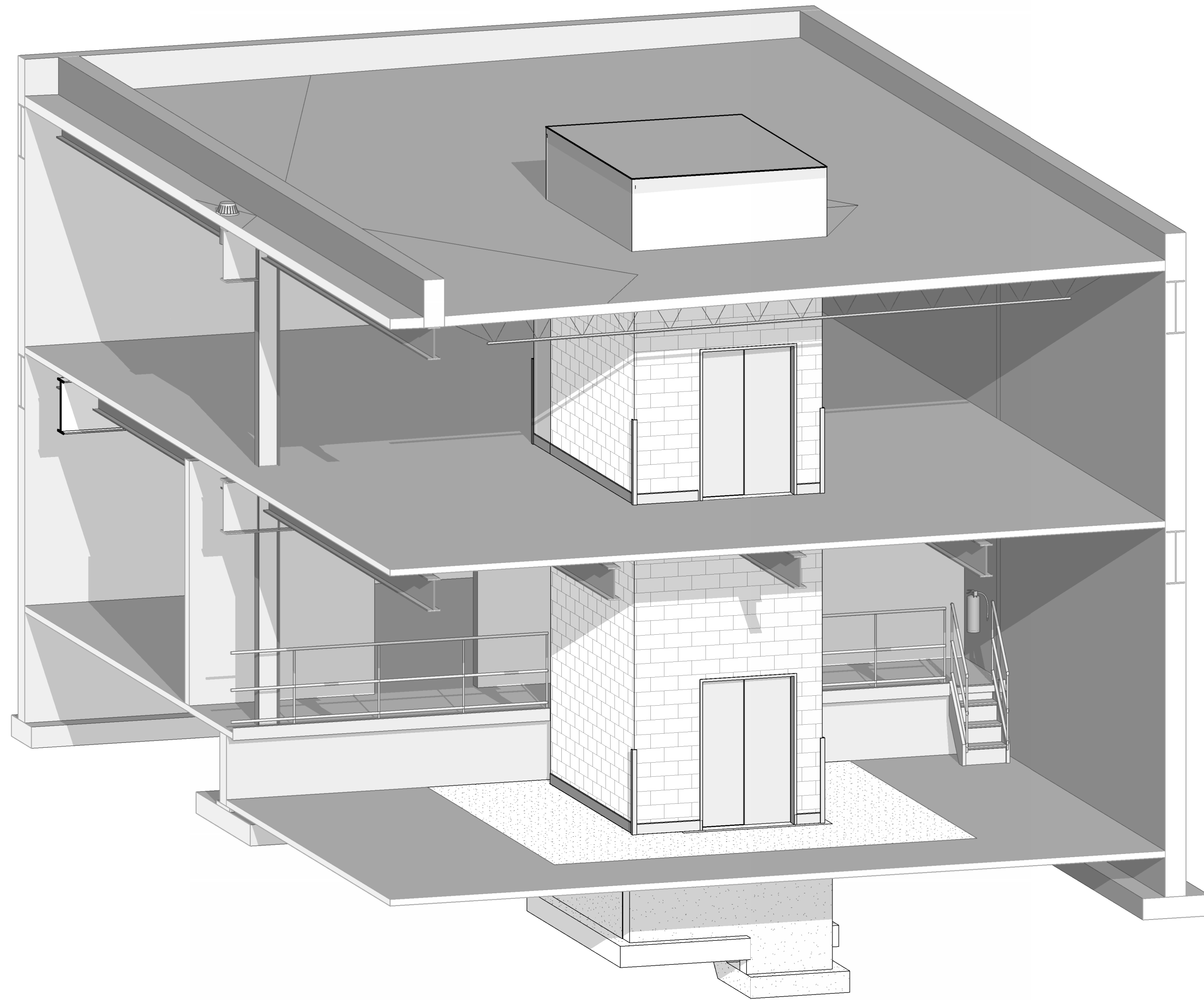


VOTING MACHINE WAREHOUSE ELEVATOR ADDITION

403 EAST 24TH STREET, CHESTER, PA 19013

REISSUED FOR BID: JUNE 18TH, 2026

AXONOMETRIC VIEW



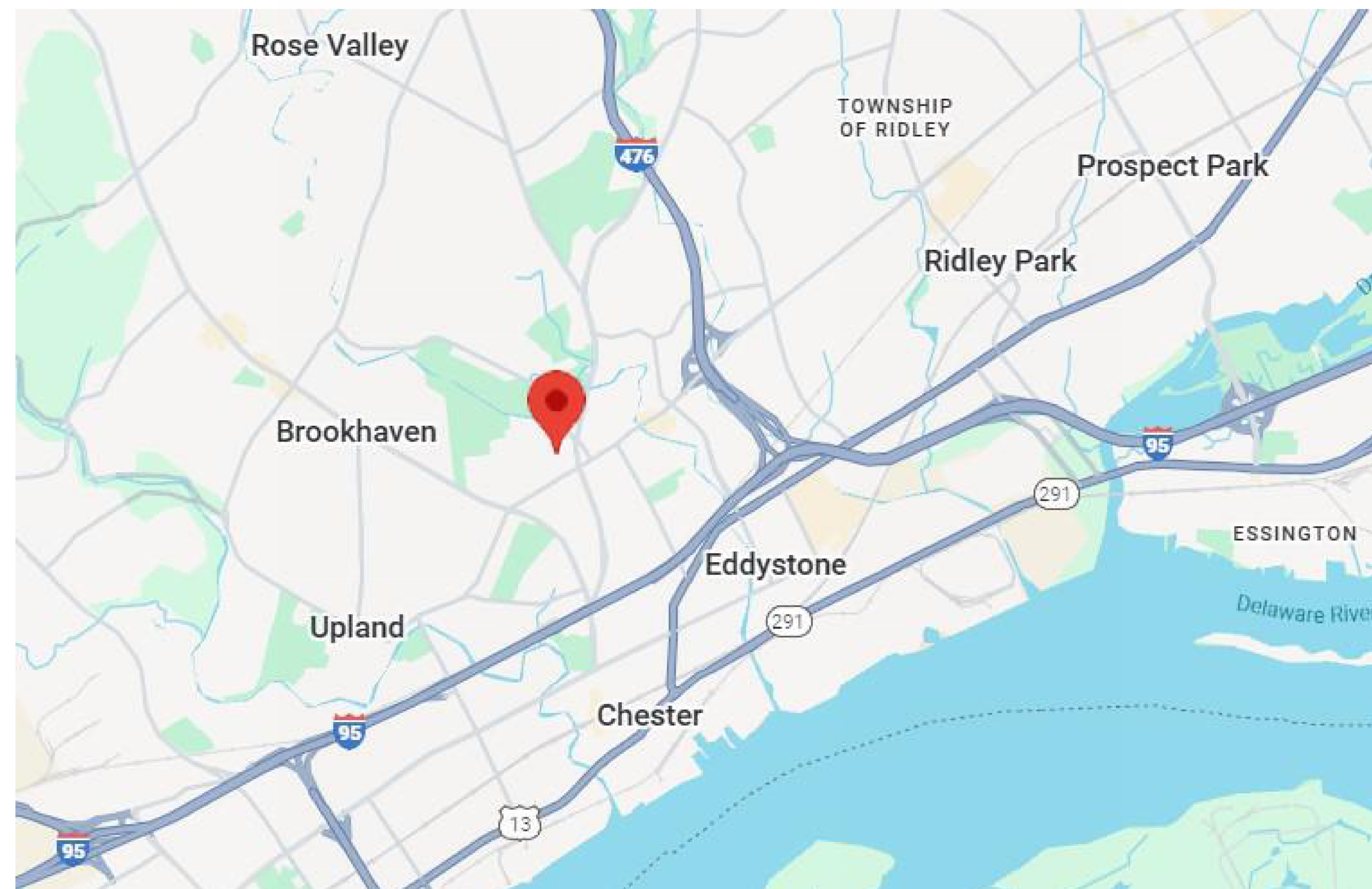
PROJECT TEAM

ARCHITECT, STRUCTURAL ENGINEER, MEP ENGINEER:	CLIENT:	COST ESTIMATING:
NORR GENERAL PARTNERSHIP 1617 JFK BLVD PHILADELPHIA, PA 19103 CONTACT(S): BARBARA MALEWICZ TEL: 215.283.0232 BARBARA.MALEWICZ@NORR.COM	COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS 201 W FRONT STREET MEDIA, PA 19063 CONTACT(S): ROBERT BERNSTEIN, AIA TEL: 610.891.5082 BERNSTEINR@CO.DELAWARE.PA.US	BECKER FRONDORF 1500 WALNUT ST, SUITE #1910 PHILADELPHIA, PA 19102 CONTACT(S): MIKE ZAIDEL TEL: 215.772.1400 MZAIDEL@BECKERFRONDORF.COM

INDEX OF DRAWINGS

DRAWING LIST - ARCHITECTURAL		2026.03.04 ISSUED FOR BIDDING	2026.04.28 PLAN REVIEW	2026.06.18 REISSUED FOR BID
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G01-03	CODE ANALYSIS AND LEGENDS	X	X	X
G01-04	UL REFERENCES	X	X	X
G01-05	SCOPE OF WORK PHASING PLANS	X	X	X
AD20-01	OVERALL DEMOLITION PLAN - FIRST FLOOR	X	X	X
AD20-02	OVERALL DEMOLITION PLAN - SECOND FLOOR	X	X	X
AD20-RF	OVERALL ROOF DEMOLITION PLAN	X	X	X
AD30-01	OVERALL DEMOLITION REFLECTED CEILING PLAN - FIRST FLOOR	X	X	X
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A30-03	PARTIAL ROOF PLAN	X	X	X
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A52-01	VERTICAL TRANSPORTATION PLANS AND ELEVATIONS	X	X	X
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FP20-02	OVERALL FIRE PROTECTION PLAN - SECOND FLOOR	X	X	X
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M20-01	OVERALL MECHANICAL PLAN - FIRST FLOOR	X	X	X
M20-02	OVERALL MECHANICAL PLAN - SECOND FLOOR	X	X	X
M20-01	OVERALL MECHANICAL DEMOLITION PLAN - FIRST FLOOR	X	X	X
DRAWING LIST - ELECTRICAL				
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E01-02	ELECTRICAL DETAILS & SCHEDULES	X	X	X
E10-01	OVERALL POWER & LIGHTING PLAN - FIRST FLOOR	X	X	X
E10-02	OVERALL POWER & LIGHTING PLAN - SECOND FLOOR	X	X	X
ED10-01	OVERALL POWER & LIGHTING DEMOLITION PLAN - FIRST FLOOR	X	X	X
ED10-02	OVERALL POWER & LIGHTING DEMOLITION PLAN - SECOND FLOOR	X	X	X

PROJECT LOCATION



DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A
2026.04.28	PLAN REVIEW	B
2026.06.18	REISSUED FOR BID	C

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

NORR

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Project Manager BM	Drawn MK
Project Architect CP	Checked CP

Client
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title
COVER SHEET

Project No.
IN2325-0323

Drawing No.
G00-00

DESCRIPTION
PROJECT NAME: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
PROJECT DESCRIPTION: THE PROJECT REPRESENTS AN ALTERATION LEVEL II TO AN EXISTING TWO STORY COMMERCIAL WAREHOUSE BUILDING. THE ALTERATION WILL INCLUDE THE ADDITION OF A SERVICE ELEVATOR, REPAIRS TO AN EXTERIOR WINDOW AND INTERIOR FLOORS AND WALLS, AND REMOVAL OF AN EXISTING FREIGHT LIFT. THE EXISTING BUILDING IS FULLY SPRINKLERED. EXISTING OCCUPANCY IS STORAGE. THERE WILL BE NO CHANGE IN OCCUPANCY. EXISTING CONSTRUCTION TYPE IS IIBB NON-COMBUSTIBLE WITH EXTERIOR LOAD-BEARING MASONRY WALLS, STEEL FLOOR STRUCTURE WITH WOODEN PLANK DECKING AND CONCRETE TOPPING, AND STEEL ROOF STRUCTURE AND DECK WITH CONTINUOUS INSULATION AND SINGLE PLY ROOF MEMBRANE. NO WORK IS BEING DONE TO ANY OTHER SPACES.
APPLICABLE / ADOPTED CODES
BUILDING CODE: * ICC INTERNATIONAL BUILDING CODE (IBC), 2021
EXISTING BUILDING CODE: * ICC INTERNATIONAL EXISTING BUILDING CODE (IBC), 2021
BARRIER FREE CODE: * REFERENCES TO ANSI 117.1-2009 * AMERICANS WITH DISABILITIES ACT ARCHITECTURAL STANDARDS FOR ACCESSIBLE DESIGN, 2010 * CODE OF FEDERAL REGULATIONS PART 36, SUBPART D
FIRE CODES: * ICC INTERNATIONAL FIRE CODE, 2021
MECHANICAL CODES: * ICC INTERNATIONAL MECHANICAL CODE, 2021 * ASHRAE STANDARDS 90.1, 90.2 AND 62, 2019 (VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY)
ENERGY CODES: * ICC INTERNATIONAL ENERGY CONSERVATION CODE, 2021
PLUMBING CODE: * ICC INTERNATIONAL PLUMBING CODE, 2021
ELECTRICAL CODE: * NFPA 70: NATIONAL ELECTRICAL CODE (NEC) 2020
FUEL GAS CODE: * ICC MECHANICAL CODE, 2021
ELEVATOR CODE: * ASME A17.1, 2016 * 34 PA CODE, CHAPTER 405

MATERIAL LEGEND					
	EARTH		STONE		WOOD FRAMING - CONTINUOUS MEMBER
	GRASS / GREEN ROOF		MASONRY - BRICK		WOOD BLOCKING
	GRAVEL		RIGID INSULATION		PLYWOOD
	CONCRETE		FOAM INSULATION		OSB
	PRECAST CONCRETE		SPRAY INSULATION		FINISH WOOD
	CMU		BATT INSULATION		METAL/STEEL
	GLAZED CMU		GLASS (CUT)		GYPSUM

SYMBOL LEGEND	
ANNOTATION SYMBOLS	
	INDICATES VIEW NUMBER INDICATES VIEW NAME
	TITLE MARK
	SCALE: View Scale
	INDICATES DETAIL NUMBER INDICATES REFERENCE SM / TYP / REV
	PLAN DETAIL REFERENCE
	INDICATES DRAWING NUMBER WHERE SECTION IS LOCATED INDICATES SECTION NUMBER INDICATES REFERENCE SM / TYP / REV
	WALL / DETAIL SECTION REFERENCE
	INDICATES DRAWING NUMBER WHERE ELEVATION IS LOCATED INDICATES REFERENCE SM / TYP / REV
	INDICATES DRAWING NUMBER WHERE ELEVATION IS LOCATED INDICATES REFERENCE SM / TYP / REV INDICATES ELEVATION NUMBER
	GRID TAG
	INDICATES LEVEL NAME LEVEL TAG
	INDICATES LEVEL ELEVATION HEIGHT ELEVATION TAG
	INDICATES UNIT TYPE NAME INDICATES ROOM NAME ROOM TAG INDICATES ROOM NUMBER INDICATES UNIT TYPE DESCRIPTION (E.G. "SAME AS BELOW", "TYPE-A", ETC.)
	DOOR NUMBER TAG
	WINDOW TAG
	REVISION TAG
	NORTH ARROW
ASSEMBLY SYMBOLS	
	INDICATES CEILING ASSEMBLY CEILING ASSEMBLY TAG
	INDICATES CEILING HEIGHT A.F.F. FLOOR ASSEMBLY TAG
	FLOOR ASSEMBLY TAG
	WALL / PARTITION ASSEMBLY TAG
FINISHES SYMBOLS	
	ACCESSORY TYPE TAG
	EQUIPMENT TYPE TAG
	FINISH SET OUT / START POINT
	FURNITURE TYPE TAG
	MILLWORK TYPE TAG
	ROOM FINISH TYPE TAG
	MATERIAL TAG

ARCHITECTURAL ABBREVIATIONS			
ACC	ACCESSIBLE	HB	HOSE BIB
ACFL	ACCESS FLOOR	HC	HOLLOW CORE
ACT	ACOUSTICAL CEILING TILE	H/C	HANDICAP
AD	AREA DRAIN	HCW	HOLLOW CORE WOOD
ADJ	ADJACENT	HD	HANGAR DOOR
AFF	ABOVE FINISHED FLOOR	HDR	HEADER
ALUM	ALUMINUM	HDWD	HARDWOOD
ANNP	ANNUNCIATOR PANEL	HDWR	HARDWARE
ANOD	ANODIZED	HM	HOLLOW METAL
APPROX	APPROXIMATE	HO	HONEY-COMB
ARCH	ARCHITECTURAL	HOR	HORIZONTAL
AUTO	AUTOMATIC	HR	HOUR
AVB	AIR VAPOR BARRIER	HSGK	HOUSEKEEPING
AVM	AIR VAPOR MOISTURE BARRIER	HSS	HOLLOW STEEL SECTION
B	BASE	HT	HEIGHT
BF	BIFOLD DOOR	HVAC	HEATING / VENTING / AIR CONDITIONING
BLDG	BUILDING	HVY	HEAVY
BM	BEAM	HW	HOT WATER
B/O	BOTTOM OF	ID	INSIDE DIAMETER
BOL	BOLLARD	INFO	INFORMATION
BUR	BUILT UP ROOFING	INSUL	INSULATION
CAB	CABINET	INT	INTERIOR
CB	CATCH BASIN	IMP	INSULATED METAL PANEL
CD	COILING DOOR	ISO	POLYISOCYANURATE
CG	CORNER GUARD	JAN	JANITOR CLOSET
CIP	CAST IN PLACE	KIT	KITCHEN
CJ	CONTROL JOINT	L	LENGTH
CL	CENTRE LINE	LAV	LAVATORY
CLG	CEILING	LINO	LINOLEUM
CLR	CLEARANCE	LL	LIVE LOAD
CMP	COMPOSITE METAL PANEL	LVR	LOUVER
CMU	CONCRETE MASONRY UNIT	m	METER
COL	COLUMN	MATL	MATERIAL
COM	CUSTOMERS OWN MATERIAL	MAX	MAXIMUM
CONC	CONCRETE	MECH	MECHANICAL
CONST	CONSTRUCTION	MED	MEDIUM
CONT	CONTINUOUS	MEL	MELAMINE
CORR	CORRIDOR	MEP	MECHANICAL, ELECTRICAL AND PLUMBING
CPT	CARPET	MEZZ	MEZZANINE
CPT-T	CARPET TILE	MF	MINERAL FIBRE
CS	COUNTER SHUTTER	MFR	MANUFACTURER
CT	CERAMIC TILE	MH	MANHOLE
CW	CURTAIN WALL	MIN	MINIMUM
C/W	COMPLETE WITH	MISC	MISCELLANEOUS
DCRON	DURACRON	MLDG	MOULDING
DD	DOUBLE SWING DOOR	MLWK	MILLWORK
DEG	DEGREES	mm	MILLIMETER
DEMO	DEMOLITION	MP	METAL PANEL
DF	DRINKING FOUNTAIN	MTD	MOUNTED
DIA	DIAMETER	MTL	METAL
DIM	DIMENSION	N/A	NOT APPLICABLE
DL	DEAD LOAD	NF	NO FRAME (FRAMELESS)
DN	DOWN	NIC	NOT IN CONTRACT
DNAR	DURANAR	No.	NUMBER
DP	DEPTH	NTS	NOT TO SCALE
DR	DOOR	O/C	ON CENTER
DW	DISH WASHER	OD	OUTSIDE DIAMETER
DWG	DRAWING	OH	OVERHEAD DOOR
EA	EACH	O/H	OVERHEAD
EJ	EXPANSION JOINT	OPNG	OPENING
EL	ELEVATION	OPP	OPPOSITE
ELEC	ELECTRICAL	OS	OWNER SUPPLIED
ELEV	ELEVATOR	OWSJ	OPEN WEB STEEL JOIST
EP	ELECTRICAL PANEL	P	PAINT (color)
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	PC	POWDER COAT
EPX	EPOXY	P.CONC	POLISHED CONCRETE
EQ	EQUAL	PD	PLANTER DRAIN
ES	EMERGENCY SHOWER	PERP	PERPENDICULAR
EXIST	EXISTING	PH	PHASE
EXP	EXPOSED	PL	PROPERTY LINE
EXP-S	EXPOSED STRUCTURE	PLAM	PLASTIC LAMINATE
EXT	EXTERIOR	PLYWD	PLYWOOD
EWS	EYE WASH STATION	PO	POLYSTYRENE
F	FRAME	POLY	POLYETHYLENE
FAAP	FIRE ALARM ANNUNCIATOR PANEL	POLY-U	POLYURETHANE
FAB	FABRIC	PREFAB	PREFABRICATED
FC	FLASH COVE	PREFIN	PREFINISHED
FD	FLOOR DRAIN	PS	PRESSED STEEL
FDN	FOUNDATION	PSFR	PRESSED STEEL FRAME
FE	FIRE EXTINGUISHER	PT	PRESSURE TREATED
FFE	FINISH FLOOR ELEVATION	PTD	PAINTED
FF&E	FURNITURE FIXTURES & EQUIPMENT	QT	QUARRY TILE
FHC	FIRE HOSE CABINET	R	RADIUS
FLR	FLOOR	R/A	RETURN AIR
F/O	FACE OF	RB	RUBBER BASE
FOC	FACE OF CONCRETE	RCP	REFLECTED CEILING BASE
FOG	FACE OF GLAZING	RD	ROOF DRAIN
FOS	FACE OF STUD	RE	REVOLVING DOOR
FOSH	FACE OF SHEATHING	REINF	REINFORCED
FP	FRAME PROTECTION	REF	REFERENCE
FRR	FIRE RESISTANCE RATING	REFR	REFRIGERATOR
FT	FOOT/FEET	REQ'D	REQUIRED
G ()	GLASS (type)	RES	RESILIENT FLOORING
GA	GAUGE	REV	REVISION
GALV	GALVANIZED	RM	ROOM
GB	GRAB BAR	RO	ROLLING DOOR
GBN	GARBAGE BIN	RR	RAPID ROLL DOOR
GC	GENERAL CONTRACTOR	RSF	RESILIENT SHEET FLOORING
GL	GLASS / GLAZING	RUB	RUBBER
GRD	GROUND	RWL	RAINWATER LEADER
GWB	GYPSUM WALL BOARD		
GWG	GEORGIAN WIRE GLASS		
GYP	GYPSUM		

BUILDING CLASSIFICATION		
	ALLOWED/REQUIRED	EXISTING
A. OCCUPANCY CLASSIFICATION		
IBC CHAPTER 3 USE GROUP:	S2	S2
B. MIXED USE AND OCCUPANCY IBC CHAPTER 5		
BASEMENT OCCUPANCY GROUP:	S2	S2
FIRST FLOOR PRIMARY OCCUPANCY GROUP:	S2	S2
ACCESSORY OCCUPANCY GROUP (LESS THAN 10% FLOOR AREA):	B	B
SECOND FLOOR OCCUPANCY GROUP:	S2	S2
C. CONSTRUCTION CLASSIFICATION IBC CHAPTER 6	IIIB	IIIB
D. BUILDING AREA LIMITATIONS IBC CHAPTER 5 MAXIMUM TABULAR AREA PER STORY, (S.F.): FULLY SPRINKLERED, TWO STORY: TOTAL BUILDING AREA:	78,000 SF 158,000 SF 158,000 SF	15,010 SF 30,020 SF 30,020 SF
E. BUILDING HEIGHT LIMITATIONS IBC CHAPTER 5 MAXIMUM HEIGHT - FT: MAXIMUM HEIGHT - STORIES:	75 4	29 2

FIRE RESISTANCE REQUIREMENTS OF CONSTRUCTION ELEMENTS		
	ALLOWED/REQUIRED	PROPOSED
C. INTERIOR FINISHES IBC CHAPTER 8 INTERIOR WALL & CEILING FINISH FLAME SPREAD INTERIOR EXIT STAIRWAYS, RAMPS & PASSAGEWAYS: CORRIDORS FOR EXIT ACCESS: ROOMS & ENCLOSED SPACES: INTERIOR FLOOR FINISHES RADIANT FLUX CLASS:	CLASS C CLASS C CLASS C CLASS B	CLASS C CLASS C CLASS C CLASS B

OCCUPANT LOAD		
	ALLOWED/REQUIRED	ACTUAL
A. OCCUPANT LOADS		
DESIGN OCCUPANT LOAD:		
MAIN FUNCTION AREA: BASEMENT FLOOR AREA PER OCCUPANT (S-2):	500	:
TOTAL DESIGN DESIGN OCCUPANT LOAD:	3	0
FIRST FLOOR FLOOR AREA PER OCCUPANT (S-2): FLOOR AREA PER OCCUPANT (B):	500 150	: :
TOTAL FIRST FLOOR DESIGN OCCUPANT LOAD:	38	3
SECOND FLOOR: FLOOR AREA PER OCCUPANT (S-2):	500	:
TOTAL SECOND FLOOR DESIGN OCCUPANT LOAD:	31	3
TOTAL BUILDING DESIGN OCCUPANT LOAD:	62	6

DATE	ISSUED FOR	REV
2025.03.04	BIDDING	A
2025.04.28	PLAN REVIEW	B
2025.06.18	REISSUED FOR BID	C

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

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Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

2

NORR
NORR
One Penn Center
1917 JFK Blvd, Suite 1600
Philadelphia, PA 19103
norr.com

Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

Client

**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project

**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title

**CODE ANALYSIS AND
LEGENDS**

Project No.

IN2325-0323

Drawing No.

G01-03

ARCH Title Block - v 2023 - Rev (Sep23) - Copyright © 2023

Fire-resistance Ratings - ANSI/UL 263
BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States
BXUV7 - Fire Resistance Ratings - CAN/ULC-5101 Certified for Canada

[See General Information for Fire Resistance Ratings - ANSI/UL 263 Certified for United States](#)
[See General Information for Fire Resistance Ratings - CAN/ULC-5101 Certified for Canada](#)

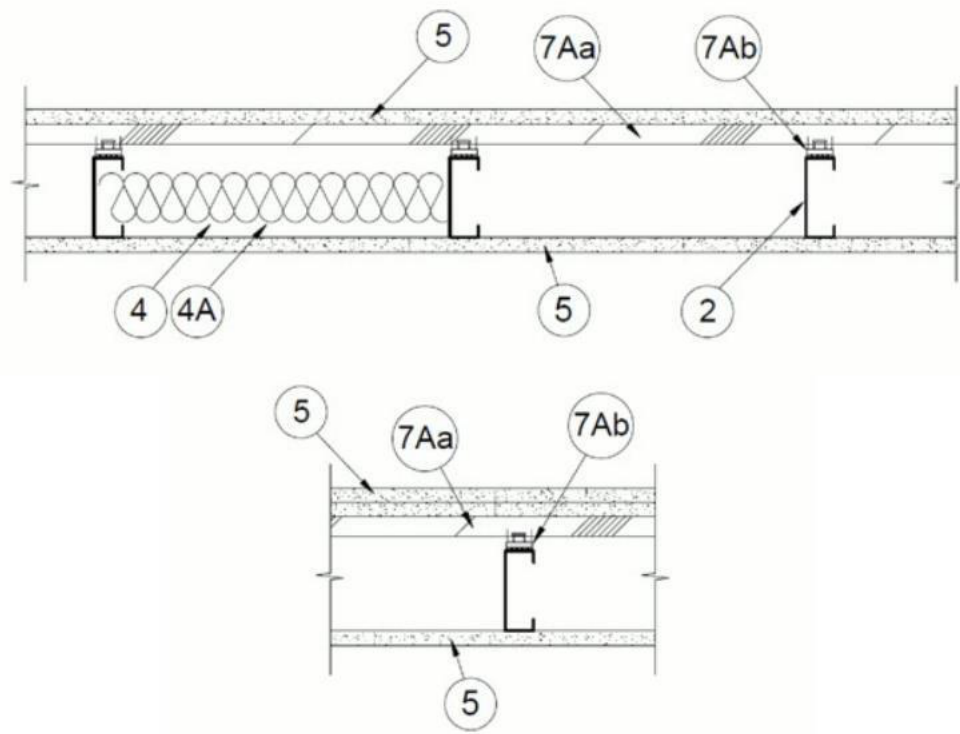
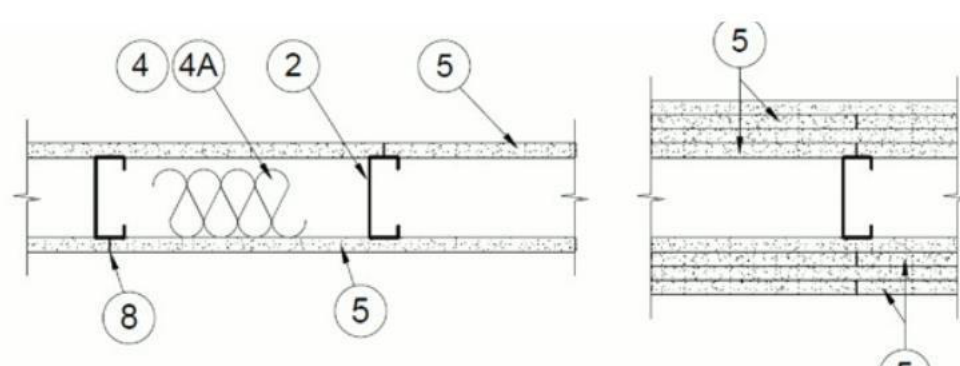
Design No. U419

September 5, 2022

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**

Nonbearing Wall Ratings — 1, 2, 3 or 4 Hr (See Items 4 & 5 through 5J)

*** Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**



1. **Floor and Ceiling Runners** — (Not Shown) — For use with Item 2 — Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min depth to accommodate stud size, with min 1-1/4 in. long legs, attached to floor and ceiling with fasteners 24 in. OC, max.

1A. **Framing Members — Floor and Ceiling Runner** — (Not Shown — In lieu of Item 1) — For use with Item 2B, proprietary channel shaped runners, 3-5/8 in. deep attached to floor and ceiling with fasteners 24 in. OC, max.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper²⁵ Trak
CRACO MFC INC — SmartTrak25[®]
MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper25[®] Trak
IMPERIAL MANUFACTURING GROUP INC — Viper25[®] Trak

1A. **Framing Members — Floor and Ceiling Runner** — (Not Shown — In lieu of Item 1) — For use with Item 2B, proprietary channel shaped runners, 3-5/8 in. deep attached to floor and ceiling with fasteners 24 in. OC, max.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper²⁵ Trak
CRACO MFC INC — SmartTrak25[®]
MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper25[®] Trak
IMPERIAL MANUFACTURING GROUP INC — Viper25[®] Trak

1C. **Framing Members — Floor and Ceiling Runners** — (Not Shown) — In lieu of Item 1 — Channel shaped, attached to floor and ceiling with fasteners 24 in. OC, max.
ALSTEE & GYPSUM PRODUCTS INC — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
CONSOLIDATED FABRICATORS CORP. BUILDING PRODUCTS DIV — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
QUAL RON BUILDING MATERIALS INC — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
SCAFOS STEEL STUD MANUFACTURING CO — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
STEEL CONSTRUCTION SYSTEMS INC — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
TELLING INDUSTRIES L L C — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
UNITED METAL PRODUCTS INC — Type SUPRME D2A/30EQ2 and Type SUPRME D2D

1D. **Floor and Ceiling Runners** — (Not Shown) — For use with Item 2A — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, min depth to accommodate stud size, with min 1 in. long legs, attached to floor and ceiling with fasteners spaced 24 in. OC.

1E. **Framing Members — Floor and Ceiling Runners** — (Not Shown, As an alternate to Item 1) — For use with Items 2E, 2F or 5G or 5J only, channel shaped, fabricated from min. 0.015 in. (min bare metal thickness) galvanized steel, attached to floor and ceiling with fasteners 24 in. OC, max.
CLANKRITCH BUILDING SYSTEMS — CD ProSTUD
IMFMCBS L L C — ProSTUD
MBA METAL FRAMING — ProSTUD
RAM SALES L L C — Ram ProSTUD
STEEL STRUCTURAL PRODUCTS L L C — Hi-Stud

1E. **Framing Members — Floor and Ceiling Runner** — (Not Shown — In lieu of Item 1) — For use with Item 2F, proprietary channel shaped runners, minimum width to accommodate stud size with 1-1/8 in. long legs fabricated from min 0.015 in. (min bare metal thickness) galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC, max.
SUPER STUD BUILDING PRODUCTS — The Edge

1G. **Framing Members — Floor and Ceiling Runner** — For use with Item 2G, proprietary channel shaped runners, minimum width to accommodate stud size attached to floor and ceiling with fasteners 24 in. OC, max.
STUCCO BUILDING SYSTEMS — CROCKSTUD

1H. **Floor and Ceiling Runners** — (Not Shown) — Channel shaped, fabricated from min 0.02 in. galv steel, min width to accommodate stud size, with min 1 in. long legs, for use with studs specified below and fabricated from min 0.018 in. galv steel or thicker, attached to floor and ceiling with fasteners spaced max 24 in. OC.

1I. **Framing Members — Floor and Ceiling Runners** — (Not Shown, As an alternate to Item 1) — For use with Items 2H, channel shaped, fabricated from min. 0.015 in. (min bare metal thickness) galvanized steel, attached to floor and ceiling with fasteners 24 in. OC, max.
TELLING INDUSTRIES L L C — TRUE TRAC[®]

1K. **Framing Members — Floor and Ceiling Runner** — (Not Shown — In lieu of Item 1) — For use with Item 2J, proprietary channel shaped runners, 1-1/4 in. wide by 3-5/8 in. deep fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC, max.
RESCUE METAL FRAMING, L L C — AlphaTrak

1L. **Framing Members — Floor and Ceiling Runner** — (Not Shown — In lieu of Item 1) — For use with Item 2N, proprietary channel shaped runners, 1-1/4 in. wide by 3-5/8 in. deep fabricated from min 0.018 in. thick galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC, max.
RESCUE METAL FRAMING, L L C — AlphaTrak

1M. **Framing Members — Floor and Ceiling Runners** — (Not Shown — As an alternate to Item 1) — For use with Item 2O, proprietary channel shaped runners, min width to accommodate stud size, galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC, max.
RONDO BUILDING SERVICES PTY LTD — Rondo Wall Stud

1N. **Framing Members — Floor and Ceiling Runners** — (Not Shown — As an alternate to Item 1) — For use with Item 2P, proprietary channel shaped runners, min width to accommodate stud size, galv steel, attached to floor and ceiling with fasteners spaced 24 in. OC, max.
OEG BUILDING MATERIALS — OEG Trak

1O. **Framing Members — Floor and Ceiling Runner** — (Not Shown — In lieu of Item 1) — For use with Item 2Q, proprietary channel shaped runners, minimum width to accommodate stud size, fabricated from min. 25 MSG 0.018 in. min. bare metal thickness, attached to floor and ceiling with fasteners spaced 24 in. OC, max.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X Trak

2. **Steel Studs** — Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.

2A. **Steel Studs** — (As an alternate to Item 2) — For use with Items 5B, 5E, 5H, 5I or Type ULX0 — Channel shaped, fabricated from min 20 MSG corrosion-protected or galv steel, 3-1/2 in. min depth, spaced a max of 16 in. OC. Studs friction-fit into floor and ceiling runners. Studs to be cut 5/8 to 3/4 in. less than assembly height.

2B. **Framing Members — Steel Studs** — (As an alternate to Item 2) — For use with Items 5C, 5I or Type ULX0 — Proprietary channel shaped studs, 3-5/8 in. deep spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than the assembly height and installed with a 1/2 in. gap between the end of the stud and track at the bottom of the wall. For direct attachment of gypsum board only.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper25[®] Trak

IMPERIAL MANUFACTURING GROUP INC — Viper25[®] Trak

2C. **Framing Members — Steel Studs** — (Not Shown — In lieu of Item 2) — Proprietary channel shaped steel studs, min depth as indicated under Item 5, spaced a max of 24 in. OC, fabricated from min 0.018 in. thick galv steel. Studs cut 3/8 in. to 3/4 in. less in lengths than assembly heights.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper20[®] Trak
MARINO/WARE, DIV OF WARE INDUSTRIES INC — Viper20[®] Trak
IMPERIAL MANUFACTURING GROUP INC — Viper20[®] Trak

2D. **Framing Members — Steel Studs** — In lieu of Item 2 — Channel shaped studs, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.
ALSTEE & GYPSUM PRODUCTS INC — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
CONSOLIDATED FABRICATORS CORP. BUILDING PRODUCTS DIV — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
QUAL RON BUILDING MATERIALS INC — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
SCAFOS STEEL STUD MANUFACTURING CO — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
STEEL CONSTRUCTION SYSTEMS INC — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
TELLING INDUSTRIES L L C — Type SUPRME D2A/30EQ2 and Type SUPRME D2D
UNITED METAL PRODUCTS INC — Type SUPRME D2A/30EQ2 and Type SUPRME D2D

2E. **Framing Members — Steel Studs** — (Not Shown, As an alternate to Item 2) — For use with Items 5F or 5G or 5I or Type ULXU only, channel shaped studs, min depth as indicated under Item 5F, 5G or 5I, fabricated from min. 0.015 in. (min bare metal thickness) galvanized steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.
CLANKRITCH BUILDING SYSTEMS — CD ProSTUD
IMFMCBS L L C — ProSTUD
MBA METAL FRAMING — ProSTUD
RAM SALES L L C — Ram ProSTUD
STEEL STRUCTURAL PRODUCTS L L C — Hi-Stud

2F. **Framing Members — Steel Studs** — (Not Shown — In lieu of Item 2) — Proprietary channel shaped steel studs, minimum width indicated under Item 5, 1-1/4 in. deep fabricated from min 0.015 in. (min bare metal thickness) galvanized steel. Studs 3/8 in. to 3/4 in. less in lengths than assembly heights.
SUPER STUD BUILDING PRODUCTS — The Edge

2G. **Framing Members — Steel Studs** — (Not Shown — In lieu of Item 2) — Proprietary channel shaped studs, minimum width indicated under Item 5, Studs to be cut 3/8 to 3/4 in. less than the assembly height.
STUCCO BUILDING SYSTEMS — CROCKSTUD

2H. **Framing Members — Steel Studs** — (Not Shown, As an alternate to Item 2) — Fabricated from min. 0.015 in. (min bare metal thickness) galvanized steel, spaced a max of 24 in. OC. Studs to be cut 3/4 in. less than assembly height.

