

STATE OF DELAWARE

OMB / DIVISION OF FACILITIES MANAGEMENT

OMB / DFM CONTRACT # MC3701000092

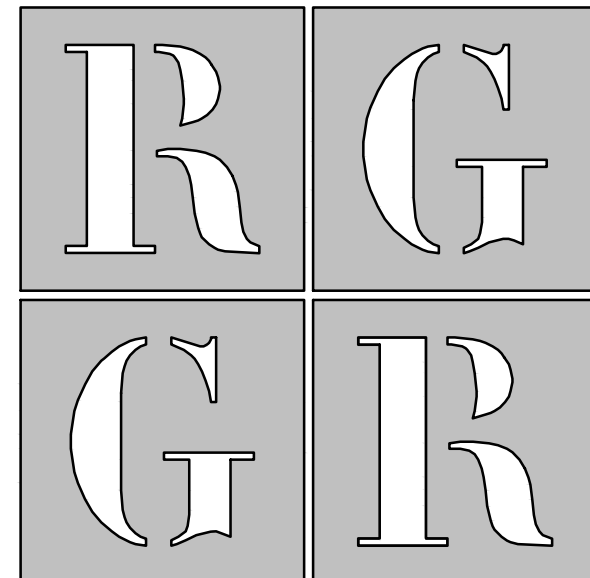
ADMINISTRATION BUILDING, MURPHY COTTAGE & ANNEX BUILDING FINISHES RENOVATIONS

DEPARTMENT OF SERVICES FOR CHILDREN YOUTH AND THEIR FAMILIES

FERRIS CAMPUS

1825 FAULKLAND ROAD,

WILMINGTON, DELAWARE, 19805



R G Architects, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
302.376.8100

ISSUED FOR:
DFM 99% REVIEW BIDDING 9 FEB 2026
14 APRIL 2026

PROJECT INFO:
DSCYF - Administration Building, Murphy Cottage & Annex Building Finishes Renovations MC3701000092
1825 FAULKLAND ROAD WILMINGTON, DE 19805

SHEET INFO:
PROJECT NO: 25039
DRAWN BY: NSG
CHECKED BY: GDR
SCALE: AS NOTED
DATE: 14 APRIL 2026

TITLE & NO.:

