T.	FEET / FOOT	N.O.T.	NOT IN SCALE	T.O.S.	TOP OF STEEL			LE-CAR
C.C.	CONCRETE	G.Y.P.	GYPSON	O.C.	ON CENTER	T.O.L.	TOILET			
CORR.	CORRIDOR	G.A.L.V.	GALVANIZED	O.D.	OUTSIDE DIAMETER	T.W.	THICK			
C.O.L.	COLUMN	G.	GAUGE	O.P.P.	OPPOSITE	T.K.	TRUCK			
C.O.	CONTINUE / CONTINUOUS	G.C.	GENERAL CONTRACTOR	O.P.	OPENING	T.M.P.	TEMPERED			
C.NTR.	CONTRACTOR	H.R.	HOUR	P.C.	PANEL FACE	T.S.G.	TEMPERED SAFETY GLASS			
		H.P.	HIGH POINT	P.	POINT					

OWNER
READING AREA COMMUNITY COLLEGE
10 SOUTH SECOND STREET READING PA 19602
CONTACT: DOLORES PETERSON, SENIOR VP
PHONE: 610.607.6265
EMAIL: DPETERSON@RACC.EDU

MUHLENBERG GREENE ARCHITECTS LTD.
1268 PENN AVENUE WYOMISSING PA 19610
PHONE: 610.376.4927
CONTACT: SCOTT GRAHAM AIA, LEED AP+
EMAIL: SCOTTG@MG-ARCHITECTS.COM

GENERAL & CODE INFO

A-001	GENERAL INFORMATION
A-002	CODE SUMMARY AND LIFE SAFETY PLAN

ARCHITECTURAL DEMOLITION & ABATEMENT PLANS

AD-101	DEMOLITION PLAN
PLANS	
A-101	FLOOR PLANS
ENLARGED PLANS	
A-401	INTERIOR ELEVATIONS
DETAILS	
A-501	DETAILS

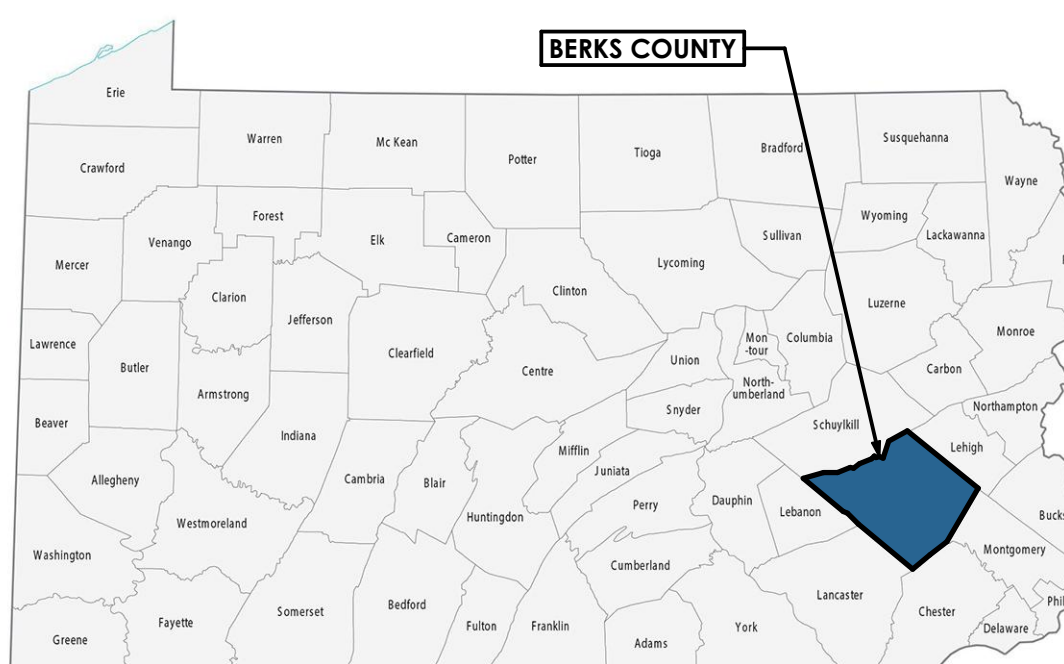
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OTTG@MG-ARCHITECTS.COM

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COMMUNITY COLLEGE

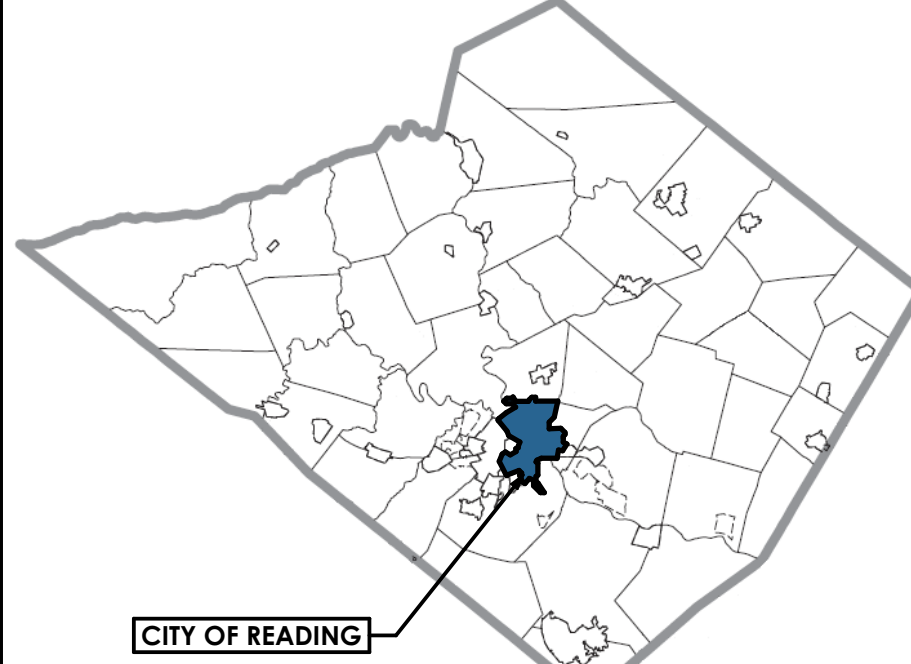
contact: DOLORES PETERSON, SENIOR W
10 SOUTH SECOND STREET
READING, PA 19602
610.607.6265
DPETERSON@RACC.EDU

READING AREA COMMUNITY COLLEGE
WAREHOUSE RENOVATIONS
1111 SPRUCE STREET READING, PA 19607

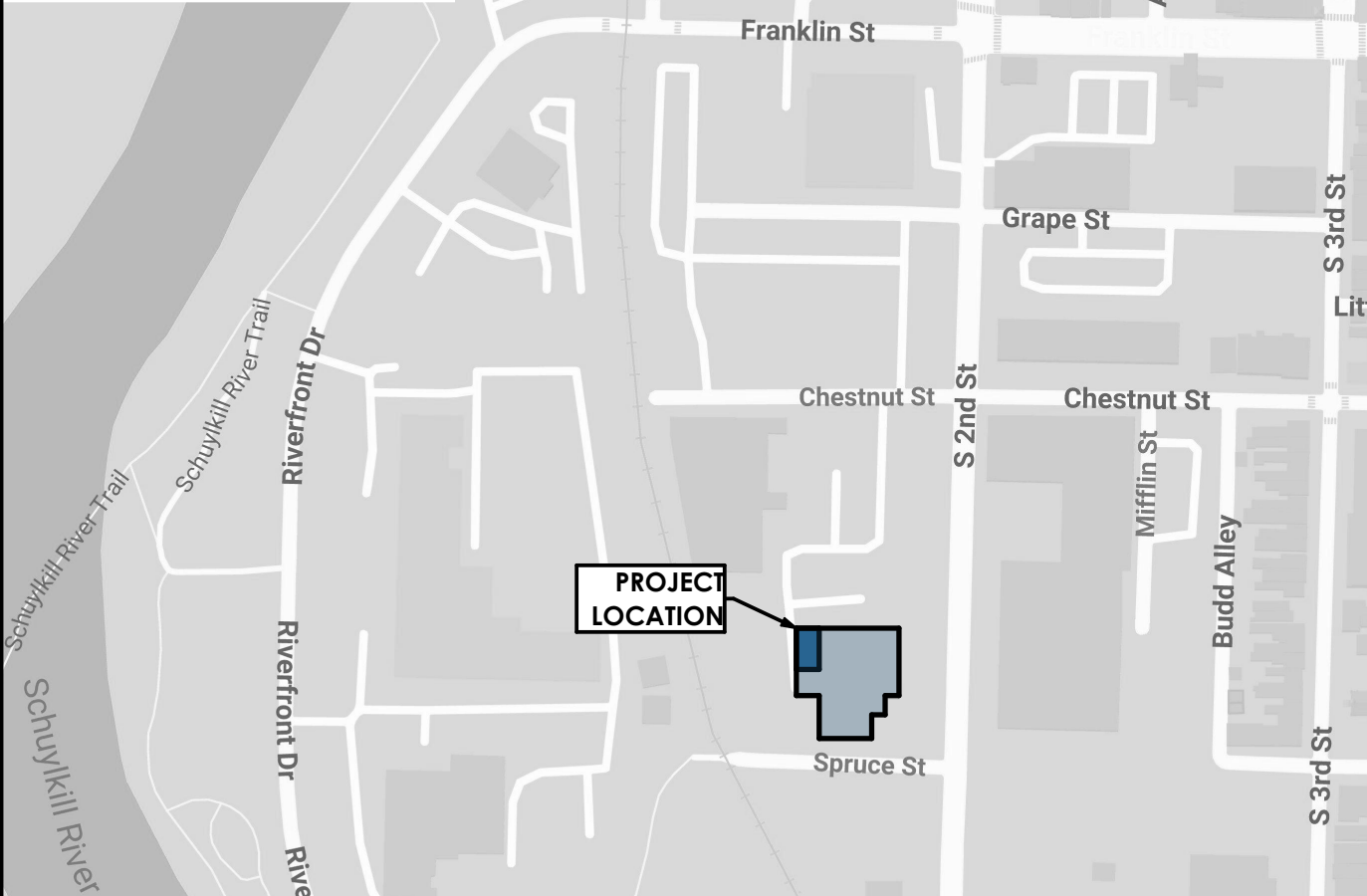
REGIONAL MAP



COUNTY MAP



SITE LOCATION



GRAPHIC SYMBOLS

KEYNOTE IDENTIFIERS

DOOR IDENTIFIERS

ELEVATION / SECTION MARKER

ABBREVIATIONS

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GENERAL INFORMATION

A-001

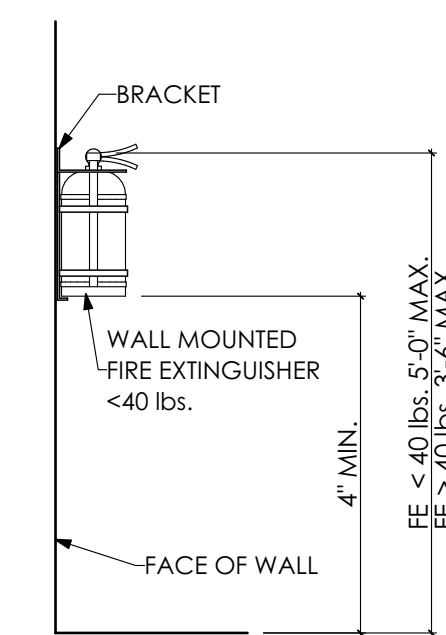
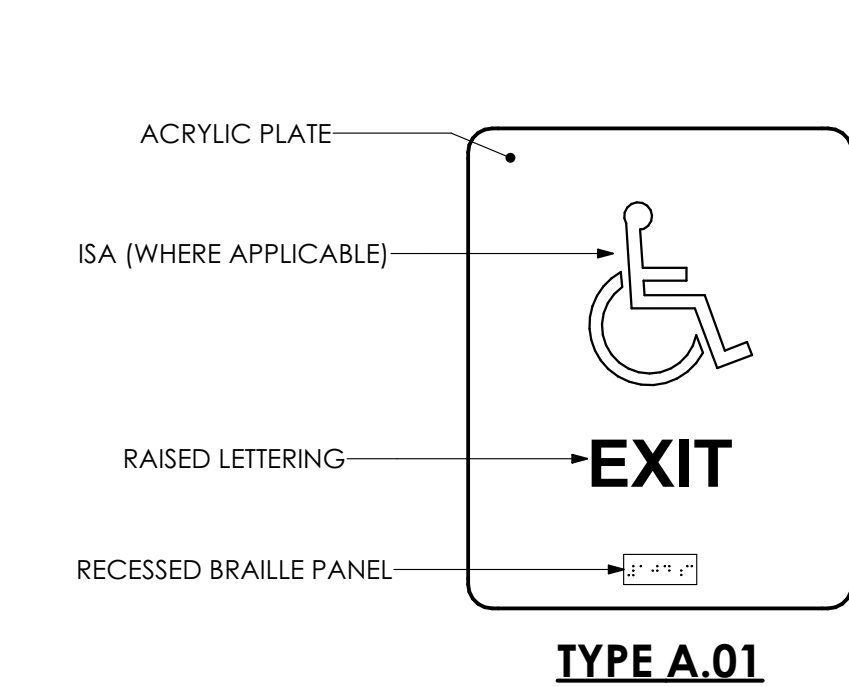


FIGURE 703.3.10 : HEIGHT OF RAISED CHARACTERS ABOVE FLOOR
SEE FIGURE 703.4.5 FOR BRAILLE REQUIREMENTS

Diagram illustrating the location of signs at a door. The sign is mounted on a door frame at a 45.00 degree angle. The sign is 18" MIN. wide and 18" MIN. high. The diagram indicates a clearance centered on the raised characters.