2I. **Framing Members — Metal Studs** — (Not Shown — In lieu of Item 2) — Proprietary channel shaped steel studs, min depth as indicated under Item 5, spaced a max of 24 in. OC, fabricated from min 0.018 in. thick galv steel. Studs cut 3/8 in. to 3/4 in. less in lengths than assembly heights.

2K. **Framing Members — Steel Studs** — (As an alternate to Item 2) — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.
EB METAL INC — INFSTUD

2L. **Framing Members — Steel Studs** — (As an alternate to Item 2) — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.
OLMAR SUPPLY INC — PRMSTUD

2M. **Framing Members — Steel Studs** — (As an alternate to Item 2) — For use with Item 1, channel shaped studs, fabricated from min 25 MSG corrosion-protected steel, min depth as indicated under Item 5, spaced a max of 24 in. OC. Studs to be cut 3/8 to 3/4 in. less than assembly height.
MARINO/WARE, DIV OF WARE INDUSTRIES INC — StudRak

2N. **Framing Members — Steel Studs** — (As an alternate to Item 2) — Proprietary channel shaped steel studs, min depth 3-1/2 in. and as indicated under Item 5, spaced a max of 24 in. OC, fabricated from min 0.018 in. thick galv steel. Studs cut 3/8 in. to 3/4 in. less in lengths than assembly height.
RESCUE METAL FRAMING, L L C — AlphaSTUD

2O. **Framing Members — Steel Studs** — (As an alternate to Item 2) — Proprietary channel shaped steel studs, min width as indicated under Item 5, galv steel. Studs to be cut 3/8 to 3/4 in. less in lengths than assembly height. Spaced 24 in. OC, max.
RONDO BUILDING SERVICES PTY LTD — Rondo Uppset Wall Stud

2P. **Framing Members — Steel Studs** — (As an alternate to Item 2) — Proprietary channel shaped steel studs, min width as indicated under Item 5, min 25 MSG galv steel. Studs to be cut 3/8 to 3/4 in. less in lengths than assembly height. Spaced 24 in. OC, max.
OEG BUILDING MATERIALS — OEG Stud

2Q. **Framing Members — Steel Studs** — (Not Shown — In lieu of Item 2) — For use with Item 1O, proprietary channel shaped steel studs, min depth as indicated under Item 5, spaced a max of 24 in. OC, fabricated from min 25 MSG 0.018 in. min. bare metal thickness.
CALIFORNIA EXPANDED METAL PRODUCTS CO — Viper X

3. **Wood Structural Panel Sheathing** — (Optional, For use with Item 5 Only) — (Not Shown) — 4 ft wide, 7/16 in. thick oriented strand board (OSB) or 1/2 in. thick structural 1 sheathing plywood complying with DOC P51 or P52, or APA Standard PP-108, manufactured with exterior glue, applied horizontally or vertically to the steel studs. Vertical joints centered on studs, and staggered

and fastener lengths for gypsum panels increased by min. 1/2 in.

4. **Batts and Blankets** — (Required as indicated under Item 5) — Mineral wool batts, friction fitted between studs and runners. Min run thickness as indicated under Item 5.
See Batts and Blankets (BHV or R22) Categories for names of Classified companies.

4A. **Batts and Blankets** — (Optional) — Placed in stud cavities, any glass fiber or mineral wool insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance.
See Batts and Blankets (BHV or R22) Categories for names of Classified companies.

4B. **Fiber Spray** — (Optional, for use with Type ULX0) Where insulation is required — Spray applied granulated mineral fiber material. The fiber is applied with adhesive at a minimum density of 4.0 pcf to completely fill the wall cavity in accordance with the application instructions supplied with the product. See **Fiber Spray (C2A2), AMERICAN ROCKWOOL MANUFACTURING, LLC** — Type Rockwool Premium Plus.

4C. **Foamed Plastic** — (Where Batts and Blankets, Item 4, are optional, for use with Item 5) — Spray applied, foamed plastic insulation, at any thickness from partial fill to completely filling stud cavity, for 2 hour rated assemblies only. When foamed plastic is used, minimum stud depth shall be 3-1/2 in.

4D. **Foamed Plastic** — (Where Batts and Blankets, Item 4, are optional, for use with Item 5) — Spray applied, foamed plastic insulation, at any thickness from partial fill to completely filling stud cavity, for 2 hour rated assemblies only. When foamed plastic is used, minimum stud depth shall be 3-1/2 in. with minimum 20 MSG steel thickness.

4E. **Foamed Plastic** — (Where Batts and Blankets, Item 4, are optional, for use with Item 5) — Spray applied, foamed plastic insulation, at any thickness from partial fill to completely filling stud cavity, for 2 hour rated assemblies only. When foamed plastic is used, minimum stud depth shall be 3-1/2 in. with minimum 20 MSG steel thickness.

5. **Gypsum Board** — Gypsum panels with beveled, square or tapered edges, applied vertically or horizontally. Vertical joints staggered over studs and staggered one stud cavity on opposite sides of studs. Vertical joints in adjacent layers (multi-layer systems) centered one stud cavity. Horizontal joints need not be backed by steel framing. Horizontal edge joints and horizontal butt joints on opposite sides of studs need not be staggered. Horizontal edge joints and horizontal butt joints in adjacent layers (multi-layer systems) staggered a min of 1/2 in. Horizontal edge joints and horizontal butt joints in adjacent layers (multi-layer systems) with Type ULXU need not be staggered. The thickness and number of layers for the 1 hr, 3 hr, 4 hr and 4 hr ratings are as follows:

Rating, Hr	Min Stud Depth, in.		No. of Layers & Thins of Panel	Min Thins of Insulation (Item 4)
	Item 2	2C, 2D, 2F, 2G, 2O		
1	3-1/2		1 layer, 5/8 in. thick	Optional
1	2-1/2		1 layer, 1/2 in. thick	1-1/2 in.
1	1-5/8		1 layer, 3/4 in. thick	Optional
2	1-5/8		2 layers, 1/2 in. thick	Optional
2	1-5/8		2 layers, 5/8 in. thick	Optional
2	3-1/2		1 layer, 3/4 in. thick	3 in.
2	1-5/8		3 layers, 1/2 in. thick	Optional

Rating, Hr	Min Stud Depth, in.		No. of Layers & Thins of Panel	Min Thins of Insulation (Item 4)
	Item 2	2C, 2D, 2F, 2G, 2O		
3	1-5/8		3 layers, 5/8 in. thick	Optional
4	1-5/8		4 layers, 5/8 in. thick	Optional
4	1-5/8		4 layers, 1/2 in. thick	Optional
4	2-1/2		2 layers, 3/4 in. thick	2 in.

CGC INC — Type SHK

THE SIAM GYPSUM INDUSTRY (SONGHAH) CO — 1/2 in. thick Type C, IP-32, IPC-AR, 5/8 in. thick Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCK, SHK, ULXU, WRX or WRX 3/4 in. thick Type IP-X3 or ULTRACOE
THE SIAM GYPSUM INDUSTRY (SONGHAH) CO — 1/2 in. thick Type C and 5/8 in. thick Type SCK
UNITED STATES GYPSUM CO — 1/2 in. thick Type C, IP-32, IPC-AR or WRX; 5/8 in. thick Type SCK, SCK, ULXU, WRX, IP-X1, AR, C, WRX, FRX-G, IP-AR, IP-X2, IPC-AR, 3/4 in. thick Type IP-32 or ULTRACOE
USG BORNAL DRYWALL SFZ LLC — 1/2 in. thick Type C, 5/8 in. thick Type C, SCK, SCK, ULTRACOE

USG MEXICO S A DE CV — 1/2 in. thick Type C, IP-32, IPC-AR or WRX; 5/8 in. thick Type AR, C, IP-AR, IP-X1, IP-X2, IPC-AR, SCK, SHK, WRX or WRX 3/4 in. thick Type IP-X3 or ULTRACOE

When Item 7B, Steel Framing Members, is used, Nonbearing Wall Rating is limited to 1 Hr. Min. stud depth is 3-1/2 in., min. thickness of insulation (Item 4) is 3 in., and two layers of gypsum board panels (1/2 in. or 5/8 in. thick) shall be attached to framing channels as described in Item 6. One layer of gypsum board panels (1/2 in. or 5/8 in. thick) attached to opposite side of stud without furring channels as described in Item 6.

5A. **Gypsum Board** — (As an alternate to Item 5) — 5/8 in. thick, 24 to 34 in. wide, applied horizontally as the outer layer to one side of the assembly. Secured as described in Item 6.
CGC INC — Type SHK
UNITED STATES GYPSUM CO — Type FRX-G, SHK
USG MEXICO S A DE CV — Type SHK

5B. **Gypsum Board** — (Not Shown) — As an alternate to Item 5 when used as the base layer on one or both sides of wall when 5/8 in. or 3/4 in. thick products are specified. For direct attachment only to steel studs Item 2A, not to be used with Item 3) — Nom 5/8 in. or 3/4 in. may be used as alternate to all 5/8 in. or 3/4 in. shown in Item 5, Wallboard Protection on Each Side of Wall table. Nom 5/8 in. or 3/4 in. thick, lead backed gypsum panels with beveled, square or tapered edges, applied vertically. Vertical joints centered over studs and staggered min 1 stud cavity on opposite sides of studs. Wallboard secured to studs with 1-1/4 in. long Type S-12 steel screws spaced 8 in. OC at perimeter and 12 in. OC in the field. For Joint Compound use Item 5. To be used with Lead Batten Strips (see Item 11) or Lead Discs or Tabs (see Item 12).
RAN-BAY FABRICATING CORP — Type RH-14S

5C. **Gypsum Board** — (For Use With Item 2B) — Rating limited to 1 Hour. 5/8 in. thick, 48 in. wide, gypsum panels with beveled, square or tapered edges, applied vertically or horizontally. (Vertical Application) — The gypsum board is to be installed on each side of the studs with 1 in. long Type 5 coated steel screws spaced 8 in. OC, starting 4 in. from the edge of the board at the vertical edges and 12 in. OC, starting in. from the edge of the board at the center of each board. Gypsum boards are to be secured to the top and bottom track with screws spaced 8 in. OC, starting 4 in. from the board edge. Fasteners shall not penetrate through both the stud and the track at the same time. Vertical joints are to be centered over studs and staggered one stud cavity on opposite sides of studs. (Horizontal Application) — The gypsum board is to be installed on each side of the studs with 1 in. long Type 5 coated steel screws spaced 8 in. OC, starting 4 in. from the edge of the board at the vertical edges and 12 in. OC, starting 6 in. from the edge of the board at the center of each board. Fasteners shall be to be secured to the top and bottom track with screws spaced 8 in. OC, starting 4 in. from the board edge. Fasteners shall not penetrate through both the stud and the track at the same time. All horizontal joints are to

be secured to studs as described in Item 6. Gypsum board attached to furring channels as described in Item 6. Not for use with Item 5A.
b. Steel Framing Members — Used to attach furring channels (Item 7Aa) to studs (Item 2). Clips spaced max. 48 in. OC. RISC-1 and RISC-1 (275) clips secured to studs with No. 8 x 3/16 in. minimum self-drilling, 5-12 steel screw through the center grommet. Furring channels are to be secured to clips. RISC-1 and RISC-1 (275) clips use with 2-9/16 in. wide furring channels. RISC-1 (275) and RISC-1 (275) clips use with 2-3/32 in. thick furring channels.
PAC INTERNATIONAL L L C — Type RISC-1, RISC-1 (275), RISC-V (275)

7B. **Framing Members** — (Optional, Not Shown) — (As an alternate to Item 7) — For single or double layer systems, furring channels and Steel Framing Members as described below.
a. Furring Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC, perpendicular to studs. Channels secured to studs as described in Item 5. Batts and Blankets placed in stud cavity as described in Item 5. Two layers of gypsum board attached to furring channels as described in Item 5. Not for use with Item 5A.

b. Steel Framing Members — Used to attach furring channels (Item 7Aa) to studs (Item 2). Clips spaced max. 48 in. OC. RISC-1 and RISC-1 (275) clips secured to studs with No. 8 x 3/16 in. minimum self-drilling, 5-12 steel screw through the center grommet. Furring channels are to be secured to clips. RISC-1 and RISC-1 (275) clips use with 2-9/16 in. wide furring channels. RISC-1 (275) and RISC-1 (275) clips use with 2-3/32 in. thick furring channels.
PAC INTERNATIONAL L L C — Type RISC-1, RISC-1 (275), RISC-V (275)

b. Steel Framing Members — Used to attach furring channels (Item 7Aa) to studs (Item 2). Clips spaced max. 48 in. OC, and secured to studs with 1 in. diam. washer steel with No. 8 x 1-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips.
KINETICS NOISE CONTROL INC — Type IsoMax

7C. **Framing Members** — (Not Shown) — (Optional on one or both sides, not shown, for single or double layer systems) — As an alternate to Item 7, furring channels and Steel Framing Members as described below.
a. Furring Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC, perpendicular to studs. Channels secured to studs as described in Item 5. Batts and Blankets placed in stud cavity as described in Item 5. Two layers of gypsum board attached to furring channels as described in Item 5. Not for use with Item 5A.

b. Steel Framing Members — Used to attach furring channels (Item 7Aa) to studs (Item 2). Clips spaced max. 48 in. OC, and secured to studs with 1 in. diam. washer steel with No. 8 x 1-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips.
KINETICS NOISE CONTROL INC — Type IsoMax

7D. **Steel Framing Members** — (Optional on one or both sides, not shown, for single or double layer systems) — Furring channels and Steel Framing Members as described below.
a. Furring Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC, perpendicular to studs. Channels secured to studs as described in Item 5. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 6. Not for use with Item 5A.

b. Steel Framing Members — Used to attach furring channels (Item 7Aa) to studs (Item 2). Clips spaced max. 48 in. OC, and secured to studs with 1 in. diam. washer steel with No. 8 x 1-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips.
STUCCO BUILDING SYSTEMS — RESAHDOT Sound Isolation Clips - Type A237 & A237R

7E. **Steel Framing Members** — (Optional on one or both sides, not shown, for single or double layer systems) — Furring channels and Steel Framing Members as described below.
a. Furring Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC, perpendicular to studs. Channels secured to studs as described in Item 5. Ends of adjoining channels overlapped 6 in. and tied together with double strand of No. 18 AWG galvanized steel wire. Gypsum board attached to furring channels as described in Item 6. Not for use with Item 5A and 5E.

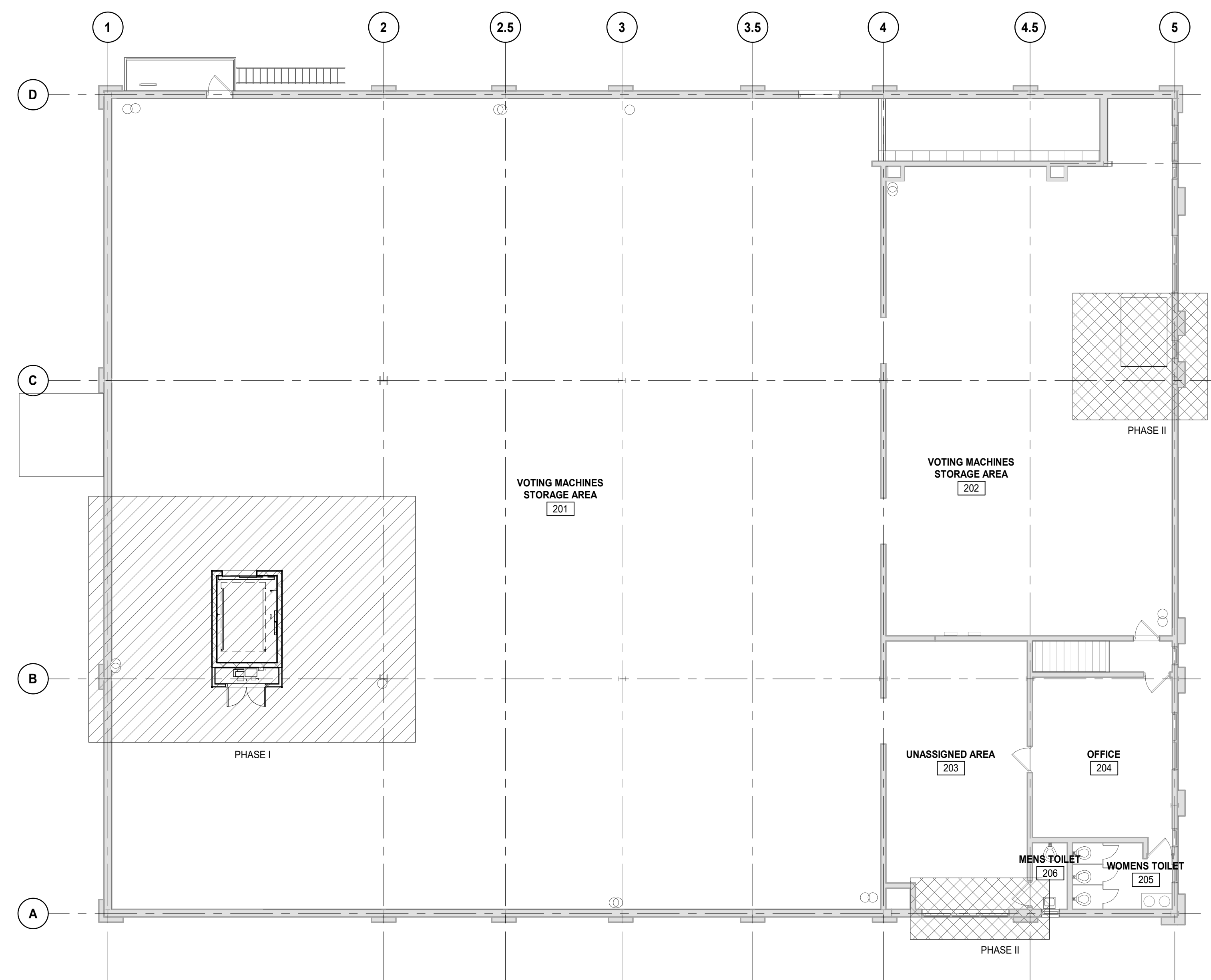
b. Steel Framing Members — Used to attach furring channels (Item 7Aa) to studs (Item 2). Clips spaced max. 48 in. OC, and secured to studs with No. 8 x 1-1/2 in. coarse drywall screw through the center hole. Furring channels are friction fitted into clips.
RESPON, AMERICA — Type SenseClip

7F. **Steel Framing Members** — (Optional on one or both sides, not shown, for single or double layer systems) — Resilient channels and Steel Framing Members as described below.
a. Resilient Channels — Formed of No. 25 MSG galv steel, spaced 24 in. OC, and perpendicular to studs. Channels secured to studs as described in Item 5. Ends of adjoining channels overlapped 6 in. and secured in place with two No. 8 x 15 x 1/2 in. Philips Modified Truss screws spaced 2-1/2 in. from the center of the overlap. Gypsum board attached to resilient channels as described in Item 5. Not for use with Item 5A and 5E.

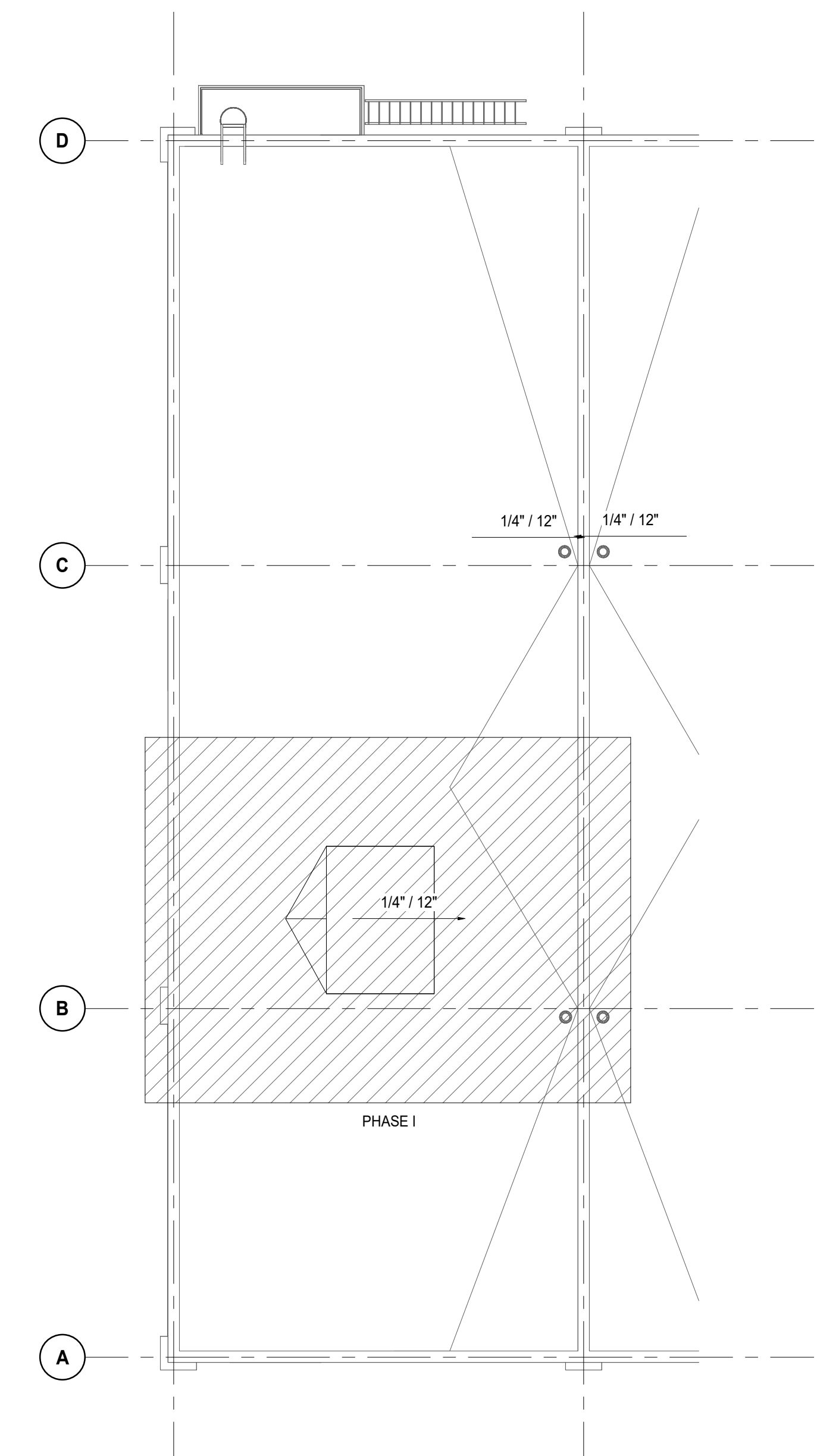
b. Steel Framing Members — Used to attach resilient channels (Item 7Fa) to studs (Item 2). Clips spaced max. 48 in. OC, and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center hole. Resilient channels are secured to clips with one No. 10 x 1/2 in. Phillips self-drilling screw.
KENE BUILDING PRODUCTS CO INC — Type RC+ AssuraClip

7G. **Framing Members** — (Optional on one or both sides, not shown, for single or double layer systems) — (As an alternate to Item 7, furring channels and Steel Framing Members as described below.
a. Furring Channels — Formed of No. 25 MSG galv steel, 2-3/32 in. wide by 7/8 in. deep, spaced max. 24 in. OC, perpendicular to studs. Channels secured to studs as described in Item 6. Gypsum board attached to furring channels as described in Item 6. Not for use with Item 5A.

b. Steel Framing Members — Used to attach resilient channels (Item 7Fa) to studs (Item 2). Clips spaced max. 48 in. OC, and secured to studs with No. 8 x 2-1/2 in. coarse drywall screw through the center hole. Resilient channels are secured to clips with one No. 10 x 1/2 in. Phillips self-drilling screw.
KENE BUILDING PRODUCTS CO INC — Type RC+ AssuraClip



E3 OVERALL PHASING PLAN - SECOND FLOOR
G01-05 SCALE: 1" = 10'-0"



C3 OVERALL PHASING PLAN - ROOF
G01-05 SCALE: 1" = 10'-0"

PHASING SCOPE OF WORK LEGEND

PHASE I

- ERECT ANY TEMPORARY PARTITIONS, RAMP, STAIRS, AND ETC.
- DEMOLISH, RECONFIGURE, AND REPAIR EXISTING FIRST AND SECOND FLOOR SLABS TO ACCOMMODATE FOR NEW SCOPE OF WORK.
- DEMOLISH, RECONFIGURE, AND REPAIR ROOF TO ACCOMMODATE FOR NEW SCOPE OF WORK.
- ERECT NEW ELEVATOR SHAFT AND FOUNDATION.
- INSTALL NEW ELEVATOR EQUIPMENT.
- RECONFIGURE AND REPAIR ALL NECESSARY EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS TO ACCOMMODATE FOR NEW SCOPE OF WORK.

PHASE II

- REMOVE EXISTING FREIGHT LIFT AND LIFT SUPPORT STRUCTURE, GUARD RAILS, AND ALL PERTINENT EXISTING BUILDING ASSEMBLIES TO ACCOMMODATE FOR NEW SCOPE OF WORK.
- INFILL EXISTING FIRST FLOOR CONCRETE SLAB DEPRESSION.
- INFILL EXISTING SECOND FLOOR SLAB.
- ERECT A NEW GPM AND QWB PARTITION TO SEPARATE FIRST FROM SECOND FLOOR.
- REPAIR/REPLACE AS AN ADD ALTERNATE EXTERIOR FENESTRATION ASSEMBLIES.

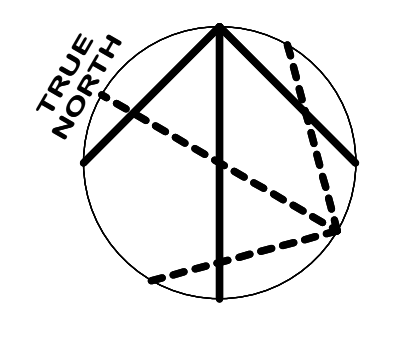
NOTE:

1. THE GENERAL PHASING ON THESE PLANS IS DIAGRAMMATIC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL MEANS AND METHODS AND ASSURE THAT EGRESS PATHS ARE MAINTAINED AT ALL TIMES.
2. PROVIDE AND INSTALL TEMPORARY PARTITION ACCORDING TO EACH PHASE.

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A
2026.04.28	PLAN REVIEW	B
2026.06.18	REISSUED FOR BID	C

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

NORR

NORR
One Penn Center
1917 JFK Blvd, Suite 1600
Philadelphia, PA 19103
norr.com

Project Manager: BM
Project Architect: CP

Drawn: Author
Checked: Checker
Client: DELAWARE

**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**

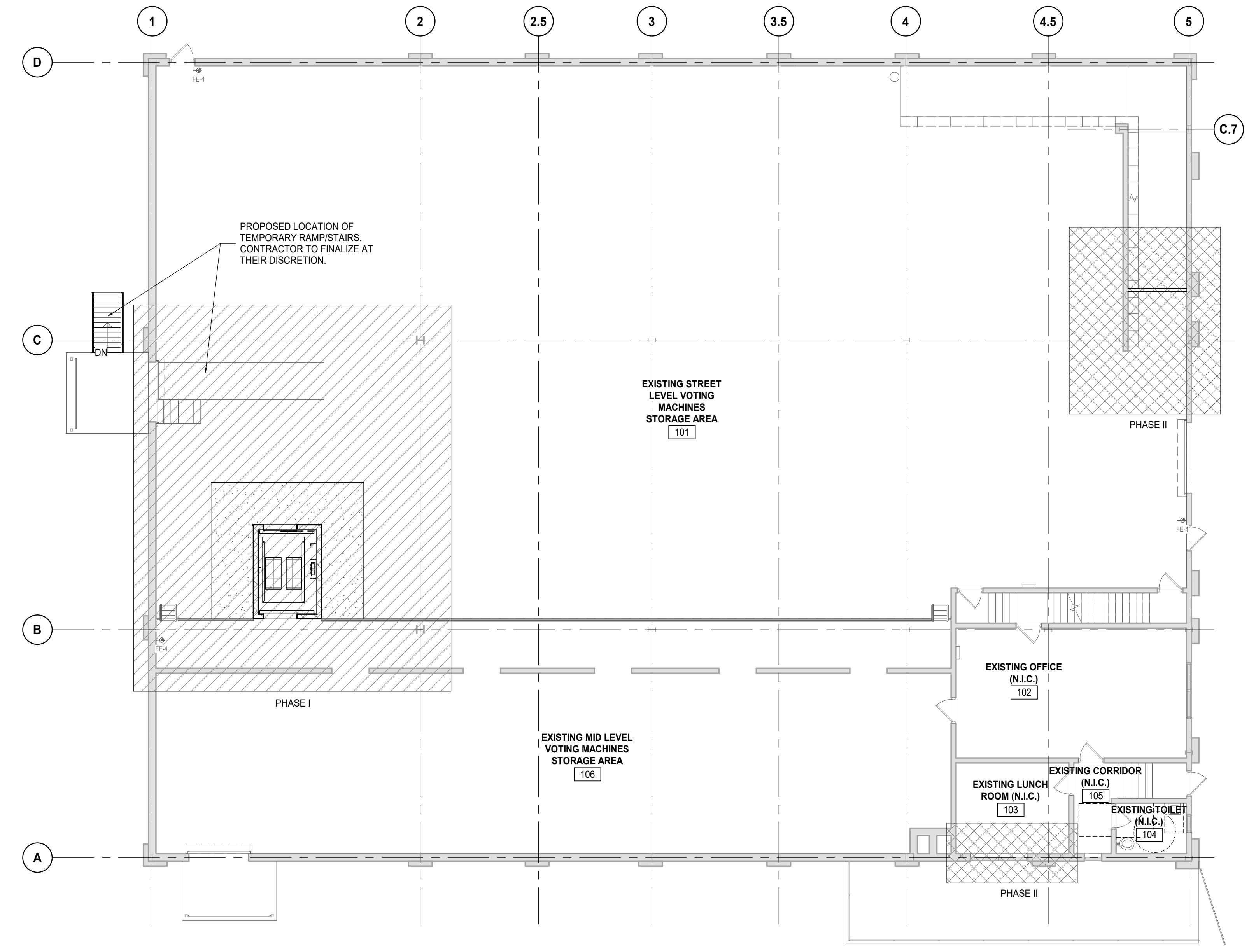
105 W 3RD ST, MEDIA, PA 19063

**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**

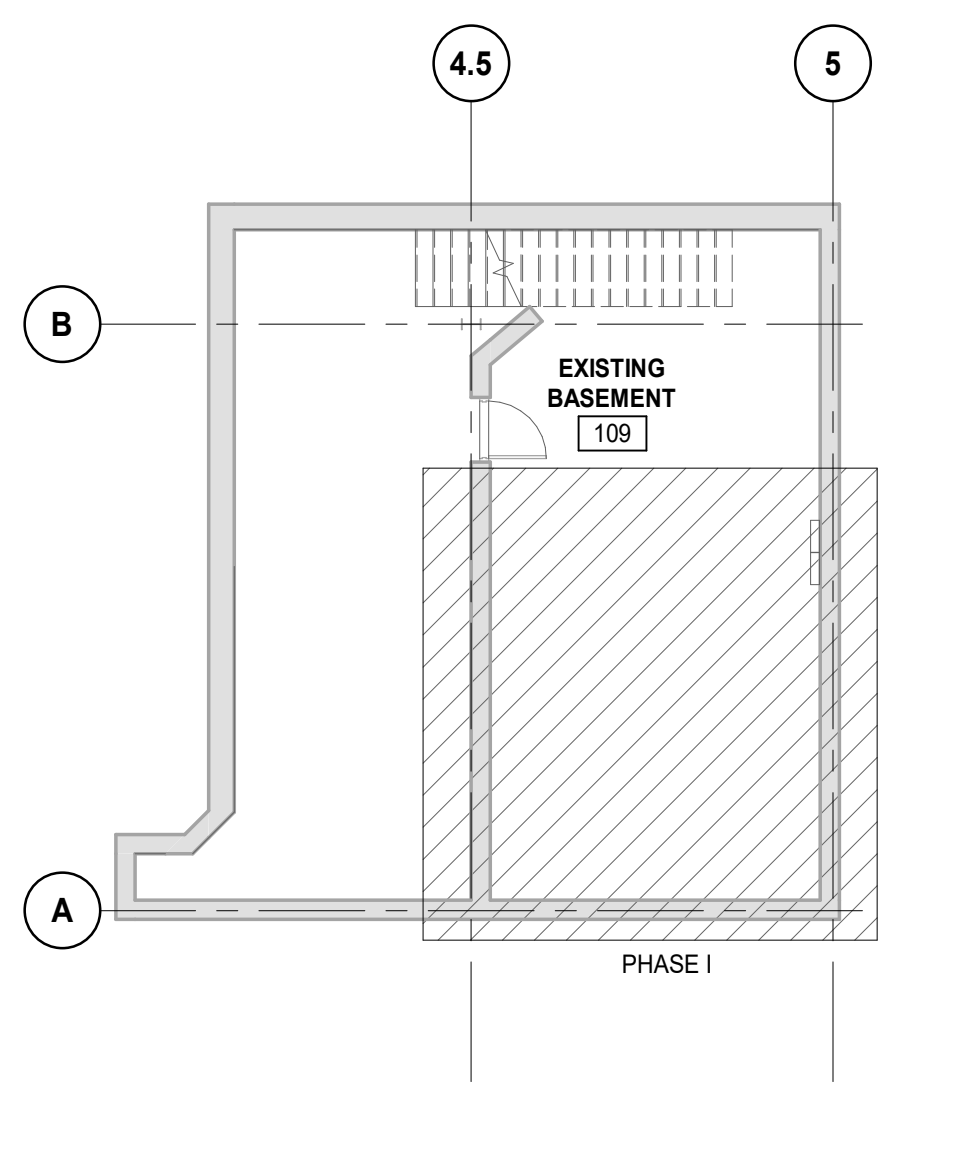
403 EAST 24TH STREET, CHESTER, PA 19103

Drawing Title: **SCOPE OF WORK
PHASING PLANS**

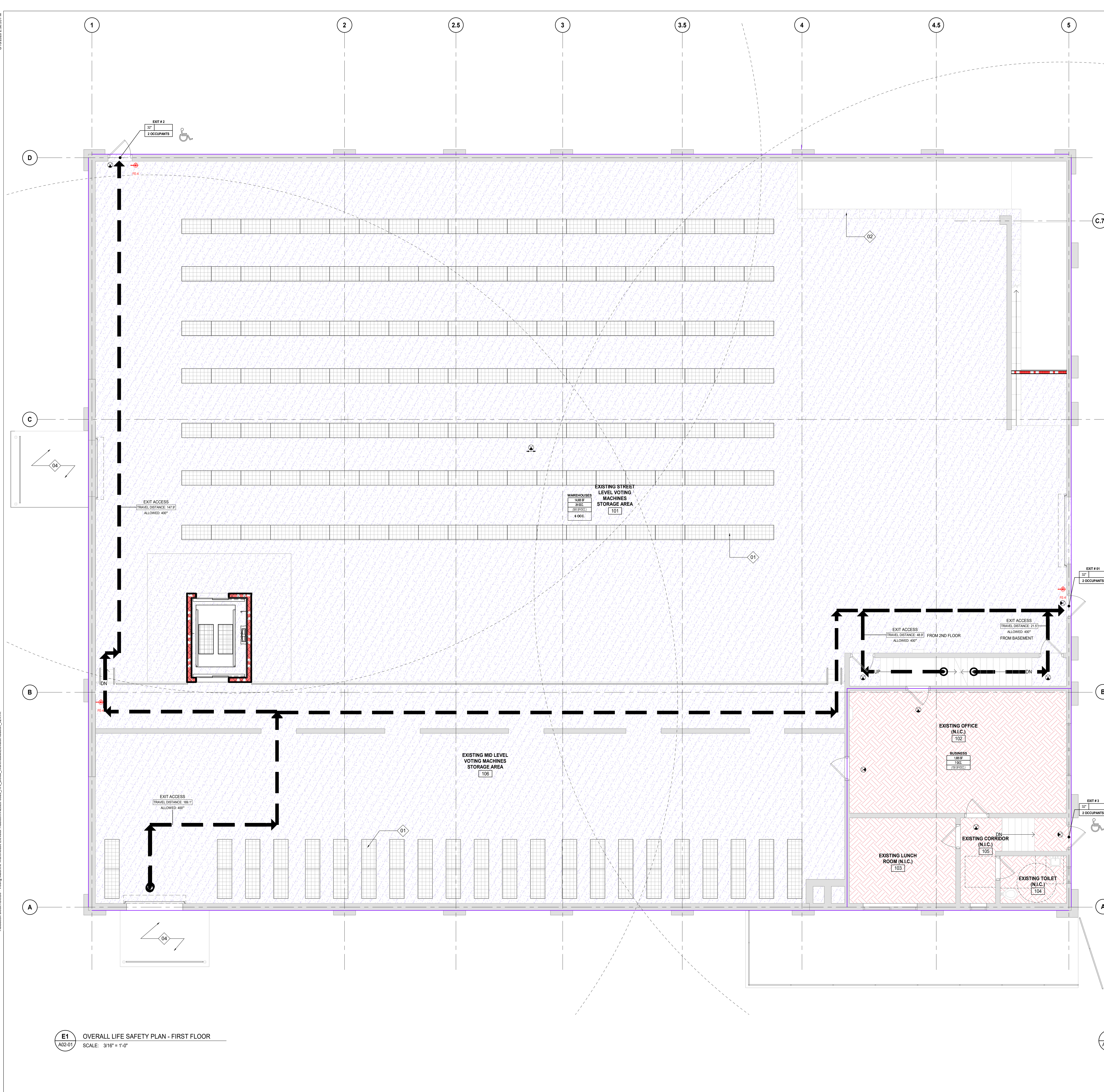
Project No.: IN2325-0323
Drawing No.: **G01-05**



E1 OVERALL PHASING PLAN - FIRST FLOOR
G01-05 SCALE: 1" = 10'-0"



C1 OVERALL PHASING PLAN - BASEMENT
G01-05 SCALE: 1" = 10'-0"



LIFE SAFETY - LEGEND

EXIT KEY:
 CLEAR WIDTH IN INCHES
 EGRESS TYPE IDENTIFIER, STAIR OR EXIT DOOR
 MAX. ALLOWED EXIT CAPACITY PER **IBC 1005.3.2**
 SEE CODE SUMMARY
 ACTUAL CODE CALCULATED OCCUPANT LOAD

OCCUPANCY KEY:
 OCCUPANCY IDENTIFIER
 OCCUPANT LOAD FACTOR PER **IBC TABLE 1004.1.2**
 ALLOWED OCCUPANTS
 NET / GROSS SF PER OCCUPANT
 ACTUAL OCCUPANTS

EGRESS TAG KEY:
 EGRESS TYPE IDENTIFIER
 ACTUAL TRAVEL DISTANCE TO EXIT
 TRAVEL DISTANCE ALLOWED BY CODE

FIRE EXTINGUISHER:
 FEC-4: EXISTING FIRE EXTINGUISHER (NOT IN CABINET)
 FIRE EXTINGUISHER LOCATION (MAX TRAVEL DISTANCE 75'-0")

ADDITIONAL FIRE PROTECTION ELEMENTS:
 EXISTING CEILING SUSPENDED EXIT SIGN
 EXISTING WALL MOUNTED EXIT SIGN

PATH OF TRAVEL:
 EXIT TRAVEL DISTANCE - MAX. ALLOWED 250'-0"
 COMMON PATH OF TRAVEL DISTANCE - MAX. ALLOWED 115'-0"
 ACCESSIBLE MEANS OF EGRESS
 NOTE: EACH TENANT SPACE MUST HAVE A MINIMUM OF ONE ACCESSIBLE ENTRANCE AND TWO ACCESSIBLE MEANS OF EGRESS.