GENERAL TITLE SHEET

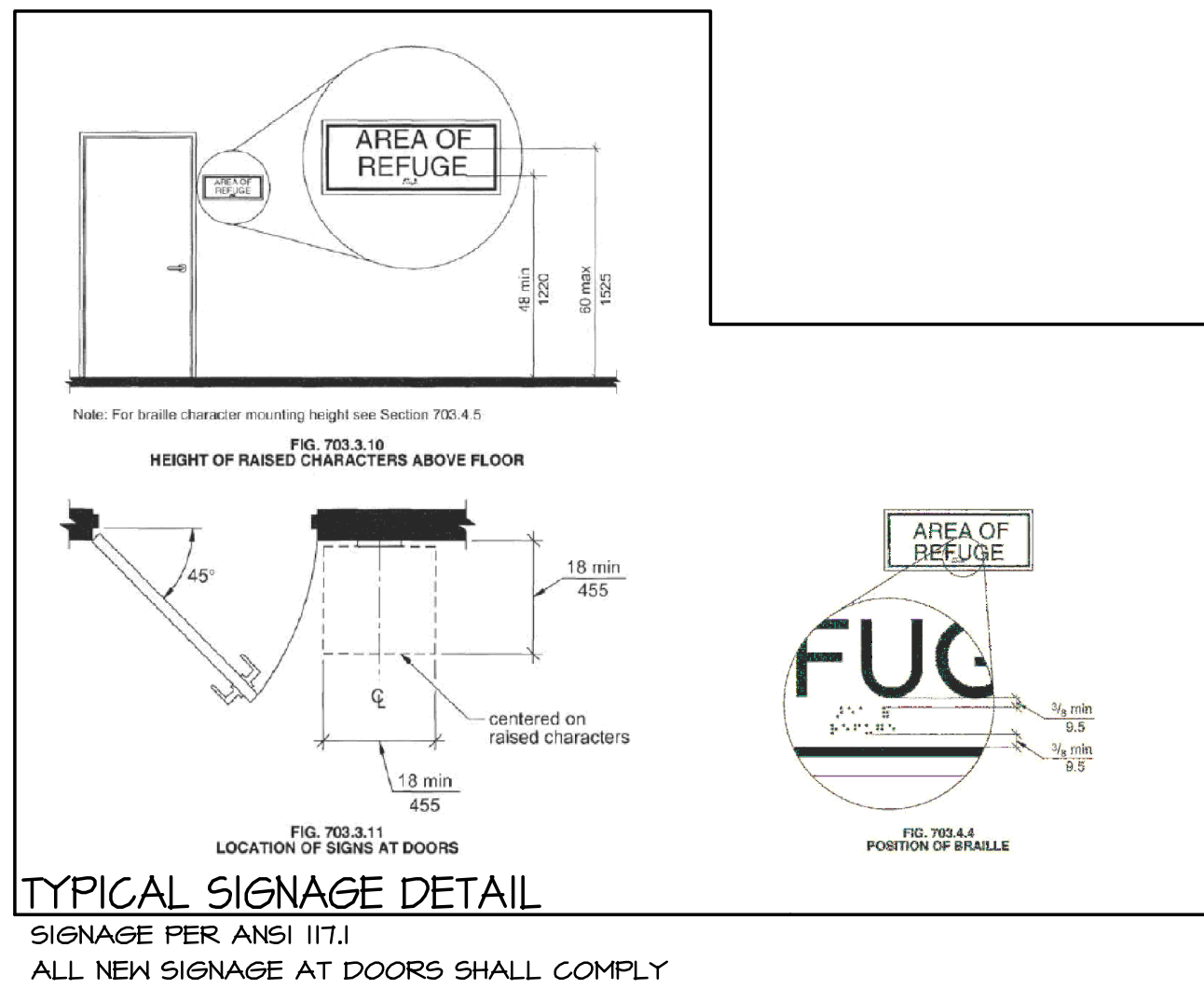
T1.1

| LOCATION MAP | AREA MAP | SITE MAP | DRAWING LIST | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <p>PROJECT AREA DSCYF Ferris Campus 1825 Faulkland Rd, Wilmington, DE 19805</p> | <p>PROJECT SITE</p> | <p>ADMIN, MURPHY, & ANNEX BUILDING</p> | <table border="1"> <thead> <tr> <th colspan="2">GENERAL</th> </tr> </thead> <tbody> <tr> <td>T1.1</td> <td>GENERAL TITLE SHEET</td> </tr> <tr> <th colspan="2">ARCHITECTURAL</th> </tr> <tr> <td>A0.00</td> <td>ARCHITECTURAL LEGENDS, NOTES AND ABBREVIATIONS</td> </tr> <tr> <td>AD1.01</td> <td>PARTIAL FIRST FLOOR DEMOLITION PLANS - ADMIN</td> </tr> <tr> <td>AD1.02</td> <td>PARTIAL FIRST FLOOR DEMOLITION PLANS - MURPHY, ANNEX</td> </tr> <tr> <td>AD2.01</td> <td>PARTIAL SECOND FLOOR DEMOLITION PLANS - ADMIN</td> </tr> <tr> <td>AD2.02</td> <td>PARTIAL SECOND FLOOR DEMOLITION PLANS - ADMIN</td> </tr> <tr> <td>AD2.03</td> <td>PARTIAL GROUND FLOOR DEMOLITION PLANS - MURPHY, ANNEX</td> </tr> <tr> <td>AD3.01</td> <td>DEMOLITION INTERIOR ELEVATIONS @ LOBBY STAIRS</td> </tr> <tr> <td>AD4.01</td> <td>ALTERNATE DEMOLITION STAIR PLANS</td> </tr> <tr> <td>A0.01</td> <td>MATERIAL SCHEDULE</td> </tr> <tr> <td>A0.02</td> <td>ROOM FINISH SCHEDULE</td> </tr> <tr> <td>A0.03</td> <td>ROOM FINISH SCHEDULE CONT.</td> </tr> <tr> <td>A1.01</td> <td>PARTIAL FIRST FLOOR RENOVATION PLANS - ADMIN</td> </tr> <tr> <td>A1.02</td> <td>PARTIAL FIRST FLOOR RENOVATION PLANS - MURPHY, ANNEX</td> </tr> <tr> <td>A2.01</td> <td>PARTIAL SECOND FLOOR RENOVATION PLANS - ADMIN</td> </tr> <tr> <td>A2.02</td> <td>PARTIAL SECOND FLOOR RENOVATION PLANS - MURPHY</td> </tr> <tr> <td>A2.03</td> <td>PARTIAL GROUND FLOOR RENOVATION PLANS - MURPHY, ANNEX</td> </tr> <tr> <td>A3.01</td> <td>DOOR PAINTING AND DOOR/FRAME SCHEDULE & TYPES</td> </tr> <tr> <td>A3.02</td> <td>DOOR AND FRAME PAINTING SCHEDULE CONT.</td> </tr> <tr> <td>A3.03</td> <td>WINDOW PAINTING SCHEDULE & TYPES</td> </tr> <tr> <td>A4.01</td> <td>PARTIAL REFLECTED CEILING PLANS - ADMIN, MURPHY, ANNEX</td> </tr> <tr> <td>A5.01</td> <td>RENOVATION INTERIOR ELEVATIONS @ LOBBY STAIRS</td> </tr> <tr> <td>A6.01</td> <td>ALTERNATE RENOVATION STAIR PLANS</td> </tr> <tr> <td>A6.02</td> <td>ALTERNATE RENOVATION STAIR PLANS</td> </tr> <tr> <td>A7.01</td> <td>FIRST AND SECOND FLOOR FURNITURE PLAN</td> </tr> <tr> <th colspan="2">ELECTRICAL</th> </tr> <tr> <td>E0.01</td> <td>ELECTRICAL LEGEND & ABBREVIATIONS</td> </tr> <tr> <td>ED1.01</td> <td>ELECTRICAL PARTIAL 1ST FLR. DEMOLITION PLAN - ADMIN BUILDING</td> </tr> <tr> <td>ED1.02</td> <td>ELECTRICAL PARTIAL 2ND FLR. DEMOLITION PLAN - ADMIN BUILDING</td> </tr> <tr> <td>E1.01</td> <td>ELECTRICAL PARTIAL 1ST FLR. NEW WORK PLAN - ADMIN BUILDING</td> </tr> <tr> <td>E1.02</td> <td>ELECTRICAL PARTIAL 2ND FLR. NEW WORK PLAN - ADMIN BUILDING</td> </tr> </tbody> </table> | GENERAL | | T1.1 | GENERAL TITLE SHEET | ARCHITECTURAL | | A0.00 | ARCHITECTURAL LEGENDS, NOTES AND ABBREVIATIONS | AD1.01 | PARTIAL FIRST FLOOR DEMOLITION PLANS - ADMIN | AD1.02 | PARTIAL FIRST FLOOR DEMOLITION PLANS - MURPHY, ANNEX | AD2.01 | PARTIAL SECOND FLOOR DEMOLITION PLANS - ADMIN | AD2.02 | PARTIAL SECOND FLOOR DEMOLITION PLANS - ADMIN | AD2.03 | PARTIAL GROUND FLOOR DEMOLITION PLANS - MURPHY, ANNEX | AD3.01 | DEMOLITION INTERIOR ELEVATIONS @ LOBBY STAIRS | AD4.01 | ALTERNATE DEMOLITION STAIR PLANS | A0.01 | MATERIAL SCHEDULE | A0.02 | ROOM FINISH SCHEDULE | A0.03 | ROOM FINISH SCHEDULE CONT. | A1.01 | PARTIAL FIRST FLOOR RENOVATION PLANS - ADMIN | A1.02 | PARTIAL FIRST FLOOR RENOVATION PLANS - MURPHY, ANNEX | A2.01 | PARTIAL SECOND FLOOR RENOVATION PLANS - ADMIN | A2.02 | PARTIAL SECOND FLOOR RENOVATION PLANS - MURPHY | A2.03 | PARTIAL GROUND FLOOR RENOVATION PLANS - MURPHY, ANNEX | A3.01 | DOOR PAINTING AND DOOR/FRAME SCHEDULE & TYPES | A3.02 | DOOR AND FRAME PAINTING SCHEDULE CONT. | A3.03 | WINDOW PAINTING SCHEDULE & TYPES | A4.01 | PARTIAL REFLECTED CEILING PLANS - ADMIN, MURPHY, ANNEX | A5.01 | RENOVATION INTERIOR ELEVATIONS @ LOBBY STAIRS | A6.01 | ALTERNATE RENOVATION STAIR PLANS | A6.02 | ALTERNATE RENOVATION STAIR PLANS | A7.01 | FIRST AND SECOND FLOOR FURNITURE PLAN | ELECTRICAL | | E0.01 | ELECTRICAL LEGEND & ABBREVIATIONS | ED1.01 | ELECTRICAL PARTIAL 1ST FLR. DEMOLITION PLAN - ADMIN BUILDING | ED1.02 | ELECTRICAL PARTIAL 2ND FLR. DEMOLITION PLAN - ADMIN BUILDING | E1.01 | ELECTRICAL PARTIAL 1ST FLR. NEW WORK PLAN - ADMIN BUILDING | E1.02 | ELECTRICAL PARTIAL 2ND FLR. NEW WORK PLAN - ADMIN BUILDING |
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| ARCHITECTURAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| A6.02 | ALTERNATE RENOVATION STAIR PLANS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A7.01 | FIRST AND SECOND FLOOR FURNITURE PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ELECTRICAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| E1.01 | ELECTRICAL PARTIAL 1ST FLR. NEW WORK PLAN - ADMIN BUILDING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| ABBREVIATIONS | |
|---------------|--|
| ACT | ACOUSTICAL CEILING TILE |
| AFF | ABOVE FINISHED FLOOR |
| ALT | ALTERNATE |
| ALUM | ALUMINUM |
| ANSI | AMERICAN NATIONAL STANDARDS INSTITUTE |
| ARCH | ARCHITECTURAL, ARCHITECT |
| ASTM | AMERICAN SOCIETY FOR TESTING AND MATERIALS |
| BD | BOARD |
| BL | BASE LINE |
| BLDG | BUILDING |
| BM | BEAM |
| BOT | BOTTOM |
| BRG | BEARING |
| BUR | BUILT UP ROOF |
| CJ | CONTROL JOINT |
| CL | CENTER LINE |
| CLG | CEILING |
| CLG HT | CEILING HEIGHT |
| CLO | CLOSET |
| CLR | CLEAR |
| CMU | CONCRETE MASONRY UNIT |
| CO | CLEANOUT |
| CON | CONNECT |
| CONC | CONCRETE |
| CONSTR | CONSTRUCTION |
| CONT | CONTINUE |
| CONTR | CONTRACT, CONTRACTOR |
| COORD | COORDINATE |
| CPT | CARPET |
| CT | CERAMIC TILE |
| CTR | CENTER |
| D | DEEP, DEPTH |
| DBL | DOUBLE |
| DEC | DETENTION EQUIPMENT CONTRACTOR |
| DEMO | DEMOLITION, DEMOLISH |
| DET | DETAIL |
| DF | DRINKING FOUNTAIN |
| DIA | DIAMETER |
| DIAG | DIAGONAL |
| DIM | DIMENSION |
| DR | DOOR |
| DWG | DRAWING |
| EA | EACH |
| EIFS | EXTERIOR INSULATION FINISH SYSTEM |
| EJ | EXPANSION JOINT |
| EL | ELEVATION |
| ELEC | ELECTRIC, ELECTRICAL |
| ELEV | ELEVATOR |
| EPDM | ETHYLENE PROPYLENE DIENE MONOMER |
| EQ | EQUAL |
| EQUIP | EQUIPMENT |
| EW | EACH WAY |
| EWG | ELECTRIC WATER COOLER |
| EXIST | EXISTING |
| EX | EXISTING |
| EXP | EXPANSION, EXPOSED |
| EXT | EXTERIOR |
| FD | FLOOR DRAIN |
| FDTN | FOUNDATION |
| FE | FIRE EXTINGUISHER |
| FEC | FIRE EXTINGUISHER CABINET |
| FF EL | FINISHED FLOOR ELEVATION |
| FHC | FIRE HOSE CABINET |
| FIN | FINISH |
| FIN FLR | FINISH FLOOR |
| FLR | FLOOR, FILLER |
| FR | FIRE RATING, FIRE RESISTANT, FRAME |
| FRP | FIBER REINFORCED PLASTIC / POLYESTER |
| FT | FOOT, FEET |
| FTG | FOOTER, FOOTING |
| GA | GAUGE |
| GALV | GALVANIZED |
| GC | GENERAL CONTRACTOR |
| GYP BD | GYP SUM BOARD |
| HC | HANDICAP |
| HCP | HANDICAPPED |
| HDPE | HIGH DENSITY POLYETHYLENE |
| HDW | HARDWARE |
| HM | HOLLOW METAL |
| HORIZ | HORIZONTAL |
| HT | HEIGHT |
| HVAC | HEATING VENTILATING, AND AIR CONDITIONING |
| IBC | INTERNATIONAL BUILDING CODE |
| ID | INSIDE DIAMETER |
| INSUL | INSULATION |
| INT | INTERIOR |
| JAN | JANITOR |
| L | ANGLE |
| LAM | LAMINATE |
| LAV | LAVATORY |
| LF | LINEAR FOOT |
| LH | LEFT HAND |
| LHR | LEFT HAND REVERSE |
| LLH | LONG LEG HORIZONTAL |
| LLV | LONG LEG VERTICAL |
| LPT | LOW POINT |
| LT | LIGHT |
| MAS | MASONRY |
| MAX | MAXIMUM |
| MDF | MEDIUM-DENSITY FIBREBOARD |
| MECH | MECHANICAL |
| MFD | MANUFACTURED |
| MFR | MANUFACTURER |
| MIN | MINIMUM |
| MJ | MOVEMENT JOINT |
| MO | MASONRY OPENING |
| MR | MOISTURE RESISTANT |
| MT | METAL THRESHOLD |
| MTD | MOUNTED |
| MTL | METAL |
| NA | NOT APPLICABLE |
| NCOMBL | NON-COMBUSTIBLE |
| NIC | NOT IN CONTRACT |
| NO | NUMBER |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| OD | OUTSIDE DIAMETER, OUTSIDE DIMENSION |
| OFD | OVERFLOW DRAIN |
| OHDR | OVERHEAD DOOR |
| OPH | OPPOSITE HAND |
| OPNG | OPENING |
| OPP | OPPOSITE |
| PLAM | PLASTIC LAMINATE |
| PLAS | PLASTIC |
| PLYWD | PLYWOOD |
| POL | POLISHED |
| FR | PAIR |
| PREFIN | PREFINISHED |
| PROJ | PROJECT, PROJECTED |
| PSF | POUNDS PER SQUARE FOOT |
| PSI | POUNDS PER SQUARE INCH |
| PT | PAINT, PAINTED, PRESSURE TREATED |
| PTN | PARTITION |
| PVC | POLY-VINYL CHLORIDE THERMOPLASTIC |
| QT | QUARRY TILE |
| R | RADIUS |
| RCP | REFLECTED CEILING PLAN |
| RD | ROOF DRAIN |
| REF | REFERENCE, REFRIGERATOR |
| REINF | REINFORCING |
| RENOV | RENOVATION |
| REQD | REQUIRED |
| REV | REVERSE, REVISED, REVISION |
| RHR | RIGHT HAND REVERSE |
| RL | ROOF LADDER |
| RM | ROOM |
| RO | ROUGH OPENING |
| RTU | ROOF TOP UNIT |
| RWC | RAIN WATER CONDUCTOR |
| RWL | RAIN WATER LEADER |
| SCHED | SCHEDULE |
| SECT | SECTION |
| SF | SQUARE FOOT / FEET |
| SGL | SINGLE |
| SHT | SHEET |
| SIM | SIMILAR |
| SPEC | SPECIFICATION |
| SST | STAINLESS STEEL |
| STD | STANDARD |
| STL | STEEL |
| STRUC | STRUCTURAL |
| SUSP | SUSPENDED |
| SYMM | SYMMETRICAL |
| SYS | SYSTEM |
| TEMP | TEMPORARY |
| TER | TERRAZZO |
| THK | THICK, THICKNESS |
| THRES | THRESHOLD |
| TOJ | TOP OF JOIST |
| TOM | TOP OF MASONRY |
| TOS | TOP OF STEEL |
| TOH | TOP OF WALL |
| TPO | THERMOPLASTIC POLYOLEFIN |
| TYP | TYPICAL |
| UL | UNDERWRITERS LABORATORIES |
| UNO | UNLESS NOTED OTHERWISE |
| UTIL | UTILITY |
| VCT | VINYL COMPOSITION TILE |
| VERT | VERTICAL |
| VEST | VESTIBULE |
| VIF | VERIFY IN FIELD |
| VTR | VENT THROUGH ROOF |
| W | WIDE, WIDTH |
| W | WITH |
| WD | WOOD |
| WDW | WINDOW |
| WP | WORKING POINT |
| WECT | WAINSCOT |
| WT | WEIGHT |

| GENERAL NOTES | |
|---------------|---|
| 1. | ALL WORK SHALL CONFORM WITH THE APPLICABLE CODES AND ORDINANCES OF THE LOCAL JURISDICTION, THE COUNTY, THE STATE, AND THE CURRENT ADOPTED VERSION OF THE INTERNATIONAL BUILDING CODE. FAMILY, THE CONTRACTOR SHALL POST NOTICES AND COMPLY WITH GOVERNING LAWS OF THE JURISDICTION. |
| 2. | THE WORK SHALL BE PROPERLY SUPERVISED BY THE CONTRACTOR'S SUPERINTENDENT. SUFFICIENT PERSONNEL SHALL BE SKILLED IN THE TASK ASSIGNED. |
| 3. | THE CONTRACTOR SHALL, AT ALL TIMES MAINTAIN ADEQUATE PROTECTION TO SAFEGUARD ALL PERSONS ENGAGED IN THE PERFORMANCE OF THE WORK. |
| 4. | ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS. |
| 5. | NOTED DIMENSIONS TAKE PRECEDENT OVER SCALE. |
| 6. | THE PROJECT ARCHITECT SHALL BE NOTIFIED SHOULD ANY DISCREPANCY OR QUESTIONS ARISE PERTAINING TO THESE DRAWINGS. NO CHANGE SHALL BE MADE WITHOUT REVIEW BY THE ARCHITECT. |
| 7. | NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT. |
| 8. | THE CONTRACTOR SHALL VERIFY ALL GRADES, LINES, LEVELS AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL REPORT ALL INCONSISTENCIES TO THE ARCHITECT PRIOR TO THE EXECUTION OF THE WORK. RECHECK ALL DIMENSIONS PRIOR TO ORDERING MANUFACTURED AND/OR FABRICATED ITEMS. |
| 9. | THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS PURCHASED FOR THIS PROJECT AND STORED IN THE OWNER'S DESIGNATED AREA. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ON PREFERRED LOCATIONS FOR STORED MATERIALS. |
| 10. | THE CONTRACTOR SHALL MAINTAIN AREAS UNDER THE CONTRACTOR'S CONTROL TO BE FREE OF WASTE MATERIALS, DEBRIS AND RUBBISH. CONTAINERS FOR DEPOSIT OF DEBRIS AND RUBBISH SHALL BE PROVIDED BY THE CONTRACTOR. COORDINATE LOCATION WITH THE OWNER PRIOR TO PLACEMENT. EXTRANEIOUS MATERIALS SHALL BE PERIODICALLY REMOVED, AND AT THE CONCLUSION OF THE PROJECT. |
| 11. | ALL AREAS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THEIR STATE PRIOR TO THE START OF CONSTRUCTION. |