FIGURE 703.3.11 : LOCATION OF SIGNS AT DOOR



ACRYLIC PLATE

RAISED LETTERING

RECESSED BRAILLE PANEL

**NOT AN
EXIT**

TYPE A.05

TYPE C.12



APPLICABLE CODES: IBC 2021, IFC 2021, ICC A117.1 - 2017, ADA 2010, OSHA STD. 1910					
SIGN TYPE	SIGN DESCRIPTION	CODE REFERENCE	TACTILE TEXT & BRAILLE	PICTOGRAMS	NOTES
A -	LIFE SAFETY & EGRESS				
A.01	ACCESSIBLE EXIT	IFC 1013.4	YES	ISA	ISA
A.05	NOT AN EXIT	ICC A117.1	YES		
A.08	EXIT SIGN (ILLUMINATED; SEE ELEC. DWGS)	IFC 1013.1	NO		ARROWS KNOCKOUTS TO MATCH EGRESS DIRECTION
B -	BUILDING INFORMATION AND WAYFINDING				
B.12	ROOM IDENTIFICATION - ID & NAME	ICC A117.1	YES		
C -	FIRE SAFETY				
C.12.1	FIRE EXTINGUISHER LOCATION	IFC 906.6	NO		

1. ALL SIGNS SHALL FOLLOW THE REQUIREMENTS SET FORTH IN THE REFERENCED CODES AND SECTIONS.
2. ALL ACCESSIBLE SIGNAGE TEXT, COLORS, PICTOGRAMS/SYMBOLS, AND BRAILLE SHALL CONFORM TO THE REQUIREMENTS OF THE 2017 ICC A117.1.
3. GENERAL CONTRACTOR SHALL VERIFY ALL SIGNAGE QUANTITIES AND LOCATIONS.
4. REFER TO THE LIFE SAFETY AND/OR SIGNAGE PLANS FOR SIGN LOCATIONS.
5. GENERAL CONTRACTOR SHALL VERIFY/CONFIRM FINAL LOCATIONS OF ALL SIGNS PER CODE REQUIREMENTS AND THE AUTHORITY HAVING JURISDICTION.
6. SIGNAGE FOR RATED BARRIERS SHALL BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL OR PARTITION, AND SPACED AT INTERVALS NOT EXCEEDING 30 FEET.
7. SIGNAGE FOR GLAZED PARTITIONS SHALL BE LOCATED WITHIN 15 FEET OF EACH GLAZED PARTITION, AND SPACED AT INTERVALS NOT EXCEEDING 30 FEET.
8. ALL SIGNAGE INDICATED FOR INSTALLATION ON GLAZED SURFACES TO BE PROVIDED WITH MATCHING BACK PLATE TO BE INSTALLED ON OPPOSITE SIDE OF GLAZING.
9. ALL TEXT SHALL COMPLY WITH VISUAL CHARACTER REQUIREMENTS OF ICC A117.1. UNLESS EXEMPTED.
10. ALL SIGNAGE SHALL BE PLACED AT AN EYE LEVEL OF 5'0" TO 6'0" FROM THE FLOOR. SIGNAGE SHALL BE PLACED NO FURTHER THAN 100' FROM NEAREST VISIBLE EXIT SIGN.
11. PICTOGRAMS AND NON-PERMANENT ROOM IDENTIFICATION TEXT ARE NOT REQUIRED TO BE RAISED/TACTILE. ROOM ID/NUMBERS AND PERMANENT ROOM IDENTIFICATION TEXT SHALL ALWAYS BE RAISED/TACTILE.
12. SIGNAGE SHALL BE PLACED IN ACCORDANCE WITH THE PROJECT-SPECIFIC DESIGN SELECTIONS, USE-CASE AND MANUFACTURER. SIGN DIMENSIONS SHALL BE ADEQUATE TO CONTAIN ALL REQUIRED INFORMATION IN A MANNER COMPATIBLE WITH ALL APPLICABLE CODES CITED IN THESE DRAWINGS AND THE AUTHORITY HAVING JURISDICTION.

COMMON PATH OF TRAVEL DISTANCE

PRIMARY EGRESS PATH

POINT OF ACCESS TO MULTIPLE EXITS

EXIT ACCESS TRAVEL DISTANCE

SECONDARY EGRESS PATH

OFFICE

- 001** ← ROOM NUMBER
- A: 163 SF** ← ROOM AREA
- 100** ← AREA (sf) PER OCCUPANT
- 2** ← OCCUPANTS
- <LOAD>** ← AGGREGATE EGRESS LOAD AT EXIT
- 180** ← ALLOWABLE EGRESS LOAD
- 36** ← CLEAR EGRESS WIDTH

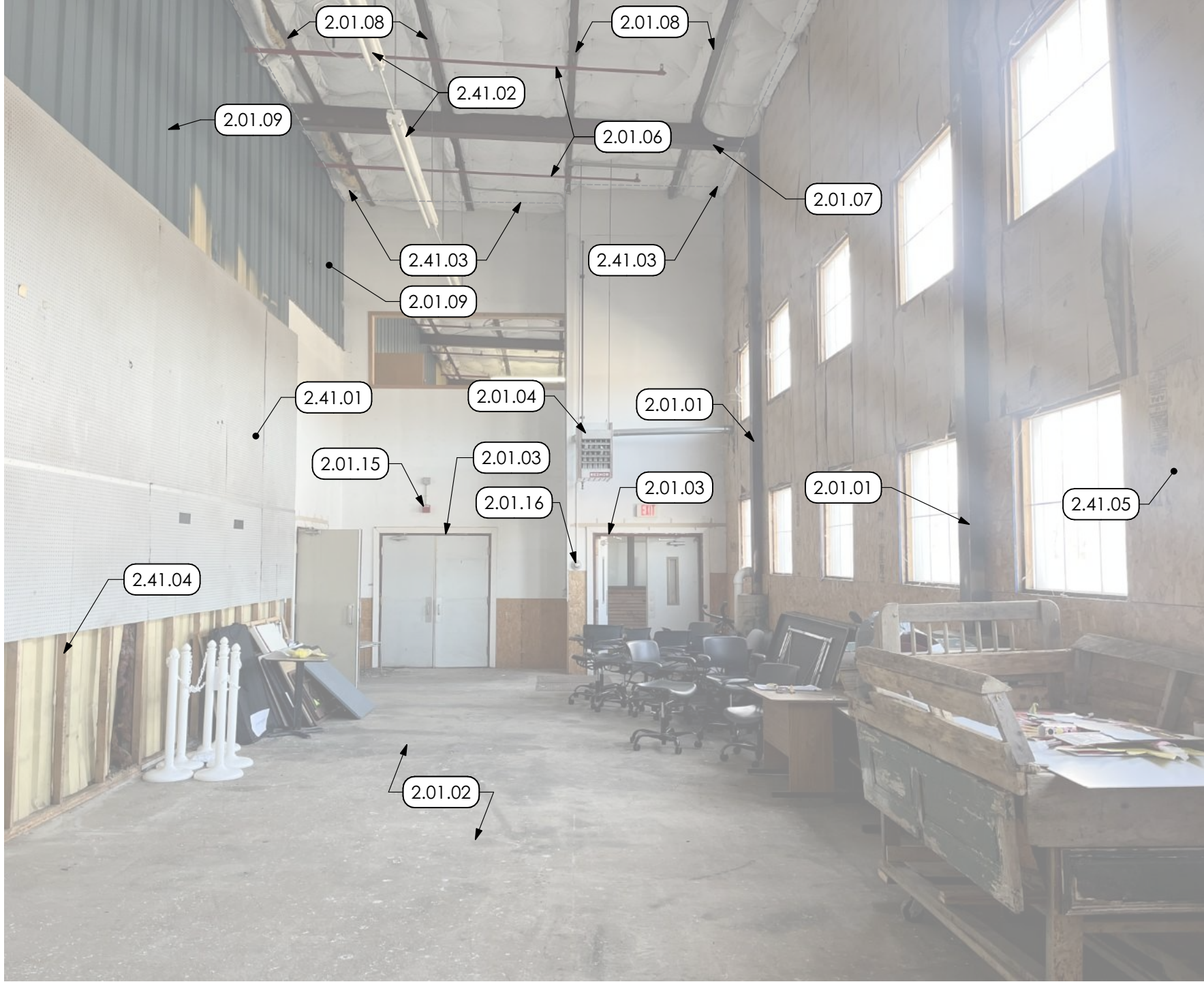
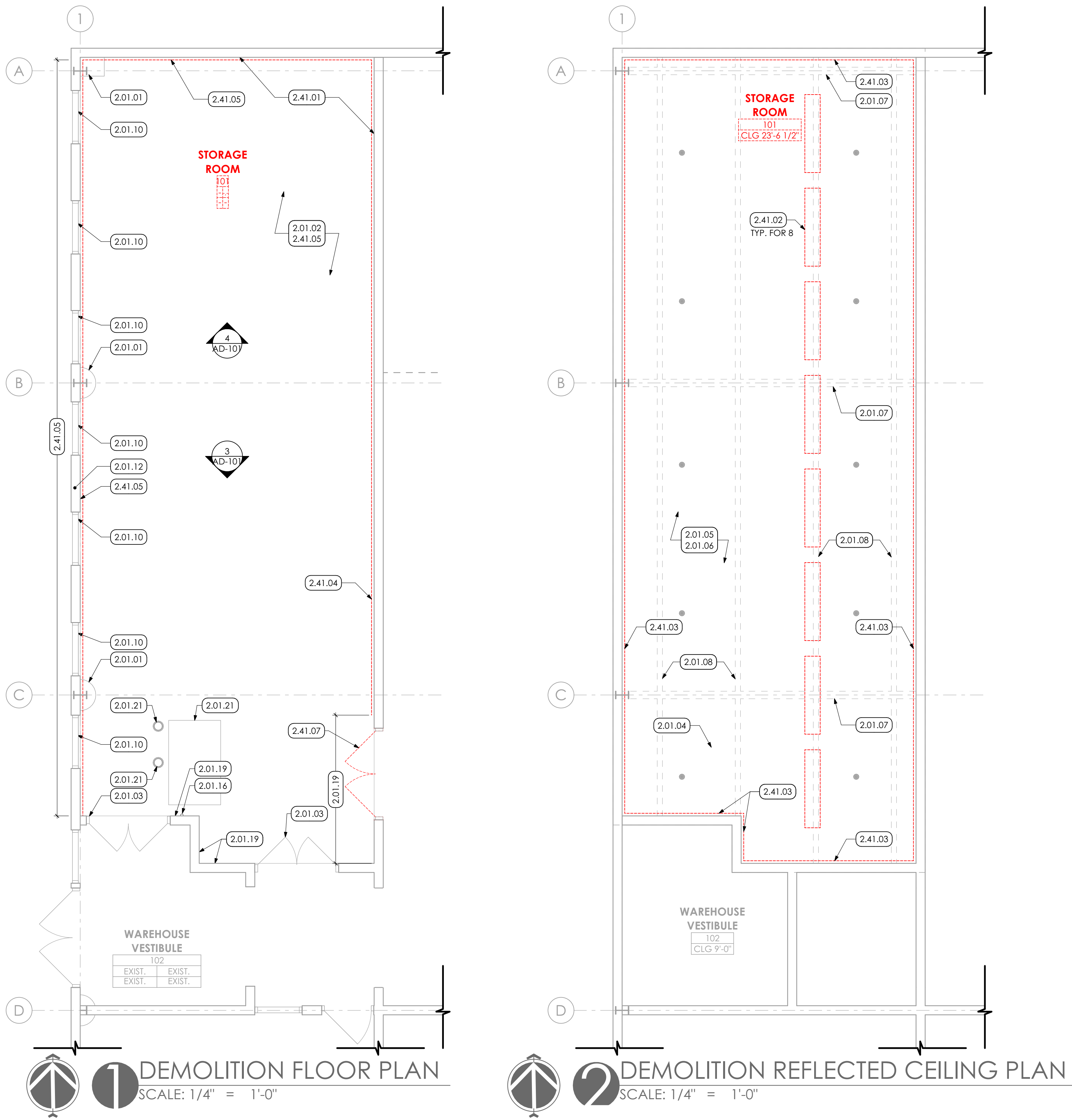
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SHEET TITLE