LIFE SAFETY - RATING LEGEND

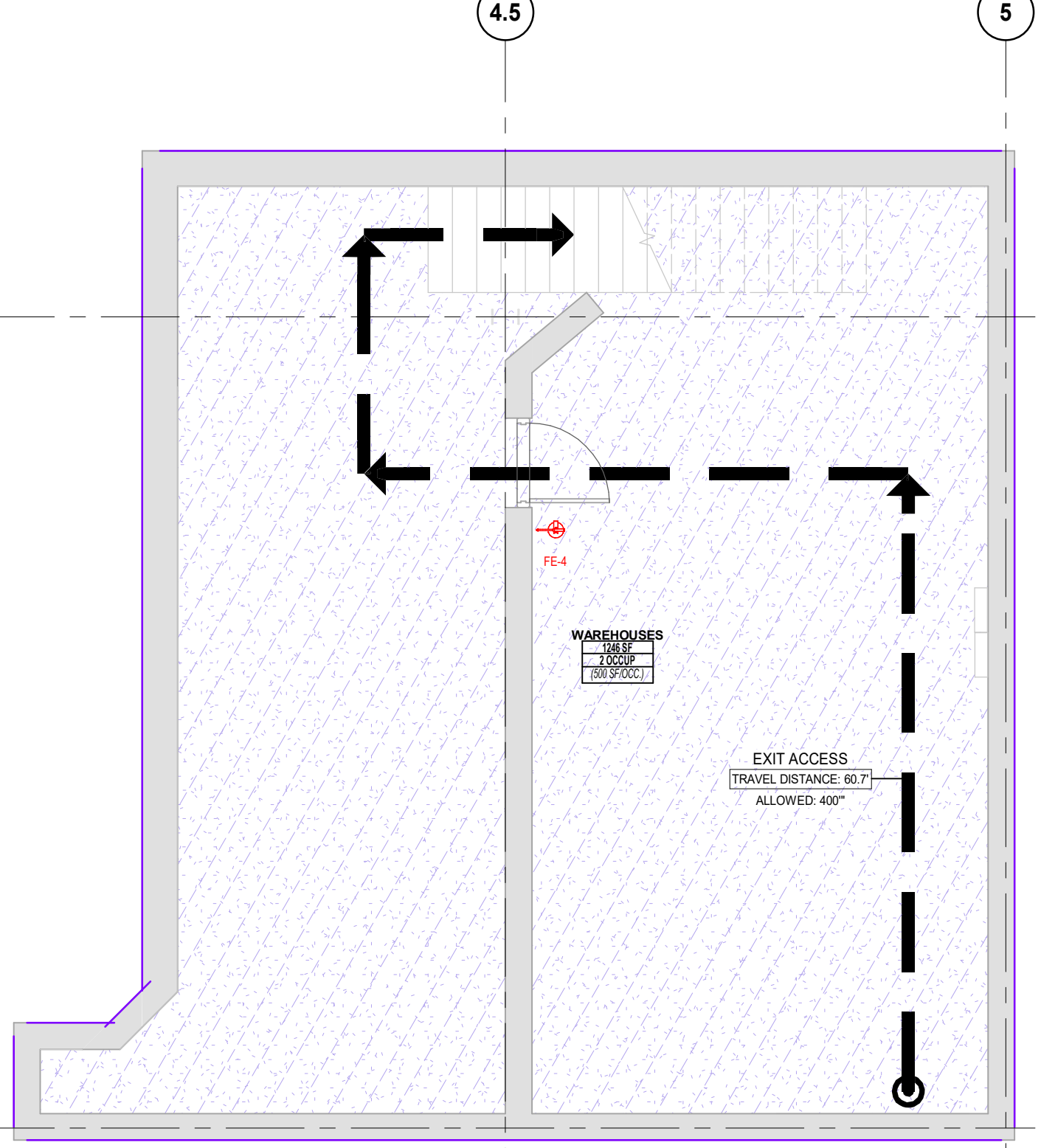
1 HR

FUNCTION OF SPACE

BUSINESS
 WAREHOUSES

KEYED NOTES - LIFE SAFETY PLANS

TAG	DESCRIPTION
01	EXISTING FURNITURE TO REMAIN
02	EXISTING RAMP AND STAIRS TO REMAIN
03	EXISTING EXTERIOR ROOF ACCESS PLATFORM/LANDING TO REMAIN
04	EXISTING LOADING DOCK TO REMAIN



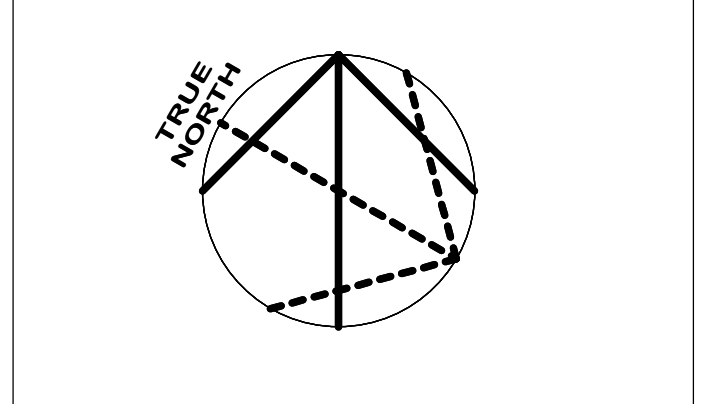
E1 OVERALL LIFE SAFETY PLAN - FIRST FLOOR
 SCALE: 3/16" = 1'-0"

B1 OVERALL LIFE SAFETY PLAN - BASEMENT
 SCALE: 3/16" = 1'-0"

DATE	ISSUED FOR	REV
2025.03.04	BIDDING	A
2025.04.28	PLAN REVIEW	B
2025.06.18	REISSUED FOR BID	C

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Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal

NORR

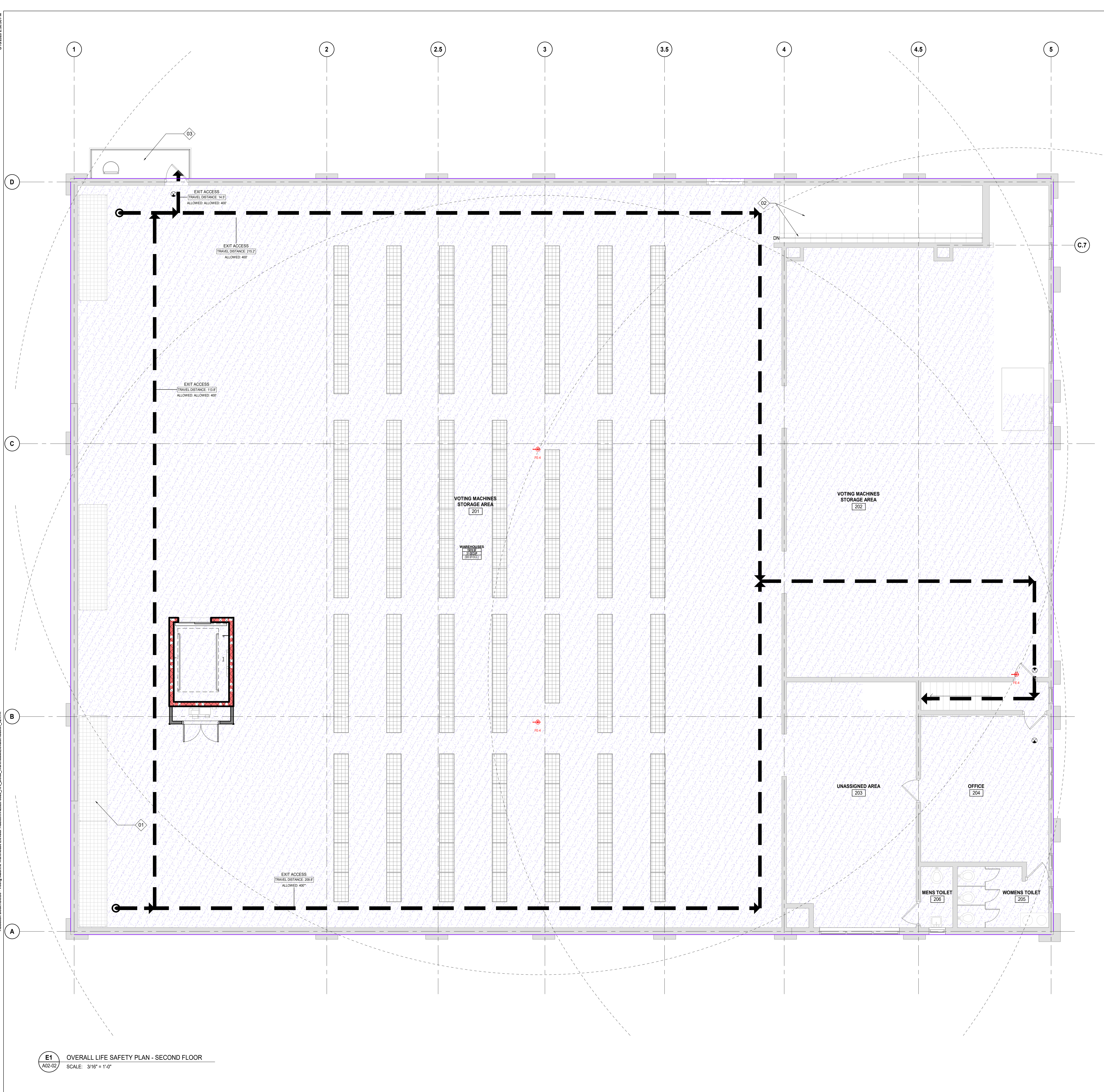
NORR
 One Penn Center
 1517 JFK Blvd, Suite 1600
 Philadelphia, PA 19103
 norr.com

Project Manager: BM
 Drawn: Author
 Project Architect: CP
 Checked: Checker
 Client: COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS
 105 W 3RD ST, MEDIA, PA 19063

Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
 403 EAST 24TH STREET, CHESTER, PA 19013
 Drawing Title: OVERALL LIFE SAFETY PLAN - BASEMENT AND FIRST FLOOR

Project No.: IN2325-0323
 Drawing No.: A02-01
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LIFE SAFETY - LEGEND

EXIT KEY:
 CLEAR WIDTH IN INCHES
 EGRESS TYPE IDENTIFIER: STAIR OR EXIT DOOR
 MAX. ALLOWED EXIT CAPACITY PER IBC 1009.2.2
 SEE CODE SUMMARY
 ACTUAL CODE CALCULATED OCCUPANT LOAD

OCCUPANCY KEY:
 OCCUPANCY IDENTIFIER
 OCCUPANT LOAD FACTOR PER IBC TABLE 1004.1.2
 ALLOWED OCCUPANTS
 NET / GROSS SF PER OCCUPANT
 ACTUAL OCCUPANTS

EGRESS TAG KEY:
 EGRESS TYPE IDENTIFIER
 ACTUAL TRAVEL DISTANCE TO EXIT
 TRAVEL DISTANCE ALLOWED BY CODE

FIRE EXTINGUISHER:
 FEC-4: EXISTING FIRE EXTINGUISHER (NOT IN CABINET)
 FIRE EXTINGUISHER LOCATION (MAX TRAVEL DISTANCE 75'-0")

ADDITIONAL FIRE PROTECTION ELEMENTS:
 EXISTING CEILING SUSPENDED EXIT SIGN
 EXISTING WALL MOUNTED EXIT SIGN

PATH OF TRAVEL:
 EXIT TRAVEL DISTANCE - MAX. ALLOWED 250'-0"
 COMMON PATH OF TRAVEL DISTANCE - MAX. ALLOWED 115'-0"
 ACCESSIBLE MEANS OF EGRESS. NOTE: EACH TENANT SPACE MUST HAVE A MINIMUM OF ONE ACCESSIBLE ENTRANCE AND TWO ACCESSIBLE MEANS OF EGRESS.

LIFE SAFETY - RATING LEGEND

1 HR

FUNCTION OF SPACE

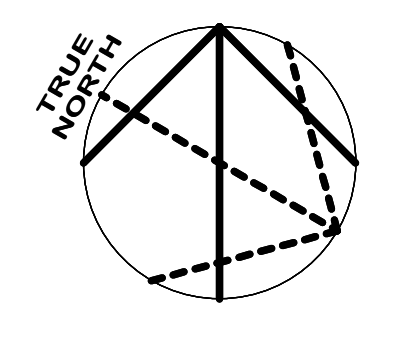
WAREHOUSES

KEYED NOTES - LIFE SAFETY PLANS

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2

NORR

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 One Penn Center
 1517 JFK Blvd, Suite 1600
 Philadelphia, PA 19103
 norr.com

Project Manager: BM
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 105 W 3RD ST, MEDIA, PA 19063

Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
 403 EAST 24TH STREET, CHESTER, PA 19013
 Drawing Title: OVERALL LIFE SAFETY PLAN - SECOND FLOOR

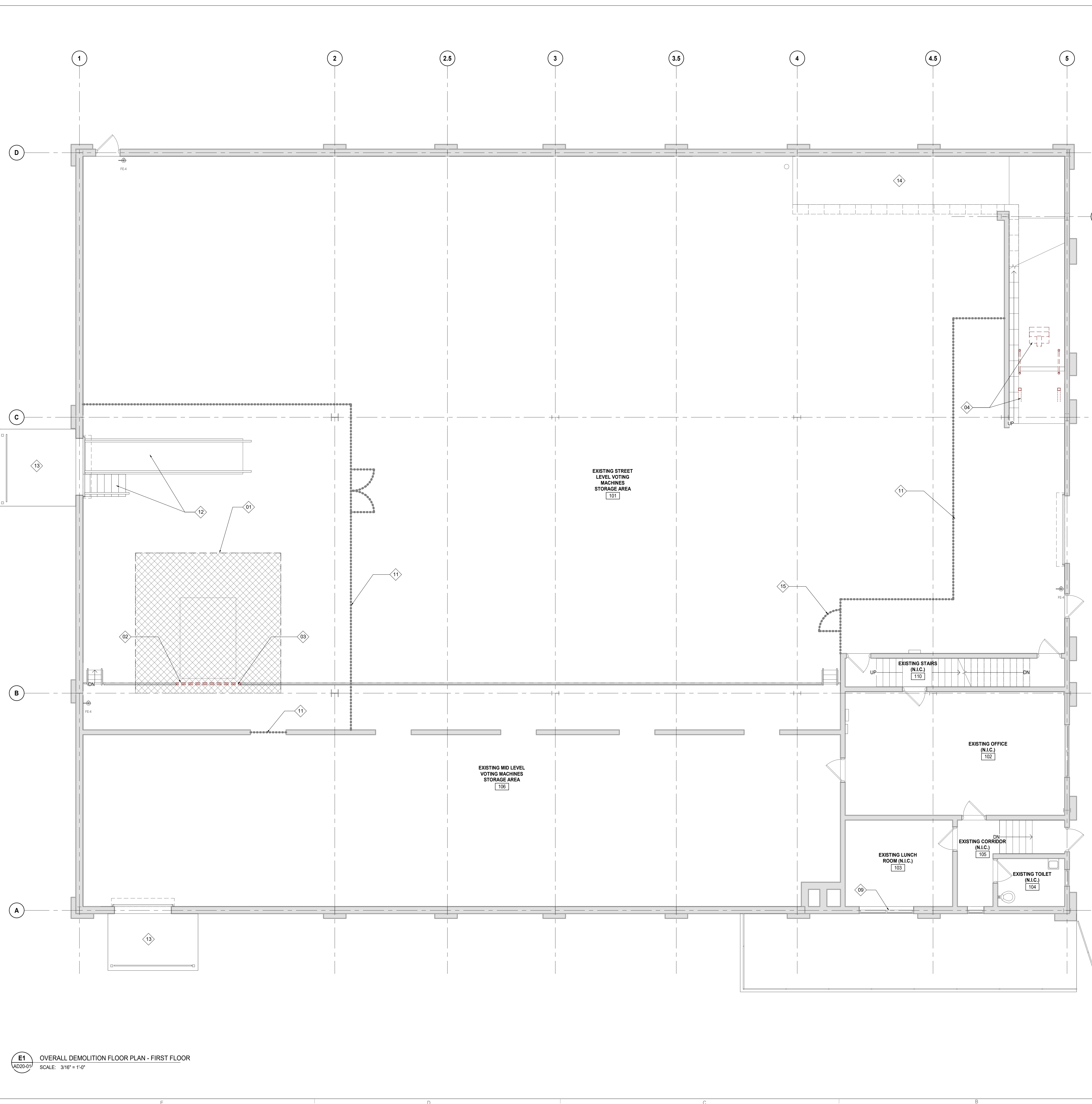
Project No.: IN2325-0323
 Drawing No.: A02-02
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E1 OVERALL LIFE SAFETY PLAN - SECOND FLOOR
 SCALE: 3/16" = 1'-0"

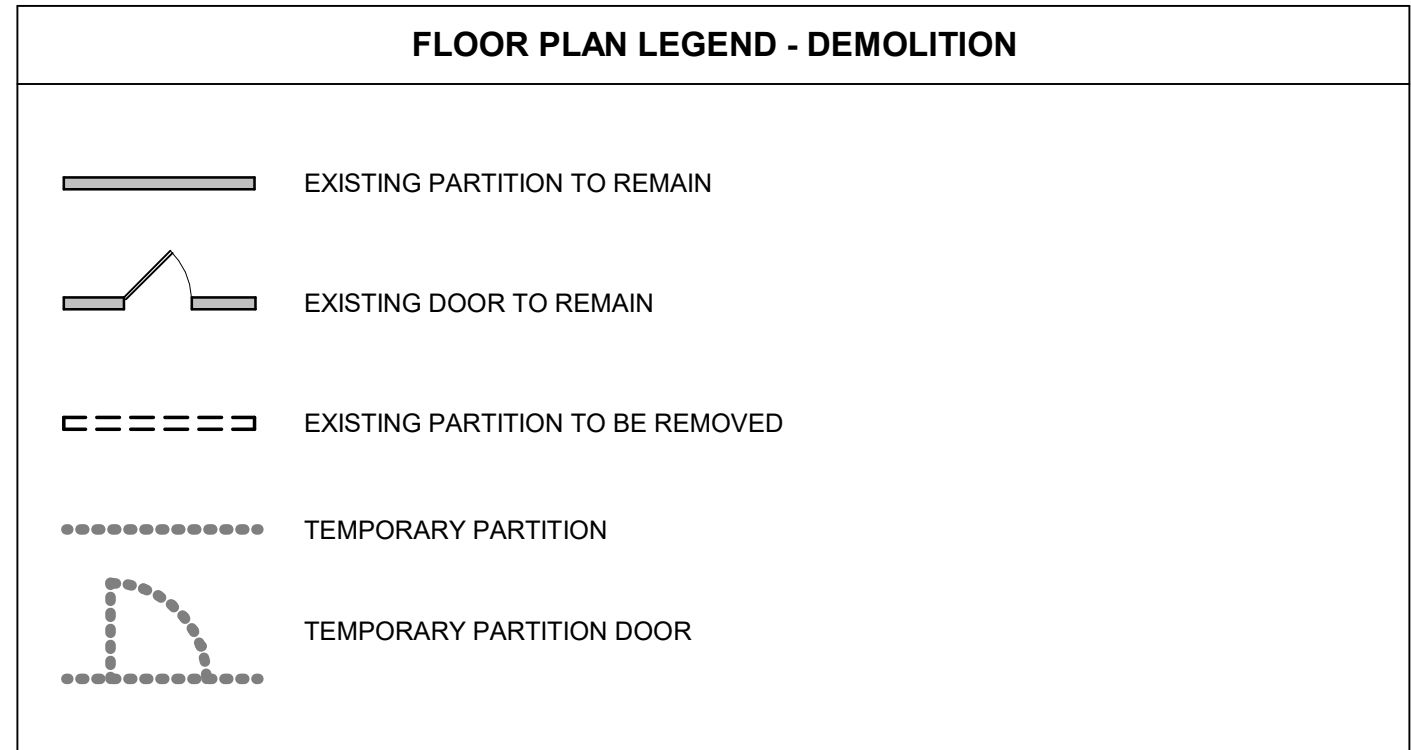
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Autodesk Docs (DWG) - Voting Machine Warehouse Elevator Addition\IN2325-0323_A01.dwg

E1
AD20-01



- ### DEMOLITION GENERAL NOTES
- OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE, IF REQUIRED.
 - FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
 - PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
 - IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE TENANT BEFORE PROCEEDING.
 - AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED AND JOB SITE KEPT CLEAN ON A DAILY BASIS.
 - ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
 - WHERE PARTITIONS ARE TO BE REMOVED, REMOVE ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO PANELS AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING TO REMAIN CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH.
 - REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR DRAINS NOT BEING RE-USED AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
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 - CONTRACTOR TO COORDINATE PLACEMENT OF DUMPSTERS WITH BUILDING MANAGEMENT.
 - CONTRACTOR TO REMOVE ALL TOOLS, EQUIPMENT AND DEBRIS FROM SITE UPON COMPLETION OF DEMOLITION WORK. REMOVE TEMPORARY PROTECTION AND LEAVE INTERIOR AREAS BROOM CLEAN.
 - PREP & PATCH WALLS, CEILINGS & FLOORS IF AFFECTED BY DEMOLITION. REPAIR AS REQUIRED TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PREPARE SURFACES TO RECEIVE NEW FINISHES, AS REQUIRED. FINISHES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



KEYED NOTES - DEMOLITION PLANS

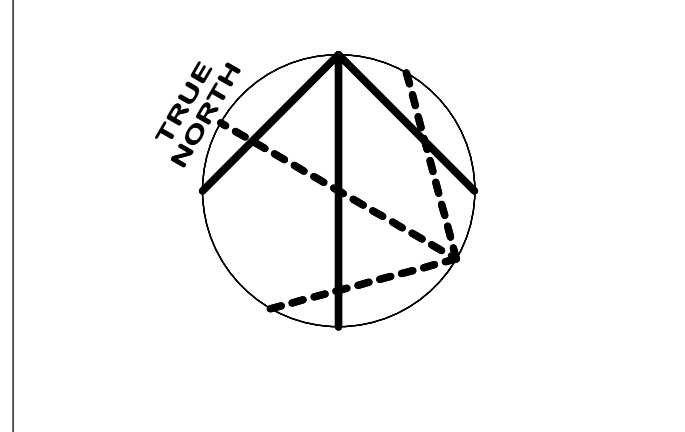
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02	02	REMOVE PORTION OF EXISTING FLOOR C CHANNEL. 3" DEMOLITION EXTENTS ON EACH SIDE W/ PROPOSED NEW ELEVATOR LOCATION V.I.F.
03	03	REMOVE/DISMANTLE PORTION OF EXISTING STEEL GUARDRAIL. REUSE EXISTING BALLASTERS TO SECURE EXISTING GUARDRAIL. 3" DEMO EXTENTS ON EACH SIDE W/ PROPOSED NEW ELEVATOR LOCATION. V.I.F.
04	04	REMOVE EXISTING MECHANICAL LIFT IN ITS ENTIRETY & RELEVANT EQUIPMENT
06	06	REMOVE EXISTING STEEL GUARDRAIL
07	07	DEMO EXISTING CONC FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION EXTENTS
08	08	REMOVE PORTION OF EXISTING FLOOR C CHANNEL. COORDINATE DEMOLITION EXTENTS W/ PROPOSED NEW ELEVATOR LOCATION
09	09	REMOVE EXISTING WINDOW PANE ENCLOSURE. ALTERNATE: CONTRACTOR TO REMOVE AND REPLACE ENTIRE WINDOW SYSTEM
10	10	DEMO EXISTING ROOF TO ACCOMMODATE FOR NEW ELEVATOR SHAFT. COORDINATE ELEVATOR SHAFT LOCATION WITH NEW ARCHITECTURAL PLANS
11	11	NEW FLOOR TO FLOOR/ROOF STRUCTURE HIGH TEMPORARY PARTITION. CONTRACTOR TO DETERMINE EXTENT OF TEMP PARTITION TO PROVIDE ACCESS AND SPACE FOR AND DURING CONSTRUCTION. FIELD VERIFY PARTITION EXTENTS AND ACCESS DOOR LOCATION
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17	17	COORDINATE 2ND FLOOR WORK AREA ACCESS W/ SHEET A10.01
18	18	EXISTING FURNITURE TO REMAIN. CONTRACTOR TO PROTECT DURING CONSTRUCTION
19	19	REMOVE EXISTING FREIGHT LIFT WALL MOUNTED ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS
20	20	USE EXISTING LADDER AS MEANS FOR 2ND FLOOR ACCESS/GC TO BUILT NEW SCAFFOLDING STAIR FOR ACCESS TO 2ND FLOOR

E1 OVERALL DEMOLITION FLOOR PLAN - FIRST FLOOR
SCALE: 3/16" = 1'-0"

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Seal

NORR

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Philadelphia, PA 19103
norr.com

Project Manager: BM
Drawn: Author

Project Architect: CP
Checked: Checker

Client:
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project:
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title:
**OVERALL DEMOLITION
PLAN - FIRST FLOOR**

Project No.: IN2325-0323
Drawing No.: **AD20-01**

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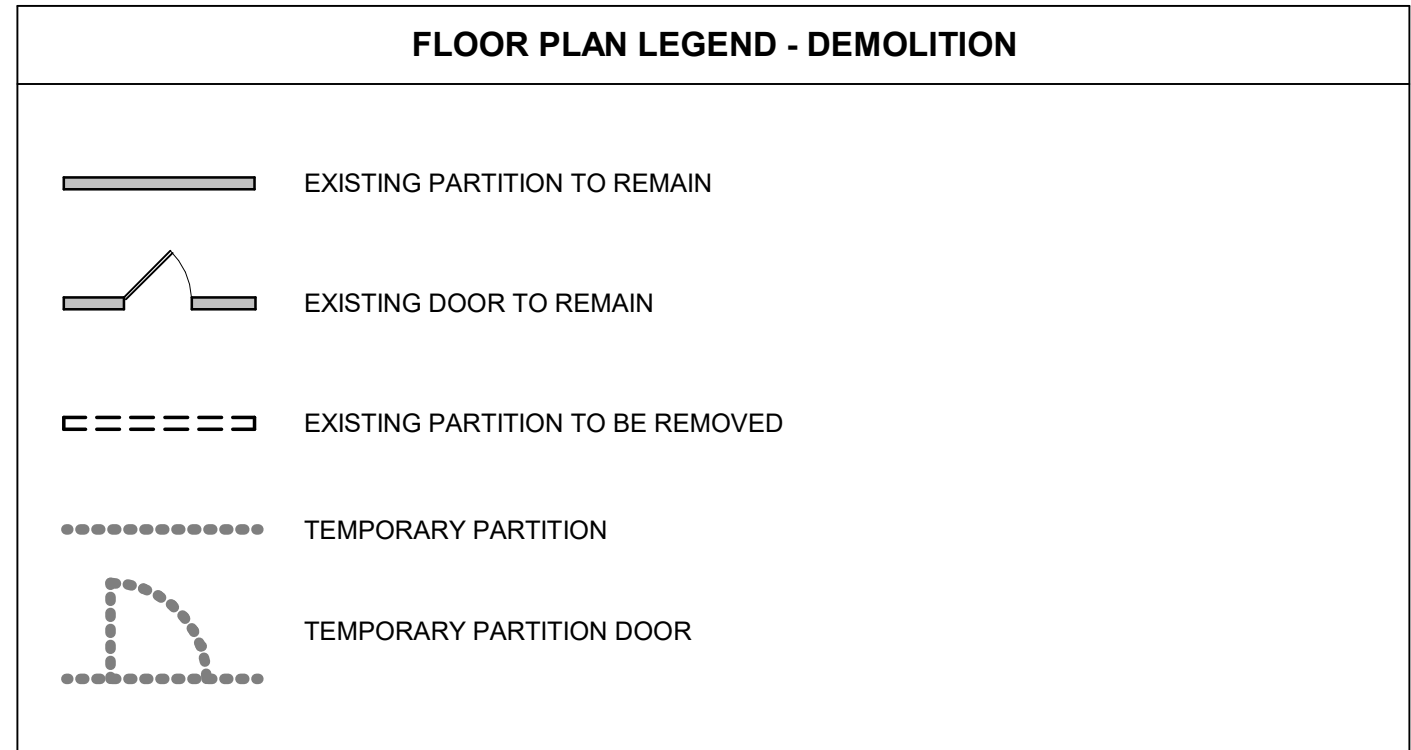
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Autodesk Docs (DWG) - Voting Machine Warehouse Elevator Addition (2025-0323)_AB_01.dwg - WarehouseElevatorAddition_024.rvt

E1 OVERALL DEMOLITION PLAN - SECOND FLOOR
AD20-02 SCALE: 3/16" = 1'-0"



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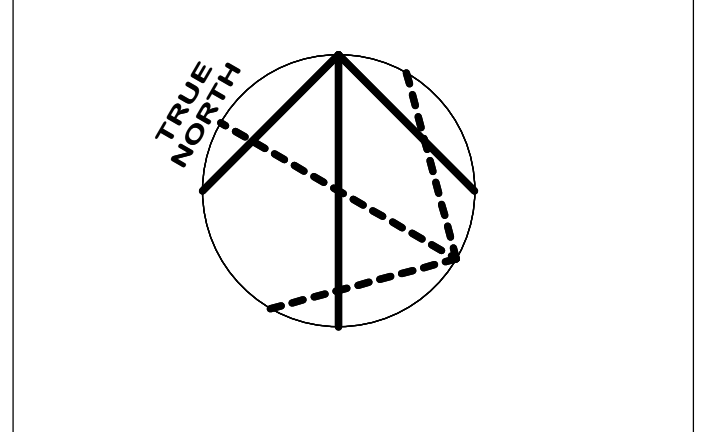
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Project Architect: CP

Drawn: Author
Checked: Checker

Client

**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**

105 W 3RD ST, MEDIA, PA 19063

Project

**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**

403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title

**OVERALL DEMOLITION
PLAN - SECOND FLOOR**

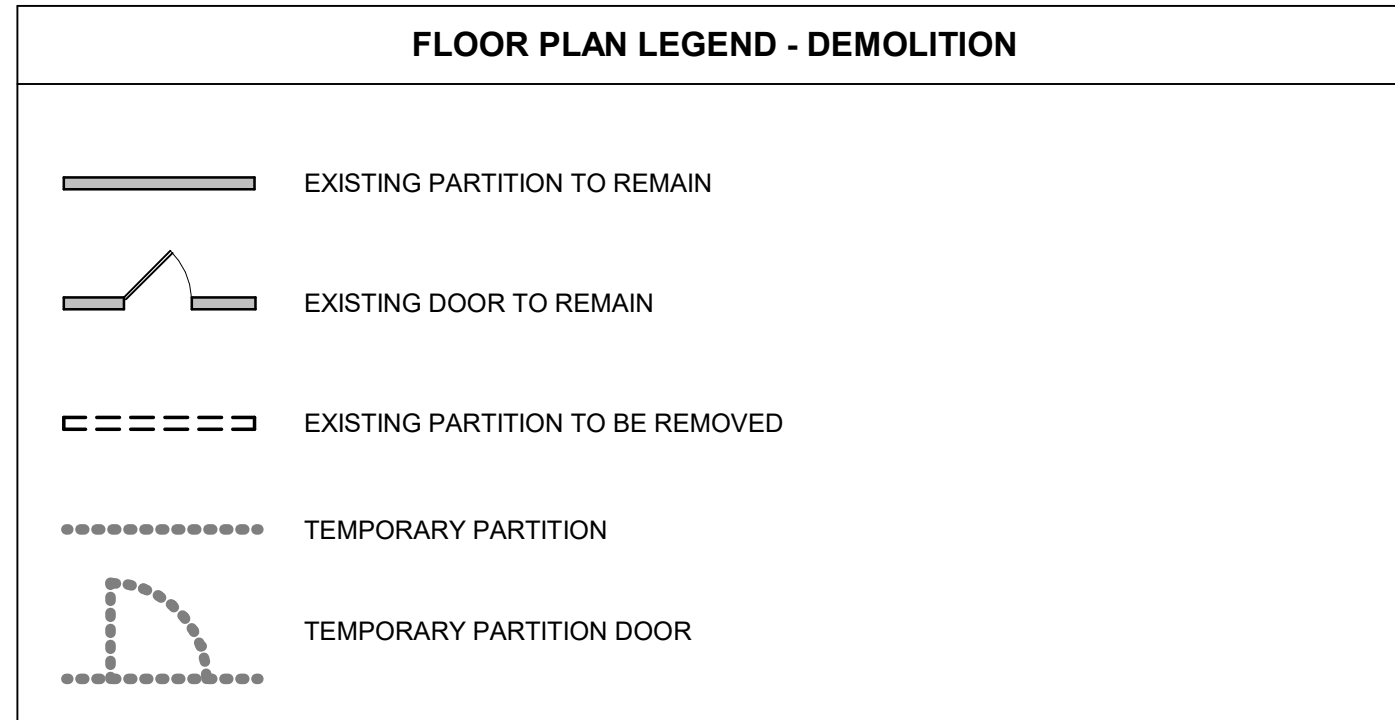
Project No. IN2325-0323

Drawing No. **AD20-02**

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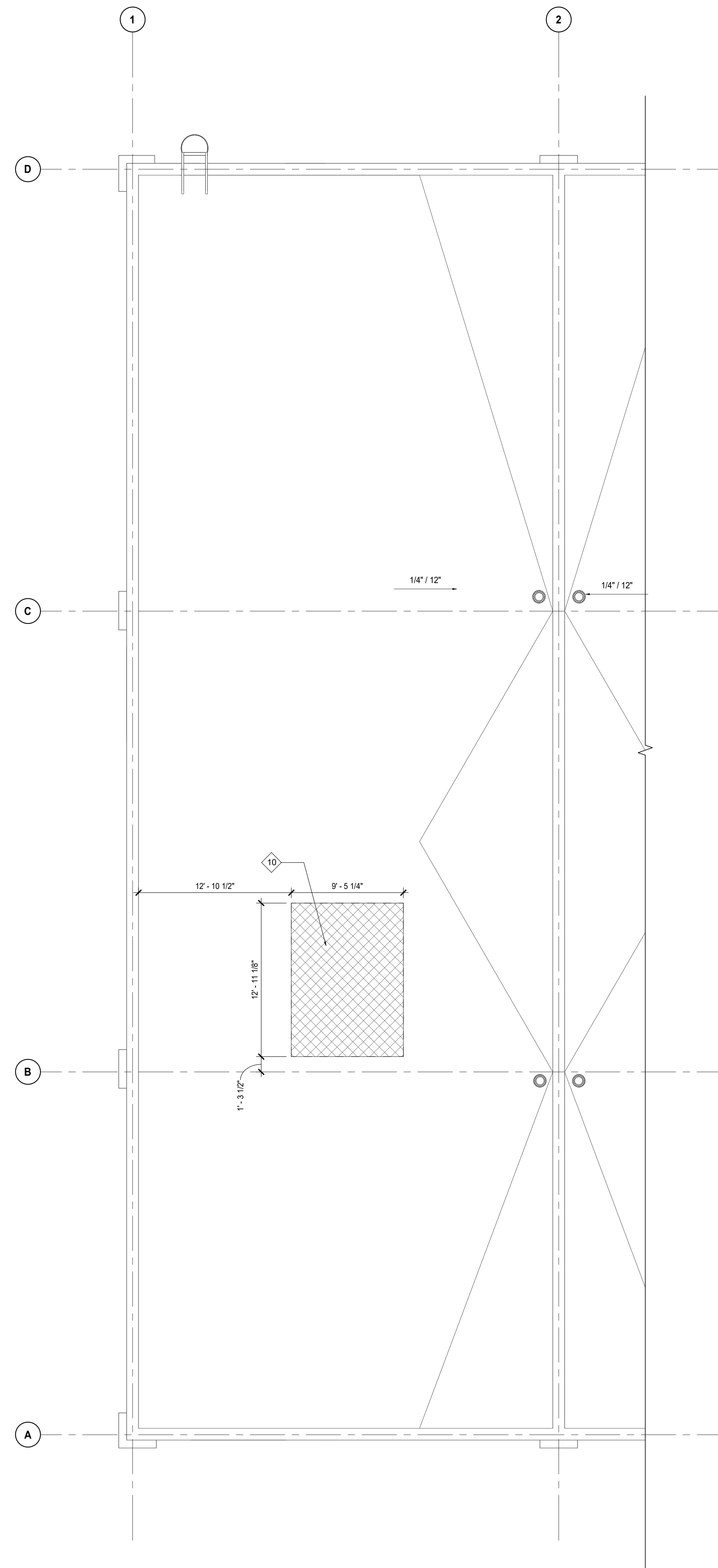
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 - PREP & PATCH WALLS, CEILINGS & FLOORS IF AFFECTED BY DEMOLITION. REPAIR AS REQUIRED TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PREPARE SURFACES TO RECEIVE NEW FINISHES, AS REQUIRED. FINISHES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