| ALTERNATES LEGEND | |
|-------------------|---|
| ADD ALTERNATE #1 | ALL WORK ASSOCIATED WITH SANDING AND NEW STAIN OF EXISTING BASEBOARD, STRINGERS, RAILINGS, ETC. AS SHOWN ON DRAWING A5.01 |
| ADD ALTERNATE #2 | ALL WORK ASSOCIATED WITH FINISH RENOVATIONS IN STAIR 'A' AND STAIR 'B' AS SHOWN ON DRAWING A6.01 |
| ADD ALTERNATE #3 | ALL WORK ASSOCIATED WITH FINISH RENOVATIONS IN STAIR 'C' AND STAIR 'D' AS SHOWN ON DRAWING A6.02 |
| ADD ALTERNATE #4 | ALL WORK ASSOCIATED WITH FINISH RENOVATIONS IN STAIR 'E' AS SHOWN ON DRAWING A6.02 |
| ADD ALTERNATE #5 | REPLACE EXISTING INTERIOR SIGNAGE WITH NEW SIGNAGE. REFER TO DRAWING A0.00 AND SPECIFICATIONS FOR ADDITIONAL INFORMATION |



| FLOORING RENOVATION LEGEND: | |
|-----------------------------|--|
| | NEW CARPET TILE, SEE MATERIAL SCHEDULE |
| | NEW LVT PLANK, SEE MATERIAL SCHEDULE |
| | NEW 1/2" LVT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #2 - STAIR 'A' & STAIR 'B': NEW VCT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #4 - STAIR 'E': NEW RUBBER STAIRWELL SYSTEM, SEE MATERIAL SCHEDULE |
| | ETR EXISTING FLOORING TO REMAIN |

| FLOORING DEMOLITION LEGEND: | |
|-----------------------------|------------------------------------|
| | EXISTING CARPET TILE TO BE REMOVED |
| | EXISTING VCT TO BE REMOVED |
| | ETR EXISTING FLOORING TO REMAIN |

| LEGEND & NOTES | |
|----------------|--|
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. | CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. |
| 2. | CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP, DNSS, PRIOR TO START OF CONSTRUCTION. |
| 3. | CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT. |
| 4. | OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. |

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ISSUED FOR:

DFM 99% REVIEW BIDDING 9 FEB 2026 14 APRIL 2026

PROJECT INFO:

DSCYF - Administration Building, Murphy Cottage & Annex Building Finishes Renovations MC3701000092

1825 FAULKLAND ROAD WILMINGTON, DE 19805

SHEET INFO:

PROJECT NO: 25039
 DRAWN BY: NSG
 CHECKED BY: GDR
 SCALE: AS NOTED
 DATE: 14 APRIL 2026

TITLE & NO.:

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ARCHITECTURAL LEGENDS, NOTES AND ABBREVIATIONS

NOTE: KEYNOTES SHOWN ON THIS SHEET FOR REFERENCE ONLY. A0.00



1 PARTIAL FIRST FLOOR PLAN @ ADMINISTRATION BUILDING
SCALE: 1/8" = 1'-0"

| LEGEND & NOTES | |
|------------------------------------|--|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. | CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. |
| 2. | CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DWGS. PRIOR TO START OF CONSTRUCTION. |
| 3. | CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT. |
| 4. | OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. |
| FLOORING DEMOLITION LEGEND: | |
| | EXISTING CARPET TILE TO BE REMOVED |
| | EXISTING VCT TO BE REMOVED |
| | EXISTING FLOORING TO REMAIN |

| DEMOLITION KEYNOTES | |
|---------------------|---|
| | REMOVE CARPET TILE FLOORING AND ASSOCIATED ADHESIVE. PREP FLOORS FOR NEW FINISH. SEE FINISH SCHEDULE SHEET A0.02. |
| | REMOVE VCT AND ASSOCIATED ADHESIVE FLOORING. PREP FLOORS FOR NEW FINISH. SEE FINISH SCHEDULE SHEET A0.02. |
| | REMOVE RUBBER COVE BASE AND ASSOCIATED ADHESIVE & REPAIR WALL AS REQ'D |
| | REMOVE WALL MOUNTED SCONCE, PATCH AND REPAIR WALL FOR NEW WORK. SEE LIGHTING LEGEND SHEET E0.01. |
| | REMOVE WALL COVERING WHERE EXISTING AND PREP WALL FOR NEW FINISH. SEE FINISH PLAN AND SCHEDULE SHEET A0.02 |
| | CAREFULLY REMOVE EXISTING WOOD HANDRAIL AND ASSOCIATED WALL MOUNTING BRACKETS. SALVAGE FOR REINSTALLATION. PATCH WALL AS REQUIRED FOR NEW WORK. |
| | REMOVE WINDOW TREATMENTS, PATCH HEAD OF WINDOW & PAINT |
| | EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE TRIM TO REMAIN. PREP FOR NEW PAINT. |

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 BIDDING 14 APRIL 2026

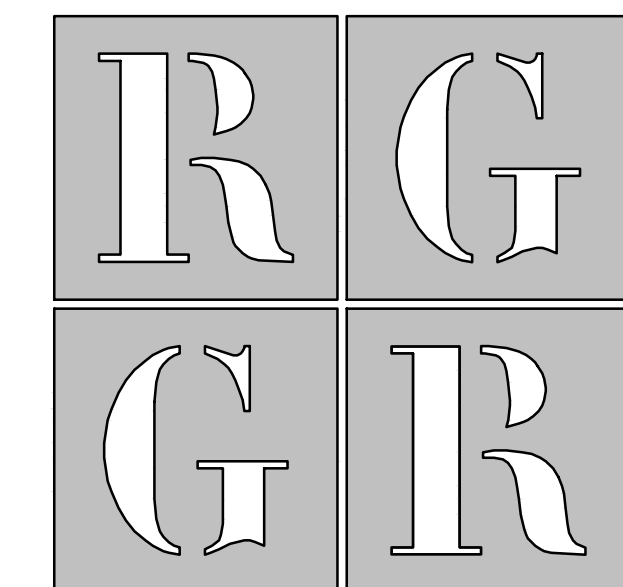
PROJECT INFO:
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 Renovations
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SHEET INFO:
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TITLE & NO.:

KEY PLAN
 SCALE: N.T.S.

PARTIAL FIRST FLOOR DEMOLITION FLOOR PLANS - ADMIN
AD1.01



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| LEGEND & NOTES | |
|----------------|-------------------------|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |

- GENERAL NOTES:**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION.
 - CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DNGS. PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT.
 - OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT.

| FLOORING DEMOLITION LEGEND: | |
|-----------------------------|------------------------------------|
| | EXISTING CARPET TILE TO BE REMOVED |
| | EXISTING VGT TO BE REMOVED |
| | EXISTING FLOORING TO REMAIN |

- | DEMOLITION KEYNOTES | |
|---------------------|---|
| | REMOVE CARPET TILE FLOORING AND ASSOCIATED ADHESIVE. PREP FLOORS FOR NEW FINISH. SEE FINISH SCHEDULE SHEET A0.02. |
| | REMOVE VGT AND ASSOCIATED ADHESIVE FLOORING. PREP FLOORS FOR NEW FINISH. SEE FINISH SCHEDULE SHEET A0.02. |
| | REMOVE RUBBER GOVE BASE AND ASSOCIATED ADHESIVE & REPAIR WALL AS REQ'D. |
| | REMOVE WALL MOUNTED SCONCE, PATCH AND REPAIR WALL FOR NEW WORK. SEE LIGHTING LEGEND SHEET E0.01. |
| | REMOVE WALL COVERING WHERE EXISTING AND PREP WALL FOR NEW FINISH. SEE FINISH PLAN AND SCHEDULE SHEET A0.02. |
| | CAREFULLY REMOVE EXISTING WOOD HANDRAIL AND ASSOCIATED WALL MOUNTING BRACKETS. SALVAGE FOR REINSTALLATION. PATCH WALL AS REQUIRED FOR NEW WORK. |
| | REMOVE WINDOW TREATMENTS, PATCH HEAD OF WINDOW & PAINT. |
| | EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE TRIM TO REMAIN. PREP FOR NEW PAINT. |

ISSUED FOR:
 DFM 99% REVIEW 9 FEB 2026
 BIDDING 14 APRIL 2026

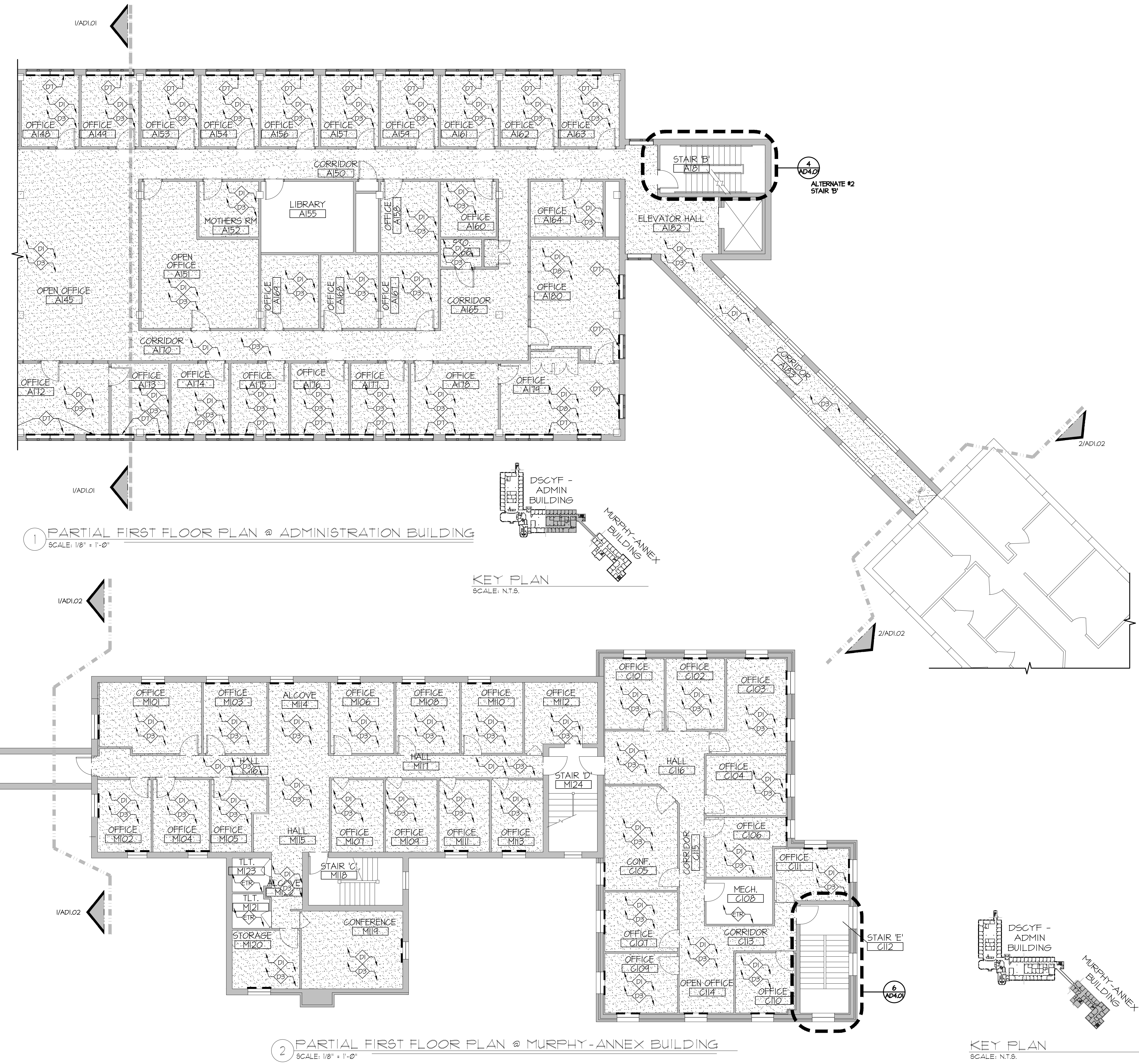
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 DSCYF - Administration Building, Murphy Cottage & Annex Building Finishes Renovations MC3701000092
 1825 FAULKLAND ROAD WILMINGTON, DE 19805