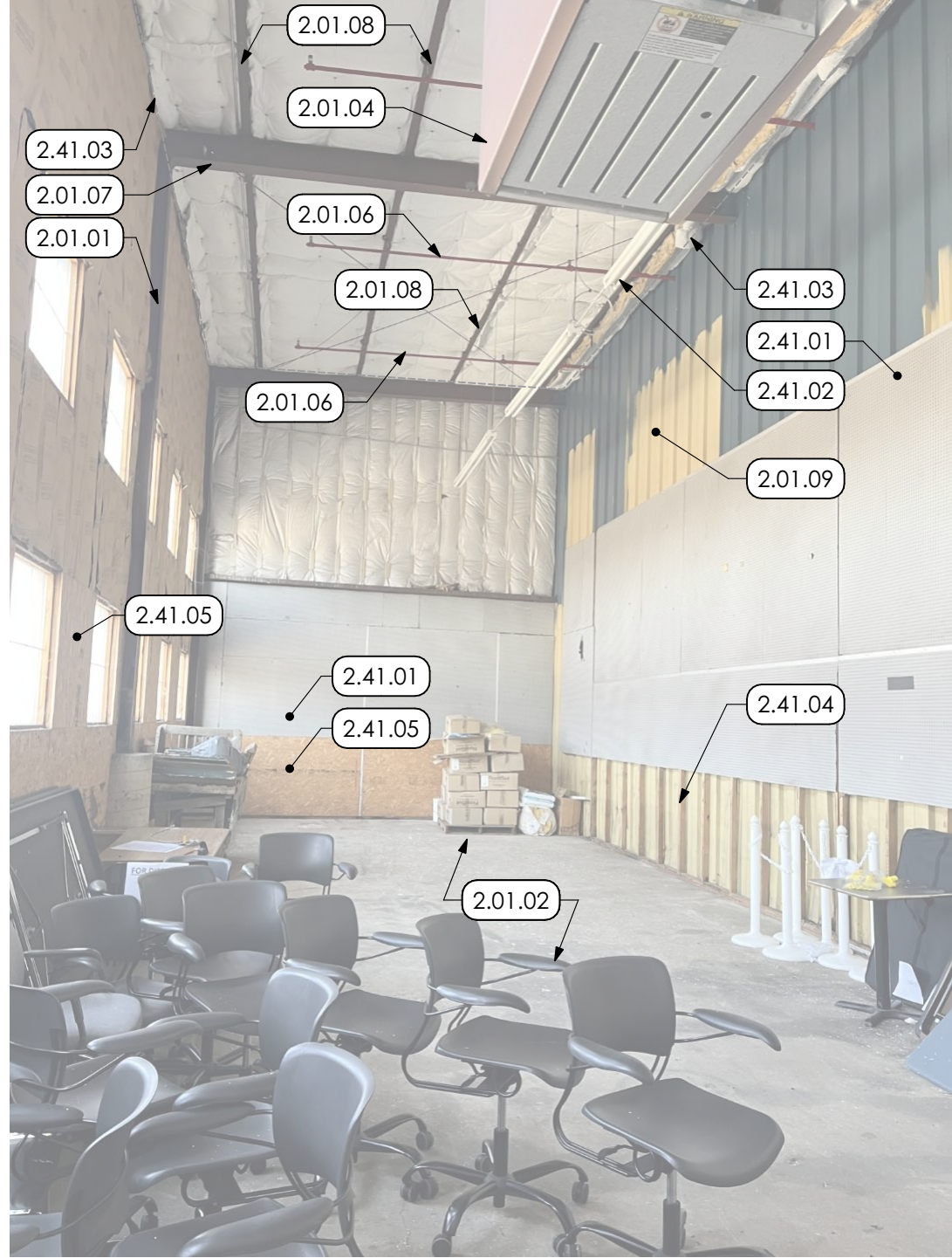
A-002



3 EXISTING CONDITION PHOTO

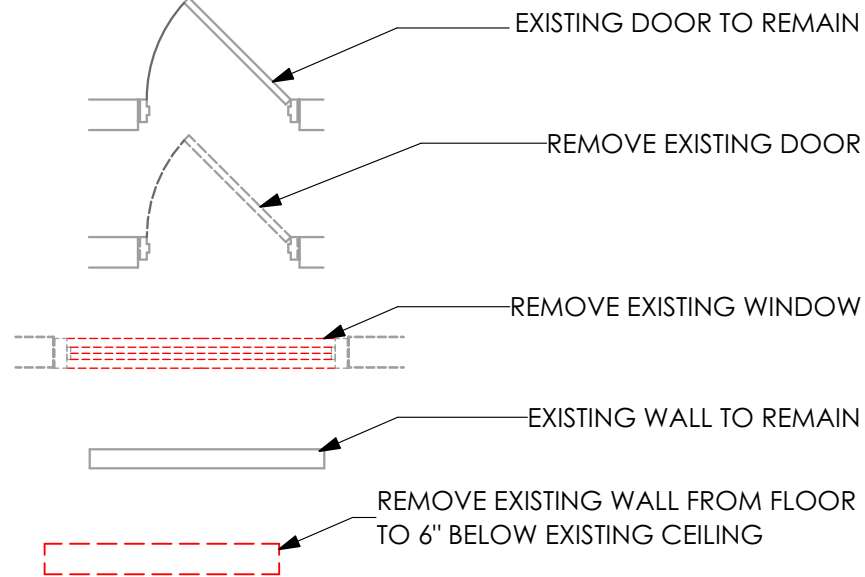
GENERAL DEMOLITION NOTES

- PRIOR TO SUBMISSION OF BID EACH CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE EXTENT OF DEMOLITION WORK REQUIRED AND VERIFY THE EXISTING CONDITIONS AND MATERIALS TO BE DEMOLISHED. CONTRACTOR TO FIELD-VERIFY ROUTING OF ALL EXISTING CONCEALED UTILITIES PRIOR TO DEMOLITION.
- SEE SPECIFICATIONS FOR ASSIGNMENT OF TEMPORARY LIGHTING AND POWER, HVAC, AND WATER FACILITIES DURING DEMOLITION. USE OF EXISTING MEP INFRASTRUCTURE IS PERMISSIBLE TO EXTENT POSSIBLE BASED ON THE DEPICTED SCOPE OF WORK. !!! VERIFY WITH OWNER !!!!
- THE DEMOLITION SHOWN AND INDICATED ON THE DEMOLITION DRAWINGS IS NOT A COMPLETE INDICATION OF THE DEMOLITION REQUIRED FOR THIS PROJECT. ALL MISCELLANEOUS DEMOLITION REQUIRED FOR THIS PHASE OF THE PROJECT, AND THE INTENT OF THE CONSTRUCTION DOCUMENTS, SHALL BE COMPLETED.
- BEFORE PROCEEDING WITH DEMOLITION OF ANY EXISTING CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT IT IS NOT SUPPORTING EXISTING CONSTRUCTION WHICH IS TO REMAIN. IF IN DOUBT, NOTIFY THE ARCHITECT BEFORE REMOVING THE MEMBERS.
- DEMOLISHING CONTRACTOR TO PROVIDE TEMPORARY BRACING, SHORING, OR OTHER PROTECTION AS REQUIRED UNTIL THE WORK IS COMPLETE.
- DEMOLITION IS TO BE DONE IN A MANNER WHICH WILL NOT DAMAGE EXISTING CONSTRUCTION TO REMAIN. PROVIDE TEMPORARY PROTECTION TO EXISTING FINISHES & MATERIALS AS REQUIRED.
- DEBRIS FROM DEMOLITION MUST NOT BE STORED IN A MANNER WHICH WILL OVERLOAD THE EXISTING CONSTRUCTION.
- THE SCOPE OF WORK INCLUDES THE LEGAL DISPOSAL, OFF SITE, OF ALL CONSTRUCTION/DEMOLITION DEBRIS. NO CONSTRUCTION DEBRIS OR TRASH IS TO BE PLACED IN THE PROPERTY OWNERS DUMPSTERS WITHOUT AUTHORIZATION. !!!! VERIFY w/ OWNER !!!!
- ALL SOLID WALLS, PARTITIONS, AND FURRED AREAS WHICH ARE SHOWN AS BEING REMOVED SHALL INCLUDE DOORS, WINDOWS, FRAMES, FINISHES, SHELVING, ETC. THAT ARE PART OF THOSE WALLS AND PARTITIONS.
- THE OWNER RESERVES THE RIGHT TO HAVE THE CONTRACTOR TURN OVER ANY SALVAGED ITEMS OR MATERIALS.
- PARTIAL REMOVAL OF EXISTING PARTITIONS OR FINISHES IS TO BE PERFORMED AS TO ALLOW FOR REFINISHING FOR NEW CONSTRUCTION. DEMOLITION OF CMU PARTITIONS THAT WILL REMAIN EXPOSED SHALL INCLUDE REMOVAL OF ENTIRE BLOCKS AS TO ALLOW FOR "TOOTHING" OF NEW MASONRY OR INSTALLATION OF BULLNOSE CMU'S.
- INFILL/PATCH OPENINGS WHERE INDICATED ON THE DRAWINGS WITH SIMILAR, COMPATIBLE MATERIALS AND METHODS SUCH AS TO ENSURE UNIFORM APPEARANCE AND PERFORMANCE. SEE SPECIFICATIONS FOR EXTENT OF FINISHING REQUIRED AND CONTRACTOR ASSIGNMENTS.
- WHERE FINISHES OR SURFACE-MOUNTED ELEMENTS ARE SCHEDULED FOR REMOVAL FROM SUBSTRATE SCHEDULED TO REMAIN; CLEAN AND PREPARE SUBSTRATE FOR NEW FINISHES TO CONDITION COMPLIANT WITH MANUFACTURER'S SPECIFICATIONS.
- HAZARDOUS MATERIALS REMEDIATION IS NOT ANTICIPATED FOR AREAS OF WORK. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED IN THE COURSE OF DEMOLITION, NOTIFY ARCHITECT AND OWNER IMMEDIATELY.
- DEMOLITION OF MISCELLANEOUS SURFACE-MOUNTED ITEMS IN SPACES TO RECEIVE NEW FINISHES OR FINISHES MAINTENANCE SHALL BE INCLUDED AS PART OF THIS SCOPE.
- UNLESS NOTED OTHERWISE, ALL DEMOLITION DIMENSIONS ARE TAKEN FROM FINISH FACE OF EXISTING ELEMENTS.
- OWNER SHALL REMOVE ITEMS STORED IN WORK AREA PRIOR TO DEMOLITION.

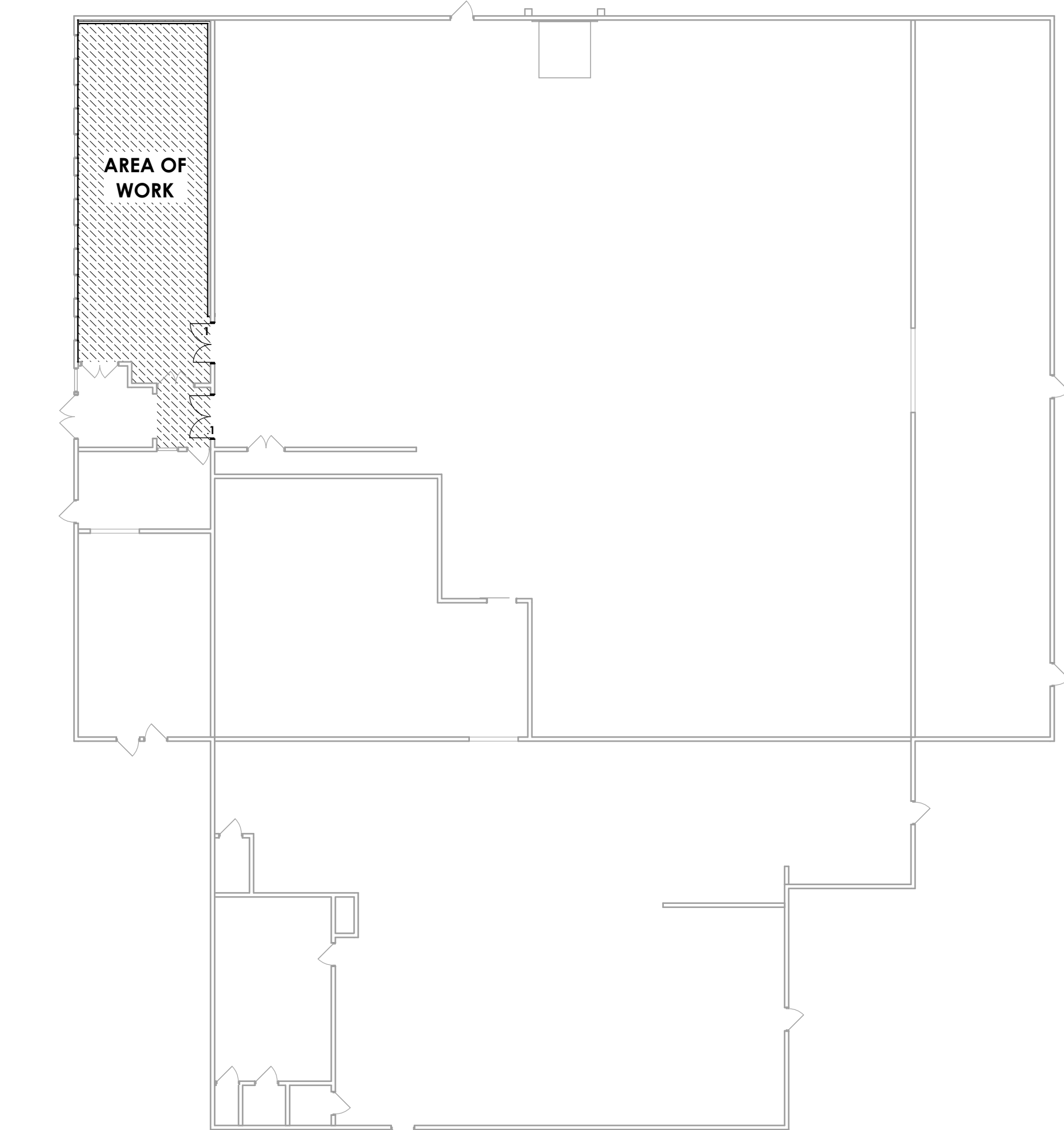
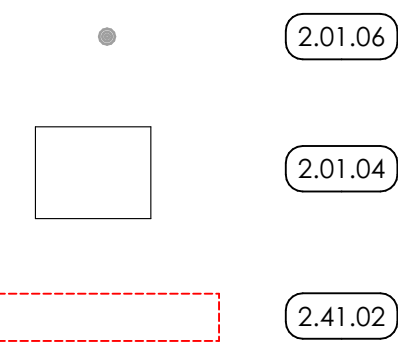