KEYED NOTES - DEMOLITION PLANS

#	DESCRIPTION
01	DEMO EXISTING CONC FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION EXTENTS
02	REMOVE PORTION OF EXISTING FLOOR C CHANNEL. 3" DEMOLITION EXTENTS ON EACH SIDE W/ PROPOSED NEW ELEVATOR LOCATION V.I.F.
03	REMOVE/DISMANTLE PORTION OF EXISTING STEEL GUARDRAIL. REUSE EXISTING BALLASTERS TO SECURE EXISTING GUARDRAIL. 3" DEMO EXTENTS ON EACH SIDE W/ PROPOSED NEW ELEVATOR LOCATION. V.I.F.
04	REMOVE EXISTING MECHANICAL LIFT IN ITS ENTIRETY & RELEVANT EQUIPMENT
06	REMOVE EXISTING STEEL GUARDRAIL
07	DEMO EXISTING CONC FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION EXTENTS
08	REMOVE PORTION OF EXISTING FLOOR C CHANNEL. COORDINATE DEMOLITION EXTENTS W/ PROPOSED NEW ELEVATOR LOCATION
09	REMOVE EXISTING WINDOW PANE ENCLOSURE. ALTERNATE: CONTRACTOR TO REMOVE AND REPLACE ENTIRE WINDOW SYSTEM
10	DEMO EXISTING ROOF TO ACCOMMODATE FOR NEW ELEVATOR SHAFT. COORDINATE ELEVATOR SHAFT LOCATION WITH NEW ARCHITECTURAL PLANS
11	NEW FLOOR TO FLOOR/ROOF STRUCTURE HIGH TEMPORARY PARTITION. CONTRACTOR TO DETERMINE EXTENT OF TEMP PARTITION TO PROVIDE ACCESS AND SPACE FOR AND DURING CONSTRUCTION. FIELD VERIFY PARTITION EXTENTS AND ACCESS DOOR LOCATION
12	NEW TEMPORARY WORK STAIRS AND RAMP. FIELD VERIFY/COORDINATE EQUIPMENT RAMP WIDTH AND LENGTH
13	LOADING DOCK
14	EXISTING RAMP TO REMAIN
15	TEMPORARY PARTITION DOOR FOR FACILITY PERSONNEL ACCESS ONLY. DOOR SIGNANGE TO BE PROVIDED AT EACH OPENING.
16	TEMPORARY PARTITION DOOR FOR CONTRACTOR ACCESS ONLY. DOOR SIGNANGE TO BE PROVIDED AT EACH OPENING.
17	COORDINATE 2ND FLOOR WORK AREA ACCESS W/ SHEET A10.01
18	EXISTING FURNITURE TO REMAIN. CONTRACTOR TO PROTECT DURING CONSTRUCTION
19	REMOVE EXISTING FREIGHT LIFT WALL MOUNTED ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS
20	USE EXISTING LADDER AS MEANS FOR 2ND FLOOR ACCESS/GO TO BUILT NEW SCAFFOLDING STAIR FOR ACCESS TO 2ND FLOOR



E1 OVERALL DEMOLITION FLOOR PLAN - ROOF
SCALE: 3/16" = 1'-0"

Design Team
Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

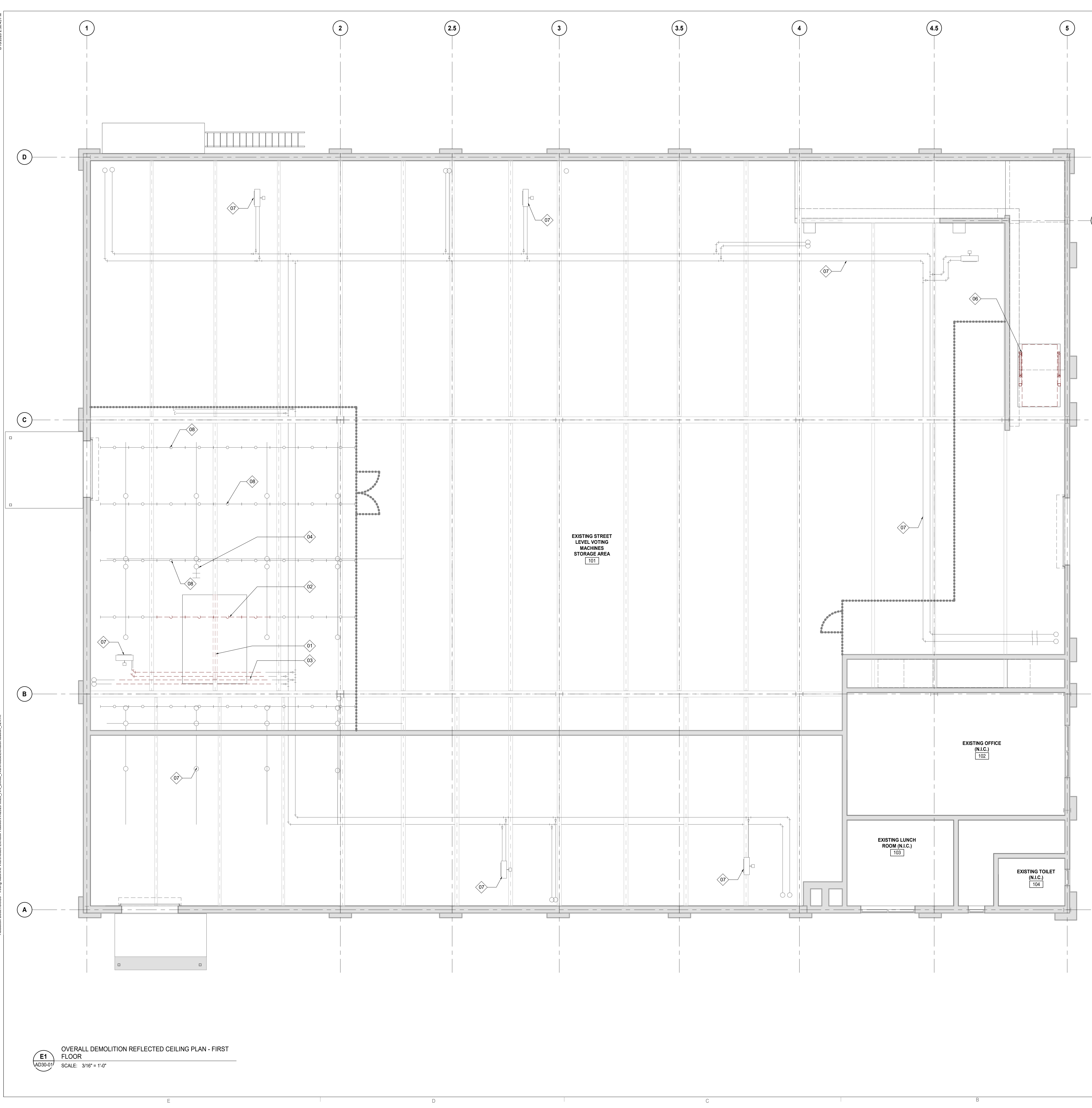
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Project Manager: BM, Drawn: Author
Project Architect: CP, Checked: Checker
Client: COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS
105 W 3RD ST, MEDIA, PA 19063
Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
403 EAST 24TH STREET, CHESTER, PA 19013
Drawing Title: OVERALL ROOF DEMOLITION PLAN

Project No. IN2325-0323
Drawing No. AD20-RF

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Autodesk Docs (DWG) - Voting Machine Warehouse Elevator Addition\IN2325-0323_A01_DWG_VotingMachineWarehouseAddition_024.rvt



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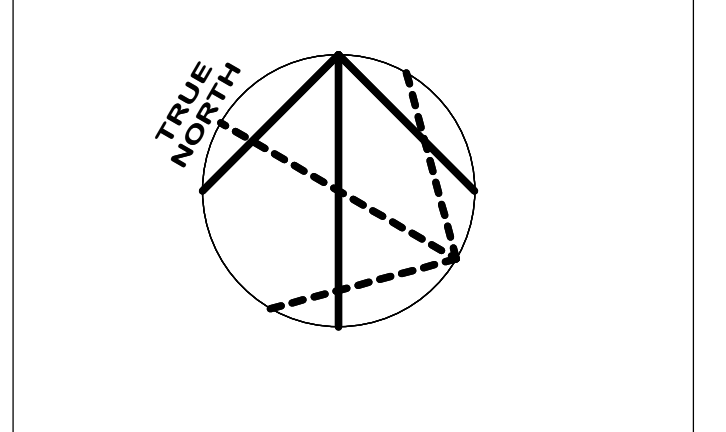
KEYED NOTES - DEMOLITION REFLECTED CEILING PLANS

TAG	DESCRIPTION
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DATE	ISSUED FOR	REV
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2026.04.28	PLAN REVIEW	B
2026.06.18	REISSUED FOR BID	C

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Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal

NORR

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 One Penn Center
 1817 JFK Blvd, Suite 1600
 Philadelphia, PA 19103
 norr.com

Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

Client
**COUNTY OF DELAWARE
 DEPARTMENT OF PUBLIC
 WORKS**
 105 W 3RD ST, MEDIA, PA 19063

Project
**VOTING MACHINE
 WAREHOUSE ELEVATOR
 ADDITION**
 403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title
**OVERALL DEMOLITION
 REFLECTED CEILING PLAN
 - FIRST FLOOR**

Project No.
IN2325-0323

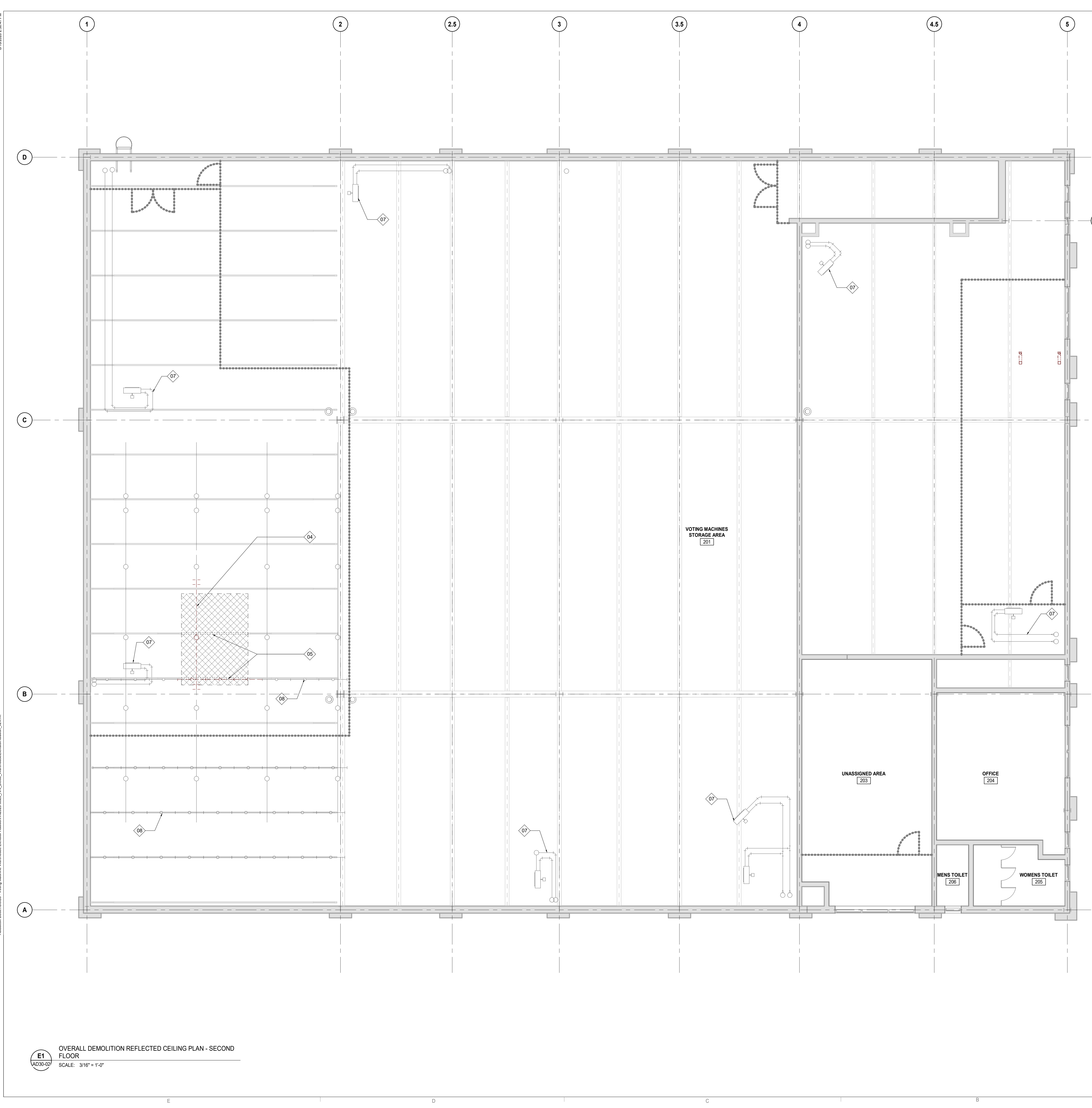
Drawing No.
AD30-01

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E1
AD30-01
 OVERALL DEMOLITION REFLECTED CEILING PLAN - FIRST FLOOR
 SCALE: 3/16" = 1'-0"

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Autodesk Docs (DWG) - Voting Machine Warehouse Elevator Addition (N2325-0323_A01_01.dwg) - Warehouse Elevator Addition - 024.rvt



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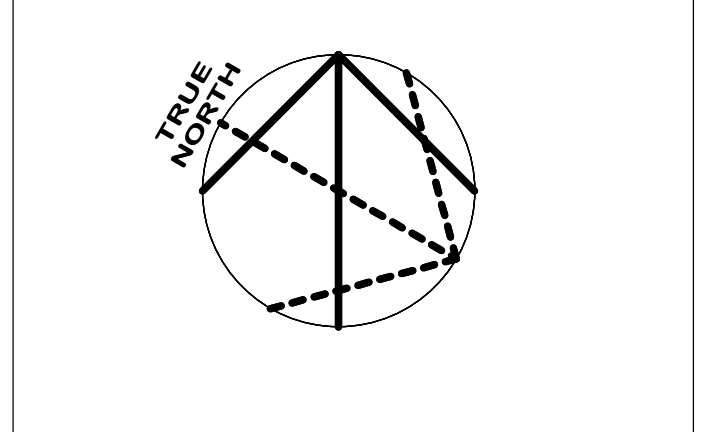
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NORR
 One Penn Center
 1917 JFK Blvd, Suite 1600
 Philadelphia, PA 19103
 norr.com

Project Manager: BM
 Drawn: Author
 Project Architect: CP
 Checked: Checker
 Client: COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS
 105 W 3RD ST, MEDIA, PA 19063
 Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
 403 EAST 24TH STREET, CHESTER, PA 19013
 Drawing Title: OVERALL DEMOLITION REFLECTED CEILING PLAN - SECOND FLOOR

Project No. IN2325-0323
 Drawing No. AD30-02

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E1
 OVERALL DEMOLITION REFLECTED CEILING PLAN - SECOND FLOOR
 SCALE: 3/16" = 1'-0"

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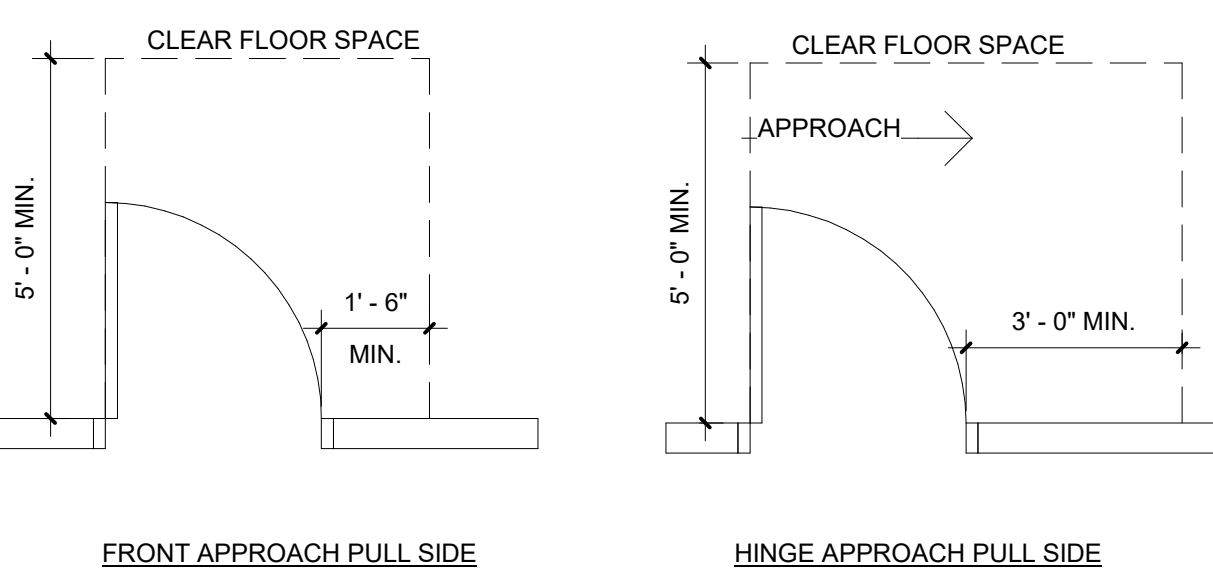
DOOR & FRAME SCHEDULE																																	
DOOR PARAMETERS										FRAME PARAMETERS										OPENING PARAMETERS					COMMENTS								
DOOR NO.	WALL TAG	TYPE	DIMENSIONS			DUTY	MATL	GAUGE	CORE TYPE	GLASS TYPE	GLASS THK	FINISH	COLOR	FRAM E TYPE	OVERALL		MATL	GAUGE	DETAIL NO.	GLASS TYPE	GLASS THK	INSUL	FINISH	COLOR		OPENING FRR	TEMP RISE RATING	ACOUSTIC RATING	HDWR GROUP	ELEC	ACCESS CONTROL	SIGNAGE	WALL WIDTH
101	-	-	4'-6"	7'-0"	0'-1 3/4"	-	SS	(none)	(none)	-	-	SS	-	4'-6"	7'-0"	SS	-	-	-	-	-	-	(none)	-	-	-	-	-	-	-	-	0' - 7 3/4"	DOORS FROM ELEVATOR MANUFACTURER.
106	-	-	4'-6"	7'-0"	0'-1 3/4"	-	SS	(none)	(none)	-	-	SS	-	4'-6"	7'-0"	SS	-	-	-	-	-	-	(none)	-	-	-	-	-	-	-	0' - 7 3/4"	DOORS FROM ELEVATOR MANUFACTURER.	
108	-	DD8	5'-0"	6'-8"	0'-1 3/4"	-	HM	(none)	(none)	-	-	PTD	-	5'-4"	6'-10"	-	-	-	-	-	-	-	(none)	-	-	-	1	-	-	-	0' - 4 7/8"		
201	-	-	4'-6"	7'-0"	0'-1 3/4"	-	SS	(none)	(none)	-	-	SS	-	4'-6"	7'-0"	SS	-	-	-	-	-	-	(none)	-	-	-	-	-	-	-	0' - 7 3/4"	DOORS FROM ELEVATOR MANUFACTURER.	

DOOR / FRAME LEGENDS & ABBREVIATIONS

LEGEND / ABBREVIATIONS	DOOR TYPES LEGEND
ALUM ALUMINUM ANOD ANODIZED CLR CLEAR DCRON DURACRON DNAR DURANAR EXT EXTERIOR F FRAME G () GLASS (Type) GA GLAZED ALUMINUM GALV GALVANIZED GWG GEORGIAN WIRE GLASS HCW HOLLOW CORE WOOD HM HOLLOW METAL HR HOUR INSUL INSULATED MIN MINUTE N/A NOT APPLICABLE NF NO FRAME (FRAMELESS) PC POWDER COAT PS PRESSED STEEL PTD PAINTED SCW SOLID CORE WOOD SS STAINLESS STEEL STL STEEL TSG TEMPERED SAFETY GLASS WD WOOD WV WOOD VENEER	BF BIFOLD DOOR CD COLLING DOOR CS COUNTER SHUTTER DD DOUBLE SWING DOOR GA GLAZED ALUMINUM DOOR GL GLASS DOOR HD HANGAR DOOR ID IMPACT DOOR OH OVERHEAD DOOR RE REVOLVING DOOR RO ROLLING DOOR RR RAMP ROLL DOOR SD SINGLE SWING DOOR SL SLIDING DOOR SP SPECIAL DOOR (define and detail)
WV LEGEND	CORE LEGEND
MED MEDIUM STD STANDARD HVV HEAVY X-HVV EXTRA HEAVY	GYP GYPSUM HC HOLLOW CORE HO HONEY-COMB ISO POLYISOCYANURATE MF MINERAL FIBRE PO POLYSTYRENE SC SOLID CORE UR POLYURETHANE

DOOR AND FRAME GENERAL NOTES

1. REFER TO SPECIFICATIONS OR FINISH IDENTIFICATION SCHEDULE FOR DESCRIPTION OF FINISHES AND COLOURS

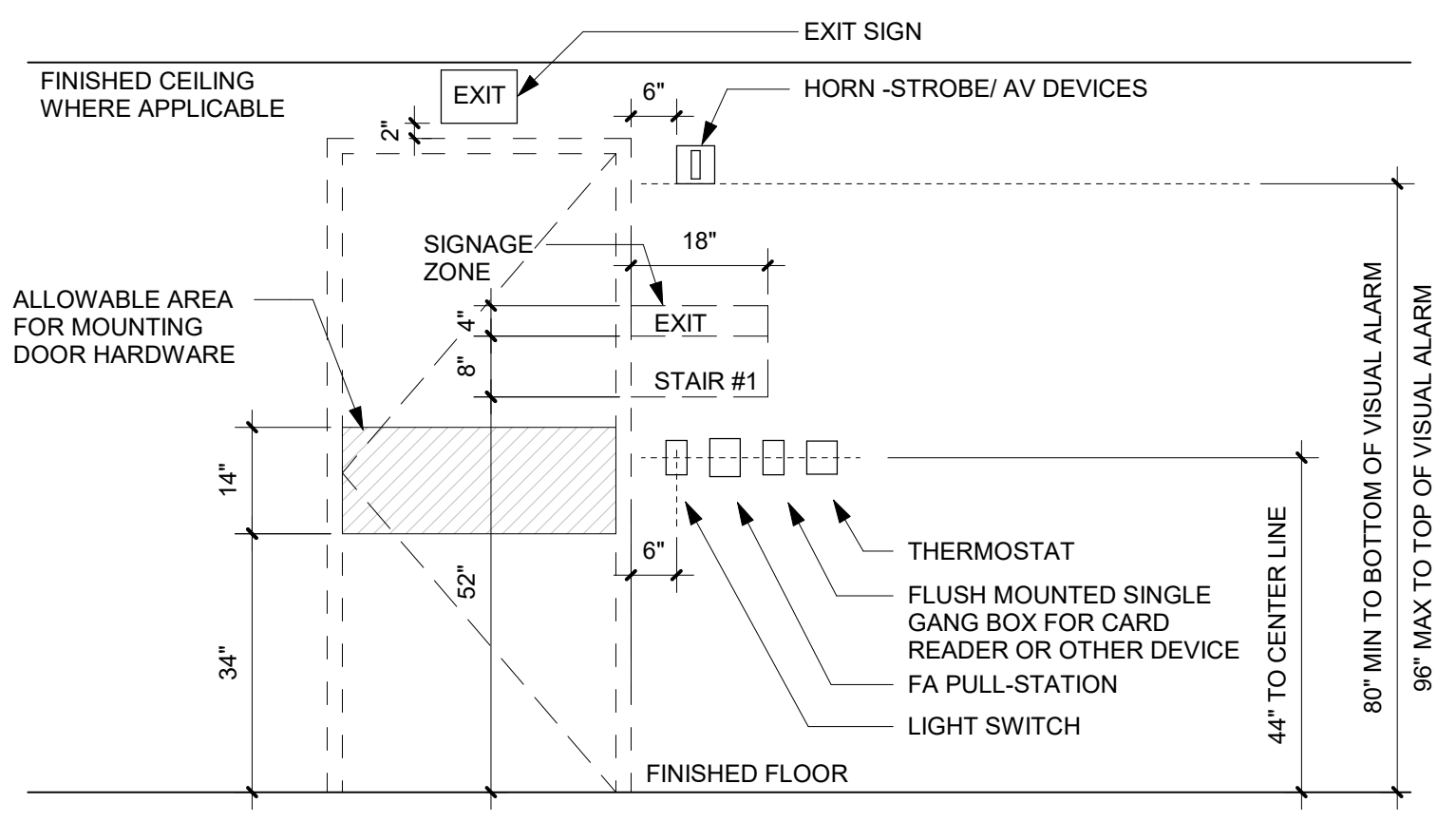


DOOR HARDWARE TYPES				
HARDWARE TYPE	BOD MANUFACTURER	MODEL #	STYLE/FINISH	COMMENTS
HINGE - HVY WT	MCKINNEY	ALX	US32D	COORDINATE WITH OWNER
LOCK SET	SCHLAGE	-	US32D	COORDINATE WITH OWNER
KICK PLATE	ROCKWOOD	K1050 12\"/>		

- NOTE:**
- OPPOSITE HAND DOOR SWING SIMILAR, SEE ARCHITECTURAL PLAN FOR CORRECT DOOR SWING.
 - DEVICES SHALL BE INSTALLED IN A NEAT MANNER.
 - SPACING BETWEEN DEVICES SHALL BE 3 INCHES.

DOOR HARDWARE SCHEDULE	
SET 1.0 (Closet door)	
1 Lockset (Storage Type)	
6 Hinges	
2 Kick Plate (Pull Side)	
1 Astragal	

- HARDWARE NOTES**
- VERIFY ALL LOCK FUNCTIONS AND KEYING WITH OWNER
 - ALL HARDWARE SETS WITH CLOSERS TO HAVE BALL BEARING HINGES
 - ALL PASSAGE AND LOCKSETS TO BE LEVER TYPE, COMPLYING WITH ALL APPLICABLE ADA REQUIREMENTS
 - ALL HARDWARE FINISHES TO BE US26D OR 626 SATIN CHROMIUM PLATED UNLESS OTHERWISE REQUIRED BY MANUFACTURER
 - INTERIOR DOOR OPENING FORCE NOT TO EXCEED 5 LBS



D4 TYP MOUNTING LOCATIONS @ DOORS
SCALE: 1/2" = 1'-0"

PARTITION TYPE	PARTITION SUB-TYPE	PARTITION TYPE LEGEND	ADDITIONAL REMARKS	FIRE RATING
G	G	GYPSUM WITH METAL STUD	A ACOUSTICAL INSULATION	U UNRATED PARTITION (BASE UL STC 45 1HR RATED)
W	B	GYPSUM WITH WOOD STUD	B GYM MAY STOP 6\"/>	
F	C	FURRING WALL (METAL OR WOOD)	C CEMENT BOARD FIN. BACKER	30 30-MIN FIRE SEPARATION / BARRIER (BASE UL STC 45 1HR RATED)
S	K	SHAFT WALL	K PROVIDE KNEE WALL BRACE	45 UNRATED PARTITION (BASE UL STC 45 1HR RATED)
M	L	MASONRY	L LEAD LINED GWB PER PHYSICIST REPORT	1HR SMOKE BARRIER (BASE UL STC 45 1HR RATED)
	M		M SECURITY MESH	1 1-HR FIRE SEPARATION / BARRIER
				90 90-MIN FIRE SEPARATION / BARRIER (BASE UL STC 45 2HR RATED)
				2 2-HR FIRE SEPARATION / BARRIER
				3 3-HR FIRE SEPARATION / BARRIER
				4 4-HR FIRE SEPARATION / BARRIER

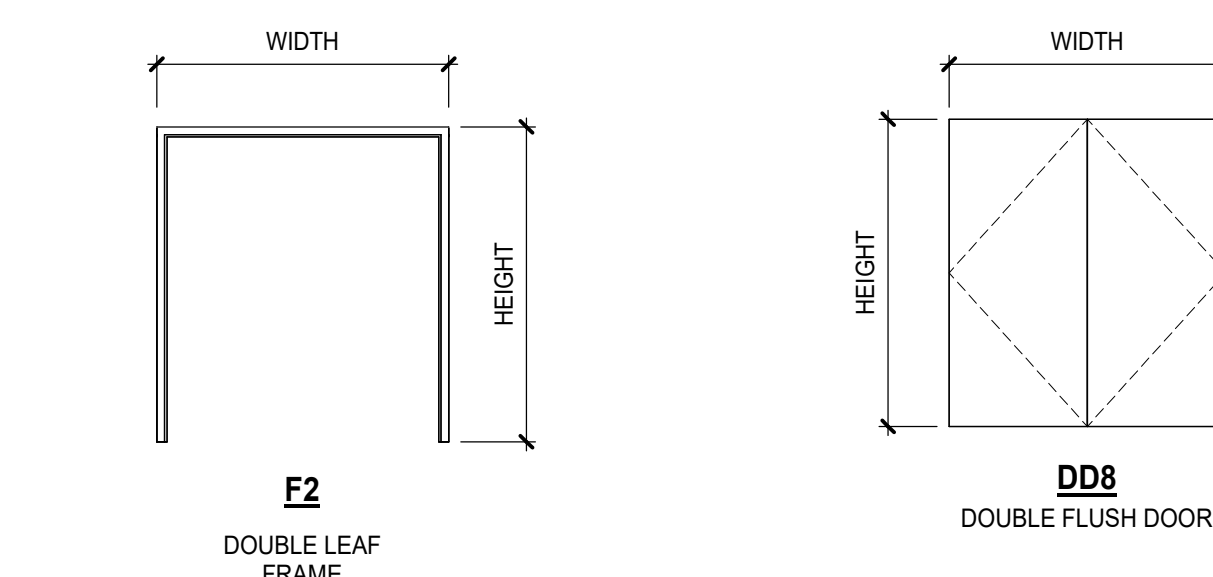
PARTITION SYMBOLS LEGEND							
STUD SIZE (NOMINAL)	METAL STUD SIZE (IMPERIAL)	METAL STUD SIZE (METRIC)	WOOD STUD SIZE (IMPERIAL)	WOOD STUD SIZE (METRIC)	CMU SIZE (NOMINAL)	CMU SIZE (IMPERIAL)	CMU (METRIC)
3	3 5/8"	92mm	2 1/2"	64mm	4	3 5/8"	92mm
4			3 1/2"	89mm	6	5 5/8"	142mm
6	6"	152mm	5 1/2"	140mm	8	7 5/8"	194mm
8			7 1/4"	184mm	12	11 5/8"	295mm

NOMINAL AND ACTUAL FRAMING MEMBER SIZES

ACCESSIBILITY & MOUNTING HEIGHT NOTES

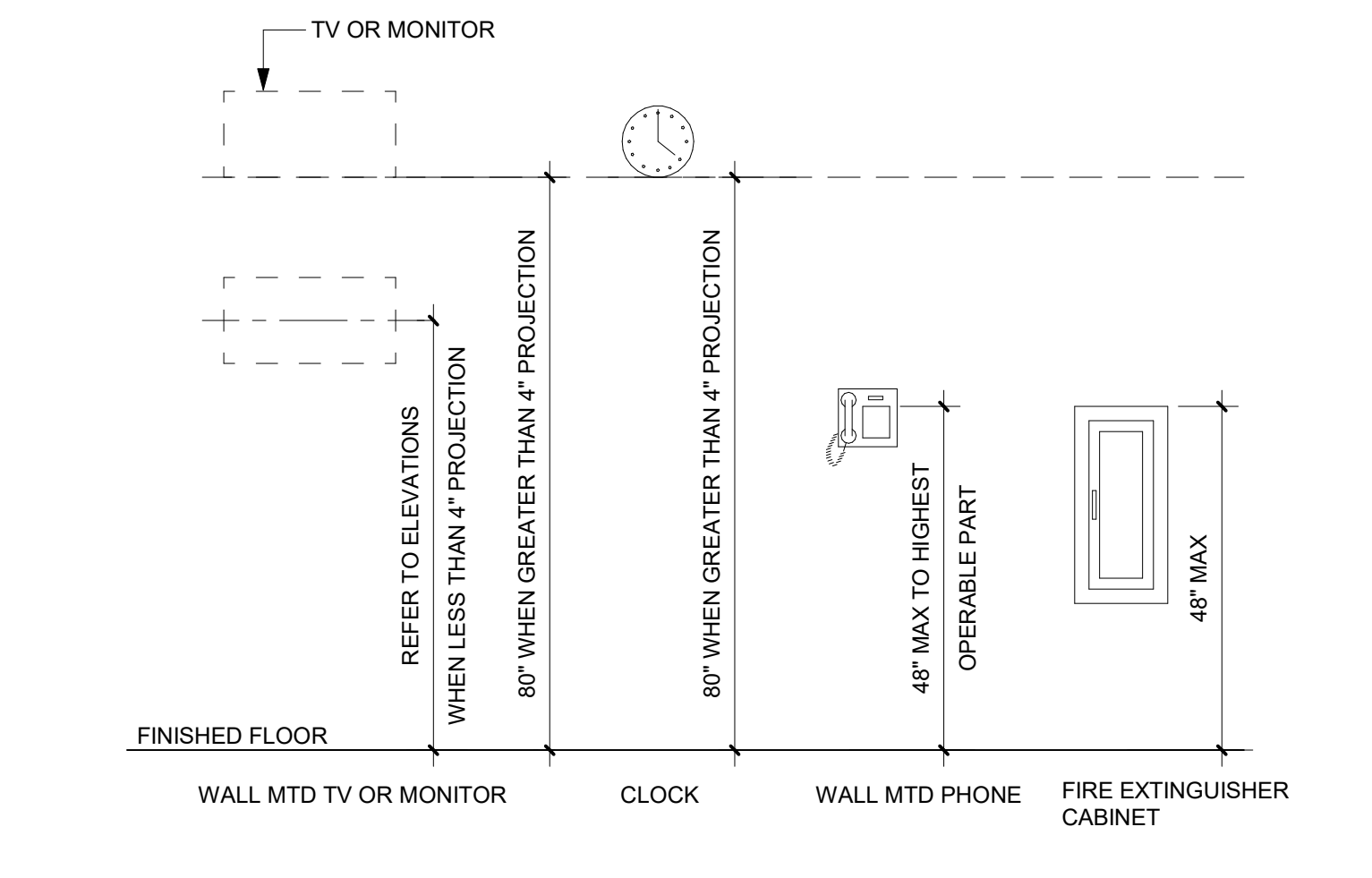
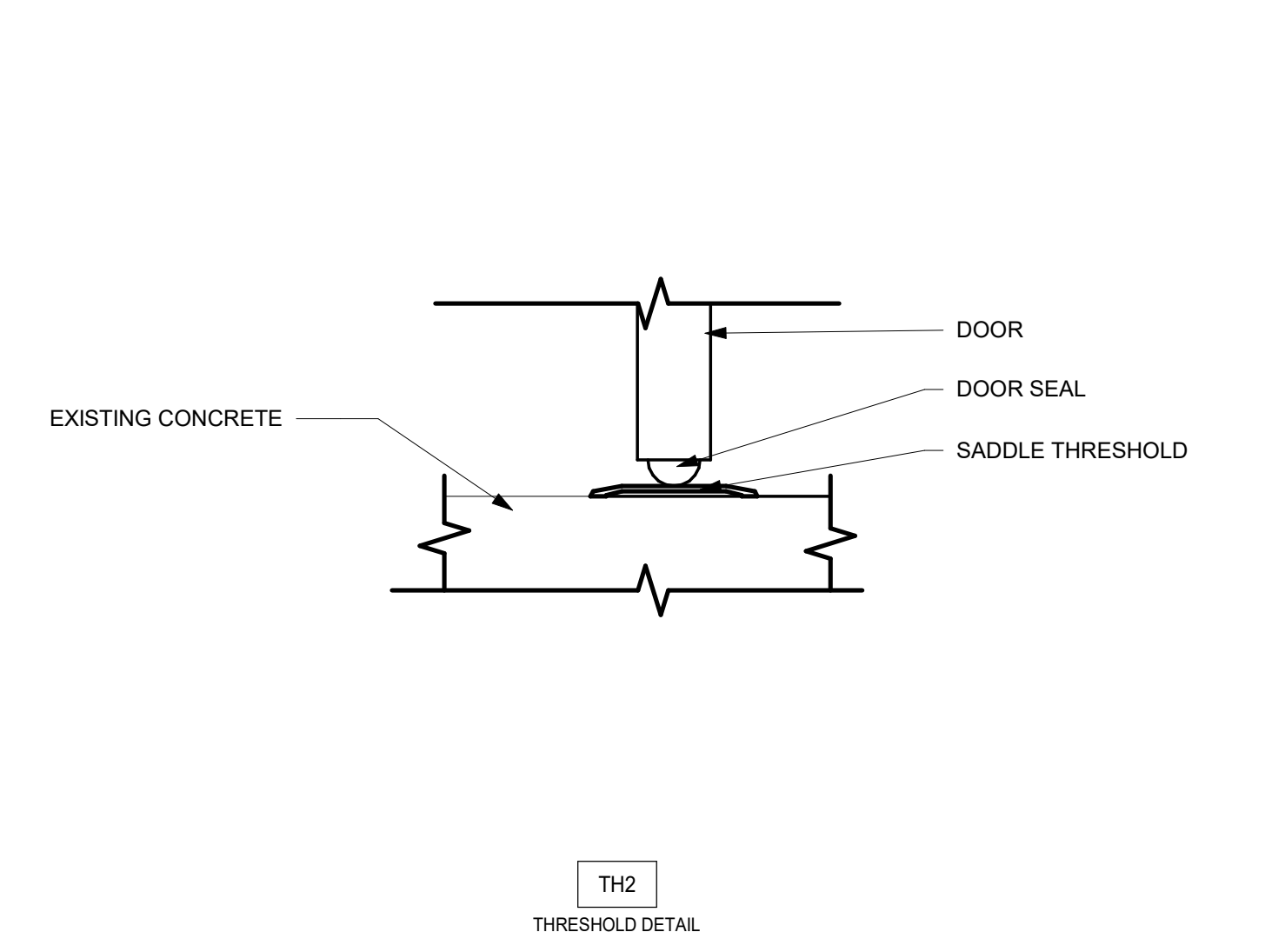
- ANSI 117.1**
- ALL WORK TO BE COMPLIANT WITH ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH THE CURRENT EDITION OF ICC A117.1.
 - ALL WORK TO BE COMPLIANT WITH ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH THE CURRENT EDITION OF AMERICANS WITH DISABILITIES ACT ARCHITECTURAL STANDARDS FOR ACCESSIBLE DESIGN.
- AMERICANS WITH DISABILITIES ACT ARCHITECTURAL STANDARDS FOR ACCESSIBLE DESIGN**
- ALL WORK TO BE COMPLIANT WITH ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH THE CURRENT EDITION OF AMERICANS WITH DISABILITIES ACT ARCHITECTURAL STANDARDS FOR ACCESSIBLE DESIGN.
- CODE OF FEDERAL REGULATIONS PART 36, SUBPART D**
- ALL WORK TO BE COMPLIANT WITH ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH THE CURRENT EDITION OF CODE OF FEDERAL REGULATIONS PART 36, SUBPART D.
- STATE AND MUNICIPAL BARRIER FREE CODES**
- ALL WORK TO BE COMPLIANT WITH ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH THE CURRENT EDITION OF ALL STATE AND MUNICIPAL BARRIER FREE CODES.
- GENERAL**
- CONTRACTOR TO SUPPLY AND INSTALL PIPE COVERS / SHROUDS FOR ALL EXPOSED PIPING UNDER NEW LAVATORIES/SINKS.
 - CONTRACTOR TO SUPPLY AND INSTALL METAL BRACKETS OR APPROPRIATE BLOCKING NECESSARY FOR TOILET ACCESSORY INSTALLATION.
 - CONTRACTOR TO MAINTAIN FIRE, SMOKE, AND ACOUSTICAL RATINGS WHERE ACCESSORIES ARE RECESSED INTO THE WALL PARTITION.