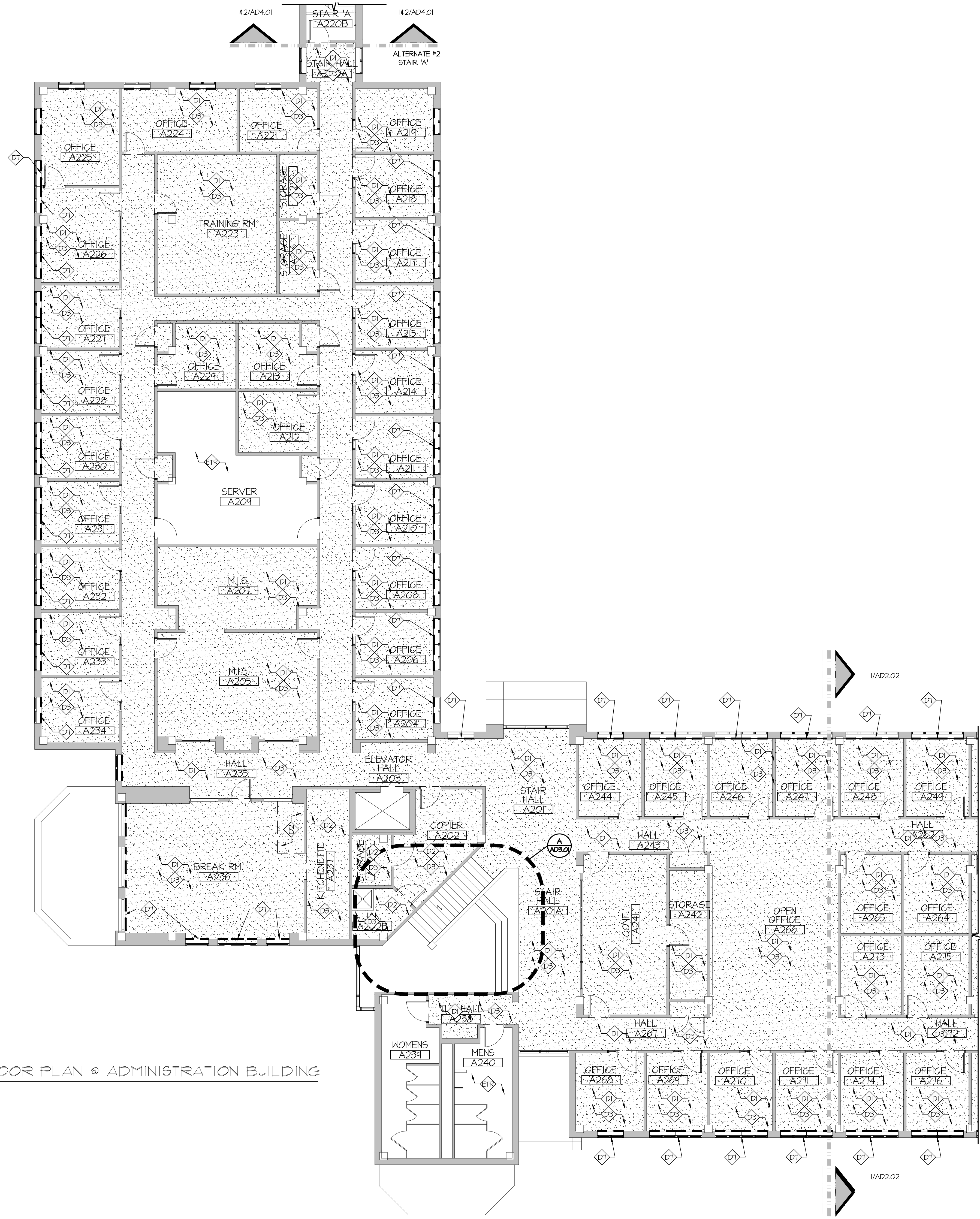
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PARTIAL FIRST FLOOR DEMOLITION FLOOR PLANS - ADMIN, MURPHY, ANNEX

AD1.02



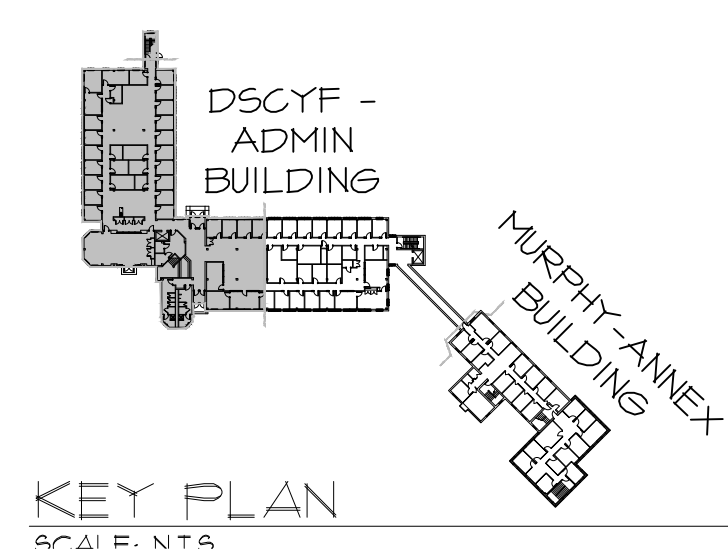


1 PARTIAL SECOND FLOOR PLAN @ ADMINISTRATION BUILDING
SCALE: 1/8" = 1'-0"

| LEGEND & NOTES | |
|-----------------------|--|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. | CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. |
| 2. | CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DNGS. PRIOR TO START OF CONSTRUCTION. |
| 3. | CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT. |
| 4. | OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. |

| FLOORING DEMOLITION LEGEND: | |
|-----------------------------|------------------------------------|
| | EXISTING CARPET TILE TO BE REMOVED |
| | EXISTING VGT TO BE REMOVED |
| | ETR EXISTING FLOORING TO REMAIN |

| DEMOLITION KEYNOTES | |
|---------------------|---|
| | REMOVE CARPET TILE FLOORING AND ASSOCIATED ADHESIVE. PREP FLOORS FOR NEW FINISH. SEE FINISH SCHEDULE SHEET AO.02. |
| | REMOVE VGT AND ASSOCIATED ADHESIVE FLOORING. PREP FLOORS FOR NEW FINISH. SEE FINISH SCHEDULE SHEET AO.02. |
| | REMOVE RUBBER COVE BASE AND ASSOCIATED ADHESIVE & REPAIR WALL AS REQ'D |
| | REMOVE WALL MOUNTED SCONCE, PATCH AND REPAIR WALL FOR NEW WORK. SEE LIGHTING LEGEND SHEET EO.01. |
| | REMOVE WALL COVERING WHERE EXISTING AND PREP WALL FOR NEW FINISH. SEE FINISH PLAN AND SCHEDULE SHEET AO.02 |
| | CAREFULLY REMOVE EXISTING WOOD HANDRAIL AND ASSOCIATED WALL MOUNTING BRACKETS. SALVAGE FOR REINSTALLATION. PATCH WALL AS REQUIRED FOR NEW WORK. |
| | REMOVE WINDOW TREATMENTS, PATCH HEAD OF WINDOW & PAINT |
| | EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE TRIM TO REMAIN. PREP FOR NEW PAINT. |



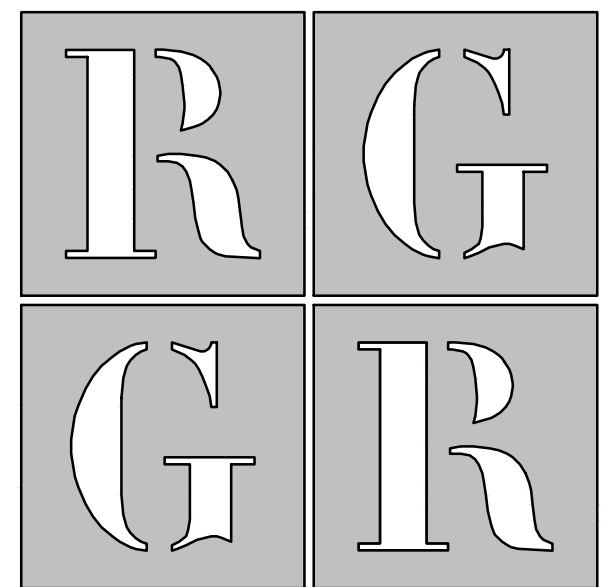
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TITLE & NO.:
 PARTIAL SECOND
 FLOOR
 DEMOLITION
 FLOOR PLAN -
 ADMIN
AD2.01

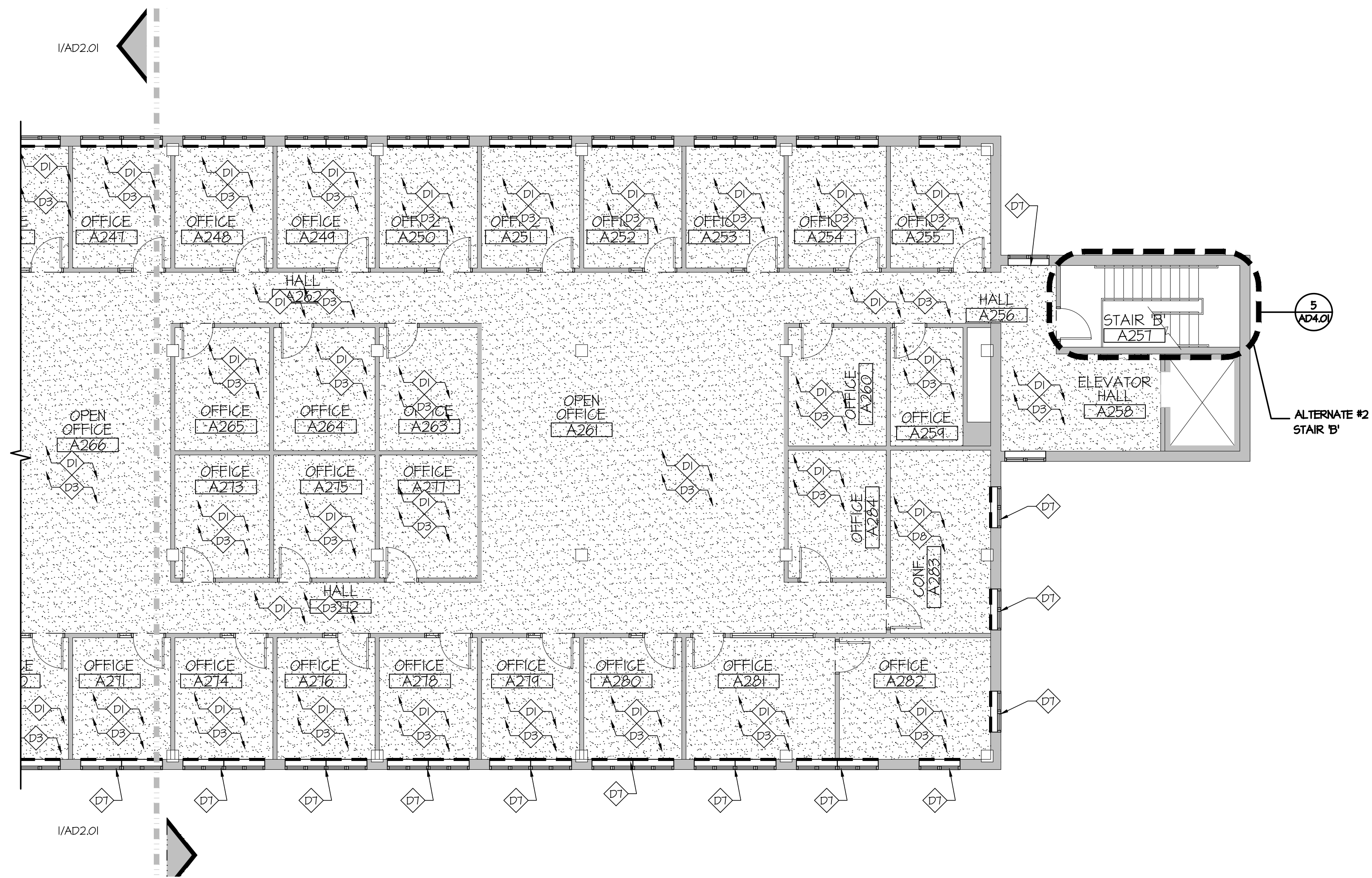


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| LEGEND & NOTES | |
|-----------------------|--|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. | CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. |
| 2. | CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP, DNGS. PRIOR TO START OF CONSTRUCTION. |
| 3. | CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT. |
| 4. | OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. |