4 EXISTING CONDITION PHOTO

FLOOR PLAN DEMOLITION LEGEND



DEMOLITION RCP LEGEND



KEY PLAN

SCALE: 1/16" = 1'-0"

KEYED NOTES

- 2.01 DEMOLITION EXISTING CONDITIONS**
- 2.01.01 EXISTING COLUMN TO REMAIN.
 - 2.01.02 EXISTING CONCRETE SLAB TO REMAIN.
 - 2.01.03 EXISTING DOOR TO REMAIN.
 - 2.01.04 EXISTING GAS-FIRED (REZ-NOR) UNIT HEATER TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
 - 2.01.05 COORDINATE WITH MECHANICAL. EXISTING ROOF STRUCTURE, INSULATION, AND MEP SYSTEMS TO REMAIN EXPOSED.
 - 2.01.06 EXISTING SPRINKLER SYSTEM TO REMAIN. PROTECT EXISTING SPRINKLER HEADS DURING CONSTRUCTION ACTIVITIES.
 - 2.01.07 EXISTING STEEL BEAM TO REMAIN.
 - 2.01.08 EXISTING STEEL ROOF PURLINS TO REMAIN.
 - 2.01.09 EXISTING CORRUGATED SIDING TO REMAIN.
 - 2.01.10 EXISTING WINDOW TO REMAIN; PROTECT AS REQUIRED. AT THE COMPLETION OF WORK, CONTRACTOR TO CLEAN ALL WINDOW FRAMES AND GLAZING THROUGHOUT SPACE.
 - 2.01.12 EXISTING BATT INSULATION TO REMAIN.
 - 2.01.15 EXISTING F.A. DEVICE TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 2.01.16 EXISTING THERMOSTAT TO REMAIN. PROTECT DURING CONSTRUCTION.
 - 2.01.19 EXISTING GYPSUM BOARD SHEATHING AND PLYWOOD WAINSCOT TO REMAIN.
 - 2.01.21 EXISTING FLOOR ACCESS TO REMAIN.
- 2.41 SELECTIVE DEMOLITION**
- 2.41.01 REMOVE EXISTING PEGBOARD AND MISCELLANEOUS WALL FINISHES; PREPARE FOR NEW WALL CONSTRUCTION.
 - 2.41.02 REMOVE EXISTING LIGHT FIXTURES BY E.C.
 - 2.41.03 CAREFULLY REMOVE AND/OR PIN BACK EXISTING ROOF INSULATION ALONG WALLS AS REQUIRED FOR WORK. REMOVE WOOD STUD FUR-OUTS.
 - 2.41.04 REMOVE EXISTING PLYWOOD SHEATHING.
 - 2.41.05 REMOVE EXISTING DOOR PANEL. EXISTING FRAME TO REMAIN.
 - 2.41.07 REMOVE EXISTING DOOR PANEL. EXISTING FRAME TO REMAIN.

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SCOTT GRAHAM AIA, LEED AP+
SCOTT@MG-ARCHITECTS.COM

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contact: DOLORES PETERSON, SENIOR VP
10 SOUTH SECOND STREET
READING, PA 19602
610.607.6265
DPETERSON@RACC.EDU

READING AREA COMMUNITY COLLEGE
WAREHOUSE RENOVATIONS

111 SPRUCE STREET READING, PA 19607

CONSTRUCTION DOCUMENTS REVISION HISTORY		
ID	DESCRIPTION	DATE
100	ISSUED FOR BID/PERMIT	6/30/2024

PROJ. MGR.: BRAD BLANKENBILLER
E-MAIL: BRADB@MG-ARCHITECTS.COM
DRAWN BY: EMG
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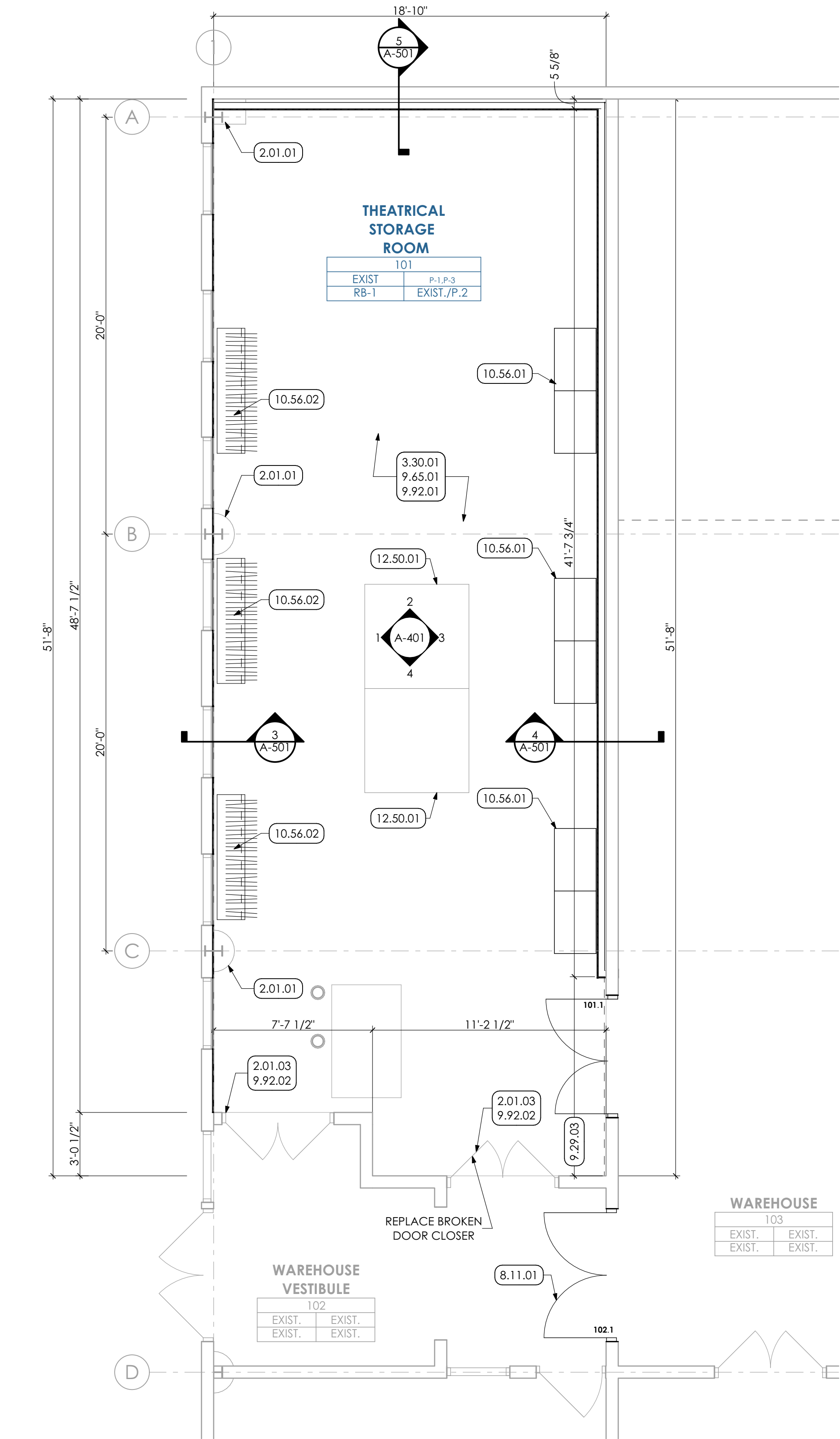
SCALE
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BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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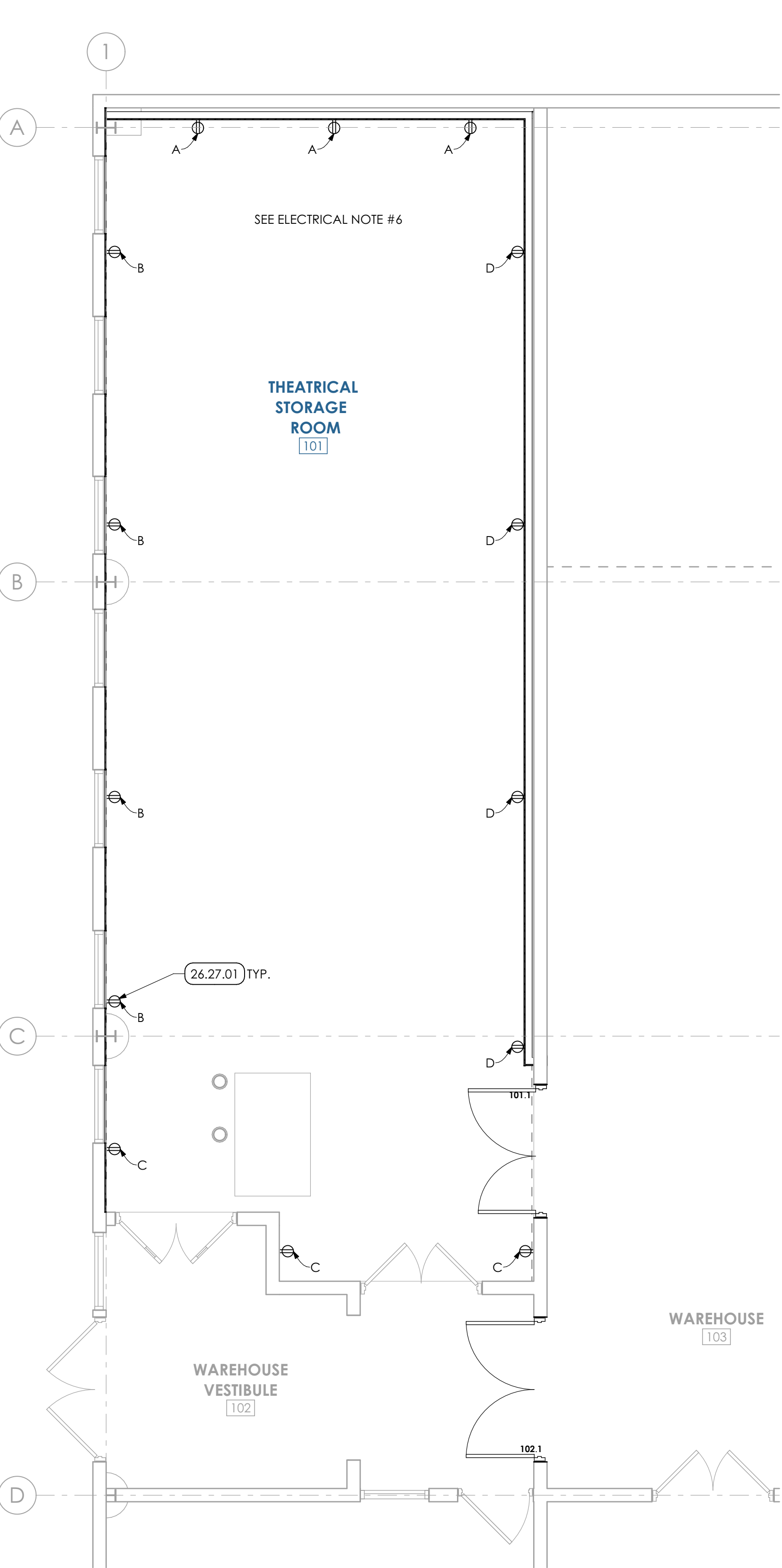
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DEMOLITION PLAN