C1 DOOR CLEARANCE DETAILS
SCALE: 3/8" = 1'-0"

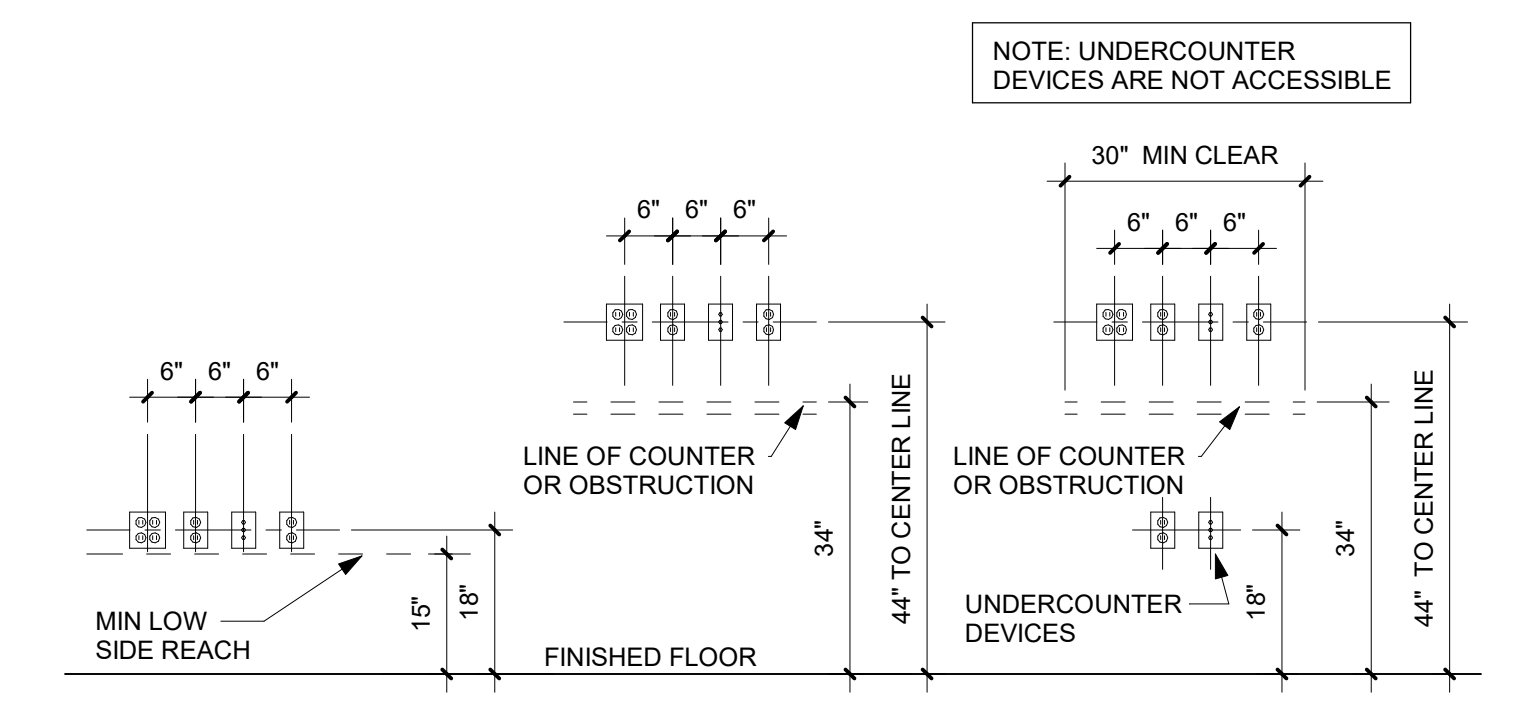


DOUBLE DOORS FRAME TYPE **DOUBLE SWING DOOR TYPES**

THRESHOLD DETAILS

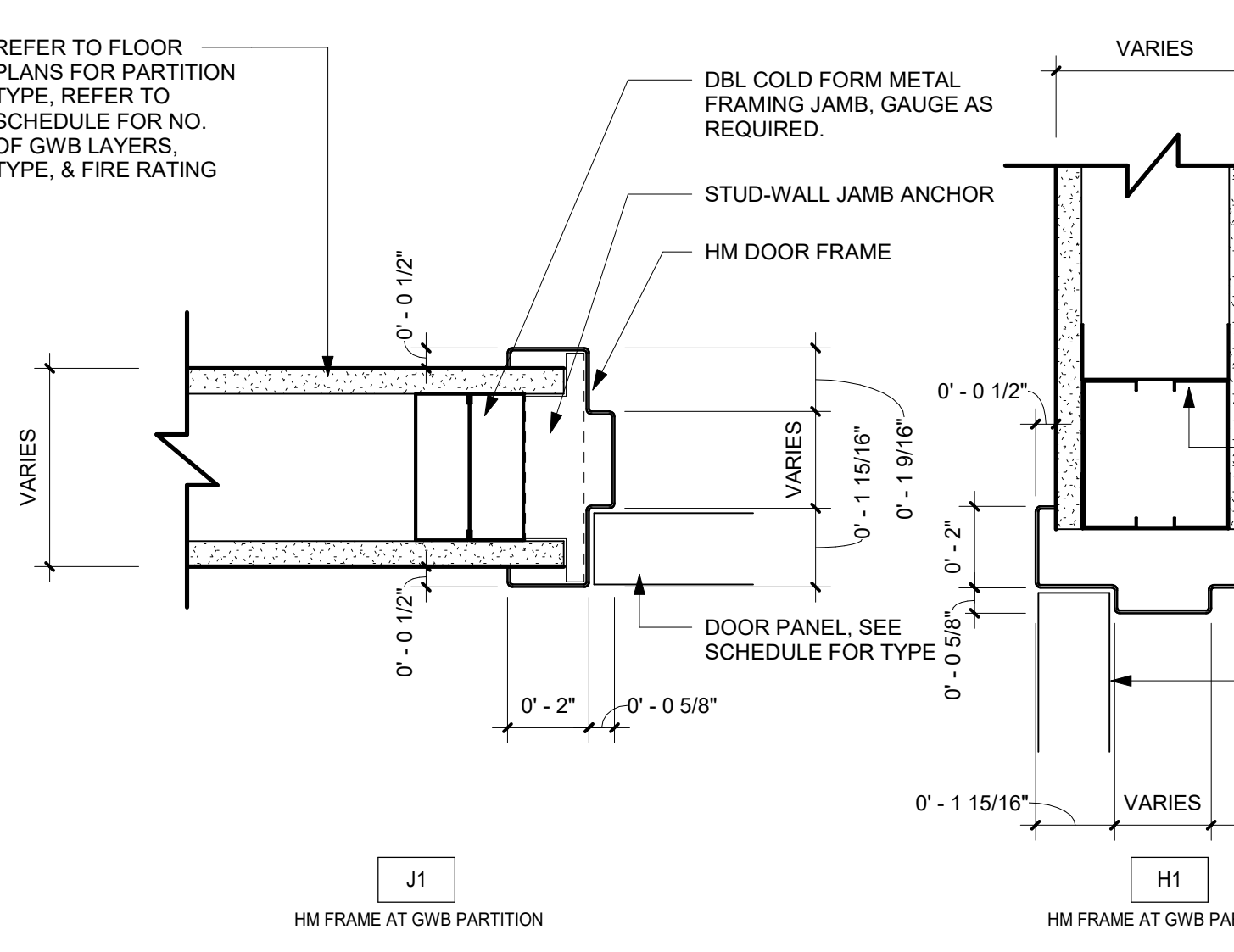


D3 TYP MOUNTING HGTS - MISC
SCALE: 1/2" = 1'-0"

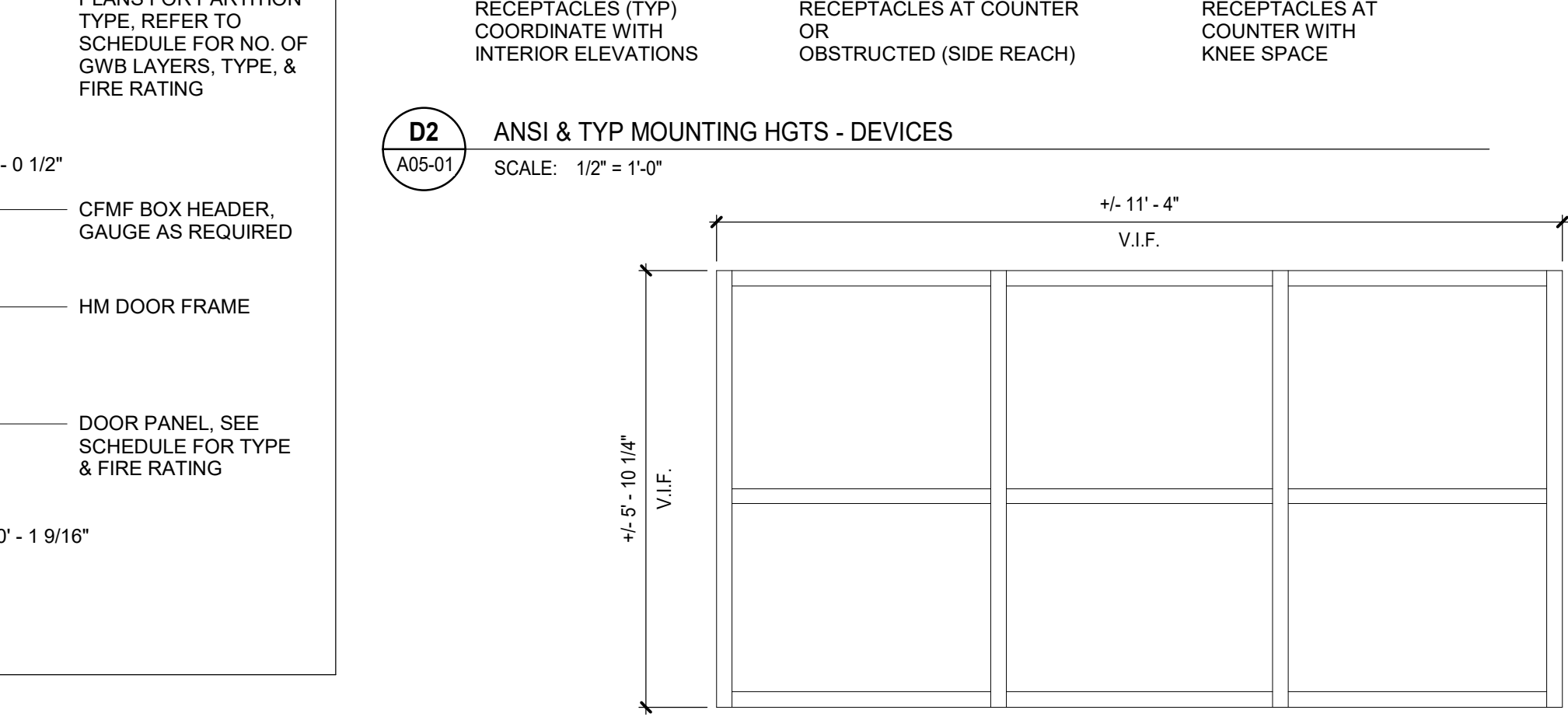


D2 ANSI & TYP MOUNTING HGTS - DEVICES
SCALE: 1/2" = 1'-0"

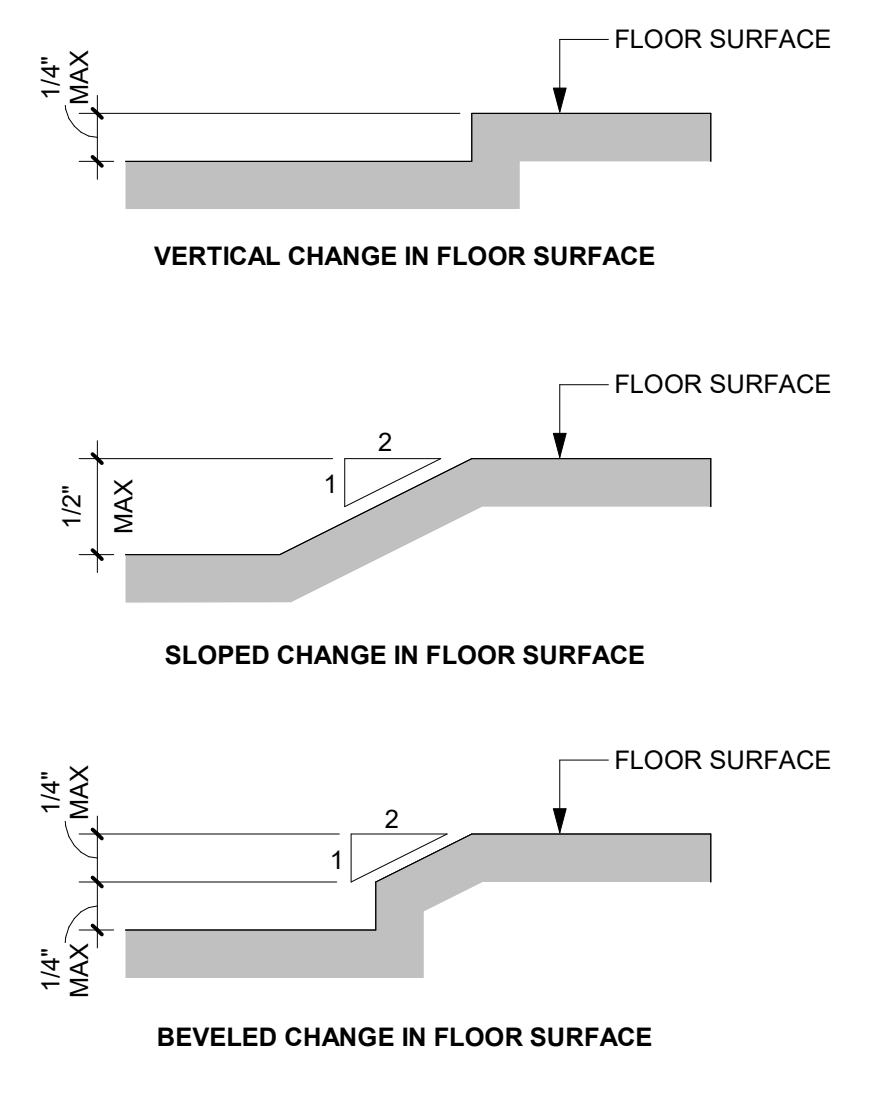
NON-RATED DOOR FRAME DETAILS



E1 DOOR FRAME DETAILS
SCALE: 3" = 1'-0"



D1 WINDOW FRAMING
SCALE: 1/2" = 1'-0"

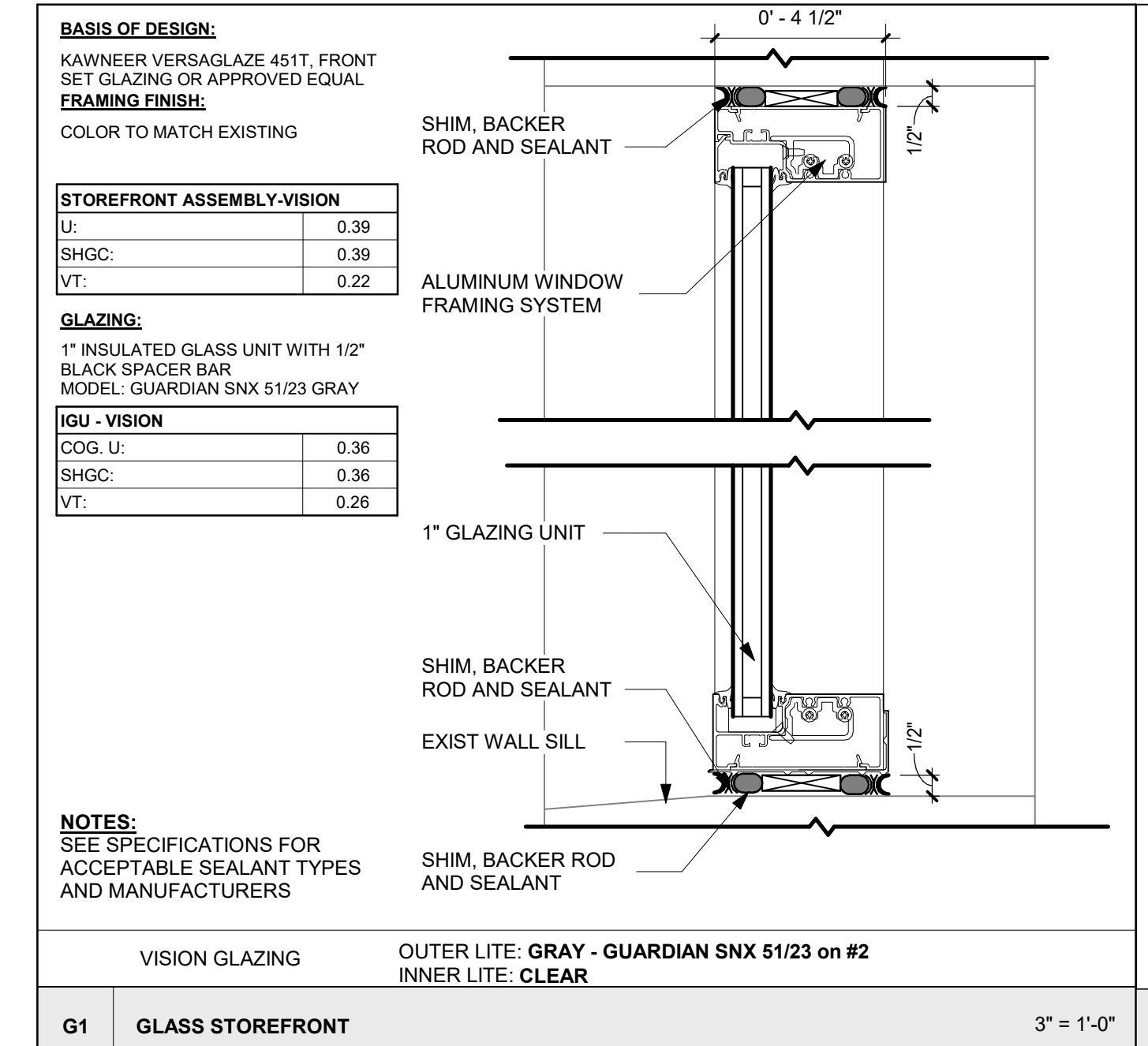


C2 ANSI CHANGES IN FLOOR LEVELS
SCALE: 1/2" = 1'-0"

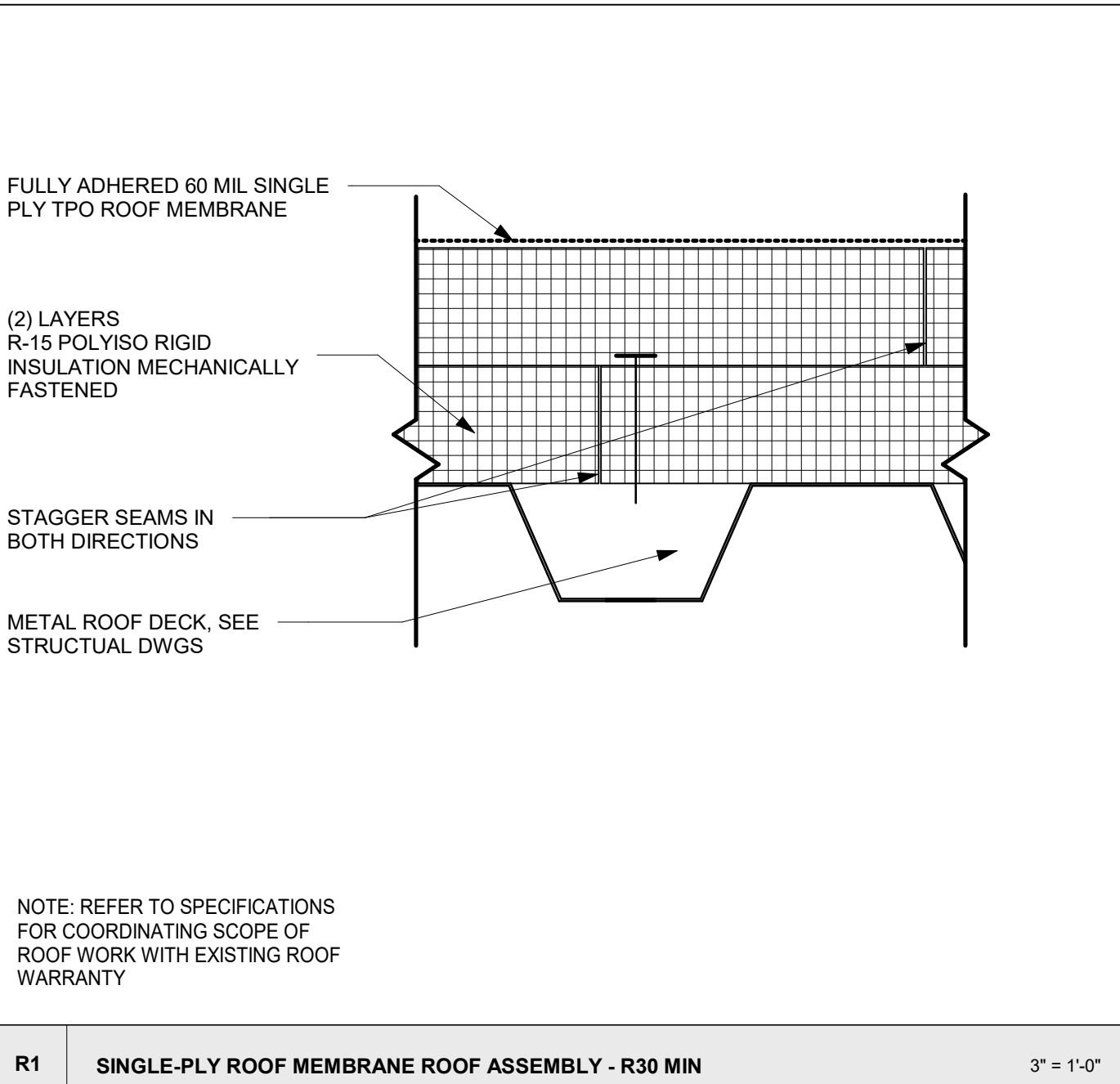
CMU SIZE	TOTAL THCKNSS	0 HR	1 HR	2 HR	3 HR	4 HR	STC (W/ SAFB)	UL DESIGN NO.
4	3 5/8" (92mm)	M1-4-0	-	-	-	-	44-48	-
6	5 5/8" (142mm)	M1-6-0	M1-6-1	M1-6-2	-	-	48-52	UL 905 ULC 905
8	7 5/8" (194mm)	M1-8-0	M1-8-1	M1-8-2	-	-	52-57	UL 905 ULC 905
12	11 5/8" (295mm)	M1-12-0	M1-12-1	M1-12-2	-	-	57-63	UL 905 ULC 905

M1	STUD SIZE	TOTAL THCKNSS	0 HR	1 HR	2 HR	3 HR	STC (W/ SAFB)	RATED DESIGN NO.
2	3 3/4" (95mm)	G1-2-0	G1-2A-1*	-	-	-	47	UL U419 ULC W453
3	4 7/8" (124mm)	G1-3-0	G1-3-1	-	-	-	49	UL U419 ULC W453
6	7 1/4" (184mm)	G1-6-0	G1-6-1	-	-	-	51	UL U419 ULC W453

* INSULATION REQUIRED TO MEET 1 HR RATING



G1 GLASS STOREFRONT
SCALE: 3" = 1'-0"



R1 SINGLE-PLY ROOF MEMBRANE ROOF ASSEMBLY - R30 MIN
SCALE: 3" = 1'-0"

Design Team
Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

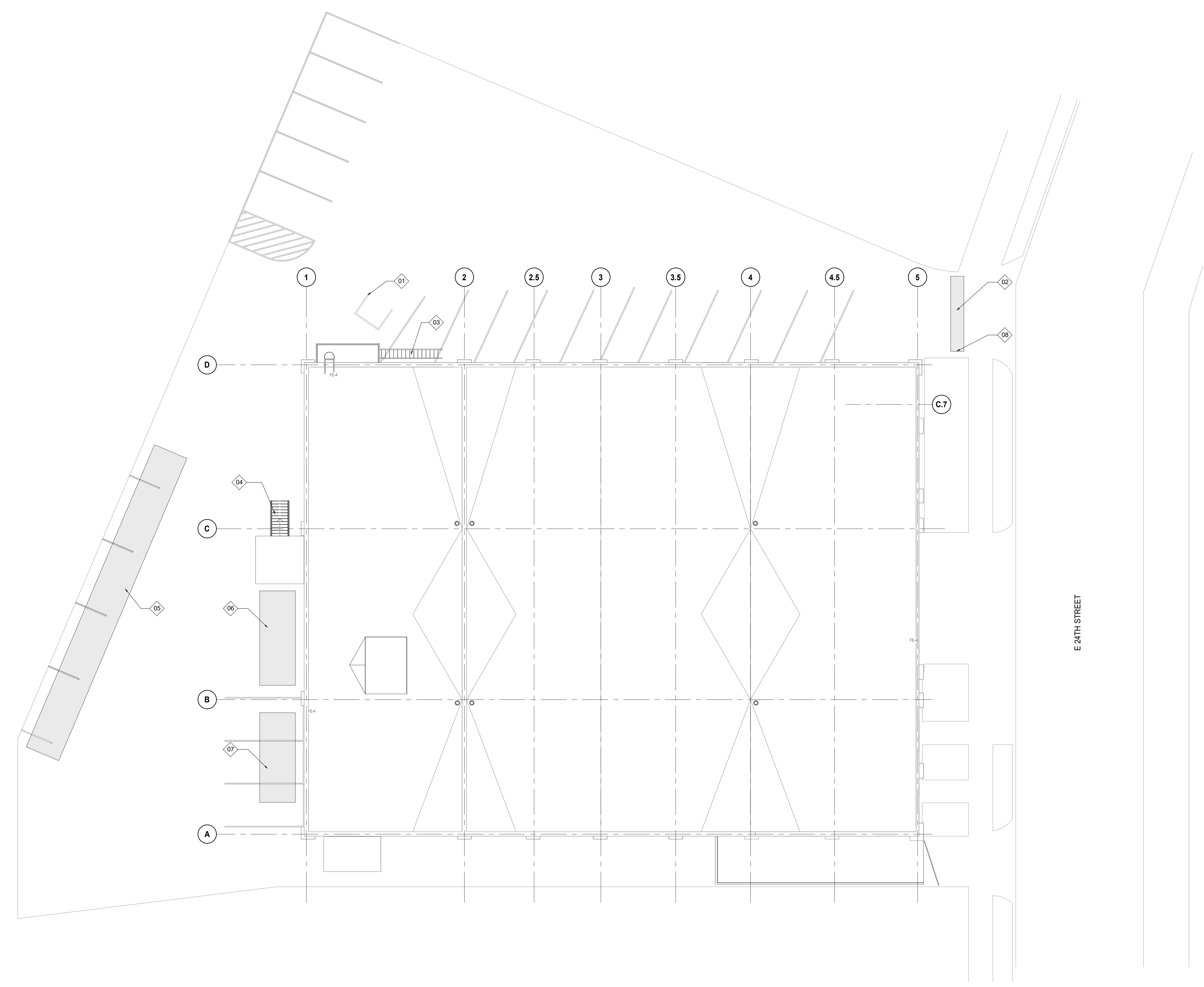
NORR
NORR One Penn Center
1817 JFK Blvd, Suite 1600
Philadelphia, PA 19103
norr.com

Project Manager: BM
Project Architect: CP
Client: COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS
105 W 3RD ST, MEDIA, PA 19063
Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
403 EAST 24TH STREET, CHESTER, PA 19013
Drawing Title: DOOR & FRAME SCHEDULE, TYPES, DETAILS, PARTITION TYPES, TYPICAL MOUNTING HEIGHTS
Project No.: IN2325-0323
Drawing No.: A05-01

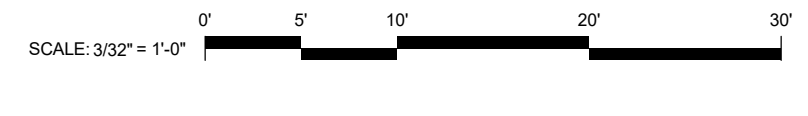
DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A
2026.04.28	PLAN REVIEW	B
2026.06.18	REISSUED FOR BID	C

LEGEND - SITE PLAN	
	PROPERTY LINE SETBACK
	PROPERTY LINES
	SPOT ELEVATION MARKER
	ELEVATION IN FEET ABOVE MEAN SEA LEVEL 6'-0" FROM BUILDING CORNER

KEYED NOTES - SITE PLAN	
TAG	DESCRIPTION
01	EXISTING WASTE DISPOSAL AREA
02	RESTRICTED/MONITORED CONTRACTOR SITE ACCESS, COORDINATE W/ OWNER
03	TEMPORARY 2ND FLOOR ACCESS SCAFFOLDING STAIR/COORDINATE W/ OWNER TO UTILIZE EXISTING STEEL EGRESS DROP-DOWN LADDER
04	TEMPORARY CONSTRUCTION STAIRRAMP, COORDINATE W/ OWNER
05	CONTRACTOR PARKING AREA, COORDINATE W/ OWNER
06	TEMPORARY SANITARY FACILITIES AREA, COORDINATE W/ OWNER
07	TEMPORARY FENCED MATERIAL STAGING AREA, COORDINATE W/ OWNER
08	NEW PROJECT SITE ENTRY SIGNAGE, COORDINATE WITH OWNER.

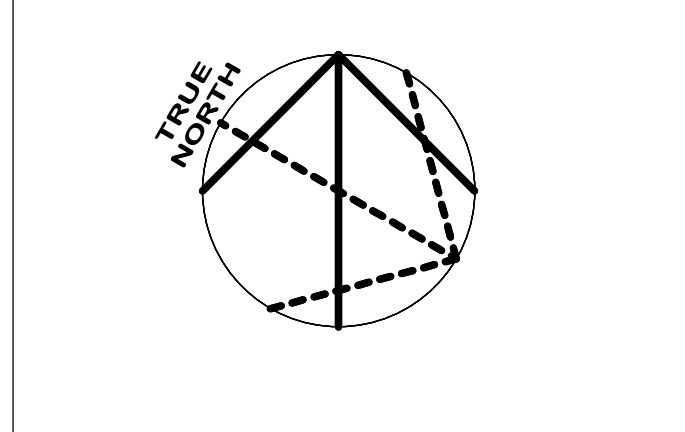


E1 REFERENCE SITE PLAN
SCALE: 3/32" = 1'-0"



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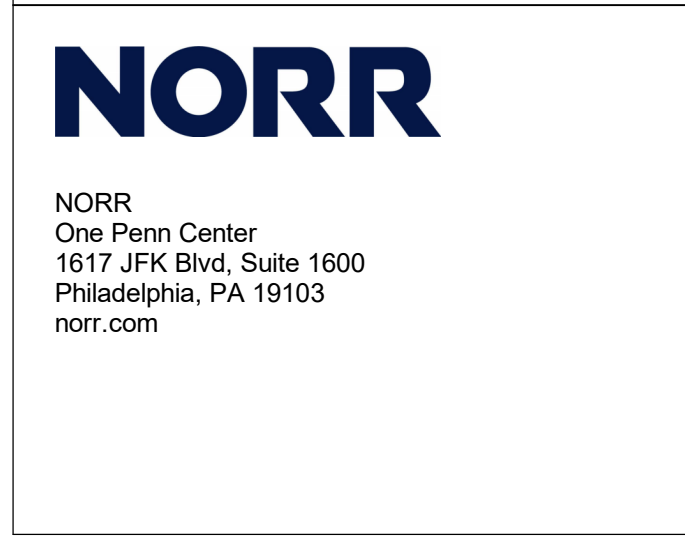
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Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal



Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

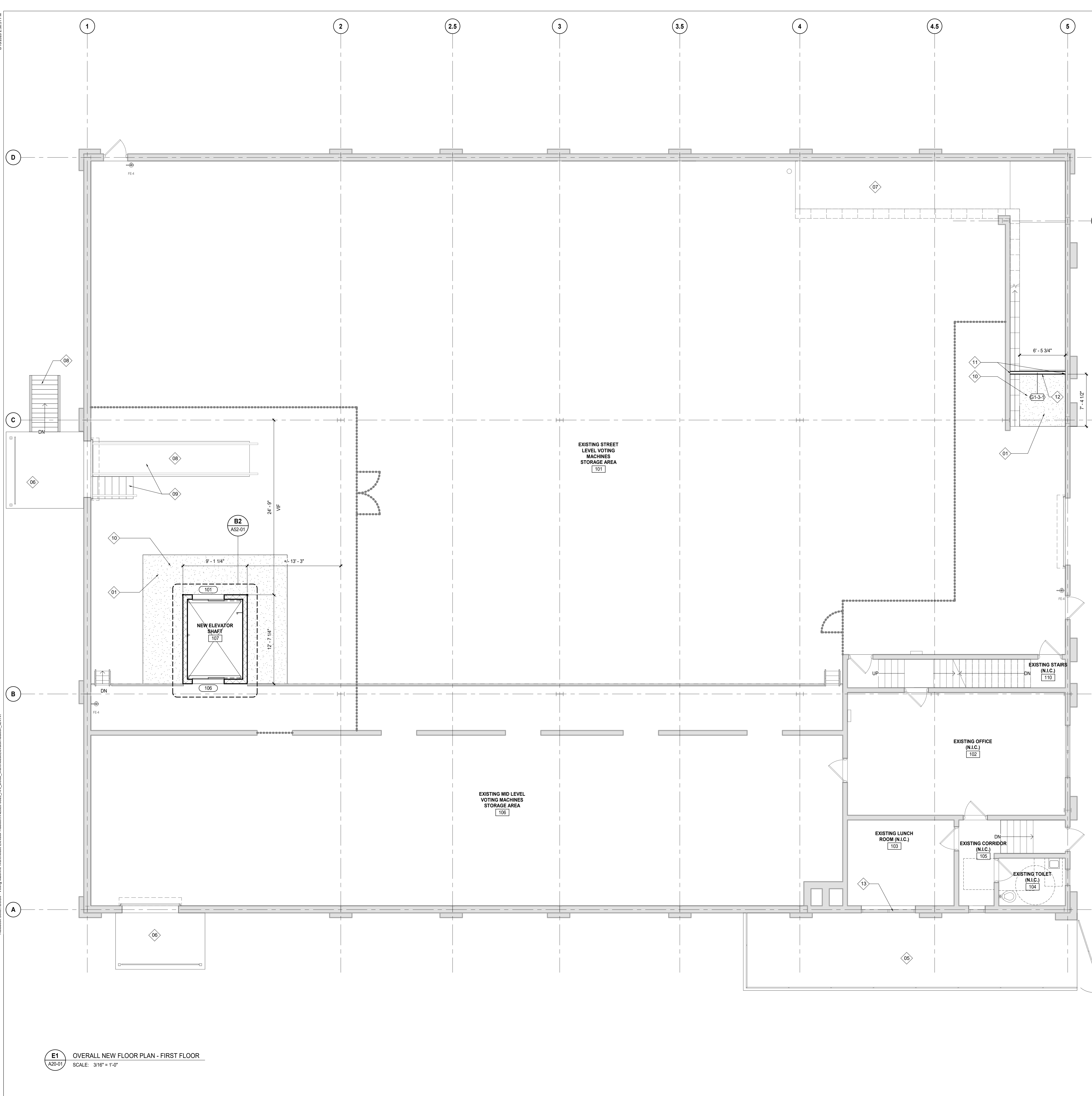
Client
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title
REFERENCE SITE PLAN

Project No.
IN2325-0323

Drawing No.
A10-01



- ### FLOOR PLAN GENERAL NOTES
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT IMMEDIATELY. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
 - DIMENSIONS NOTED "CLEAR" OR "CLR" OR "HOLD" MUST BE ACCURATELY MAINTAINED. SHALL ALLOW FOR THICKNESS OF ALL WALL FINISHES U.O.N., AND SHALL NOT VARY MORE THAN + 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT.
 - ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD U.O.N.
 - ALL FLOOR SLAB PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES. ANY PENETRATIONS AT RATED PARTITIONS TO BE PER APPLICABLE U.I. ASSEMBLY.
 - U.O.N., DOORS ARE CENTERED OR HINGE SIDE IS TO BE LOCATED 4" FROM CORNER AS INDICATED. DOORS MUST HAVE 1'-6" CLEAR ON STRIKE/PULL SIDE AND 12" CLEAR ON STRIKE/PUSH SIDE OF DOOR. VERIFY AND ADVISE ARCHITECTS OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
 - ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED.
 - REFER TO ADD-SERIES SHEETS FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.
 - ALL MILLWORK & WALL-HUNG FURNITURE TO BE FASTENED TO THE PARTITION. PROVIDE BLOCKING FOR ALL MILLWORK & WALL-HUNG FURNITURE NOT SUPPORTED BY THE SLAB OR ABOVE 4'-7" HEIGHT. ALL CONCEALED WOOD BLOCKING TO BE FIRE TREATED, AS REQUIRED BY APPLICABLE CODES.