| FLOORING DEMOLITION LEGEND: | |
|-----------------------------|------------------------------------|
| | EXISTING CARPET TILE TO BE REMOVED |
| | EXISTING VCT TO BE REMOVED |
| | EXISTING FLOORINGS TO REMAIN |

| DEMOLITION KEYNOTES | |
|---------------------|---|
| | REMOVE CARPET TILE FLOORING AND ASSOCIATED ADHESIVE. PREP FLOORS FOR NEW FINISH. SEE FINISH SCHEDULE SHEET A0.02. |
| | REMOVE VCT AND ASSOCIATED ADHESIVE FLOORING. PREP FLOORS FOR NEW FINISH. SEE FINISH SCHEDULE SHEET A0.02. |
| | REMOVE RUBBER COVE BASE AND ASSOCIATED ADHESIVE & REPAIR WALL AS REQ'D. |
| | REMOVE HALL MOUNTED SCONCE, PATCH AND REPAIR HALL FOR NEW WORK. SEE LIGHTING LEGEND SHEET E0.01. |
| | REMOVE WALL COVERING WHERE EXISTING AND PREP WALL FOR NEW FINISH. SEE FINISH PLAN AND SCHEDULE SHEET A0.02. |
| | CAREFULLY REMOVE EXISTING WOOD HANDRAIL AND ASSOCIATED WALL MOUNTING BRACKETS. SALVAGE FOR REINSTALLATION. PATCH WALL AS REQUIRED FOR NEW WORK. |
| | REMOVE WINDOW TREATMENTS, PATCH HEAD OF WINDOW & PAINT. |
| | EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE TRIM TO REMAIN. PREP FOR NEW PAINT. |



1 PARTIAL SECOND FLOOR PLAN @ ADMINISTRATION BUILDING
 SCALE: 1/8" = 1'-0"

ISSUED FOR:

DFM 99% REVIEW 9 FEB 2026
 BIDDING 14 APRIL 2026

PROJECT INFO:

DSCYF -
 Administration Building,
 Murphy Cottage & Annex
 Building Finishes
 Renovations
 MC3701000092
 1825 FAULKLAND ROAD
 WILMINGTON, DE 19805

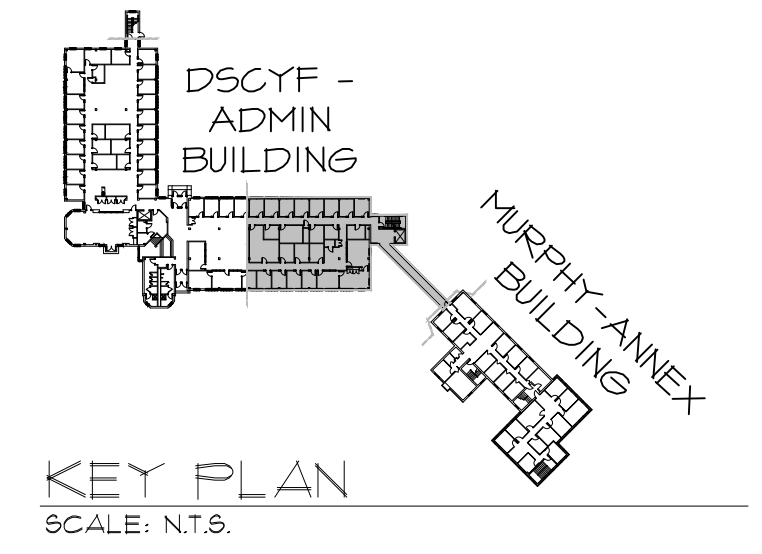
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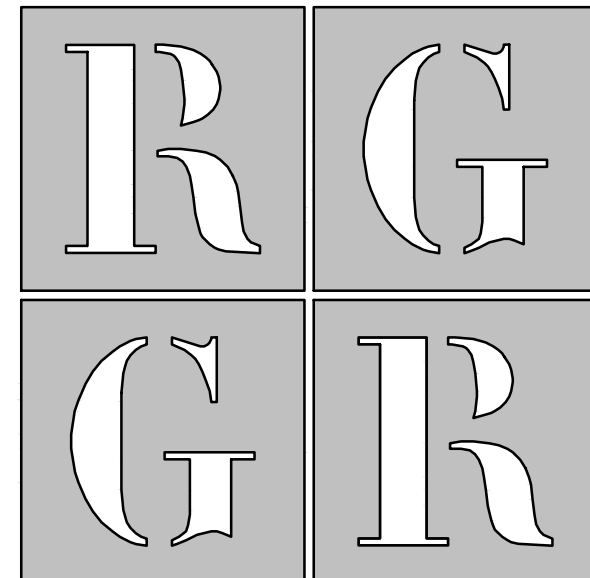
TITLE & NO.:

PARTIAL SECOND
 FLOOR
 DEMOLITION
 FLOOR PLAN -
 ADMIN

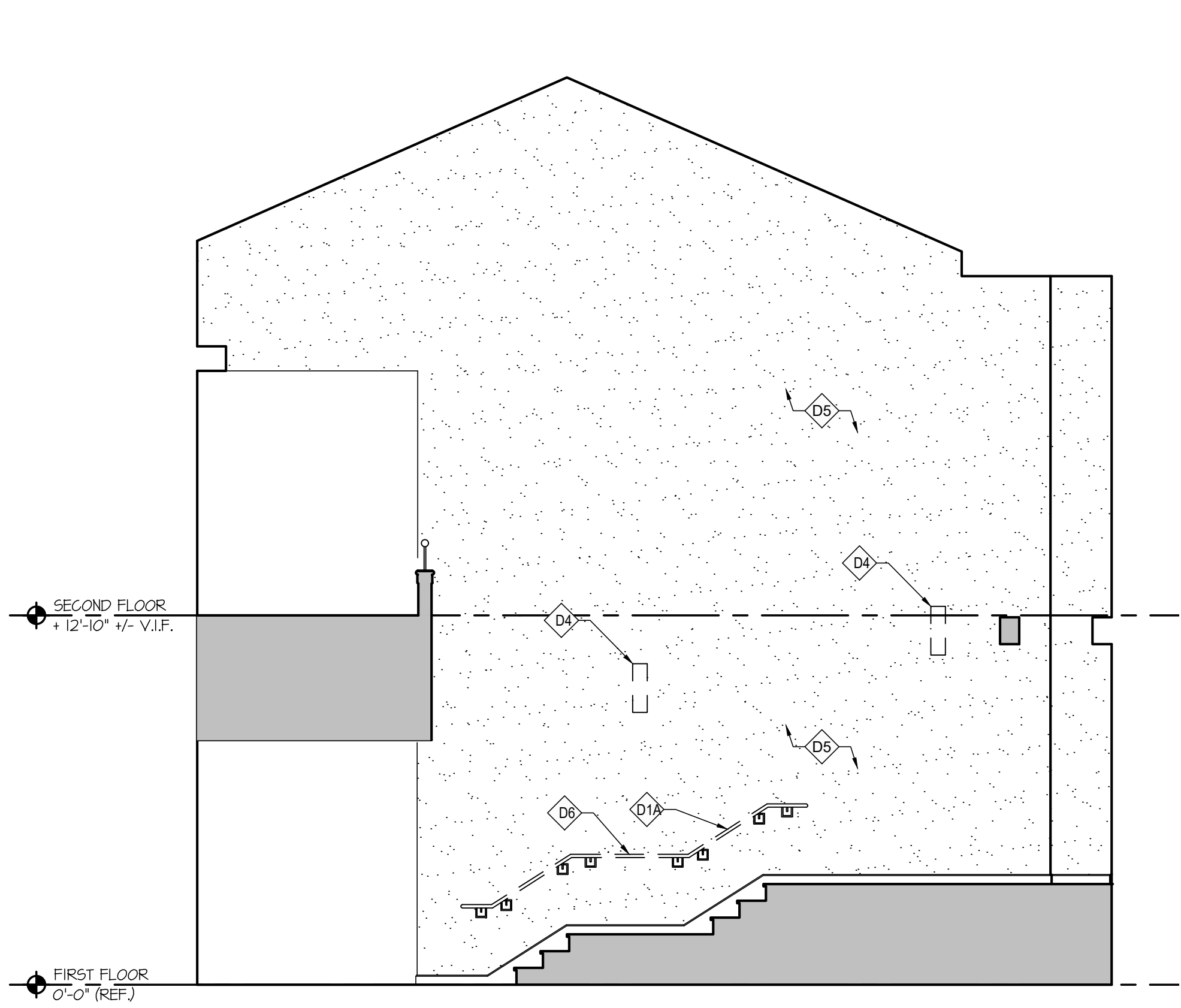
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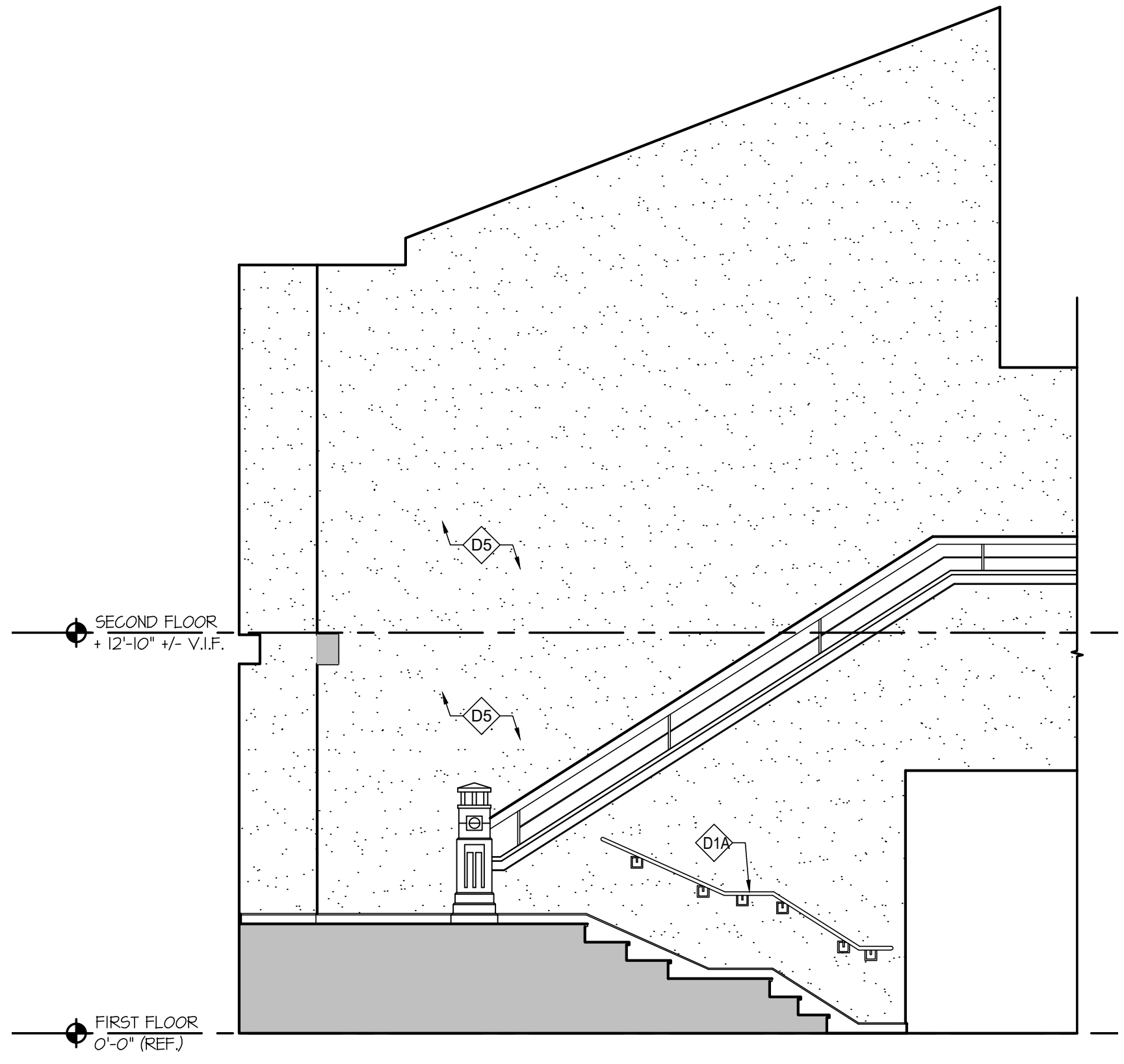
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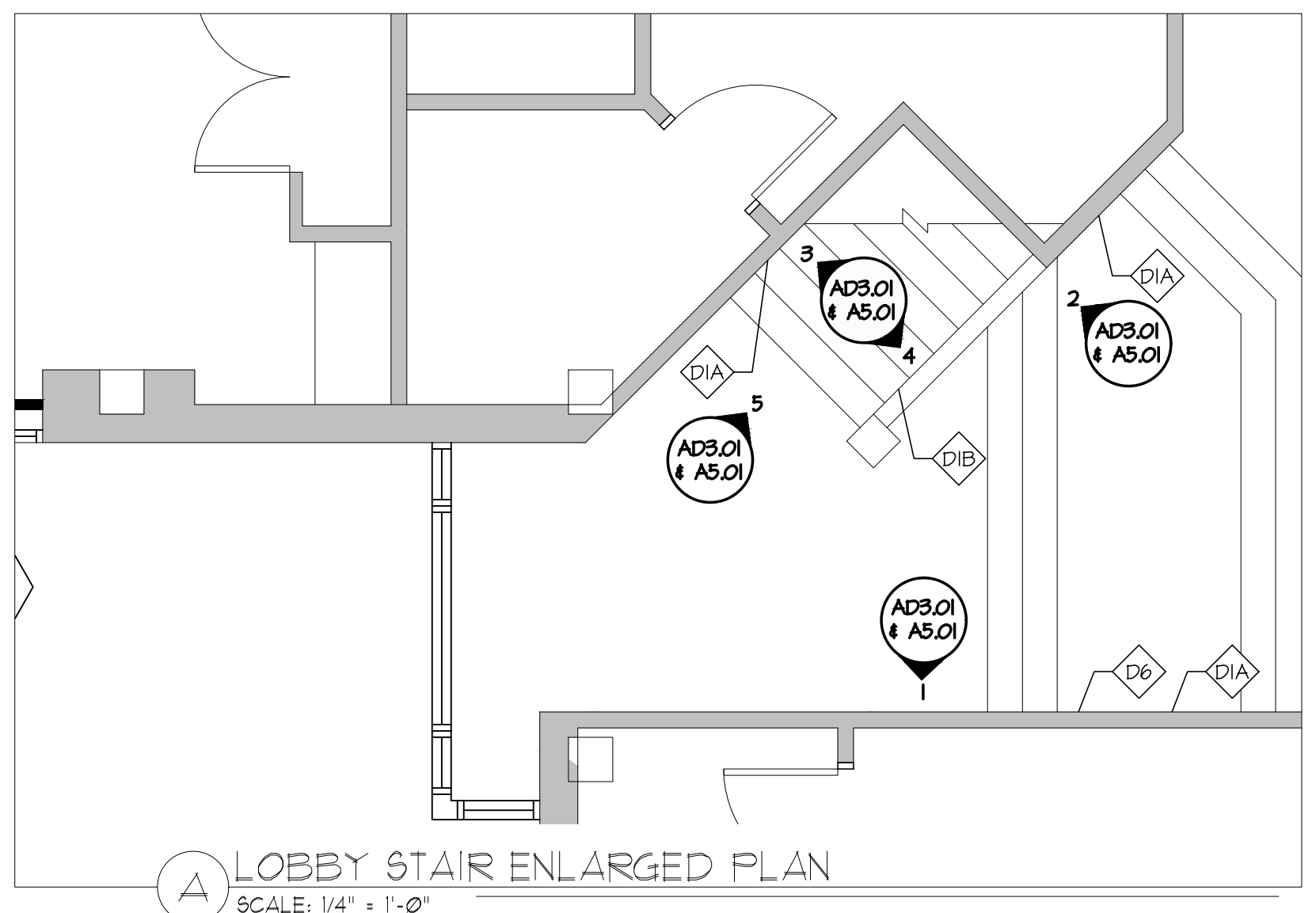
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1 LOBBY STAIR DEMOLITION ELEVATION
 SCALE: 1/4" = 1'-0"