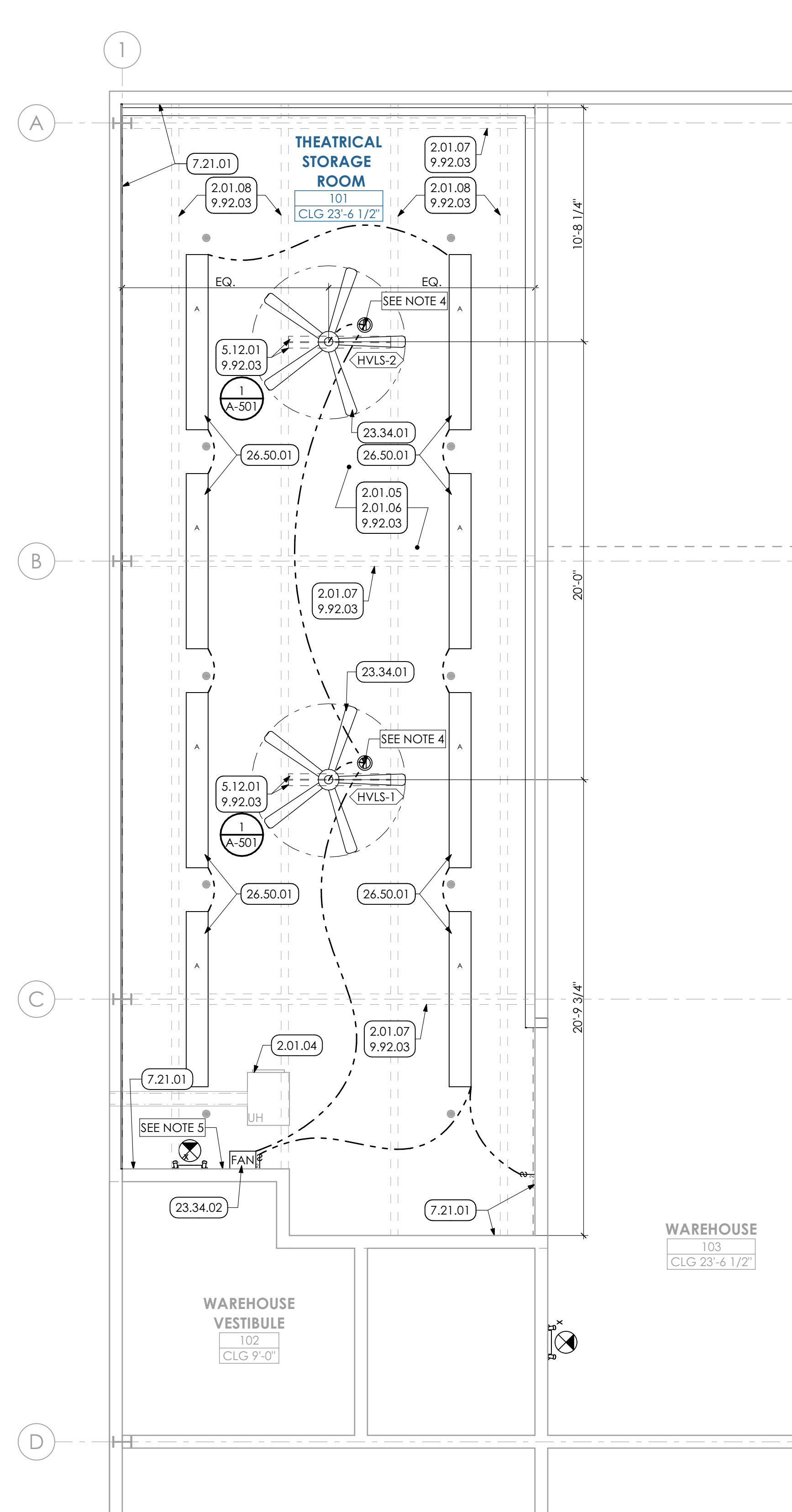
AD-101



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 POWER PLAN
SCALE: 1/4" = 1'-0"



3 REFLECTED CEILING AND LIGHTING PLAN
SCALE: 1/4" = 1'-0"

KEYED NOTES

- 02 DEMOLITION**
2.01.01 EXISTING COLUMN TO REMAIN.
2.01.03 EXISTING GAS-FIRED (REINFORC) UNIT HEATER TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.
2.01.04 COORDINATE WITH MECHANICAL.
2.01.05 EXISTING ROOF STRUCTURE, INSULATION, AND MEP SYSTEMS TO REMAIN EXPOSED.
2.01.06 EXISTING SPRINKLER SYSTEM TO REMAIN. PROTECT EXISTING SPRINKLER HEADS DURING CONSTRUCTION ACTIVITIES.
2.01.07 EXISTING STEEL BEAM TO REMAIN.
2.01.08 EXISTING STEEL ROOF PURLINS TO REMAIN.
- 03 CONCRETE**
3.30 CAST-IN-PLACE CONCRETE
3.30.01 CLEAN EXISTING CONCRETE SLAB.
- 05 METALS**
5.12 STRUCTURAL STEEL FRAMING
5.12.01 3" x 3" x 1/4" ANGLE IRON AND FAN SUPPORT FRAMING BY GC.
- 07 THERMAL AND MOISTURE PROTECTION**
7.21 THERMAL INSULATION
7.21.01 PATCH, REPAIR, AND SECURE REMAINING AND DISTURBED INSULATION, INCLUDING AREAS AFFECTED BY DEMOLITION, TO MATCH EXISTING AND PROVIDE A CONTINUOUS AND NEAT APPEARANCE.
- 08 OPENINGS**
8.11 HOLLOW METAL DOORS AND FRAMES
8.11.01 SCHEDULED DOOR AND FRAME, PRIMED AND PAINTED. COORDINATE w/ DOOR SCHEDULE.
- 09 FINISHES**
9.29 GYPSUM BOARD
9.29.03 EXTEND GYPSUM BOARD FROM TOP OF EXISTING GYPSUM BOARD TO UNDERSIDE OF ROOF DECK. MATCH EXISTING SHEATHING THICKNESS.
- 9.65 RESILIENT FLOORING**
9.65.01 6" HIGH THERMOPLASTIC RUBBER WALL BASE FOR PERIMETER OF ROOM OR CORRIDOR. BASIS OF DESIGN: JOHNSONITE OR TARKETT. COLOR AS SELECTED BY ARCHITECT.
- 9.92 INTERIOR PAINTING**
9.92.01 PRIME AND PAINT (2 COATS) ALL WALLS IN ROOM, UNLESS SPECIFIC WALLS NOTED OTHERWISE. PAINT, INCLUDING ALL EXPOSED COLUMNS, FROM FLOOR TO UNDERSIDE OF ROOF DECK.
9.92.02 PREP AND PAINT TWO (2) COATS EXISTING DOOR AND FRAME, INCLUDING ALL CASINGS AND TRIMS.
9.92.03 PREP AND PAINT TWO (2) COATS EXISTING ROOF STRUCTURE IN ITS ENTIRETY w/ DRYFALL PAINT.
- 10 SPECIALTIES**
10.56 STORAGE ASSEMBLIES
10.56.01 PROVIDE AND INSTALL NEW FIVE (5) TIER, 72" LENGTH x 24" DEEP SHELVING SYSTEM. PROVIDE WOOD BLOCKING IN WALL AS REQUIRED FOR SECURE MOUNTING. BASIS OF DESIGN: E-Z SHELVING SYSTEMS, INC. CANTILEVER METAL STORAGE SYSTEM, OR EQUAL.
10.56.02 HEAVY DUTY MOBILE GARMENT RACK. BY OWNER.
- 12 FURNISHINGS**
12.50 FURNITURE
12.50.01 WORK TABLE. BY OWNER.
- 23.34 HVAC FANS**
23.34.01 NEW HIGH VOLUME, LOW SPEED (HVLS) CEILING FAN MOUNTED TO ROOF STRUCTURE. BY EC. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE REQUIRED FAN CLEARANCES w/ ALL OTHER CEILING MOUNTED FIXTURES. SEE ELECTRICAL NOTES 1 & 2.
23.34.02 WALL MOUNTED FAN CONTROLLER. PROVIDE ALL WIRING AND CABLES PER MANUFACTURER'S REQUIREMENTS. SEE NOTE #5.
- 26 ELECTRICAL**
26.27 WIRING DEVICES
26.27.01 NEW 20A DUPLEX OUTLET AT 18" AFF, TYP.
26.50 LIGHTING
26.50.01 INSTALL NEW HIGH-BAY LINEAR LED LIGHT FIXTURES IN NEW LOCATION AS SHOWN ON PLAN. SEE ELECTRICAL NOTE #2.

FINISH LEGEND

- RB-1** RUBBER BASE
COLOR AS SELECTED BY ARCHITECT FROM MANUF. FULL RANGE
- P-1** PAINT - WALLS
P-2 PAINT - STEEL
P-3 PAINT - DOORS AND FRAMES
ALL PAINT COLORS AS SELECTED BY ARCHITECT

NOTE: SUPPORT FRAMING FOR CEILING FANS TO BE PROVIDED AND INSTALLED BY GC. FANS AND MOUNTING BRACKETS TO BE PROVIDED AND INSTALLED BY EC.

ELECTRICAL GENERAL NOTES

- THE CONTRACTOR SHALL PROVIDE ALL CIRCUITS (FEEDER AND BRANCH) WITH AN EQUIPMENT GROUND CONDUCTOR SIZED IN ACCORDANCE WITH N.E.C. TABLE 250-122
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY MISCELLANEOUS STEEL REQUIRED FOR MOUNTING ELECTRICAL EQUIPMENT.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS AND DETAILS TO COORDINATE THE EXACT LOCATION OF ALL ELECTRICAL DEVICES OR EQUIPMENT TO BE INSTALLED. DRAWINGS SHALL NOT BE SCALED.
- ALL WIRING TO BE INSTALLED IN CONDUIT, BY E.C. ALL CONDUIT TO BE PAINTED TO MATCH ADJACENT WALL OR CEILING SURFACE, BY G.C.
- SURFACE RACEWAY FOR WIRING SHALL BE PERMITTED AT OWNER'S DISCRETION. EXPOSED WIRING SHALL ONLY BE PERMITTED IN UNFINISHED AREAS AS ALLOWABLE BY THE NEC.
- OUTLETS MOUNTED BACK-TO-BACK AND/OR THE USE OF THROUGH BOXES IS NOT PERMITTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING OF EXISTING SURFACES REQUIRED FOR HIS WORK. PATCHING SHALL INCLUDING ALL LABOR AND MATERIALS EXCEPT FINAL FINISHES.
- THE CONTRACTOR SHALL COORDINATE ALL DEVICES ASSOCIATED WITH MECHANICAL AND ARCHITECTURAL EQUIPMENT INDICATED TO HAVE POWER CONNECTIONS WITH CONTRACTOR PROVIDING EQUIPMENT PRIOR TO ORDERING DEVICES AND ROUGH-INS. THE CONTRACTOR SHALL REQUEST SHOP DRAWINGS AND/OR DATA SHEETS FOR ALL EQUIPMENT REQUIRING POWER PRIOR TO ROUGH-INS.
- UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL PROVIDE FINAL POWER CONNECTIONS TO ALL POWERED EQUIPMENT FURNISHED BY OTHER CONTRACTORS AND THE OWNER INCLUDING, BUT NOT LIMITED TO, AIR HANDLING EQUIPMENT, COOLING EQUIPMENT, ETC.

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL CONSTRUCTION
- WALL ID: SEE PARTITION TYPES
- EXISTING DOOR TO REMAIN
- EXISTING WALL TO REMAIN
- DOOR ID: SEE DOOR SCHEDULE
- NEW DOOR
- EXISTING COLUMN TO REMAIN

ROOM NAME	
ROOM NUMBER	
FLOOR FINISH	WALL FINISH
WALL BASE	CEILING FINISH

REFLECTED CEILING PLAN LEGEND

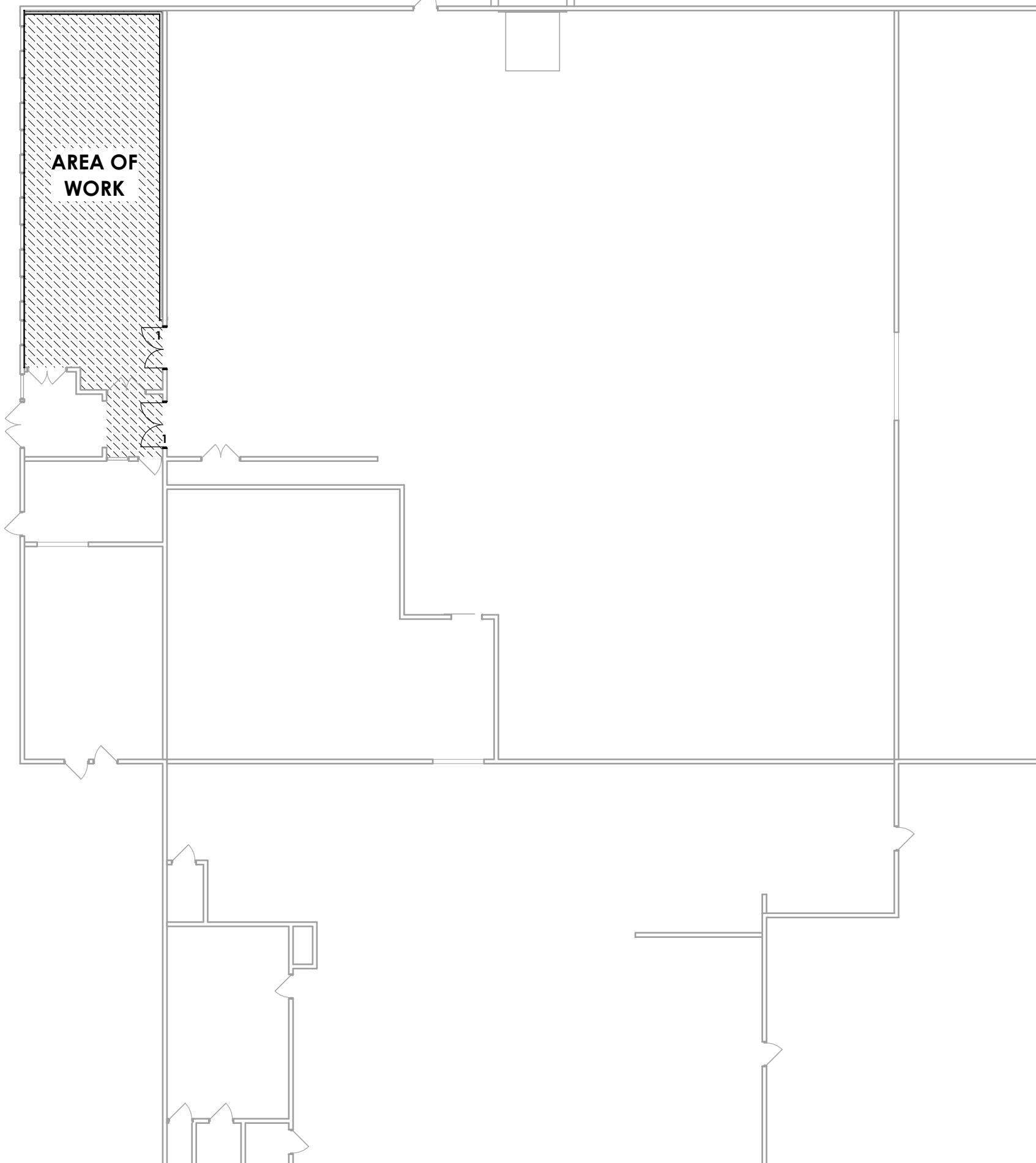
- 2.01.06
- 2.01.04
- 23.38.01
- 26.50.01