- ### FLOOR PLAN LEGEND - NEW WORK
- EXISTING PARTITION TO REMAIN
 - EXISTING DOOR TO REMAIN
 - NEW PARTITION, SEE PARTITION TAGS AND TYPES
 - NEW DOOR
 - NEW GLAZING

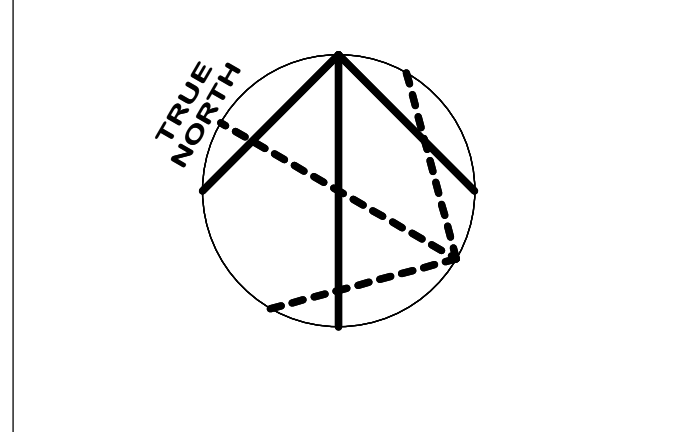
KEYED NOTES - FLOOR PLANS

TAG	DESCRIPTION
01	INFILL EXISTING FLOOR DEPRESSION WITH 4000PSI NORMAL WEIGHT CONCRETE WITH 6X6-W2.0X2.0 WWF. TOP OF NEW INFILL FLUSH WITH EXISTING CONCRETE FLOOR SURFACE AGAINST EXISTING EXTERIOR WALL. PROVIDE 3/8" COMPRESSIBLE FILLER.
02	REPAIR AND REPLACE DETERIORATED WINDOW PANES IN THIS LOCATION; ADD ALTERNATE - REPLACE ENTIRE GLAZING ASSEMBLY IN THIS LOCATION.
03	INFILL EXISTING LIFT OPENING. REFER TO STRUCT DWGS FOR ADD'L INFO.
04	NEW RIGID INSULATION CRICKET.
05	EXISTING ELECTRICAL EQUIPMENT AREA.
06	EXISTING LOADING AREA.
07	EXISTING RAMP TO REMAIN.
08	NEW TEMPORARY ACCESS STAIRS/RAMP.
09	NEW TEMPORARY WORK STAIRS AND RAMP. FIELD VERIFY/COORDINATE EQUIPMENT RAMP WIDTH AND LENGTH.
10	APPLY CONCRETE FINISH TO MATCH EXISTING FOR AREA OF NEW WORK.
11	APPLY 1HR FIRE RATED CALK AT NEW PARTITION AND EXISTING WALL JUNCTION.
12	PAINT EACH SIDE OF WALL WITH WHITE SEMI-GLOSS LATEX PAINT. BOD: SHERWIN WILLIAMS.
13	ADD ALTERNATE: CONTRACTOR TO REMOVE AND REPLACE ENTIRE WINDOW SYSTEM.

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A
2026.04.28	PLAN REVIEW	B
2026.06.18	REISSUED FOR BID	C

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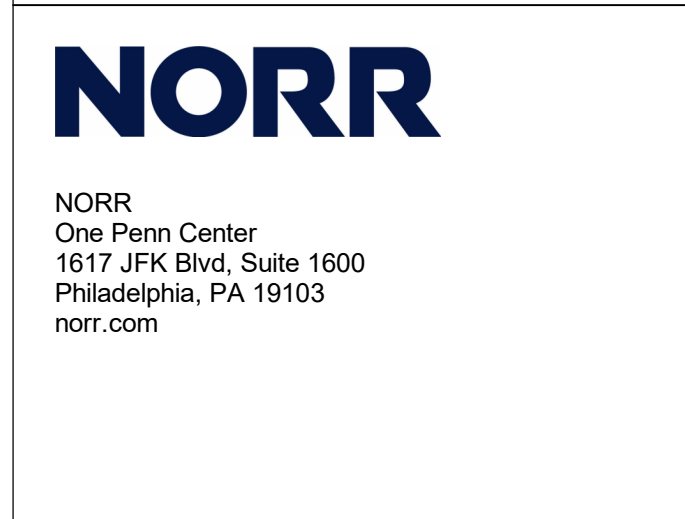


Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal

2



Project Manager: BM
 Project Architect: CP

Drawn: OPMK
 Checked: CP

Client:
**COUNTY OF DELAWARE
 DEPARTMENT OF PUBLIC
 WORKS**
 105 W 3RD ST, MEDIA, PA 19063

Project:
**VOTING MACHINE
 WAREHOUSE ELEVATOR
 ADDITION**
 403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title:
**OVERALL FLOOR PLAN -
 FIRST FLOOR**

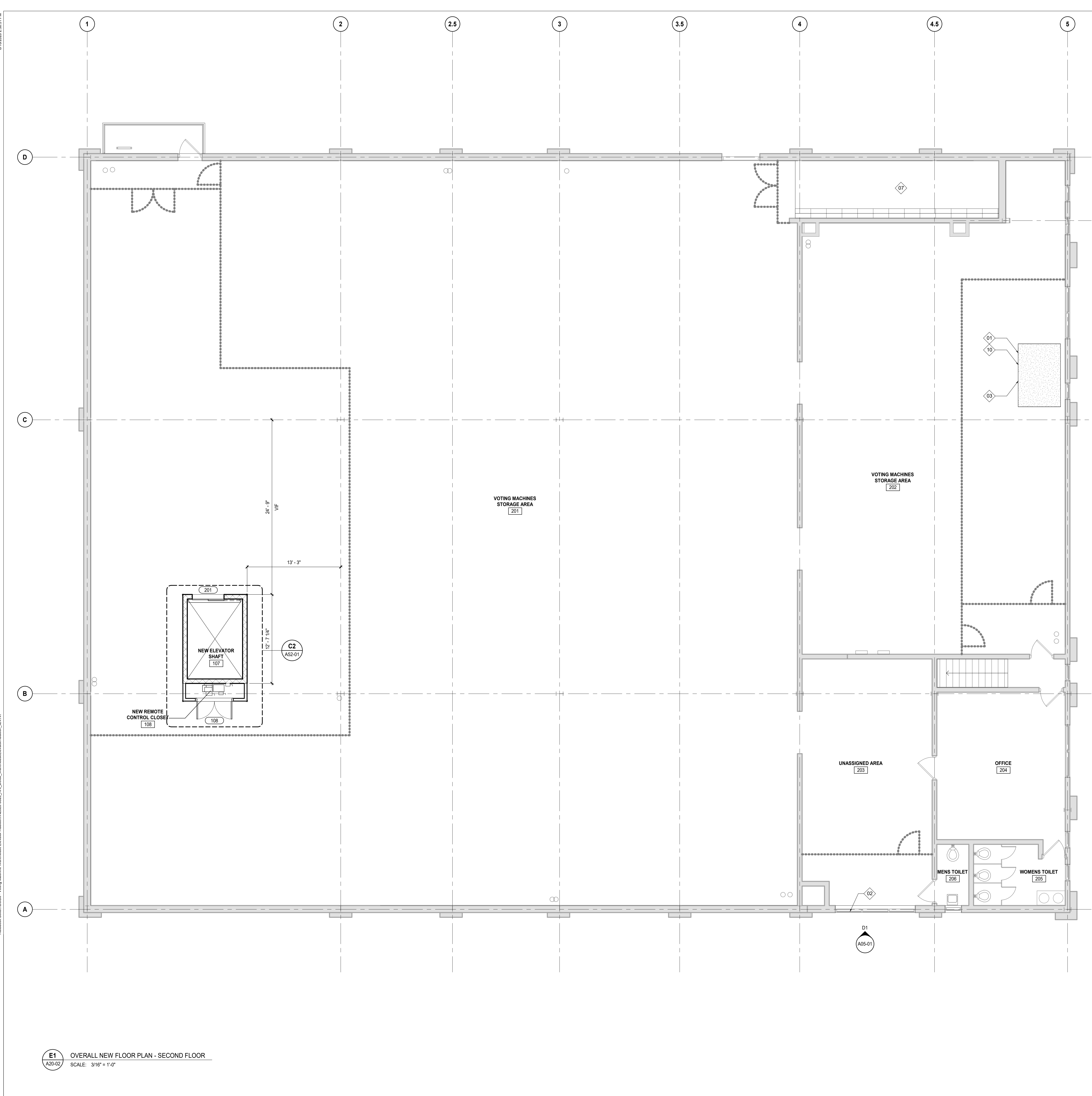
Project No.: IN2325-0323
 Drawing No.: **A20-01**

ARCH E Title Block - © 2023 - Rev (Sep/23) - Copyright © 2023

E1 OVERALL NEW FLOOR PLAN - FIRST FLOOR
 SCALE: 3/16" = 1'-0"

6/10/2026 5:56:51 PM

Autodesk Docs (DWG) - Voting Machine Warehouse Elevator Addition\IN2325-0323_A02-02_Voting Machine Warehouse Elevator Addition_024.rvt



E1 OVERALL NEW FLOOR PLAN - SECOND FLOOR
 SCALE: 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT IMMEDIATELY. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
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- U.O.N., DOORS ARE CENTERED OR HINGE SIDE IS TO BE LOCATED 4" FROM CORNER AS INDICATED. DOORS MUST HAVE 1'-6" CLEAR ON STRIKE/PULL SIDE AND 12" CLEAR ON STRIKE/PUSH SIDE OF DOOR. VERIFY AND ADVISE ARCHITECTS OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
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FLOOR PLAN LEGEND - NEW WORK

- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW PARTITION, SEE PARTITION TAGS AND TYPES
- NEW DOOR
- NEW GLAZING

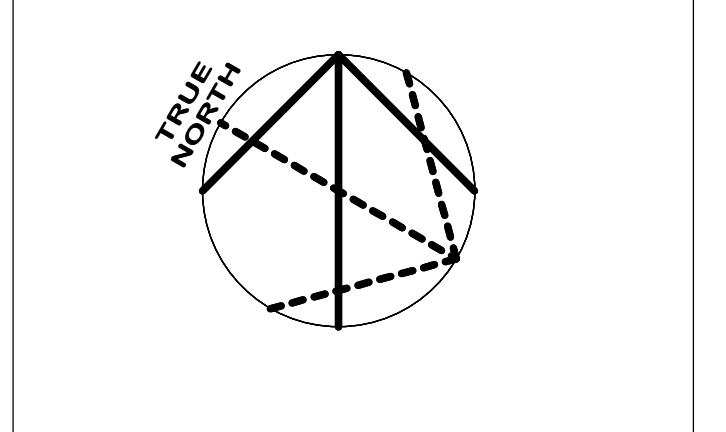
KEYED NOTES - FLOOR PLANS

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13	ADD ALTERNATE: CONTRACTOR TO REMOVE AND REPLACE ENTIRE WINDOW SYSTEM

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2026.06.18	REISSUED FOR BID	C

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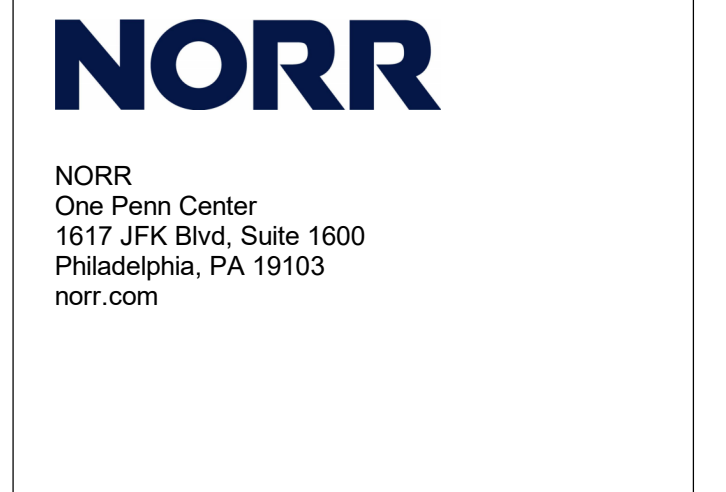
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Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal



Project Manager: BM
 Project Architect: CP

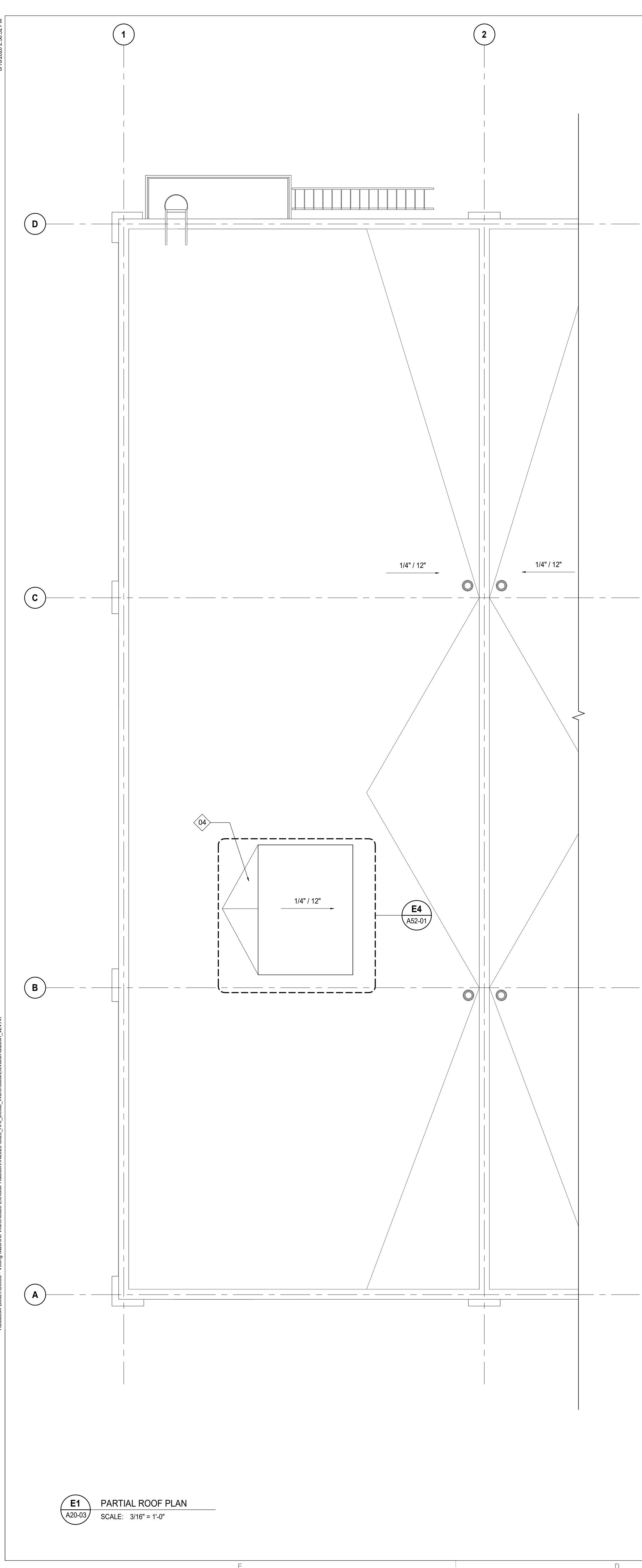
Drawn: Author
 Checked: Checker

Client: COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS
 105 W 3RD ST, MEDIA, PA 19063

Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
 403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title: OVERALL FLOOR PLAN - SECOND FLOOR

Project No.: IN2325-0323
 Drawing No.: A20-02

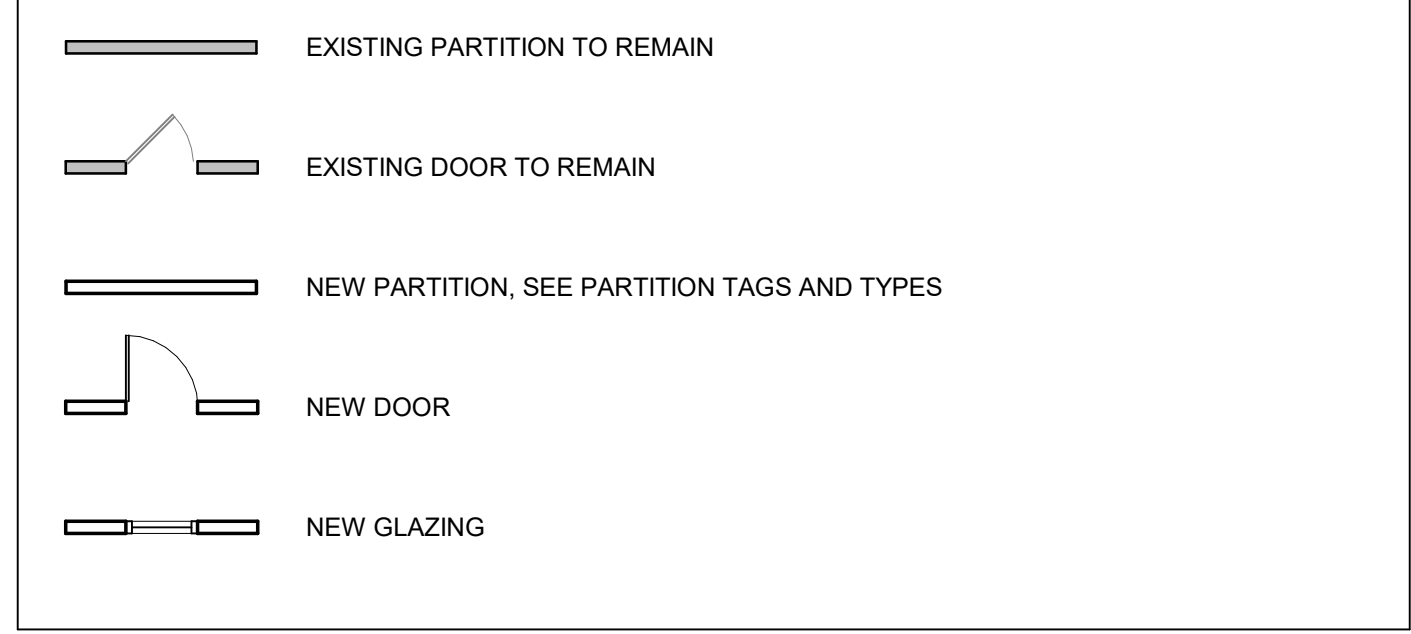


E1 PARTIAL ROOF PLAN
SCALE: 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT IMMEDIATELY. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
- DIMENSIONS NOTED "CLEAR" OR "CLR" OR "HOLD" MUST BE ACCURATELY MAINTAINED. SHALL ALLOW FOR THICKNESS OF ALL WALL FINISHES U.O.N., AND SHALL NOT VARY MORE THAN + 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD U.O.N.
- ALL FLOOR SLAB PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES. ANY PENETRATIONS AT RATED PARTITIONS TO BE PER APPLICABLE U.I. ASSEMBLY.
- U.O.N., DOORS ARE CENTERED OR HINGE SIDE IS TO BE LOCATED 4" FROM CORNER AS INDICATED. DOORS MUST HAVE 1'-6" CLEAR ON STRIKE/PULL SIDE AND 12" CLEAR ON STRIKE/PUSH SIDE OF DOOR. VERIFY AND ADVISE ARCHITECTS OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED.
- REFER TO ADD-SERIES SHEETS FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.
- ALL MILLWORK & WALL-HUNG FURNITURE TO BE FASTENED TO THE PARTITION. PROVIDE BLOCKING FOR ALL MILLWORK & WALL-HUNG FURNITURE NOT SUPPORTED BY THE SLAB OR ABOVE 4'-7" HEIGHT. ALL CONCEALED WOOD BLOCKING TO BE FIRE TREATED, AS REQUIRED BY APPLICABLE CODES.

FLOOR PLAN LEGEND - NEW WORK



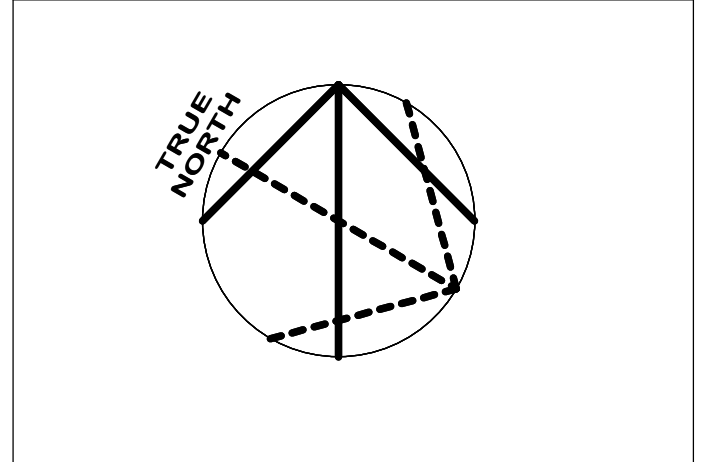
KEYED NOTES - FLOOR PLANS

TAG	DESCRIPTION
01	INFILL EXISTING FLOOR DEPRESSION WITH 4000PSI NORMAL WEIGHT CONCRETE WITH 6X6-W2.0X2.0 WWF. TOP OF NEW INFILL FLUSH WITH EXISTING CONCRETE FLOOR SURFACE. AGAINST EXISTING EXTERIOR WALL PROVIDE 3/8" COMPRESSIBLE FILLER
02	REPAIR AND REPLACE DETERIORATED WINDOW PANES IN THIS LOCATION; ADD ALTERNATE - REPLACE ENTIRE GLAZING ASSEMBLY IN THIS LOCATION
03	INFILL EXISTING LIFT OPENING. REFER TO STRUCT DWGS FOR ADD'L INFO
04	NEW RIGID INSULATION CRICKET
05	EXISTING ELECTRICAL EQUIPMENT AREA
06	EXISTING LOADING AREA
07	EXISTING RAMP TO REMAIN
08	NEW TEMPORARY ACCESS STAIRS/RAMP
09	NEW TEMPORARY WORK STAIRS AND RAMP. FIELD VERIFY/COORDINATE EQUIPMENT RAMP WIDTH AND LENGTH
10	APPLY CONCRETE FINISH TO MATCH EXISTING FOR AREA OF NEW WORK
11	APPLY 1HR FIRE RATED CALK AT NEW PARTITION AND EXISTING WALL JUNCTION
12	PAINT EACH SIDE OF WALL WITH WHITE SEMI-GLOSS LATEX PAINT. BOD. SHERWIN WILLIAMS
13	ADD ALTERNATE: CONTRACTOR TO REMOVE AND REPLACE ENTIRE WINDOW SYSTEM

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A
2026.04.28	PLAN REVIEW	B
2026.06.18	REISSUED FOR BID	C

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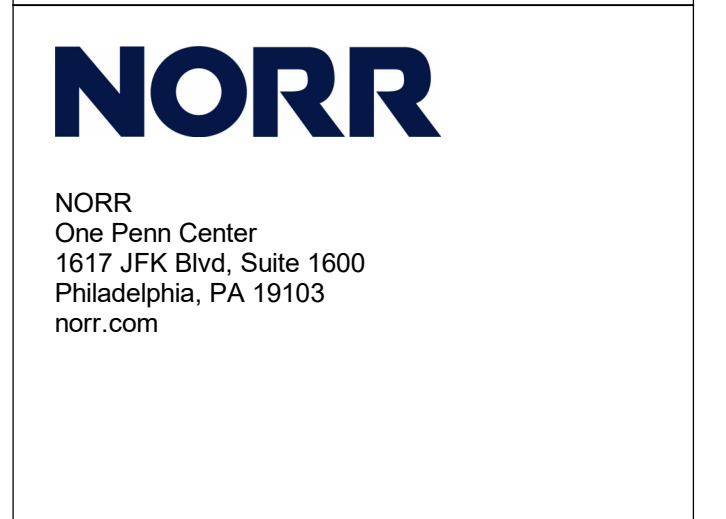
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Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal



Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

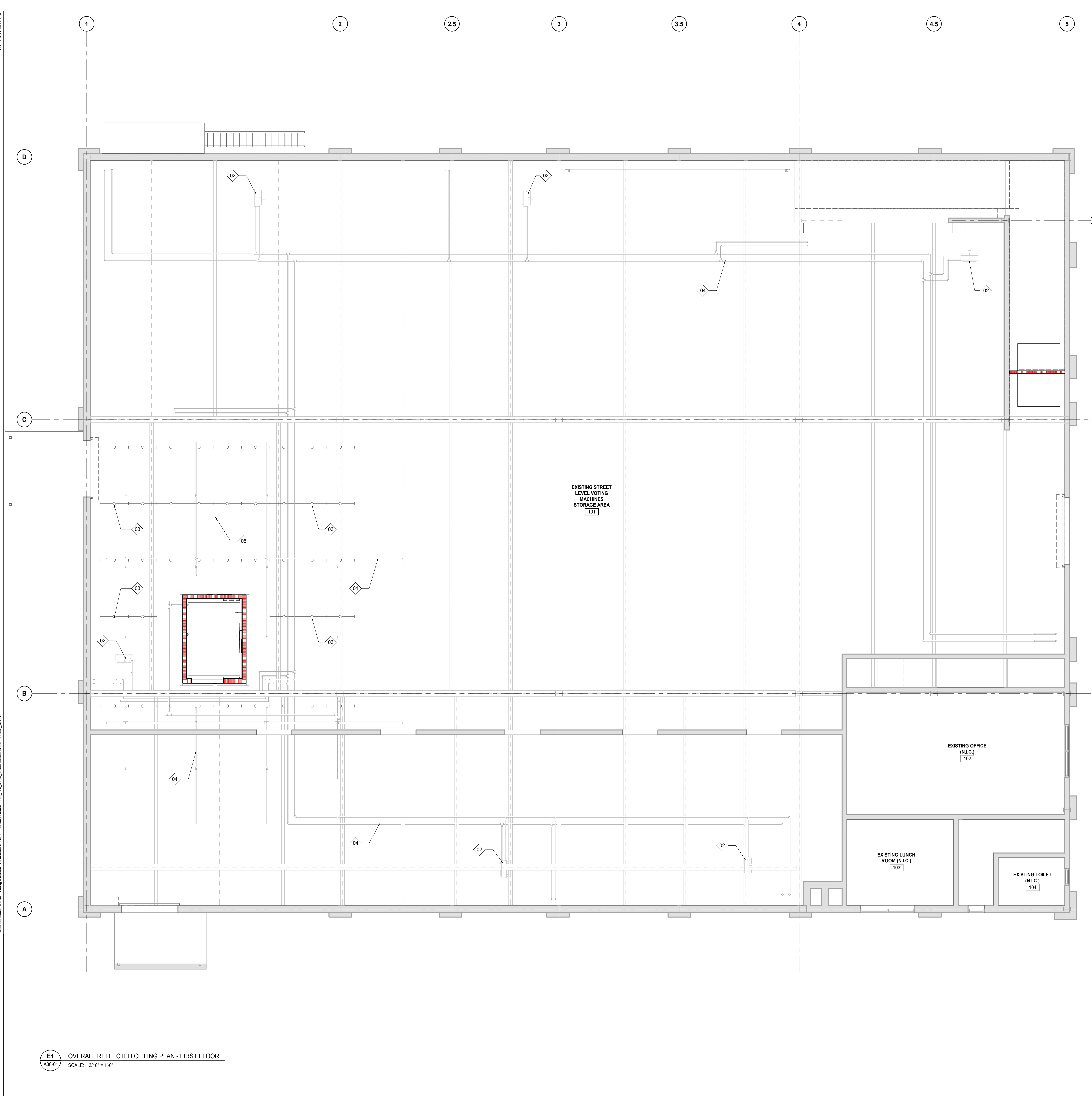
Client
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title
PARTIAL ROOF PLAN

Project No.
IN2325-0323

Drawing No.
A20-03



- REFLECTED CEILING PLAN GENERAL NOTES**
1. THE CONTRACTOR SHALL PROVIDE AND INSTALL CEILING SYSTEMS AND CONSTRUCTION AS DESIGNATED ON THE REFLECTED CEILING PLANS OF THESE DRAWINGS AND NOTES.
 2. COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEMS, ETC. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS.
 3. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, AND FIXTURE LAMPS AS REQUIRED.
 4. LIGHT FIXTURES, EXIT SIGNS, SPRINKLERS, AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN THE CENTER OF INDIVIDUAL CEILING TILES, U.O.N.
 5. CEILINGS IN CLOSETS AND STORAGE AREAS SHALL BE OF THE SAME HEIGHTS AND CONSTRUCTION AS THAT OF ADJOINING SPACES, U.O.N.
 6. NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, STRUCTURES, HVAC, AND/OR EXISTING CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING GRID AND ACTUAL FIELD CONDITION ARE TO BE CLARIFIED WITH ARCHITECT PRIOR TO FRAMING.
 7. INSTALL LIGHT FIXTURES WITH PROTECTIVE FILM OR SIM. COVER OVER LOUVER, LENS, BAFFLE, ETC. TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. LAMPS SHALL BE NEW AT PROJECT COMPLETION.
 8. ARCHITECTURAL DRAWINGS DETERMINE LOCATION OF ALL FIXTURES AND TAKE PRECEDENCE OVER ALL OTHERS, U.O.N.

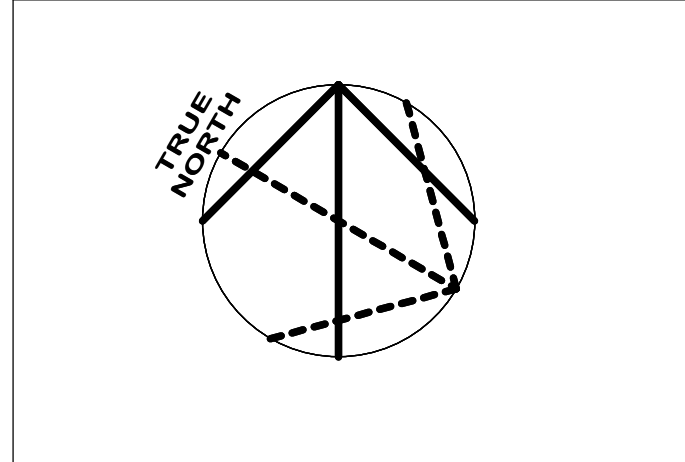
KEYED NOTES - REFLECTED CEILING PLANS

TAG	DESCRIPTION
01	REATTACH EXISTING MECHANICAL EQUIPMENT TO NEW STEEL BEAM
02	MECHANICAL EQUIPMENT, COORDINATE WITH MECHANICAL DRAWINGS
03	LIGHTING. SEE ELECTRICAL DRAWINGS FOR MORE INFO
04	PLUMBING PIPING. SEE MECHANICAL DRAWINGS.
05	STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS.
06	ROOF DRAIN. COORDINATE PLACEMENT WITH STRUCTURAL DRAWINGS. VIF.

DATE	ISSUED FOR	REV
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2025.04.28	PLAN REVIEW	B
2025.06.18	REISSUED FOR BID	C

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 Electrical: NORR



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Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

Client
**COUNTY OF DELAWARE
 DEPARTMENT OF PUBLIC
 WORKS**
 105 W 3RD ST, MEDIA, PA 19063

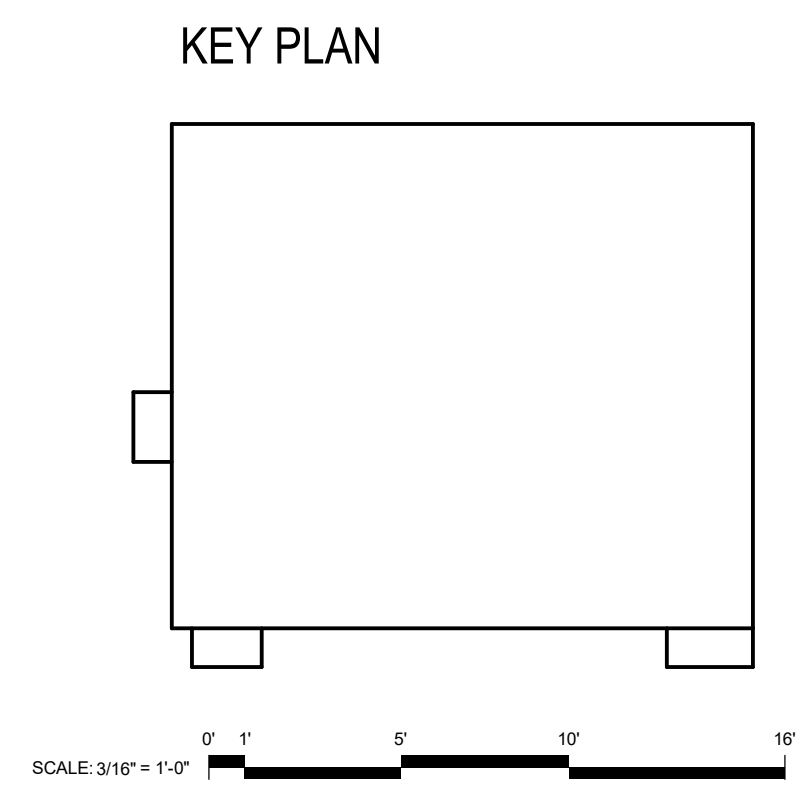
Project
**VOTING MACHINE
 WAREHOUSE ELEVATOR
 ADDITION**
 403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title
**OVERALL REFLECTED
 CEILING PLAN - FIRST
 FLOOR**

Project No.
 IN2325-0323

Drawing No.
A30-01

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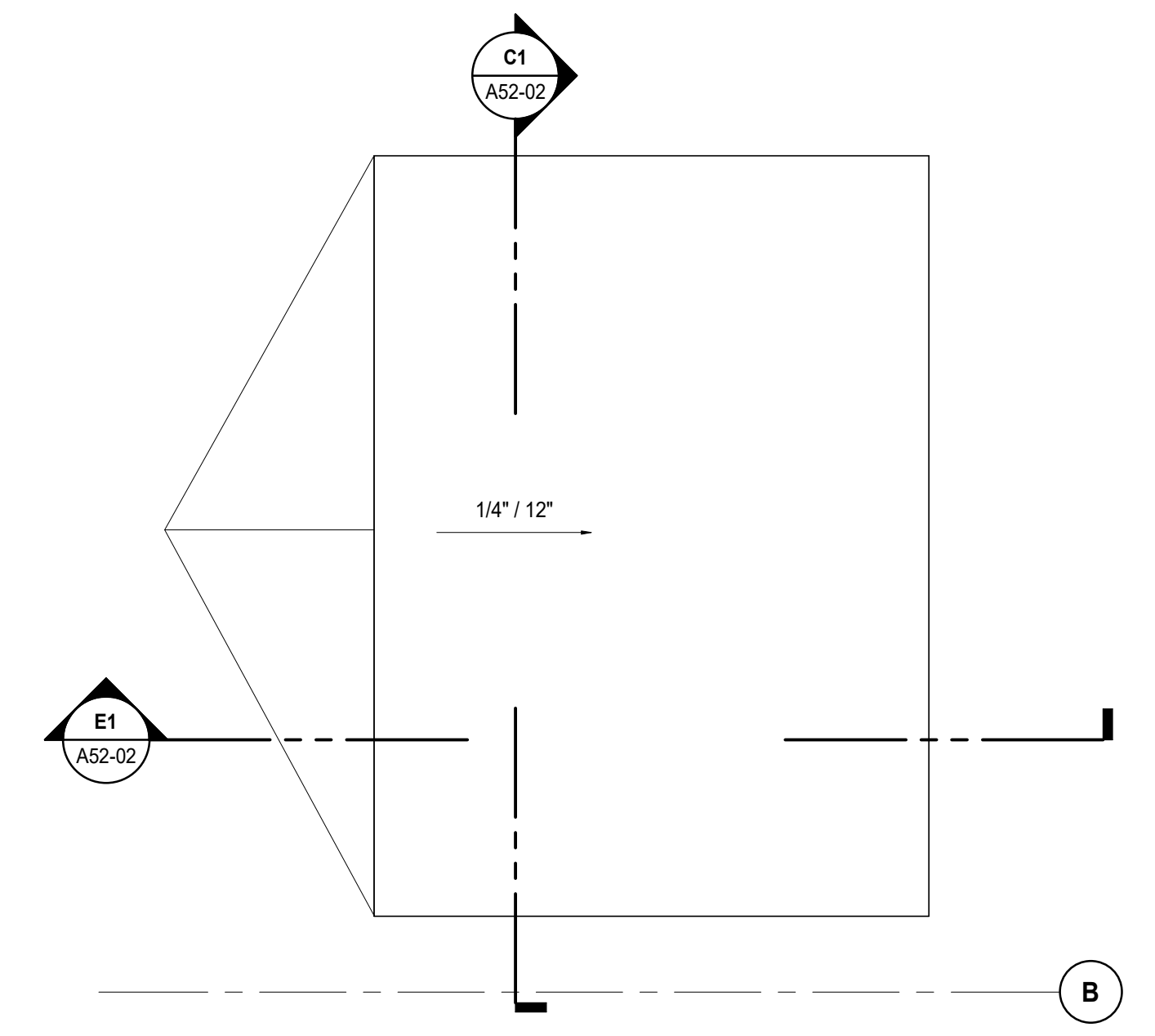