2 LOBBY STAIR DEMOLITION ELEVATION
 SCALE: 1/4" = 1'-0"



A LOBBY STAIR ENLARGED PLAN
 SCALE: 1/4" = 1'-0"

| DEMOLITION KEYNOTES | |
|---------------------|---|
| D1 | REMOVE CARPET TILE FLOORING AND ASSOCIATED ADHESIVE. PREP FLOORS FOR NEW FINISH. SEE FINISH SCHEDULE SHEET A0.02. |
| D2 | REMOVE VGT AND ASSOCIATED ADHESIVE FLOORING. PREP FLOORS FOR NEW FINISH. SEE FINISH SCHEDULE SHEET A0.02. |
| D3 | REMOVE RUBBER COVE BASE AND ASSOCIATED ADHESIVE & REPAIR WALL AS REQ'D |
| D4 | REMOVE WALL MOUNTED SCONCE. PATCH AND REPAIR WALL FOR NEW WORK. SEE LIGHTING LEGEND SHEET E0.01. |
| D5 | REMOVE WALL COVERING WHERE EXISTING AND PREP WALL FOR NEW FINISH. SEE FINISH PLAN AND SCHEDULE SHEET A0.02 |
| D6 | CAREFULLY REMOVE EXISTING WOOD HANDRAIL AND ASSOCIATED WALL MOUNTING BRACKETS. SALVAGE FOR REINSTALLATION. PATCH WALL AS REQUIRED FOR NEW WORK. |
| D7 | REMOVE WINDOW TREATMENTS, PATCH HEAD OF WINDOW & PAINT |
| D8 | EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE TRIM TO REMAIN. PREP FOR NEW PAINT. |

| ALTERNATE #1 LOBBY DEMOLITION KEYNOTES | |
|--|--|
| D1A | REMOVE EXISTING WOOD HANDRAIL AND ASSOCIATED BRACKETS. PATCH AND PREP WALL FOR INSTALLATION OF NEW STEEL HANDRAIL. SEE HANDRAIL DETAILS SHEET A5.01. |
| D1B | REMOVE WOOD HANDRAIL ONLY. ALL ASSOCIATED STEEL BRACKETS TO REMAIN FOR NEW METAL HANDRAIL. |