POWER-DATA LEGEND

- POWER**
- DUPLEX OUTLET, 18" AFF TYP.
 - QUAD OUTLET; PROVIDE TWO PARALLEL CIRCUITS & CONSISTENTLY IDENTIFY CIRCUIT A/B EACH LOCATION: 18" AFF TYP.
 - GF-PROTECTED DUPLEX OUTLET, 18" AFF TYP.
 - SIGNAL**
 - IP PHONE PORT: RJ45; CAT-6 WIRING
 - DATA PORT: RJ45; CAT-6 WIRING
 - HDMI PORT: HDMI 2.1 WIRING
 - USB PORT: USB 3.1-COMPLIANT
 - ANALOG PHONE PORT: RJ12
 - MOUNTING TYPES**
 - WALL-MOUNTED DEVICE GANG BOX: FLUSH MOUNT (RECESSED BOXES BEHIND WALL-MOUNTED DISPLAYS)
 - SPECIFIED MOUNTING HEIGHT A.F.F.
 - "C" DENOTES MOUNTING HEIGHT 8" ABV. ADJ. COUNTERTOP
 - FLOOR-MOUNTED DEVICE: FLUSH GANG BOX w/ COVER
 - CEILING-MOUNTED DEVICE: FLUSH MOUNTED

LIGHTING LEGEND

- WIRING - CONCEALED AS SPECIFIED U.N.O. 2-12 OR 3-12 AWG WITH SEPARATE GROUND WIRE AS APPLICABLE TO CIRCUIT TYPE
- RECESSED LIGHT
- SUSPENDED HIGH-BAY LIGHT FIXTURE
- EXIT LIGHT FIXTURE
- NORMAL & EMERGENCY POWER
- SINGLE POLE SWITCH - 20 AMP - MOUNT 46" AFF
- TWO POLE SINGLE THROW SWITCH - 20 AMP - MOUNT 46" AFF
- OCCUPANCY SENSOR LIGHT SWITCH - 20 AMP - MOUNT 46" AFF
- DIMMER LIGHT SWITCH - TYPE & SIZE FOR LOAD SERVED - MOUNT 46" AFF
- DIMMER LIGHT SWITCH w/ INTEGRAL OCC SENSOR - TYPE & SIZE FOR LOAD SERVED - MOUNT 46" AFF
- 3-WAY DIMMER LIGHT SWITCH - TYPE & SIZE FOR LOAD SERVED - MOUNT 46" AFF
- INTERCONNECTED SMOKE DETECTOR/ALARM TIED INTO EXISTING BUILDING SYSTEM



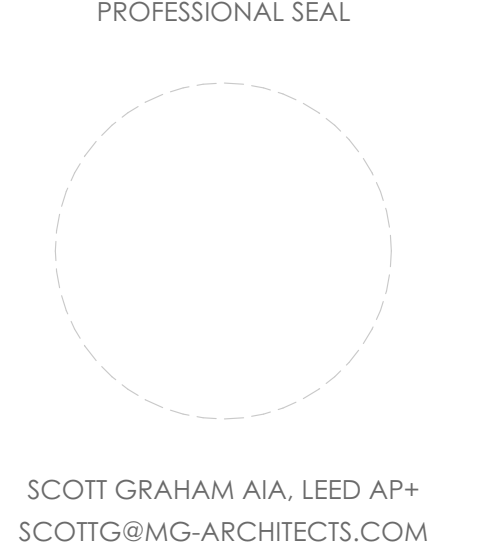
KEY PLAN

SCALE: 1/16" = 1'-0"



1268 PENN AVENUE
WYOMISSING, PA 19610
610.376.4927
www.MG-Architects.com

PROJECT #:
26-0014



READING AREA COMMUNITY COLLEGE
contact: COLOREE PETERSON, SENIOR VP
10 SOUTH SECOND STREET
READING, PA 19602
610.607.6265
DPETERSON@RACC.EDU

READING AREA COMMUNITY COLLEGE
WAREHOUSE RENOVATIONS
111 SPRUCE STREET READING, PA 19607

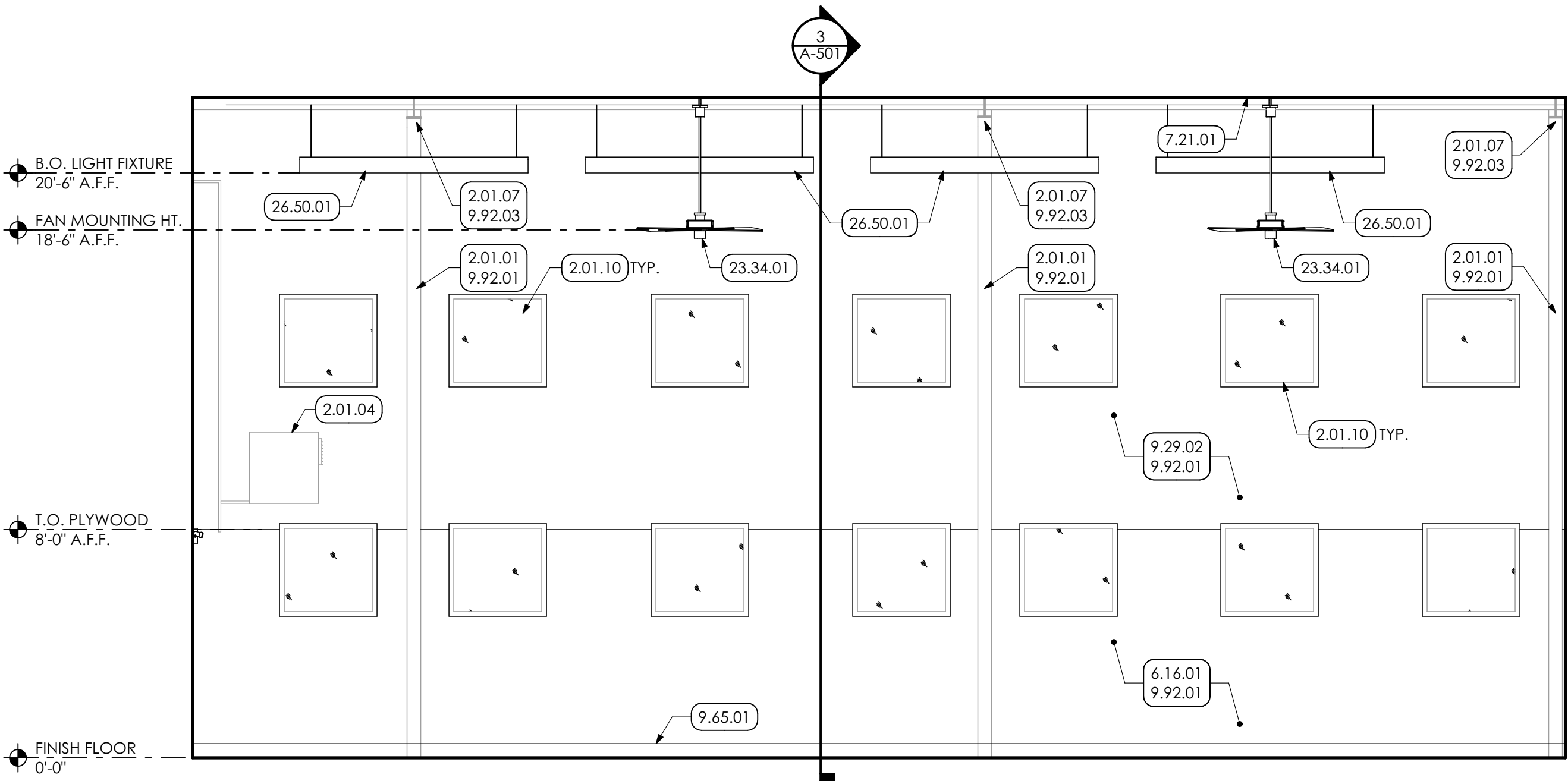
CONSTRUCTION DOCUMENTS REVISION HISTORY		
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001	ISSUED FOR BID/PERMIT	6/30/2024

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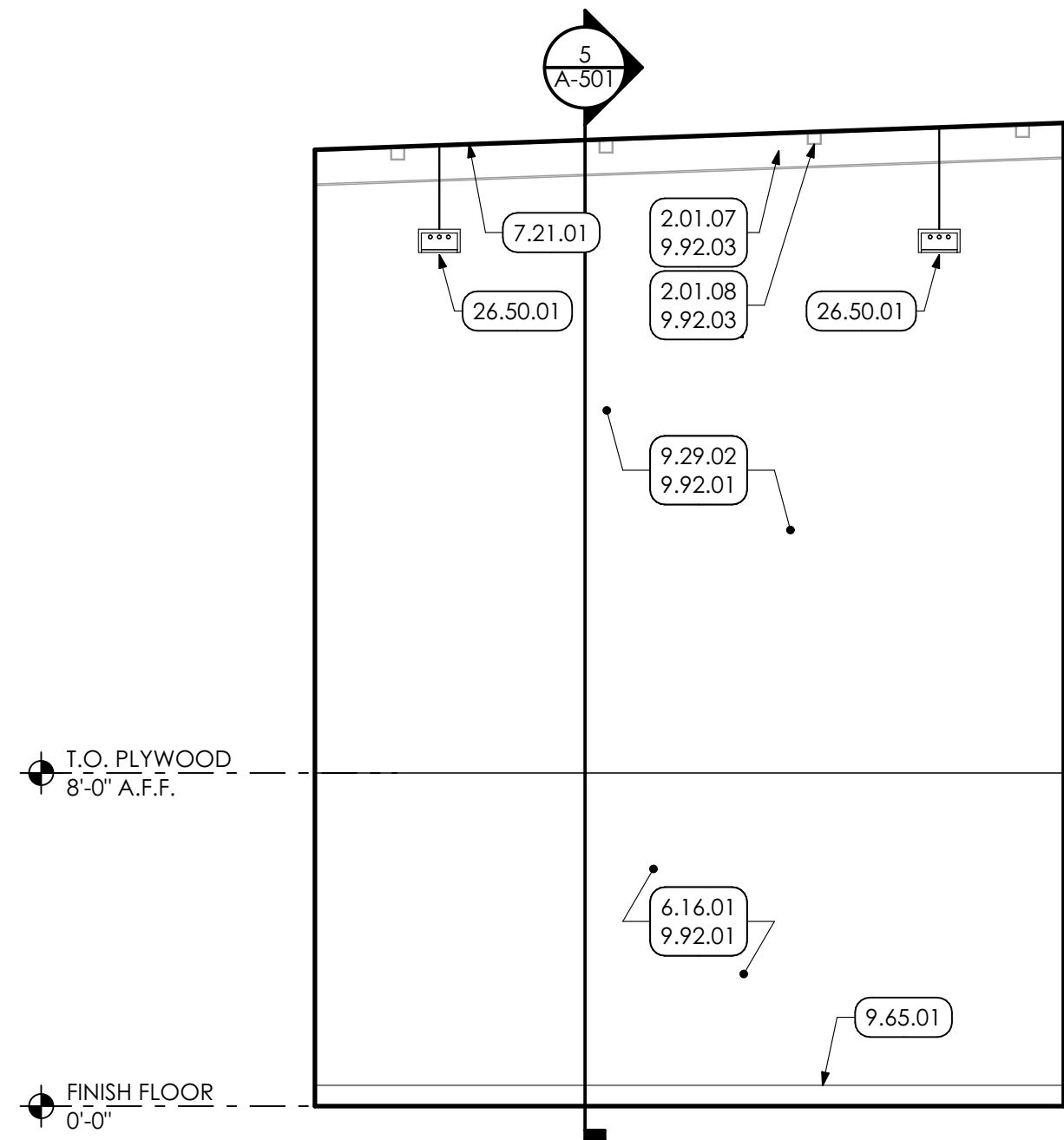
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SHEET TITLE:
FLOOR PLANS