E1 OVERALL REFLECTED CEILING PLAN - FIRST FLOOR
 SCALE: 3/16" = 1'-0"

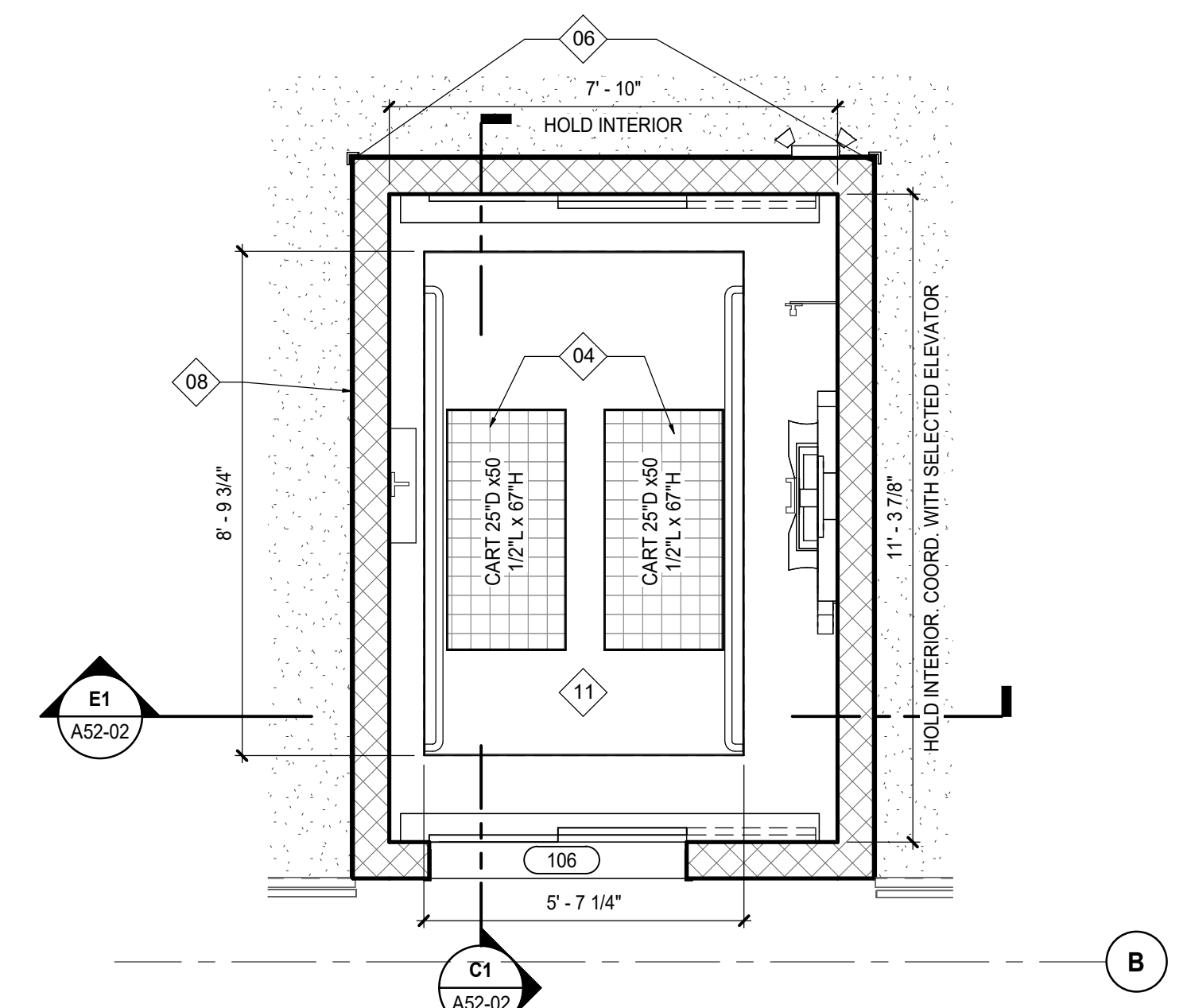
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DATE	ISSUED FOR	REV
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2026.04.28	PLAN REVIEW	B
2026.06.18	REISSUED FOR BID	C

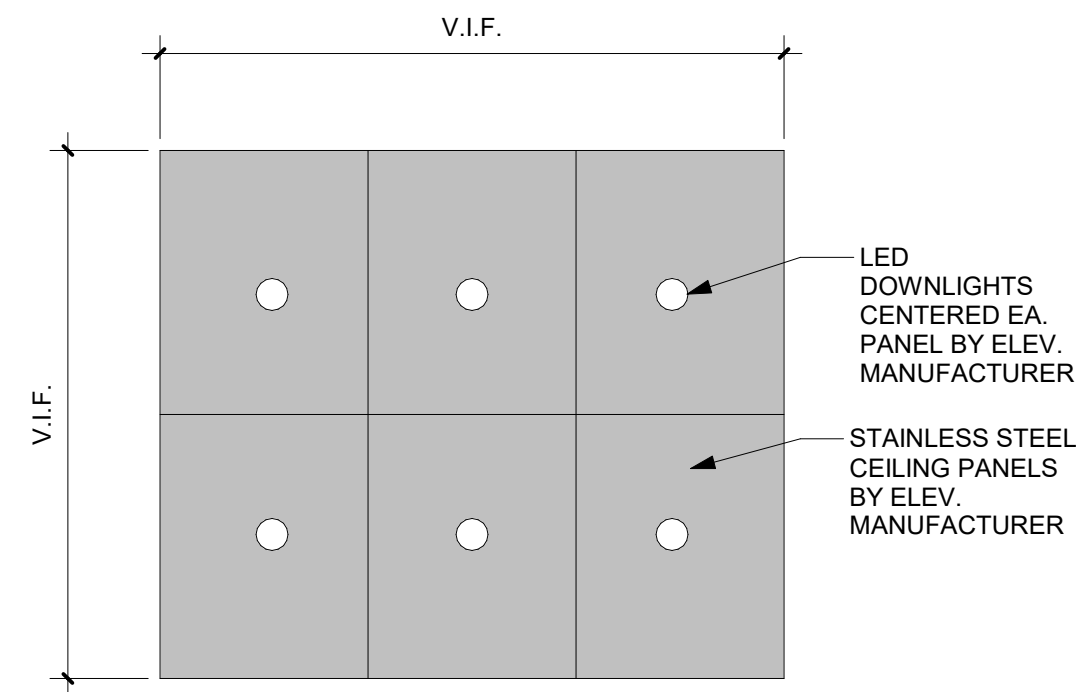
#	KEYED NOTES - ELEVATOR
TAG	DESCRIPTION
01	SERVICE ELEVATOR BOB: KONE MONOSPACE 500 DX, 5000LBS CAPACITY
02	NEW ELEVATOR SUMP PIT AND GRATE. REFER TO ELEV MANUF. SPECIFICATIONS FOR ADD'L INFO
03	NEW ELEVATOR PIT LADDER. SEE ELEV MANUF. SPECIFICATIONS
04	CARTS SHOWN FOR REFERENCE. NOT IN CONTRACT
05	PROVIDE DEFLECTION TRACK AT TOP OF PARTITION TO ACCOMMODATE 1/2" MOVEMENT
06	PROVIDE 48" HIGH, HEAVY DUTY, INDUSTRIAL-GRADE HIGH-DENSITY POLYETHYLENE CORNER GUARD. BOB: DURABLE CORP
07	PROVIDE SILICONE SEALANT. BOB: SIKA
08	PAINT FIRST AND SECOND FLOORS SHAFT WALL PERIMETER FACES FROM FLOOR TO BOTTOM OF STRUCTURE ABOVE WITH ONE COAT PREPARE BLOCK FILLER AND TWO TOP COATS PROMAR 200 INTERIOR WATERBASED ACRYLIC ALKYD PAINT
09	PAINT CONTROL CLOSET WALL FACES WITH TWO COATS PROMAR 200 INTERIOR WATERBASED ACRYLIC ALKYD PAINT
10	6" VINYL WALL BASE AT PERIMETER CONTROL CLOSET WALL FACES. BOB: TARKETT, COLOR: TBD
11	REFER TO MANUFACTURER SPECIFICATIONS FOR CAR DIMENSIONS
12	EMERGENCY WALL PACK. REFER TO ELECTRICAL DRAWINGS
13	EXTENT OF NEW CONCRETE FLOOR BELOW. REFER TO ARCH SECTION DETAIL B1/A52-03
14	NEW ELEVATOR PIT LADDER. SEE ELEV MANUF. SPECIFICATIONS
15	NEW VINYL WALL BASE AT SHAFT PERIMETER AT EACH FLOOR. BOB: TARKETT
16	ELEVATOR CAR RAILINGS. COLOR: BRUSHED STAINLESS STEEL



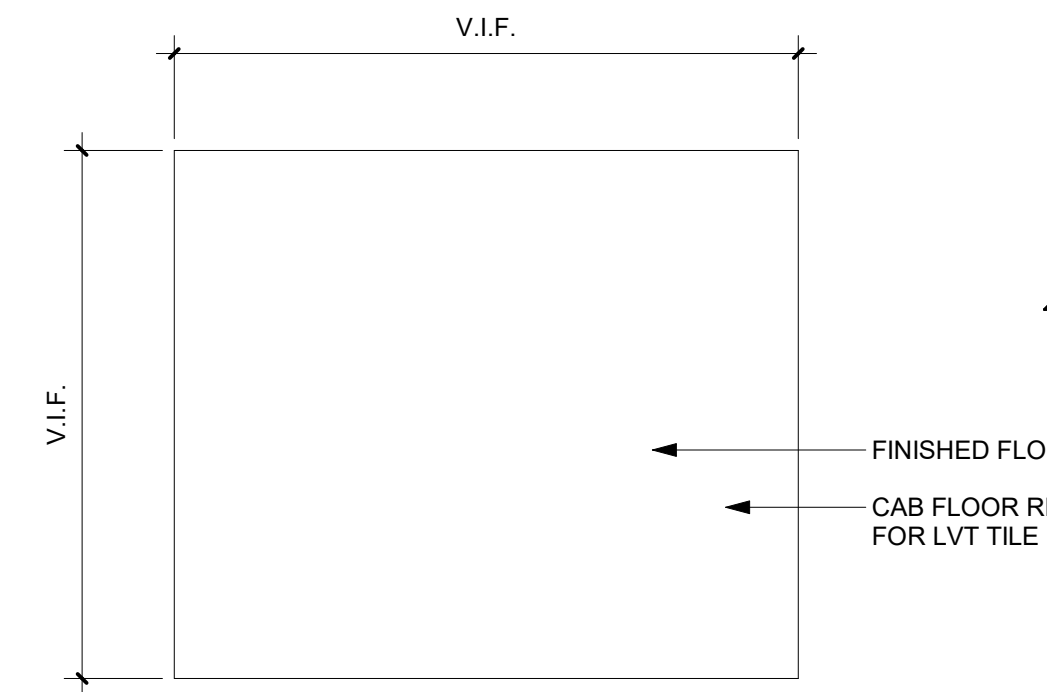
E4 ENLARGED ELEVATOR PLAN - ROOF
SCALE: 3/8" = 1'-0"



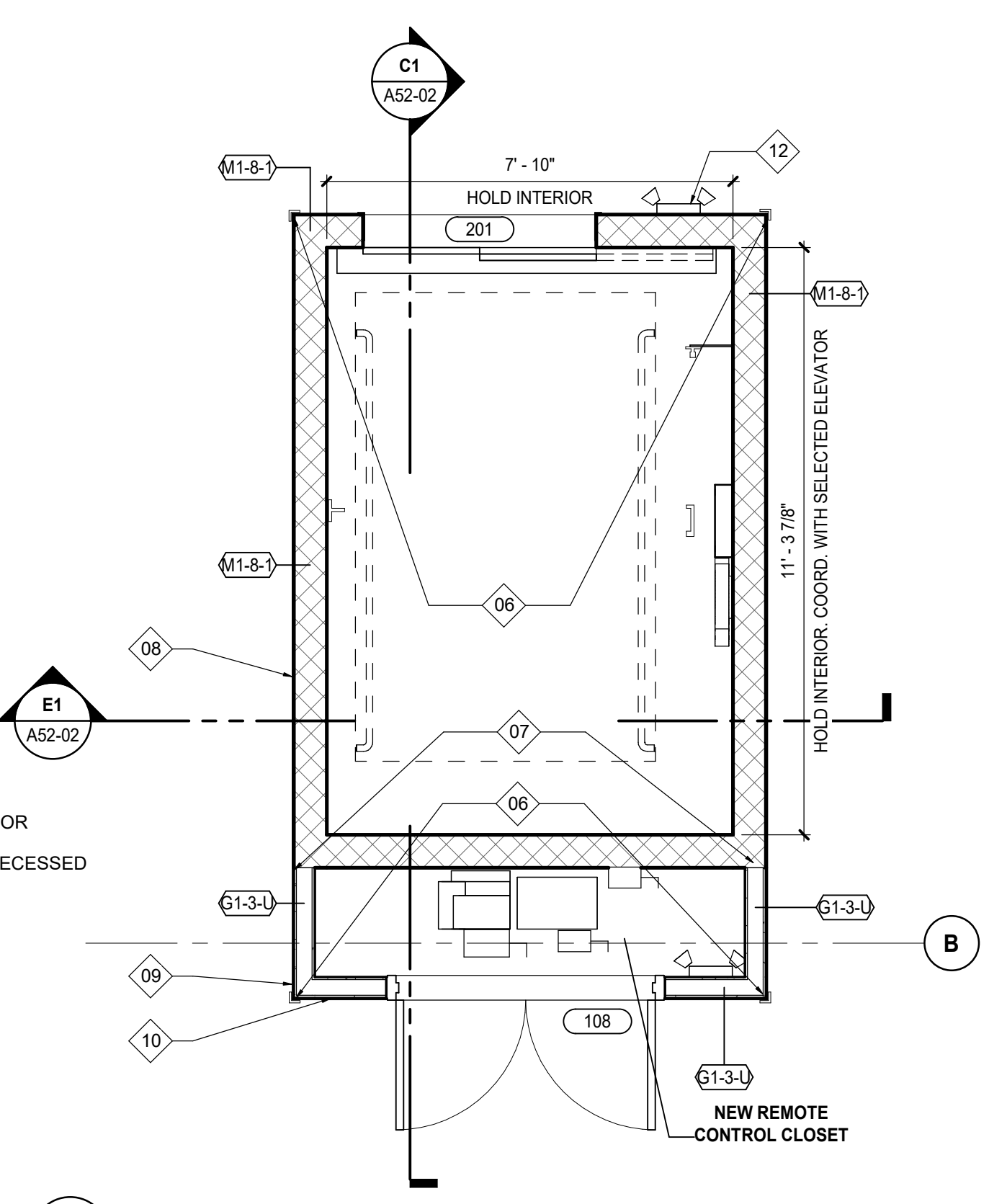
C3 ENLARGED ELEVATOR PLAN - INTERMEDIATE FLOOR
SCALE: 3/8" = 1'-0"



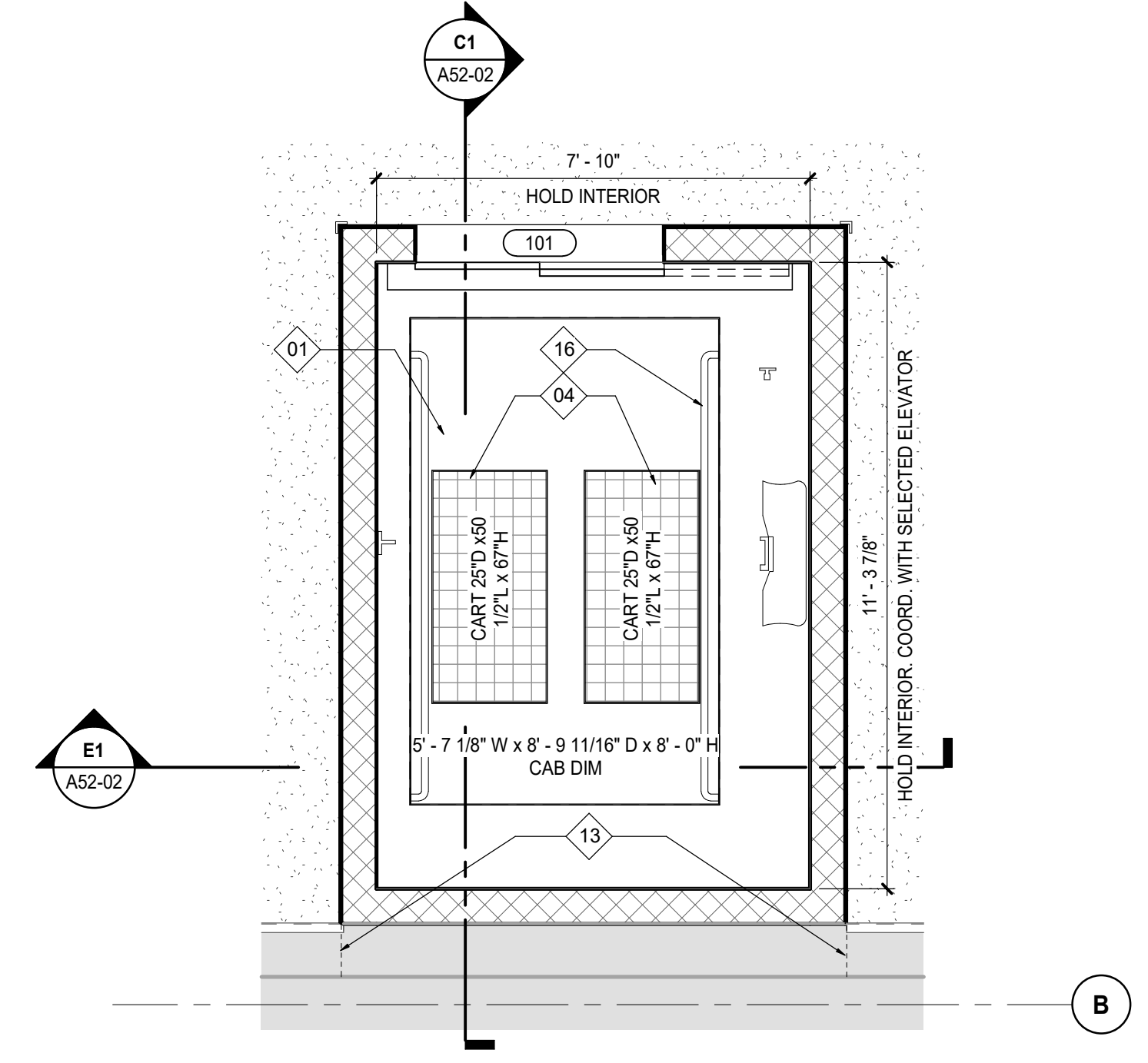
E2 ELEVATOR - CAB CEILING PLAN
SCALE: 1/2" = 1'-0"



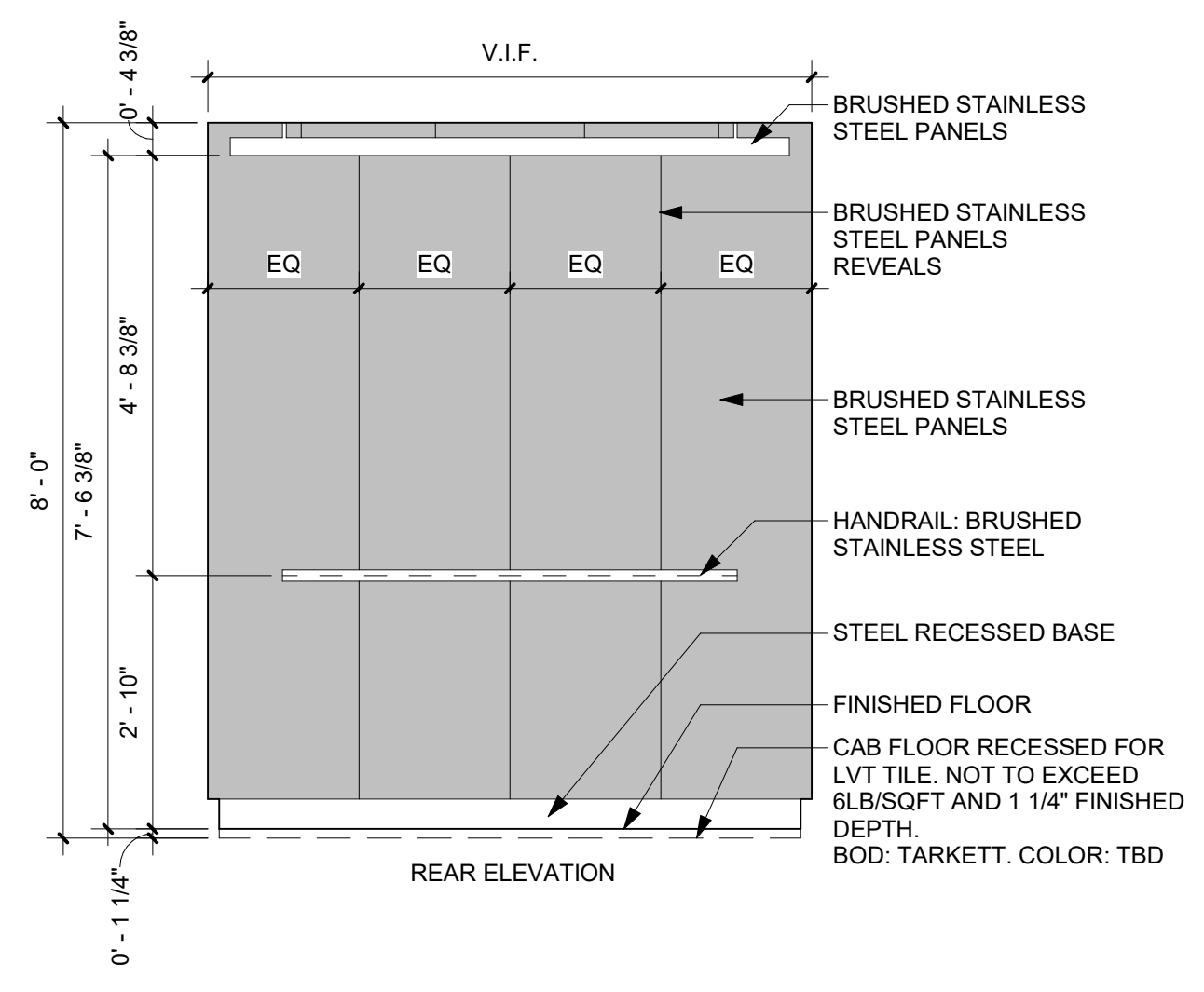
D2 ELEVATOR - CAB FLOOR PLAN
SCALE: 1/2" = 1'-0"



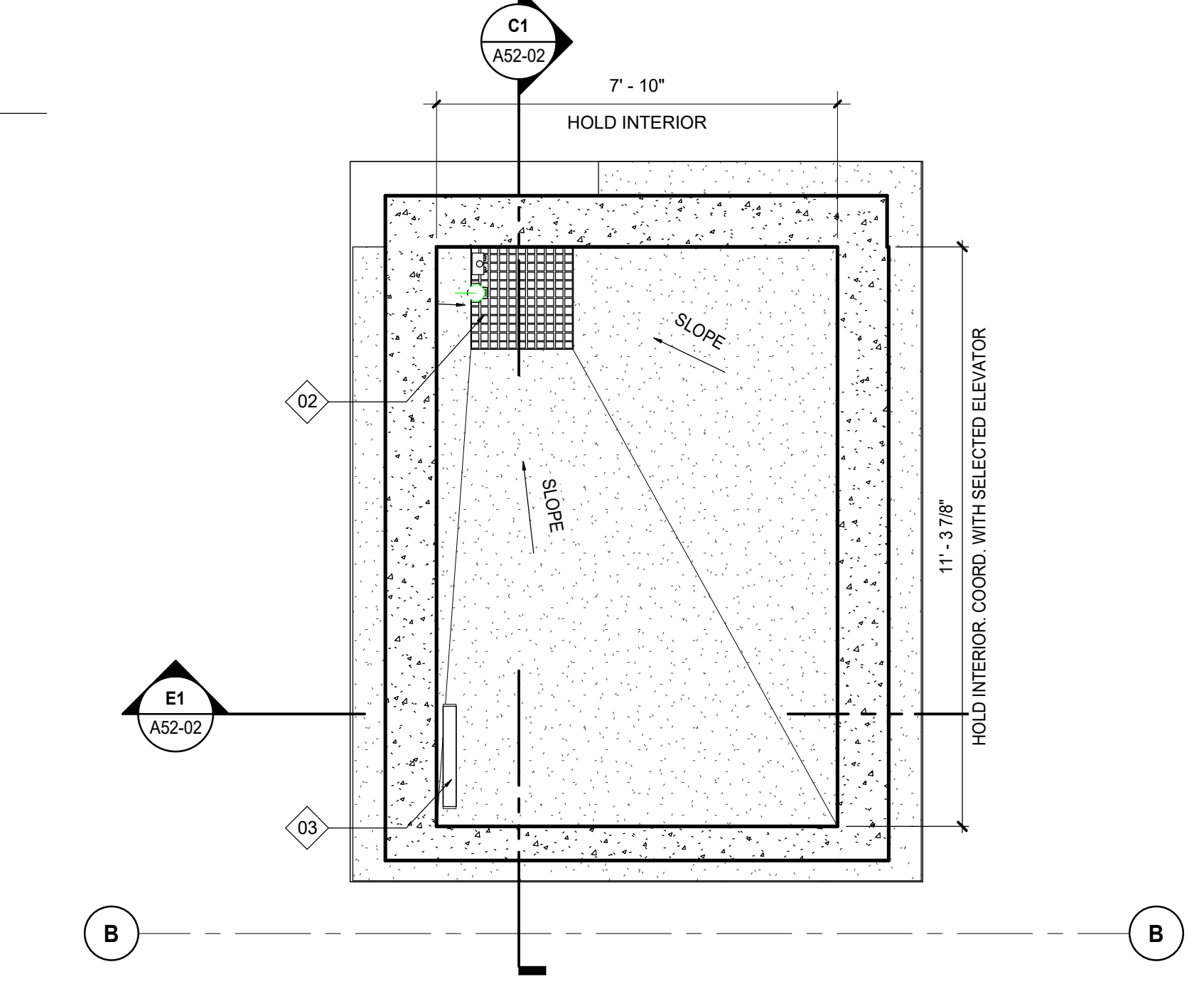
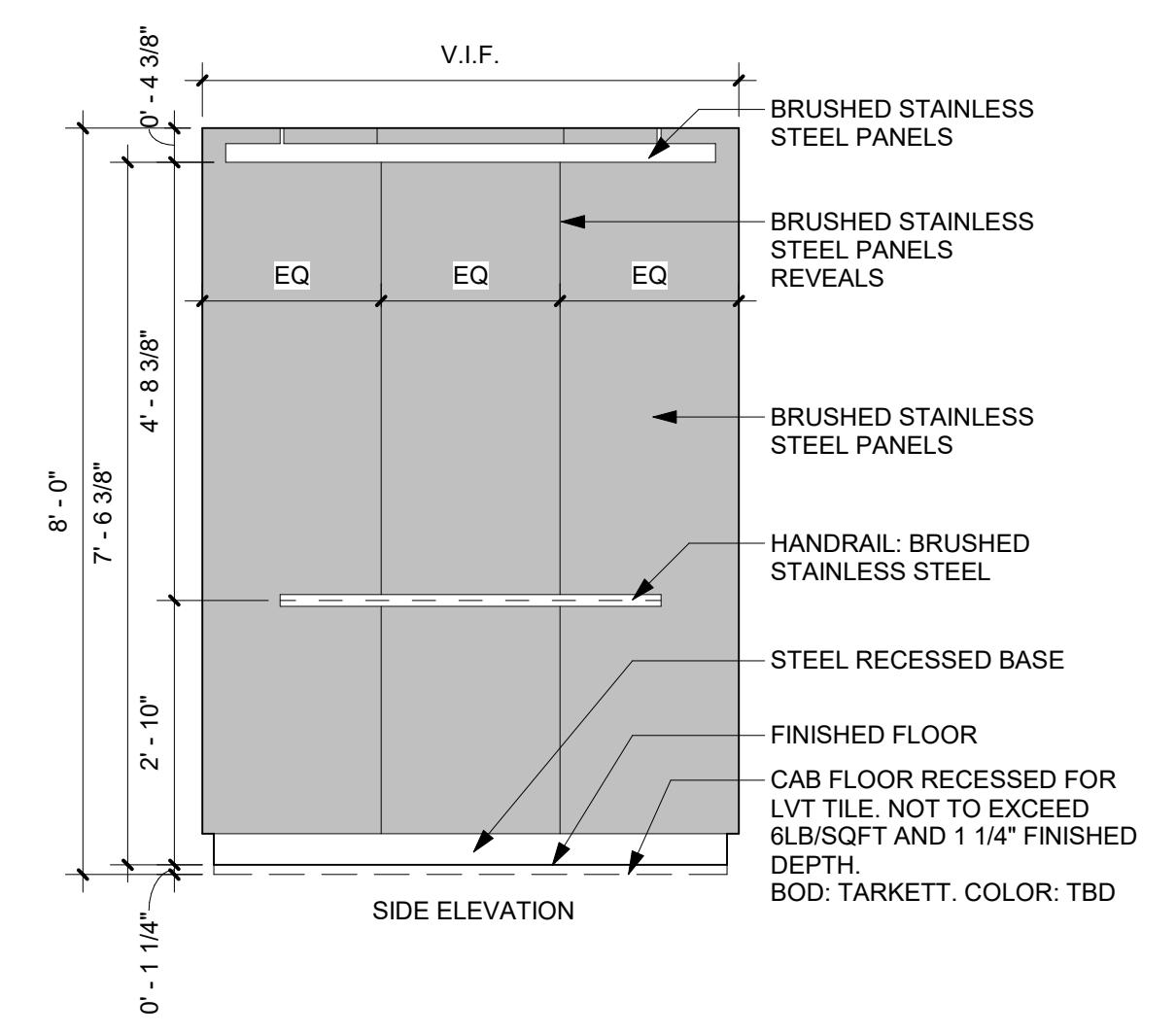
C2 ENLARGED ELEVATOR PLAN - SECOND FLOOR
SCALE: 3/8" = 1'-0"



B2 ENLARGED ELEVATOR PLAN - FIRST FLOOR
SCALE: 3/8" = 1'-0"

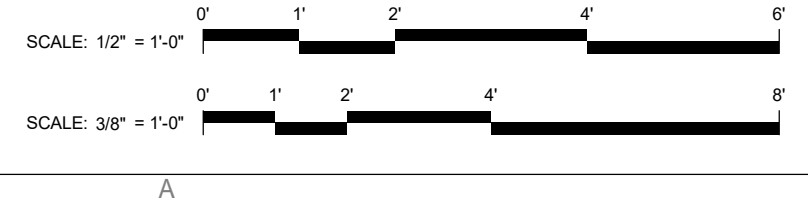
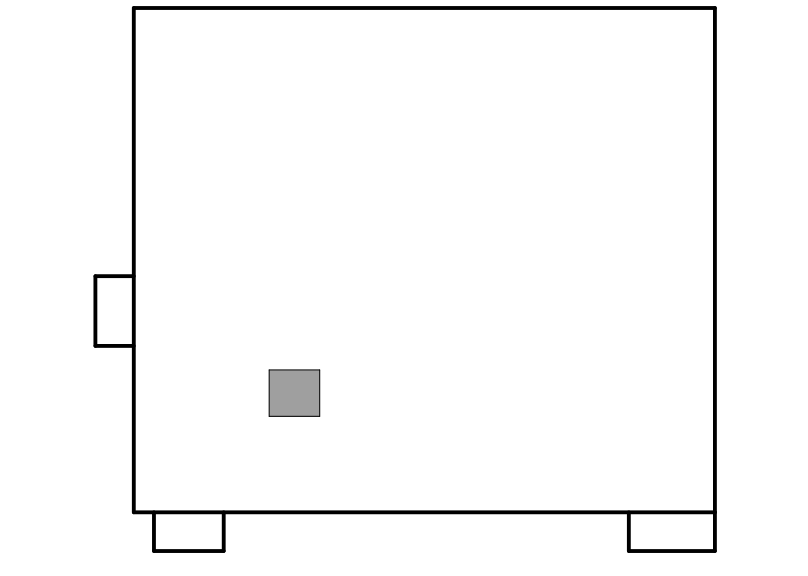


E1 ELEVATOR - CAB ELEVATIONS
SCALE: 1/2" = 1'-0"



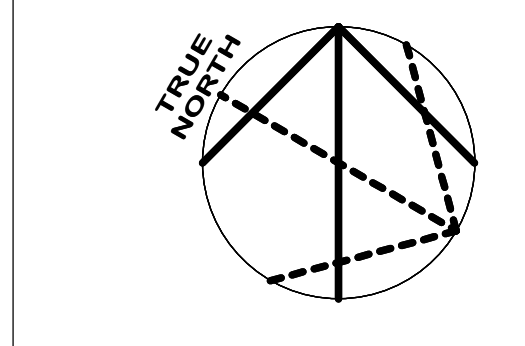
B1 ENLARGED PLAN - ELEVATOR PIT
SCALE: 3/8" = 1'-0"

KEY PLAN



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Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal



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Project Manager

BM
Project Architect
CP

Drawn

Author
Checked
Checker

**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**

105 W 3RD ST, MEDIA, PA 19063

**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**

403 EAST 24TH STREET, CHESTER, PA 19013

**VERTICAL
TRANSPORTATION PLANS
AND ELEVATIONS**

Project No. IN2325-0323

Drawing No. **A52-01**

KEYED NOTES - ELEVATOR	
TAG	DESCRIPTION
01	SERVICE ELEVATOR BOD: KONE MONOSPACE 500 DX, 5000LBS CAPACITY
02	NEW ELEVATOR SUMP PIT AND GRATE: REFER TO ELEV MANUF. SPECIFICATIONS FOR ADD'L INFO
03	NEW ELEVATOR PIT LADDER: SEE ELEV MANUF. SPECIFICATIONS
04	CARTS SHOWN FOR REFERENCE. NOT IN CONTRACT
05	PROVIDE DEFLECTION TRACK AT TOP OF PARTITION TO ACCOMMODATE 1/2" MOVEMENT
06	PROVIDE 48" HIGH, HEAVY DUTY, INDUSTRIAL-GRADE HIGH-DENSITY POLYETHYLENE CORNER GUARD: BOD: DURABLE CORP
07	PROVIDE SILICONE SEALANT: BOD: SIKA
08	PAINT FIRST AND SECOND FLOORS SHAFT WALL PERIMETER: FACES FROM FLOOR TO BOTTOM OF STRUCTURE ABOVE: WITH ONE COAT PREPRITE BLOCK FILLER AND TWO TOP COATS PROMAR 200 INTERIOR WATERBASED ACRYLIC ALKYD PAINT
09	PAINT CONTROL CLOSET WALL FACES WITH TWO COATS PROMAR 200 INTERIOR WATERBASED ACRYLIC ALKYD PAINT
10	6" VINYL WALL BASE AT PERIMETER CONTROL CLOSET WALL FACES: BOD: TARKETT, COLOR: TBD
11	REFER TO MANUFACTURER SPECIFICATIONS FOR CAR DIMENSIONS
12	EMERGENCY WALLPACK: REFER TO ELECTRICAL DRAWINGS
13	EXTENT OF NEW CONCRETE FLOOR BELOW: REFER TO ARCH SECTION DETAIL B1/A52-03
14	NEW ELEVATOR PIT LADDER: SEE ELEV MANUF. SPECIFICATIONS
15	NEW VINYL WALL BASE AT SHAFT PERIMETER AT EACH FLOOR: BOD: TARKETT
16	ELEVATOR CAR RAILINGS: COLOR: BRUSHED STAINLESS STEEL

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A
2026.04.28	PLAN REVIEW	B
2026.06.18	REISSUED FOR BID	C

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 Electrical: NORR

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 Philadelphia, PA 19103
 norr.com

Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

Client

**COUNTY OF DELAWARE
 DEPARTMENT OF PUBLIC
 WORKS**

105 W 3RD ST, MEDIA, PA 19063

Project

**VOTING MACHINE
 WAREHOUSE ELEVATOR
 ADDITION**

403 EAST 24TH STREET, CHESTER, PA 19013

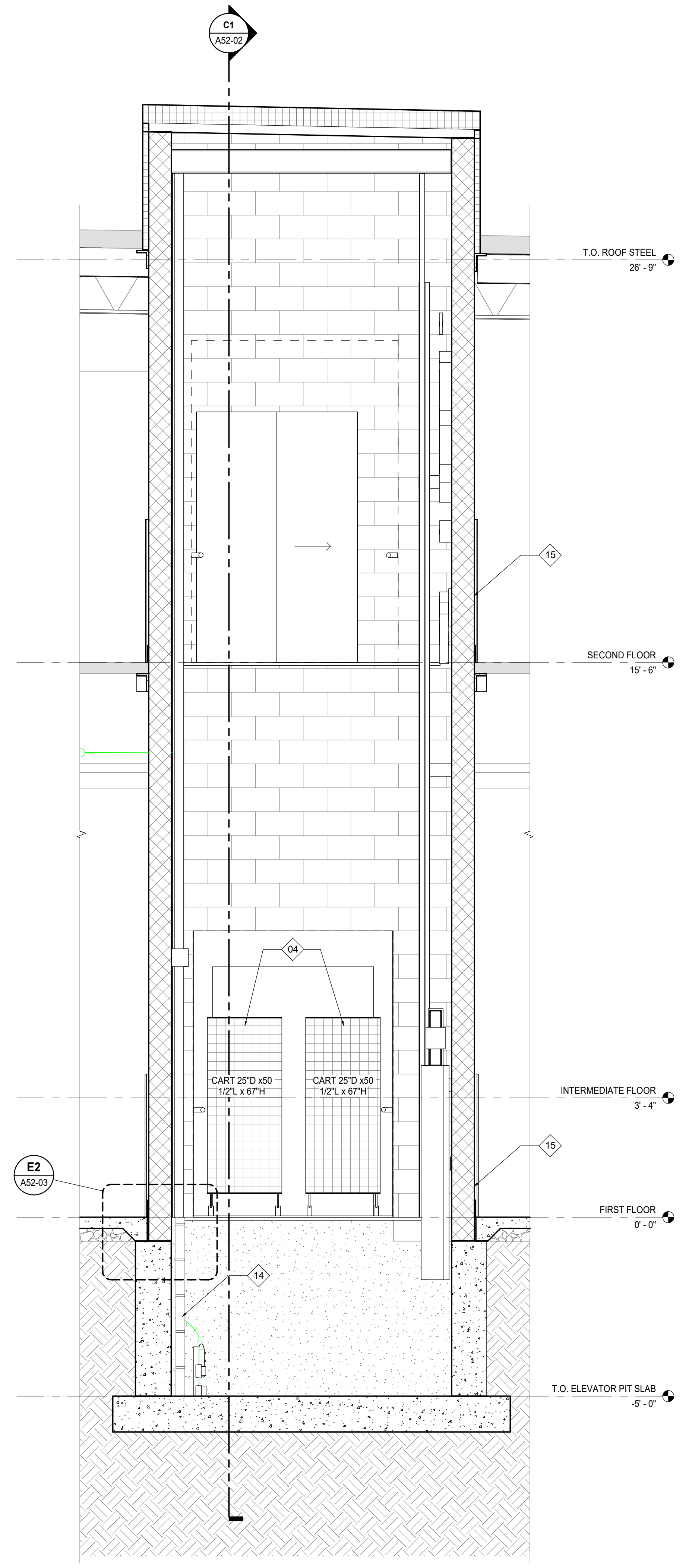
Drawing Title

**VERTICAL
 TRANSPORTATION
 SECTIONS**

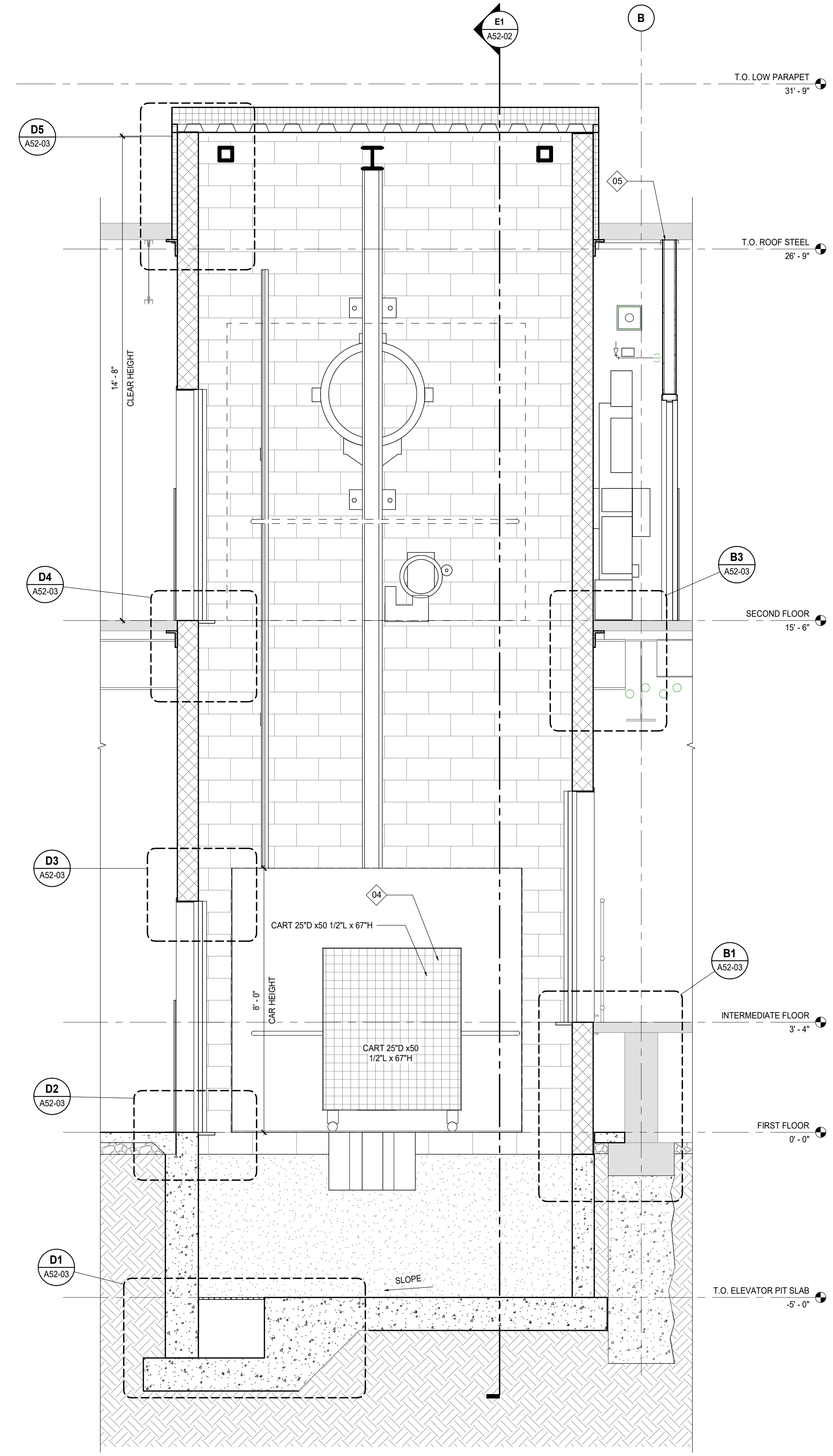
Project No.
IN2325-0323

Drawing No.
A52-02

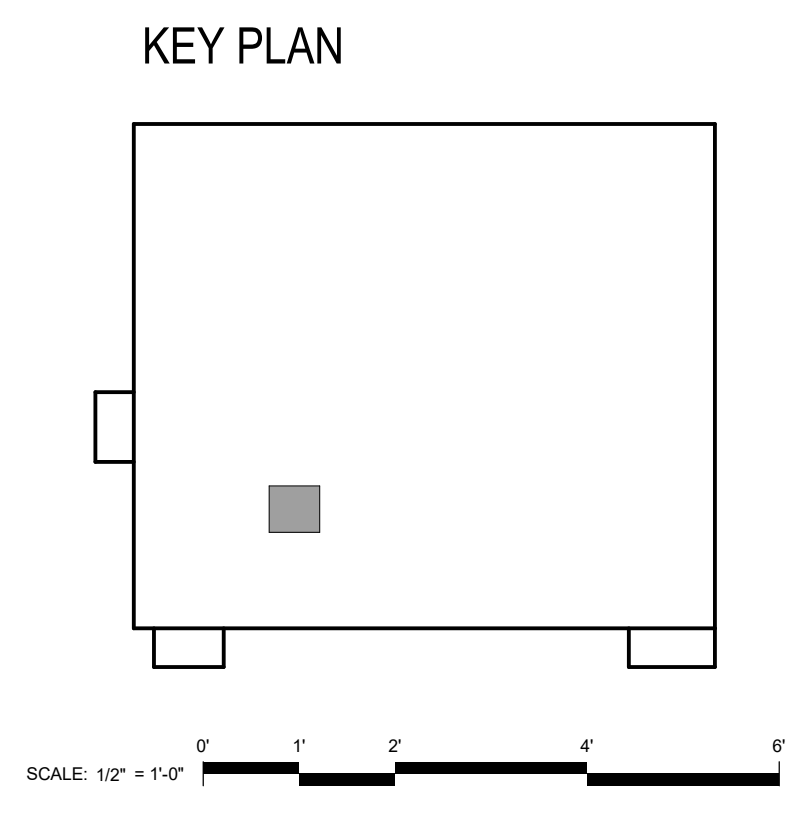
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E1
A52-02
ENLARGED ELEVATOR TRAVERSE SECTION
SCALE: 1/2" = 1'-0"

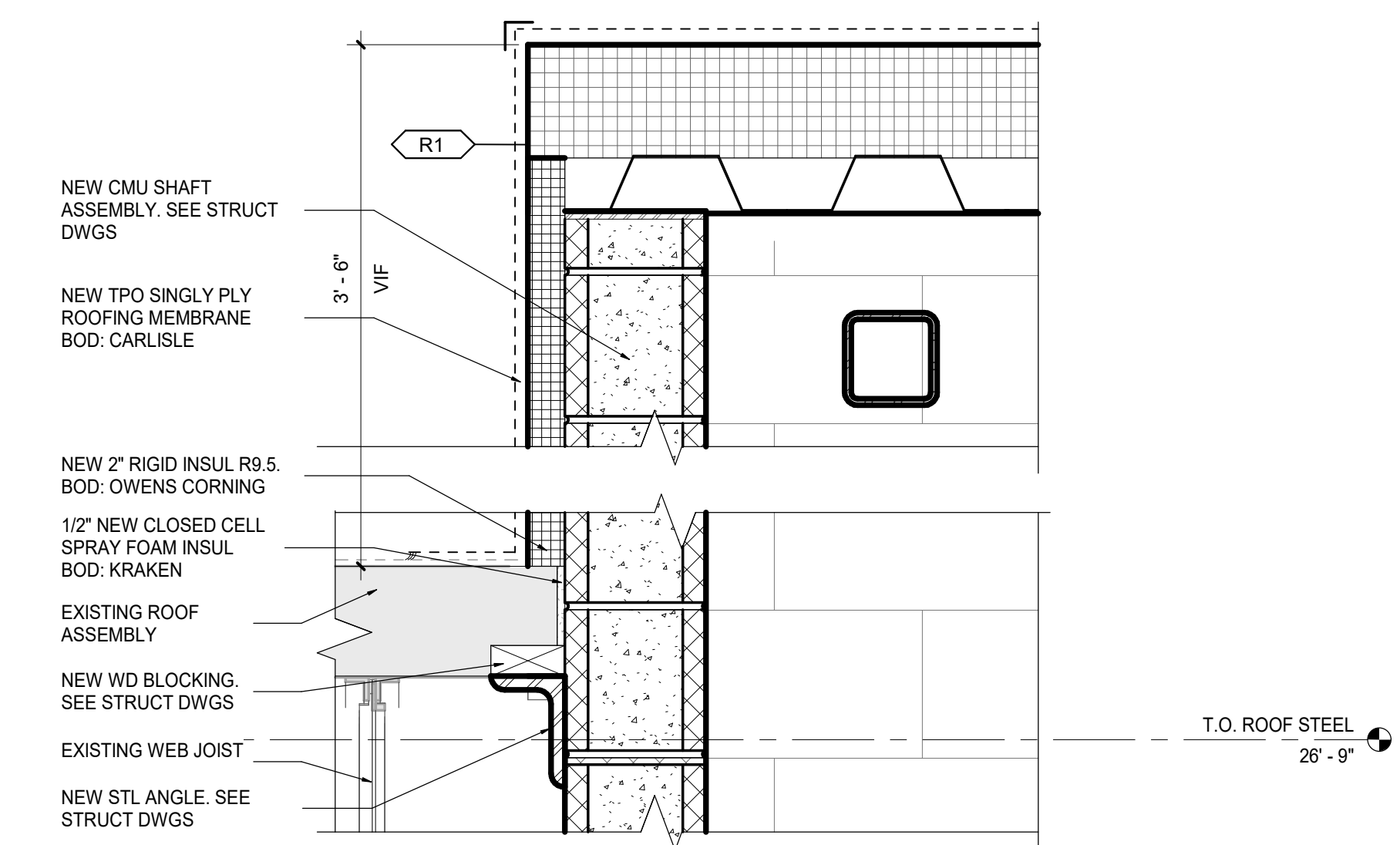


C1
A52-02
ENLARGED ELEVATOR LONGITUDINAL SECTION
SCALE: 1/2" = 1'-0"

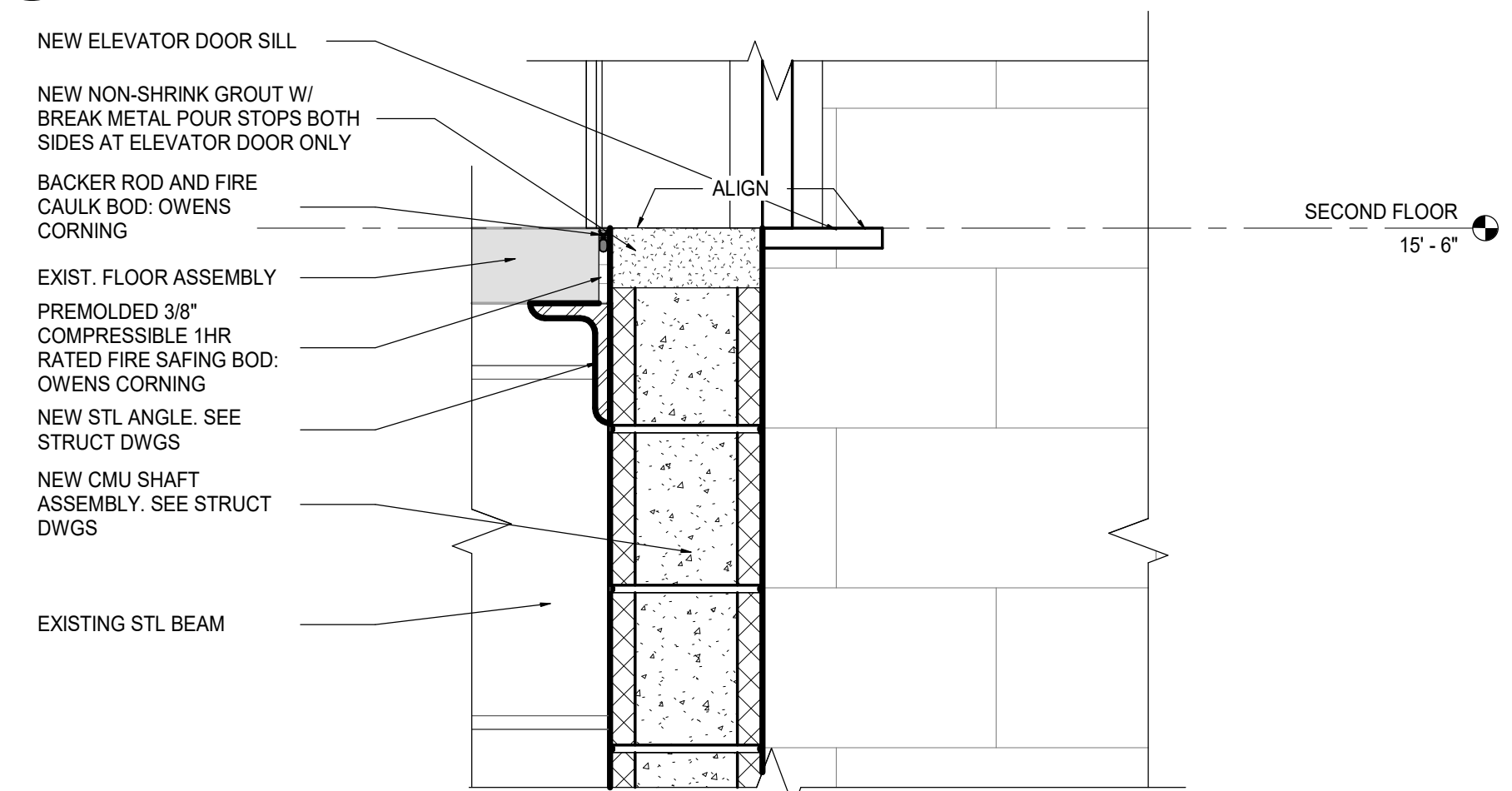


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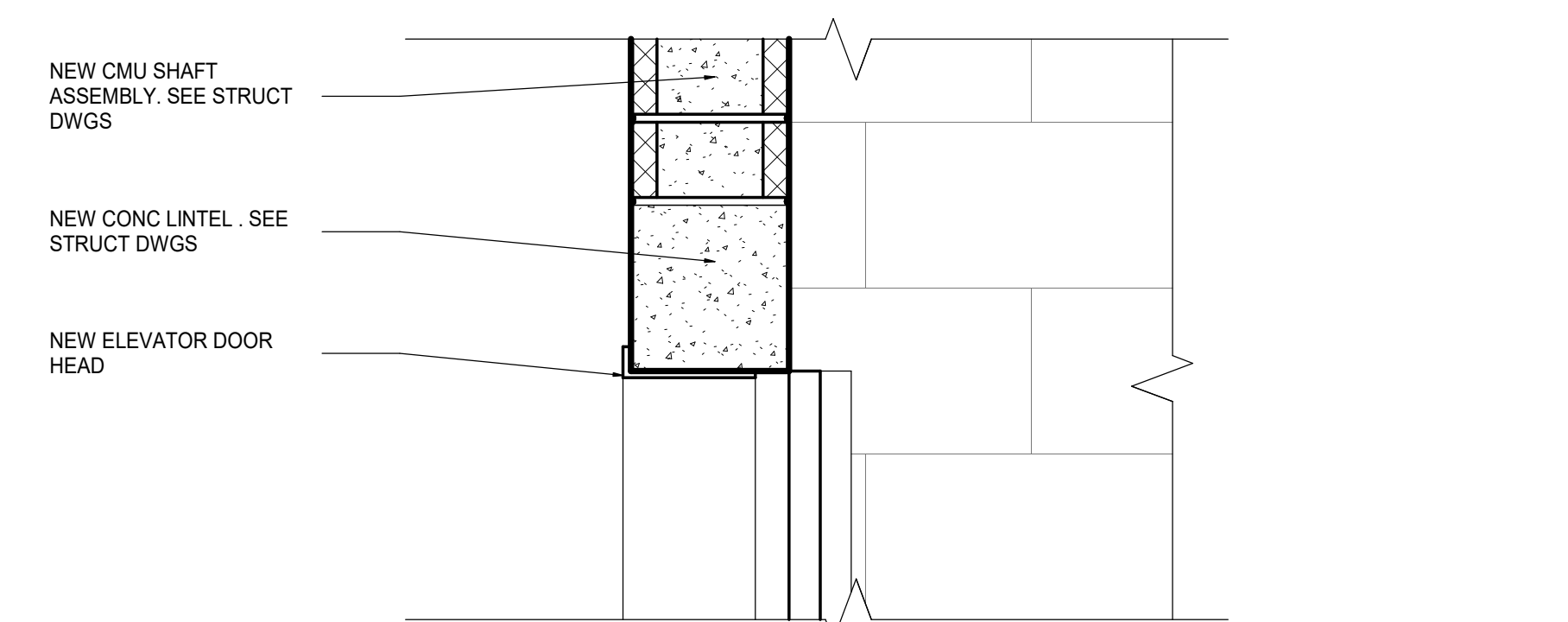
DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A
2026.04.28	PLAN REVIEW	B
2026.06.18	REISSUED FOR BID	C



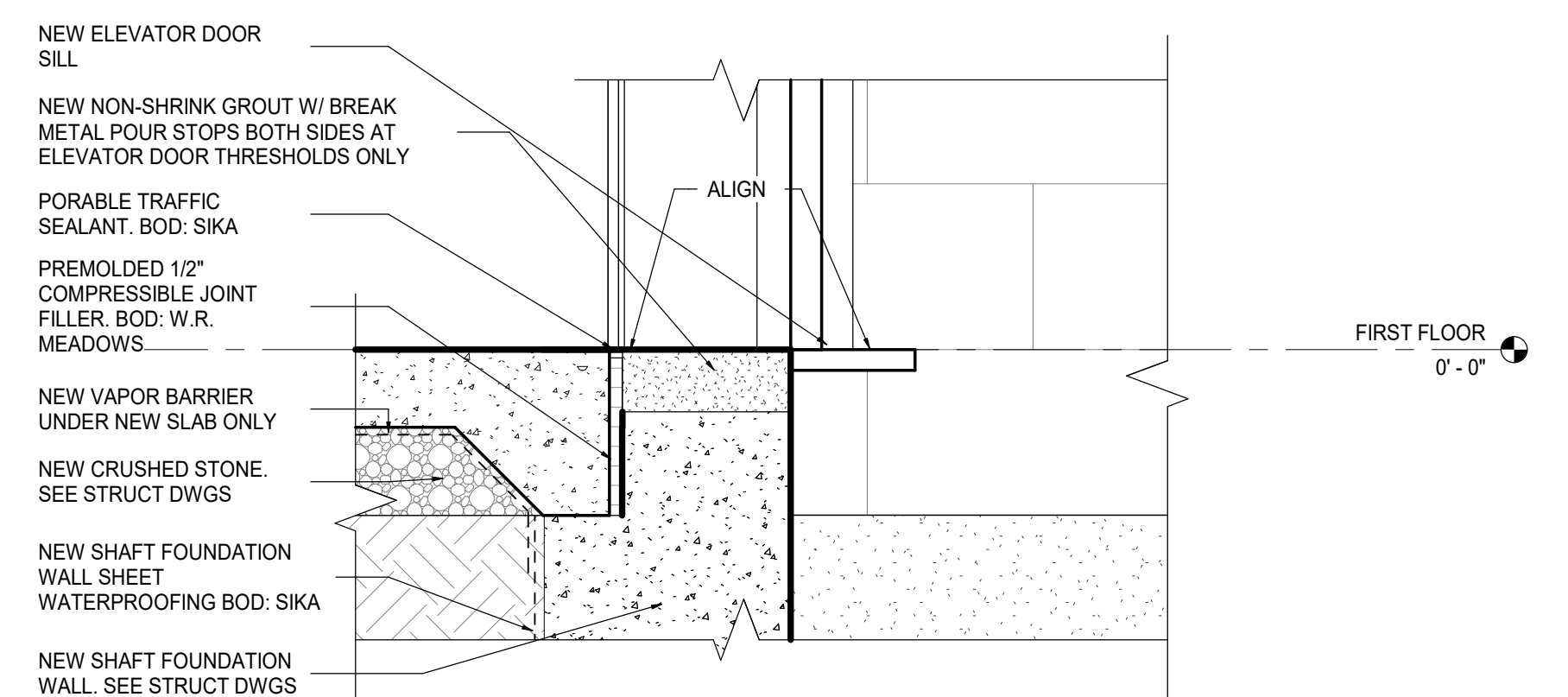
D5
AS2-03
ENLARGED SECTION DETAIL @ SHAFT/ROOF INTERSECTION
SCALE: 1 1/2" = 1'-0"



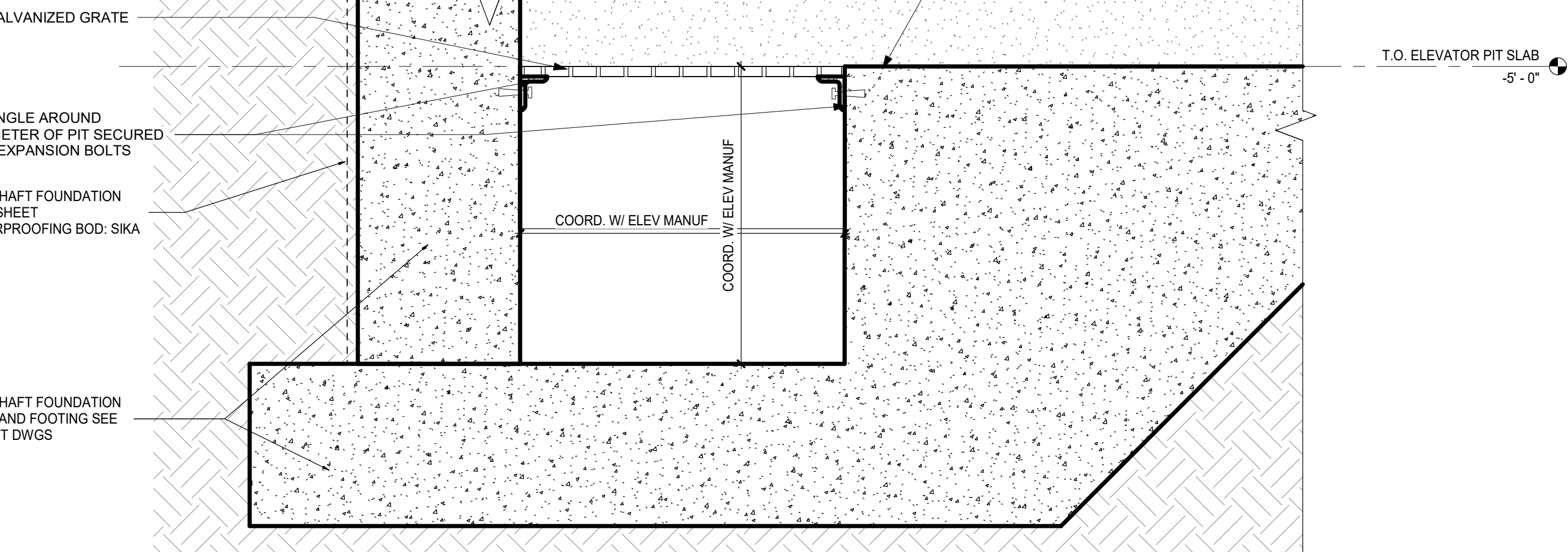
D4
AS2-03
ENLARGED SECTION DETAIL @ 2ND FLOOR ELEVATOR DOOR SILL
SCALE: 1 1/2" = 1'-0"



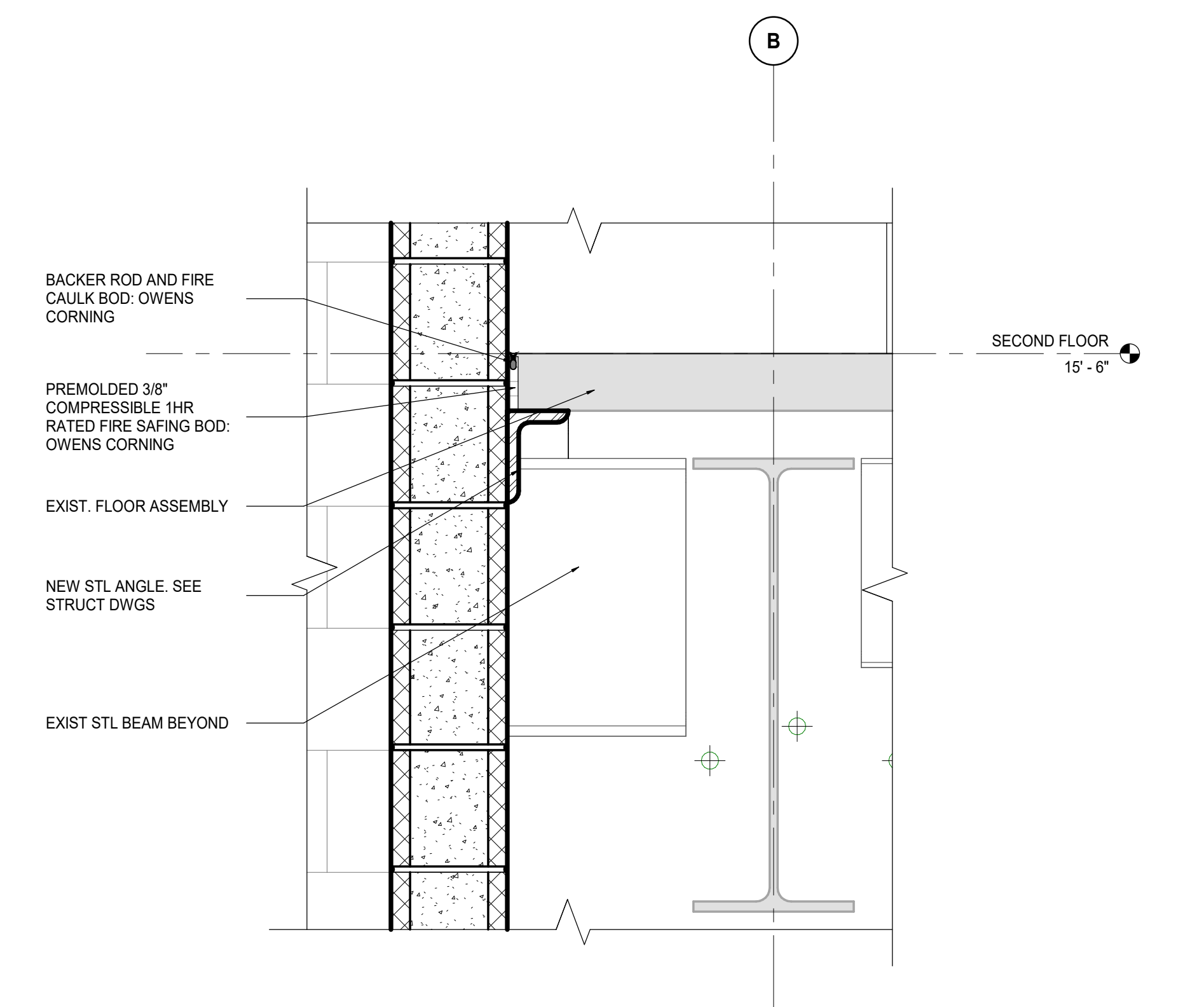
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AS2-03
TYPICAL ENLARGED SECTION DETAIL @ ELEVATOR DOOR HEAD
SCALE: 1 1/2" = 1'-0"



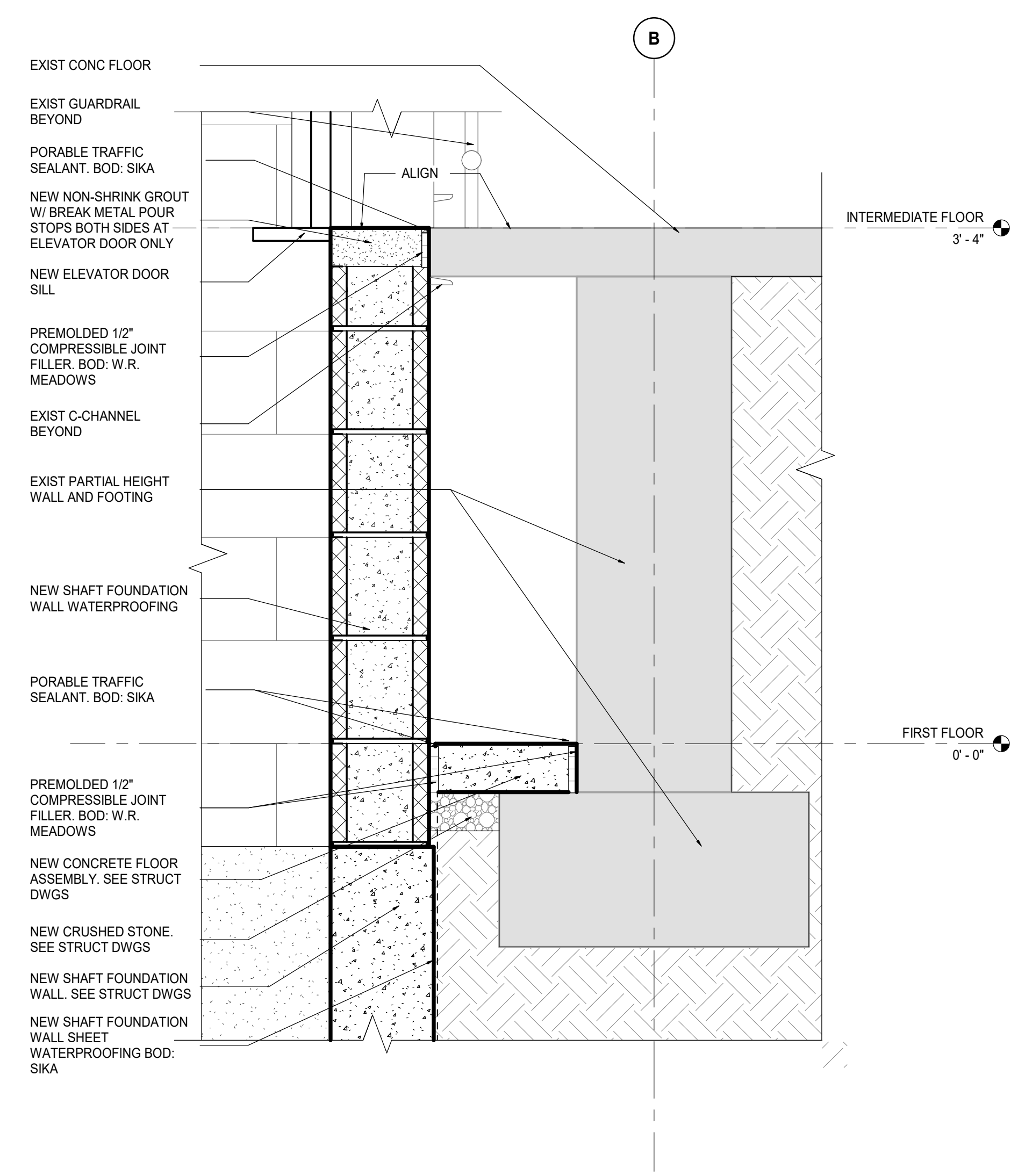
D2
AS2-03
ENLARGED SECTION DETAIL @ 1ST FLOOR ELEVATOR DOOR SILL
SCALE: 1 1/2" = 1'-0"



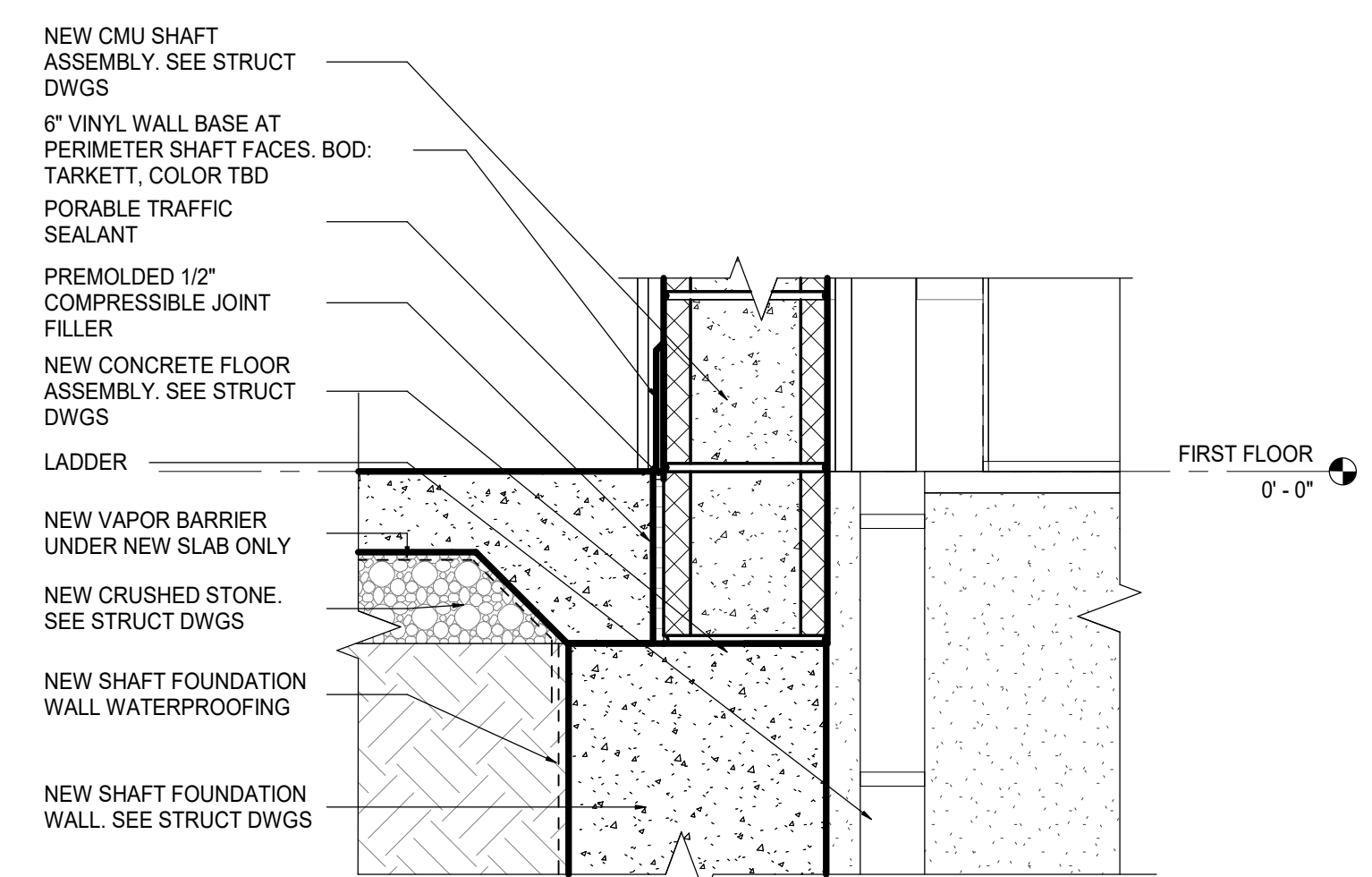
D1
AS2-03
ENLARGED SECTION DETAIL @ ELEVATOR SUMP PIT
SCALE: 1 1/2" = 1'-0"



B3
AS2-03
ENLARGED SECTION DETAIL @ 2ND FLOOR SHAFT/EXISTING FLOOR INTERSECTION
SCALE: 1 1/2" = 1'-0"



B1
AS2-03
ENLARGED SECTION DETAIL @ INTERMEDIATE FLOOR ELEVATOR DOOR SILL
SCALE: 1 1/2" = 1'-0"




E2
AS2-03
ENLARGED SECTION DETAIL @ 1ST FLOOR SHAFT/FLOOR INTERSECTION
SCALE: 1 1/2" = 1'-0"

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Project Manager: BM
Project Architect: CP
Client: COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS
105 W 3RD ST, MEDIA, PA 19063

Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title: VERTICAL TRANSPORTATION DETAILS

Project No.: IN2325-0323
Drawing No.: AS2-03