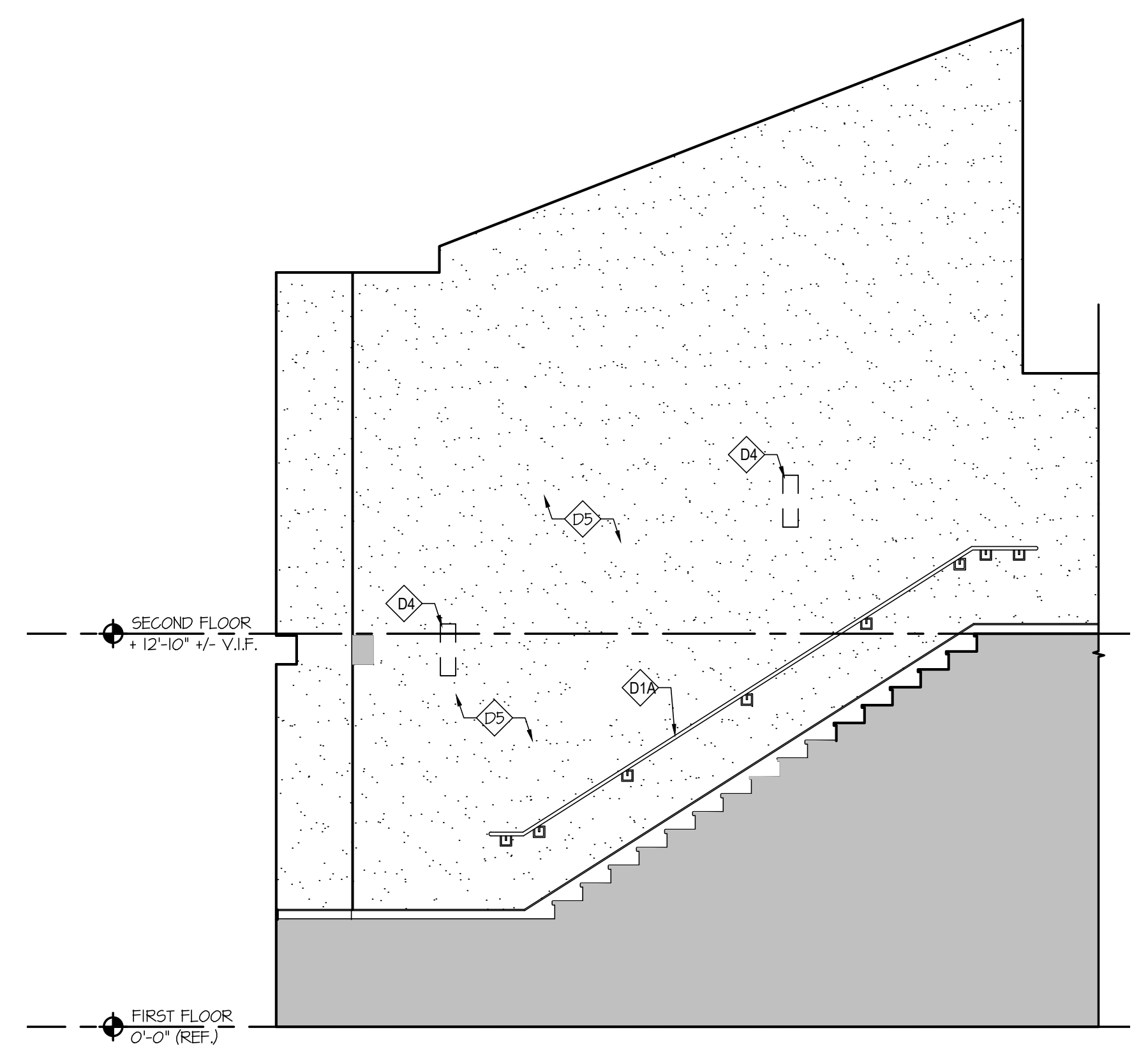
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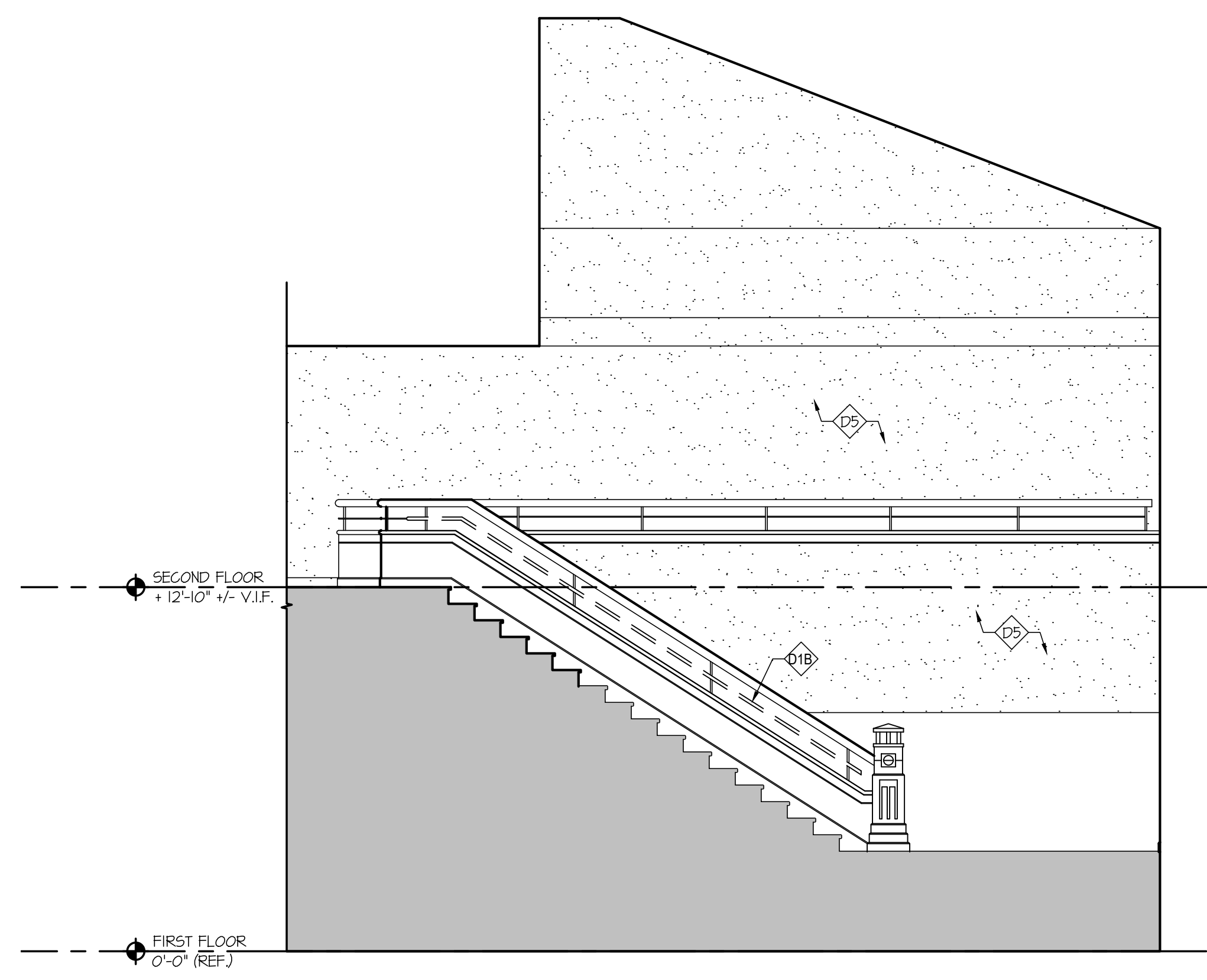
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 SCALE: AS NOTED
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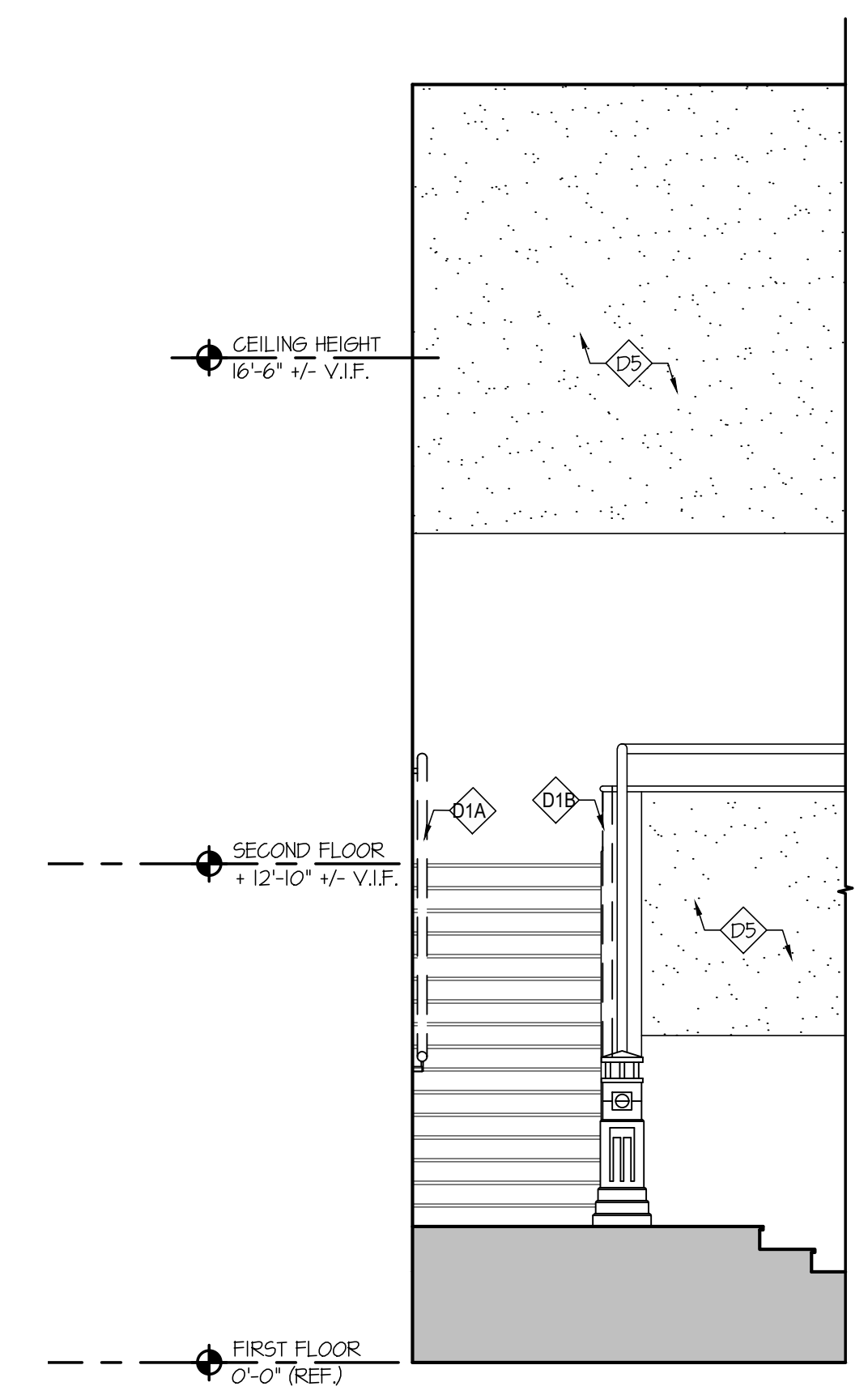
**DEMOLITION
 INTERIOR
 ELEVATIONS @
 LOBBY STAIRS**