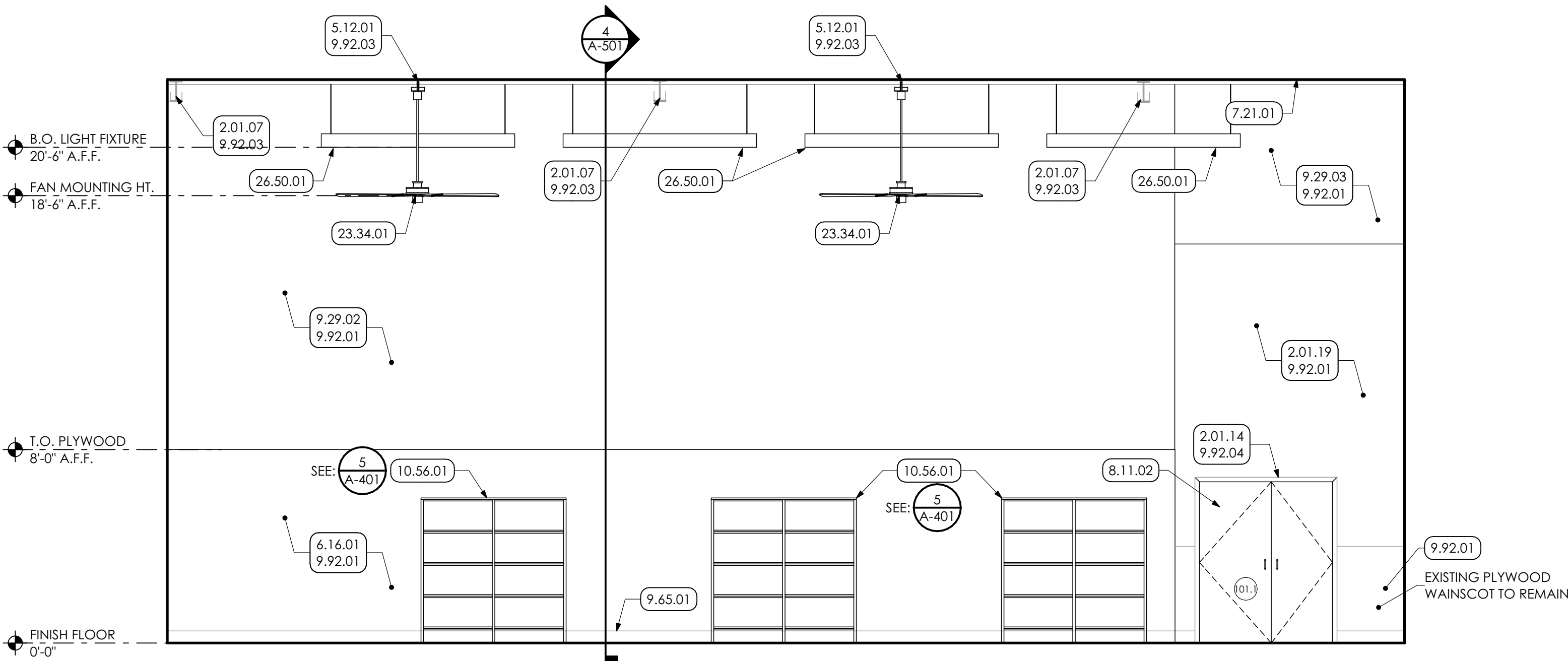
A-101



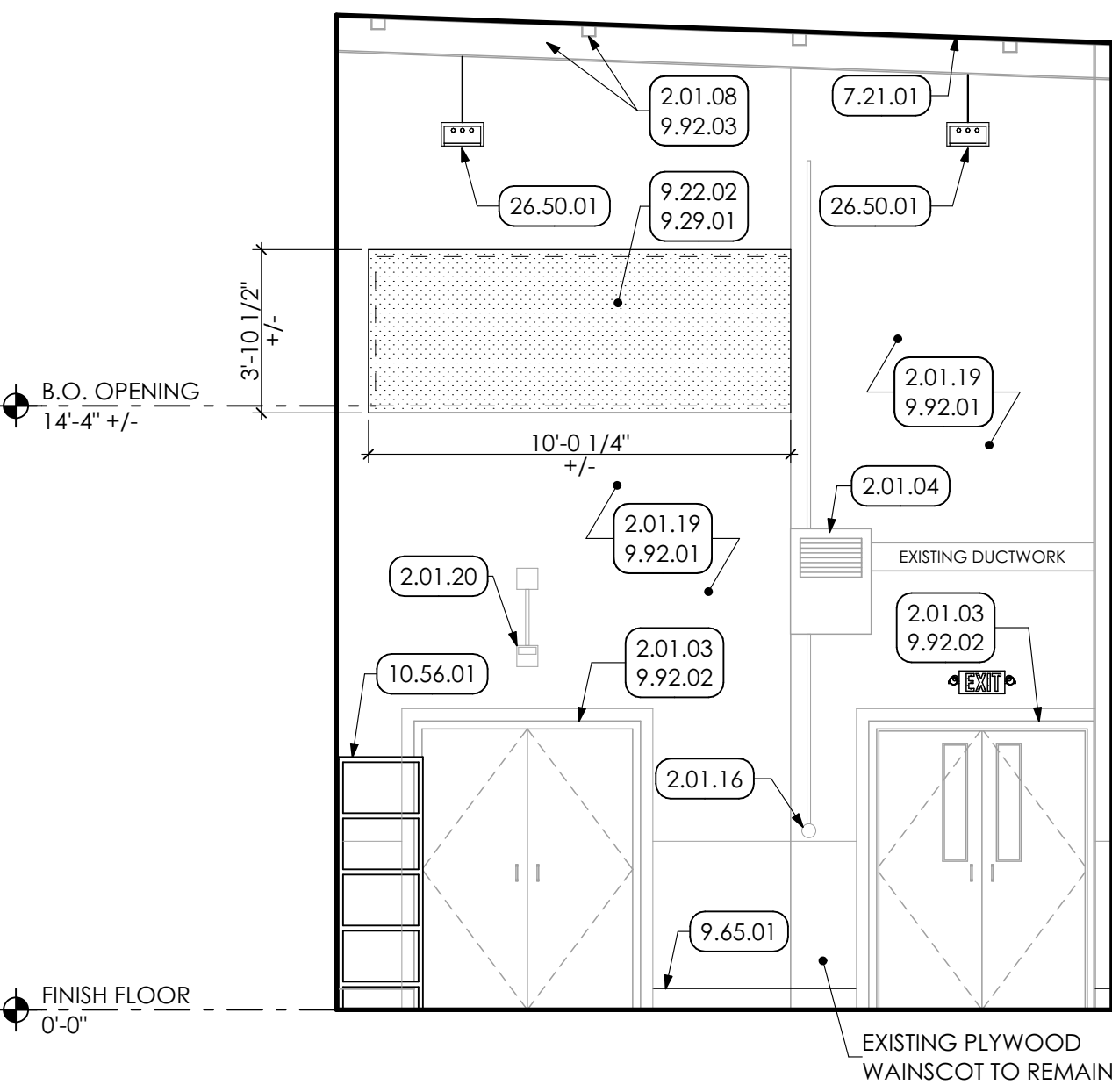
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SCALE: 1/4" = 1'-0"



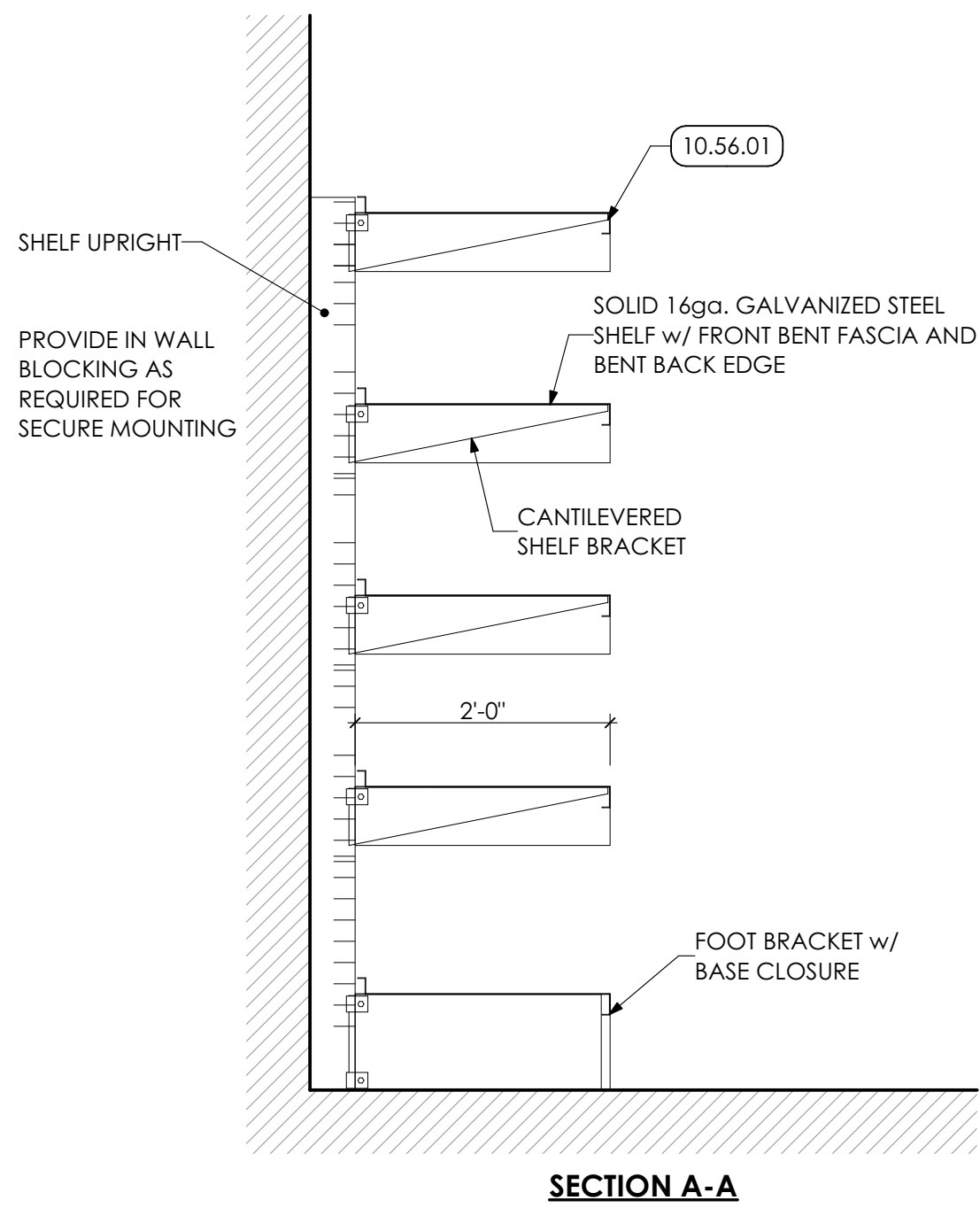
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SCALE: 1/4" = 1'-0"



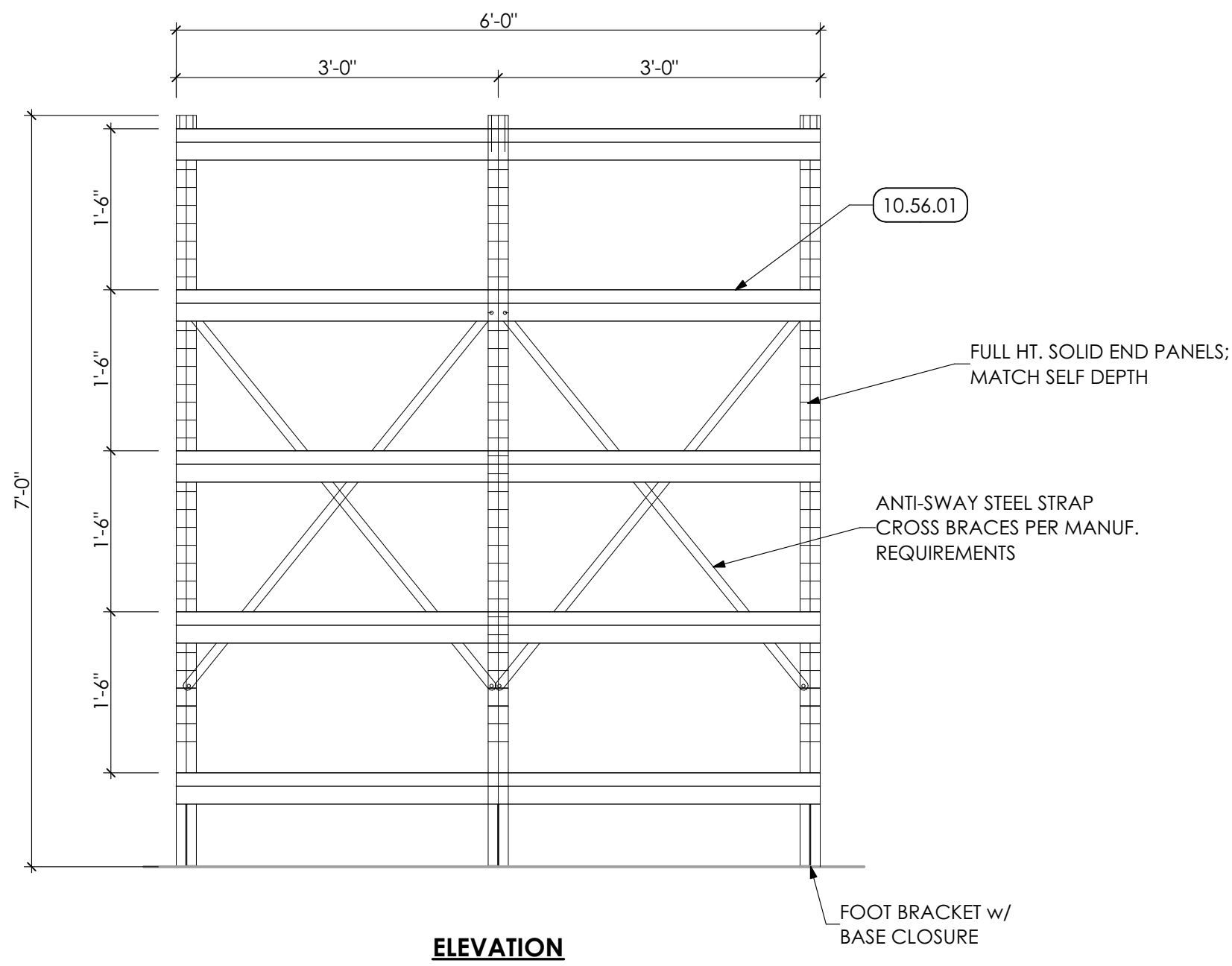
3 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



SECTION A-A



ELEVATION

5 SHELVING DETAIL
SCALE: 3/4" = 1'-0"

KEYED NOTES

- 02 DEMOLITION**
2.01.01 EXISTING COLUMN TO REMAIN.
2.01.03 EXISTING GAS-FIRED (REINFOR) UNIT HEATER TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION. COORDINATE WITH MECHANICAL.
2.01.07 EXISTING STEEL BEAM TO REMAIN.
2.01.08 EXISTING STEEL ROOF PURLINS TO REMAIN.
2.01.10 EXISTING WINDOW TO REMAIN. PROTECT AS REQUIRED. AT THE COMPLETION OF WORK, CONTRACTOR TO CLEAN ALL WINDOW FRAMES AND GLAZING THROUGHOUT SPACE.
2.01.14 EXISTING DOOR FRAME TO REMAIN.
2.01.16 EXISTING THERMOSTAT TO REMAIN. PROTECT DURING CONSTRUCTION.
2.01.19 EXISTING GYPSUM BOARD SHEATHING AND PLYWOOD WAINSCOT TO REMAIN.
2.01.20 EXISTING FIRE STROBE TO REMAIN.
- 05 METALS**
5.12 STRUCTURAL STEEL FRAMING
5.12 3" x 3" x 1/4" ANGLEIRON AND FAN SUPPORT FRAMING BY GC.
5.12.01
- 06 WOODS, PLASTICS AND COMPOSITES**
6.16 SHEATHING
6.16 1/2" FIRE-RATED PLYWOOD STRUCTURAL SHEATHING. PAINTED.
07 THERMAL AND MOISTURE PROTECTION
7.21 THERMAL INSULATION
7.21.01 PATCH, REPAIR, AND SECURE REMAINING AND DISTURBED INSULATION, INCLUDING AREAS AFFECTED BY DEMOLITION, TO MATCH EXISTING AND PROVIDE A CONTINUOUS AND NEAT APPEARANCE.
- 08 OPENINGS**
8.11 HOLLOW METAL DOORS AND FRAMES
8.11.02 SCHEDULED DOOR PANEL. COORDINATE W/ DOOR SCHEDULE.
09 FINISHES
9.22 NON-STRUCTURAL METAL FRAMING
9.22.02 INFILL EXISTING OPENING W/ NEW 20 ggi. METAL STUDS @ 16" O.C. MATCH EXISTING FRAMING DEPTH TO ALLOW WALL SURFACE TO FINISH FLUSH W/ EXISTING WALL SURFACE ON BOTH SIDES.
- 9.29 GYPSUM BOARD**
9.29.01 5/8" GYPSUM BOARD. FINISH FLUSH W/ ADJACENT WALL SURFACE. TYPICAL FOR BOTH SIDES OF WALL INFILL.
9.29.02 5/8" GYPSUM BOARD FROM TOP OF PLYWOOD SHEATHING TO UNDERSIDE OF ROOF DECK.
9.29.03 EXTEND GYPSUM BOARD FROM TOP OF EXISTING GYPSUM BOARD TO UNDERSIDE OF ROOF DECK. MATCH EXISTING SHEATHING THICKNESS.
- 9.65 RESILIENT FLOORING**
9.65.01 5" HIGH THERMOPLASTIC RUBBER WALL BASE FOR PERIMETER OF ROOM OR CORRIDOR. BASIS OF DESIGN: JOHNSONITE OR TARKETT. COLOR AS SELECTED BY ARCHITECT.
- 9.92 INTERIOR PAINTING**
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- 10 SPECIALTIES**
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- 23.34 HVAC FANS**
23.34.01 NEW HIGH VOLUME, LOW SPEED (HVLS) CEILING FAN MOUNTED TO ROOF STRUCTURE. BY E.C. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE REQUIRED FAN CLEARANCES W/ ALL OTHER CEILING MOUNTED FIXTURES; SEE ELECTRICAL NOTES 1 & 2.
- 26 ELECTRICAL**
26.50 LIGHTING
26.50.01 INSTALL NEW HIGH-BAY LINEAR LED LIGHT FIXTURES IN NEW LOCATION AS SHOWN ON PLAN. SEE ELECTRICAL NOTE #2.

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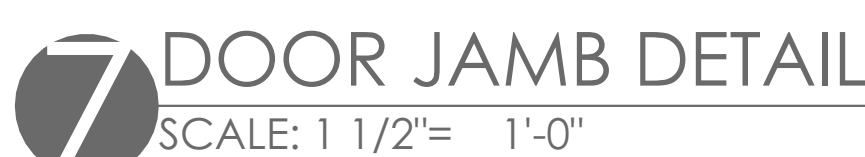
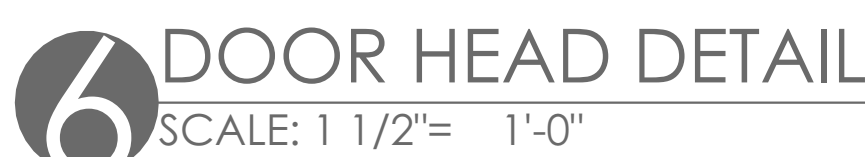
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SECRET SCALE
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SHEET TITLE:
INTERIOR ELEVATIONS

A-401



DOOR SCHEDULE											
FRAME DATA			DOOR DATA				THRESHOLD/ SADDLE	HEAD	JAMB	SILL	REMARKS
VATION	MATERIAL	GLAZING	ELEVATION	THICKNESS	MATERIAL	GLAZING					
EXISTING	EXISTING	-	F	1 3/4"	STL	-	-	-	-	-	EXISTING FRAME; VERIFY DIMENSIONS IN FIELD, ONE (1) 3'-0" PANEL, ONE (1) 2'-6" PANEL
F1	HM	-	F	1 3/4"	STL	-	-	6/A-501	7/A-501	-	INFILL HOST WALL AROUND FRAME AS REQUIRED

DOOR AND HARDWARE NOTES

1. ALL METAL THRESHOLDS SHALL BE SET IN A BED OF SEALANT.
2. PROVIDE SEALANT AT PERIMETER OF DOOR FRAMES.
3. UNLESS OTHERWISE NOTED ALL WOOD DOORS SHALL BE PREFINISHED.
4. UNLESS NOTED "R.O." (ROUGH OPENING), DIMENSIONS REPRESENT UNIT SIZES, SEE SCHEDULE FOR DOOR TYPES & HEIGHTS.
5. DOOR HANDINGS NOTED IN THE SCHEDULE SHALL BE INTERPRETED IN CONJUNCTION w/ DEPICTIONS OF THE DOOR SWINGS ON THE FLOOR PLAN.
6. EXISTING DOORS INDICATED TO REMAIN (TYPICALLY DEPICTED SWINGING OPEN TO 45 DEGREES) REQUIRE MODIFICATION OR REFURBISHMENT INCLUDING NEW HARDWARE. SEE FLOOR PLANS FOR SCOPES OF WORK AT EACH LOCATION.
7. EXISTING FRAMES (INCLUDING THOSE SCHEDULED TO RECEIVE NEW DOORS):
 - i. CLEAN, PATCH AND RE-PAINT EXISTING FRAMES (2 COATS) PER FINISHES SCHEDULE.
 - ii. INSTALL PATCH PLATES AS REQUIRED TO MODIFY FRAMES:
 - iii. WHERE APPLICABLE, INSTALL WIRING FOR NEW ELECTRONIC HARDWARE AND MODIFY FOR POSITION SWITCHES.
8. EXISTING FLUSH WOOD DOORS:
 - i. REMOVE ALL HARDWARE AND ACCESSORIES.
 - ii. SAND, PATCH & STAIN WOOD FINISH TO MATCH NEW TYPICAL STAIN AND CLEAR COAT.
 - iii. MODIFY DOOR AS REQUIRED FOR NEW HARDWARE.
 - iv. INSTALL ALL NEW HARDWARE AND ACCESSORIES NOTED IN HARDWARE SCHEDULE.
9. CONTRACTOR TO VERIFY ALL EXISTING DOOR CONSTRUCTION SCHEDULED TO REMAIN.
10. UNLESS NOTED OTHERWISE, HARDWARE SETS SHALL BE INTERPRETED TO APPLY TO ALL ACTIVE DOOR LEAVES.
11. INACTIVE LEAVES TO RECEIVE CONCEALED FLUSH BOLTS, TOP & BOTTOM WITH HEAD STRIKE AND DUST-PROOF FLOOR STRIKE.

KEYED NOTES

02	DEMOLITION
2.01	EXISTING CONDITIONS
2.01.01	EXISTING COLUMN TO REMAIN.
2.01.05	EXISTING ROOF STRUCTURE, INSULATION, AND MEP SYSTEMS TO REMAIN EXPOSED.
2.01.07	EXISTING STEEL BEAM TO REMAIN.
2.01.07	EXISTING WINDOW TO REMAIN; PROTECT AS REQUIRED, AT THE COMPLETION OF WORK, CONTRACTOR TO CLEAN ALL WINDOW FRAMES AND GLAZING THROUGHOUT SPACE.
2.01.11	EXISTING CORRUGATED SIDING TO REMAIN.
2.01.12	EXISTING BATT INSULATION TO REMAIN.
2.01.13	EXISTING G-CHIMNEY GIRT TO REMAIN.
2.01.17	EXISTING STUD FRAMING TO REMAIN.
2.01.18	EXISTING STEEL GIRT AT MID-HEIGHT TO REMAIN.
6.00	WOODS, PLASTICS AND COMPOSITES
6.16	SHEATHING
6.16.01	1/2" FIRE-RATED PLYWOOD STRUCTURAL SHEATHING; PAINTED.
07.01	THERMAL AND MOISTURE PROTECTION
7.21	INSULATION
7.21.01	PATCH, REPAIR, AND SECURE REMAINING AND DISTURBED INSULATION, INCLUDING AREAS AFFECTED BY DEMOLITION, TO MATCH EXISTING AND PROVIDE A CONTINUOUS AND NEAT APPEARANCE.
7.21.03	EXISTING BATT INSULATION TO REMAIN. INSPECT WALL CAVITY AND PROVIDE NEW R-19 FIBERGLASS BATT INSULATION W/ VAPOR BARRIER WHERE INSULATION IS MISSING OR DETERIORATED. VERIFY ALL STUD CAVITIES ARE COMPLETELY FILLED.
09	FINISHES
9.22	NON-STRUCTURAL MATERIAL FRAMING
9.22.01	3/8" STEEL STUDS @ 16" O.C.
9.22.03	7/8" 18ga. STEEL HAT CHANNELS @ 4'-0" MAX. VERTICAL ALONG LENGTH OF WALL, FASTENED THROUGH EXISTING CORRUGATED SHEATHING.
9.22.04	15ga. STEEL CLIP ANGLE @ 32" o.c. HORIZONTAL. FASTEN TO EXISTING STEEL GIRT BEHIND CORRUGATED SIDING.
9.29	GYPSUM BOARD
9.29.02	5/8" GYPSUM BOARD FROM TOP OF PLYWOOD SHEATHING TO UNDERSIDE OF ROOF DECK.
9.65	RESILIENT FLOORING
9.65.01	6" HIGH THERMOPLASTIC RUBBER WALL BASE FOR PERIMETER OF ROOM OR CORRIDOR. BASE TO BE DESIGNED BY JOHNSONITE OR TARKETT; COLOR AS SELECTED BY ARCHITECT.
9.92	INTERIOR PAINTING
9.92.03	PREP AND PAINT ALL INTERIOR COATS EXISTING ROOF STRUCTURE IN ITS ENTIRETY W/ DRYLAX PAINT.



12. KEY DOORS TO BUILDING MASTER KEY SYSTEM; SARGENT GGM SYSTEM
13. PROVIDE FLUSH BOLTS, TOP AND BOTTOM.
14. INSTALL DUST-PROOF FLOOR STRIKE AT FLUSH BOLT.
15. INSTALL FLOOR STRIKE IN EXISTING CONCRETE SLAB AND PATCH AS REQUIRED.
16. LEVER ON RIGHT SIDE EXTERIOR ONLY; EXIT DEVICES ON INTERIOR SIDE OF BOTH LEAVES.
17. LEVERS ON ACTIVE LEAF ONLY