3 LOBBY STAIR DEMOLITION ELEVATION
 SCALE: 1/4" = 1'-0"

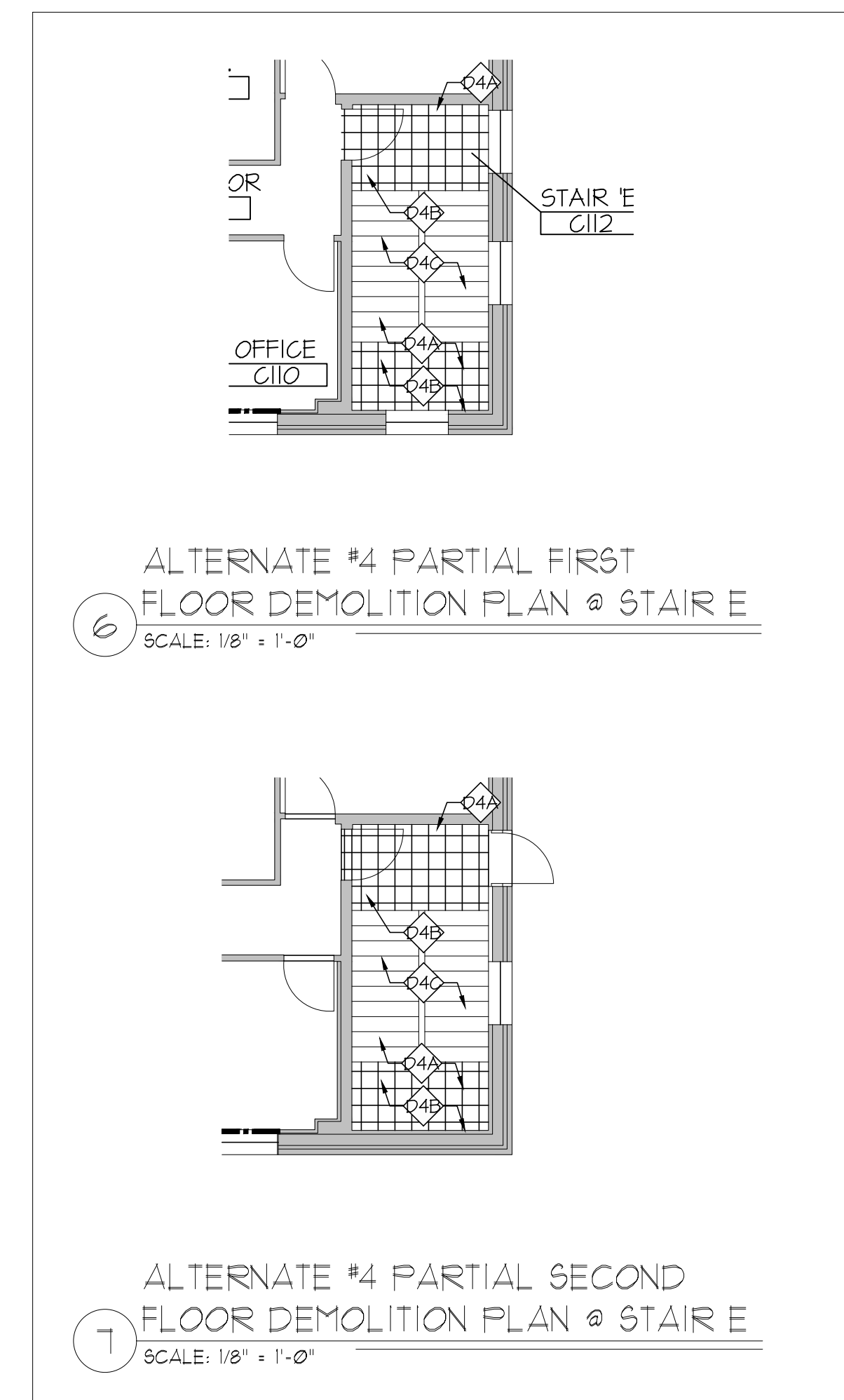
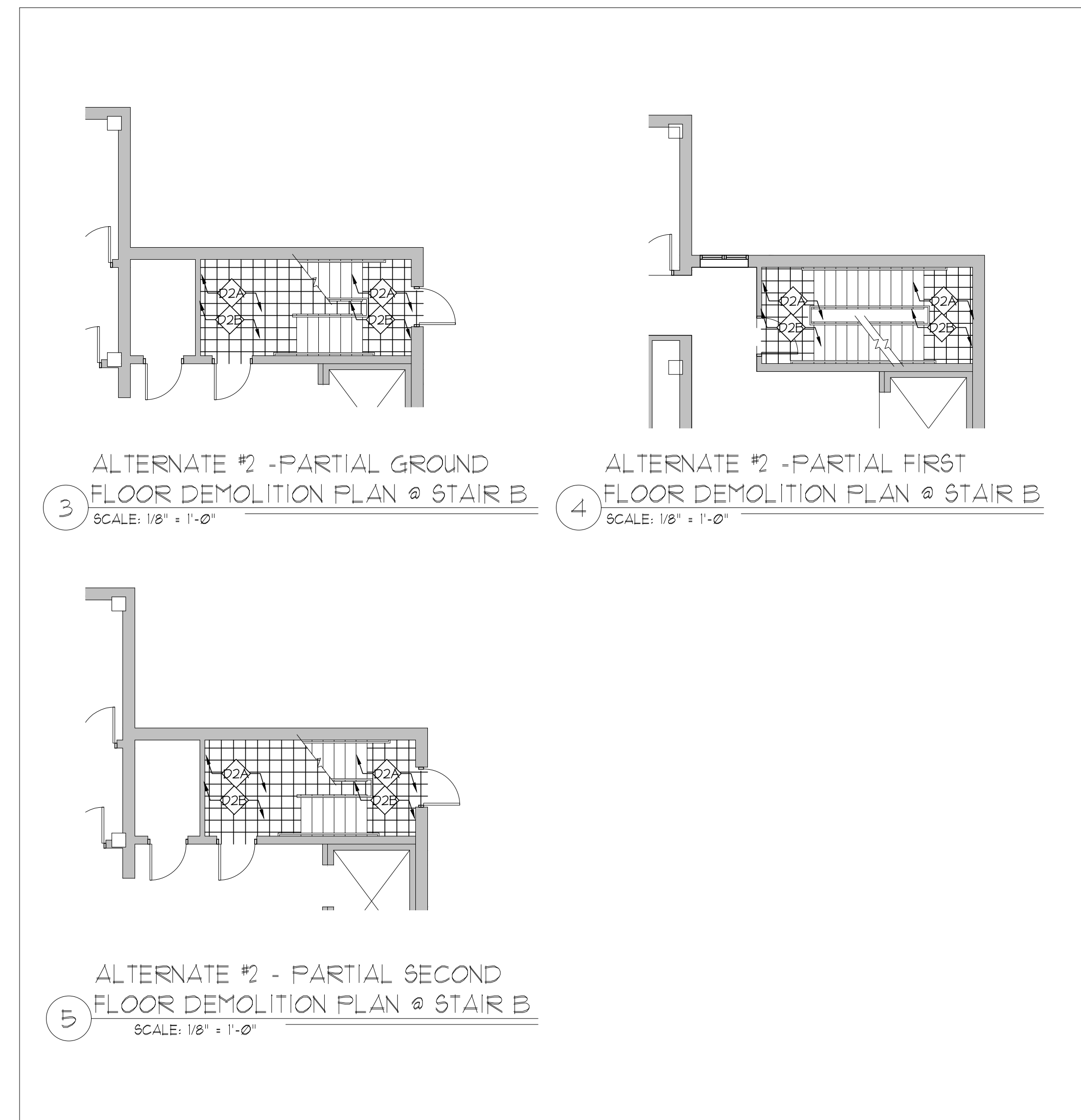
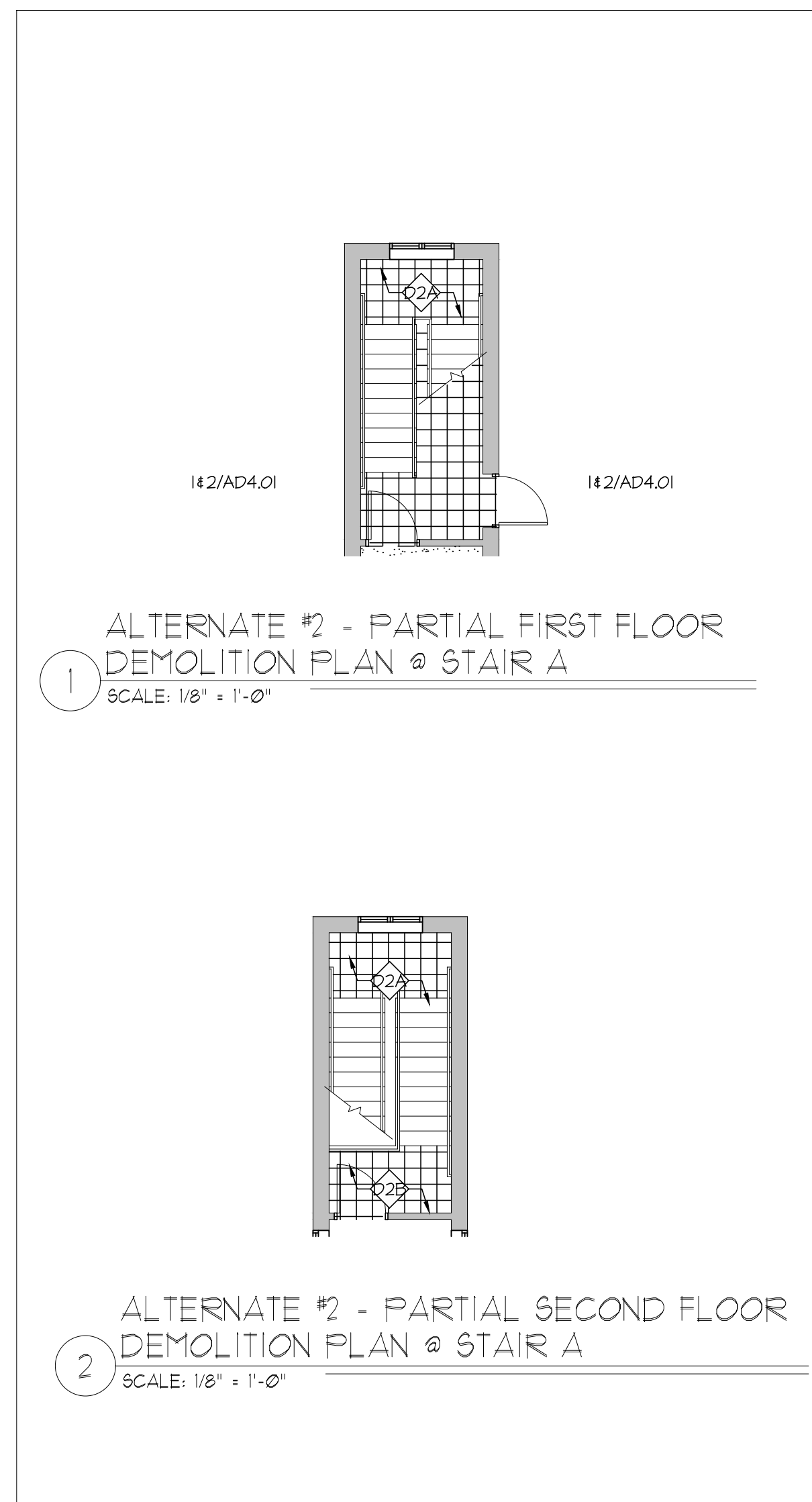


4 LOBBY STAIR DEMOLITION ELEVATION
 SCALE: 1/4" = 1'-0"

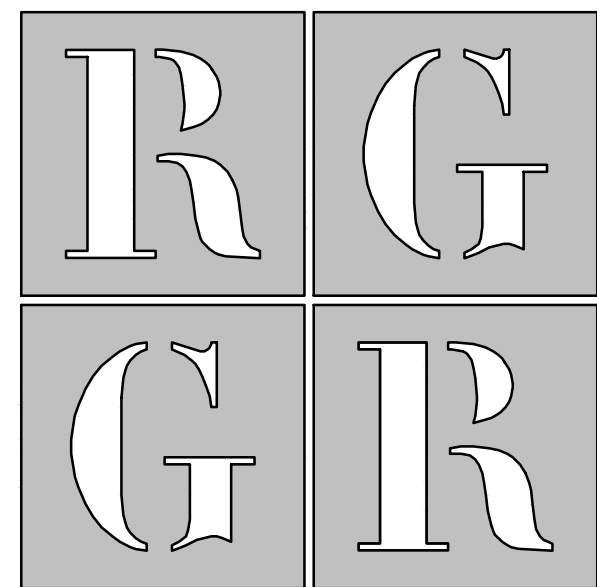


5 LOBBY STAIR DEMOLITION ELEVATION
 SCALE: 1/4" = 1'-0"

AD3.01



| LEGEND & NOTES | |
|---|---|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. | CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. |
| 2. | CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP, DNGS. PRIOR TO START OF CONSTRUCTION. |
| 3. | CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT. |
| 4. | OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. |
| NOTES: | |
| 1. | SEE A3.03 FOR WINDOW AND BORROWED LITE TYPES AND PAINTING SCHEDULE. |
| 1. | SEE A4.01 FOR REFLECTED CEILING PLAN NOTING CEILING HEIGHTS FOR WALL PAINTING. |
| LEGEND: | |
| | WINDOW SHADE (SEE SPEC 12 24 00 FOR ADDITIONAL INFORMATION) |
| ALTERNATE #2 STAIR 'A' & STAIR 'B' DEMOLITION KEYNOTES | |
| | REMOVE EXISTING VCT FLOORING AND ASSOCIATED ADHESIVE. PREP FOR NEW FLOORING, SEE FINISH/MATERIAL SCHEDULE. |
| | RUBBER COVE BASE AND ASSOCIATED ADHESIVE TO BE REMOVED |
| ALTERNATE #4 STAIR 'E' DEMOLITION KEYNOTES | |
| | REMOVE EXISTING VCT FLOORING AND ASSOCIATED ADHESIVE. PREP FOR NEW FLOORING, SEE FINISH/MATERIAL SCHEDULE. |
| | RUBBER COVE BASE AND ASSOCIATED ADHESIVE TO BE REMOVED |
| | REMOVE EXISTING VCT STAIR TREADS, RUBBER STAIR NOSING AND ASSOCIATED ADHESIVE. PREP FOR NEW TREADS, SEE FINISH/MATERIAL SCHEDULE. |



R G ARCHITECTS
R G Architects, LLC
 200 W. Main St., Middletown, DE 19709
 www.rgarchitects.net
 302.376.8100

ISSUED FOR:
 DFM 99% REVIEW 9 FEB 2026
 BIDDING 14 APRIL 2026

PROJECT INFO:
 DSCYF -
 Administration Building,
 Murphy Cottage & Annex
 Building Finishes
 Renovations
 MC3701000092

1825 FAULKLAND ROAD
 WILMINGTON, DE 19805

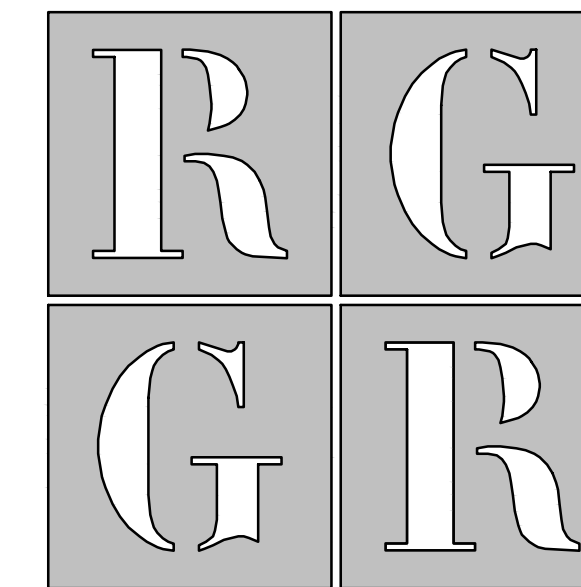
SHEET INFO:
 PROJECT NO: 25039
 DRAWN BY: NSG
 CHECKED BY: GDR
 SCALE: AS NOTED
 DATE: 14 APRIL 2026

TITLE & NO.:
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**ALTERNATES:
 DEMOLITION
 STAIR PLANS**

AD4.01

| MATERIAL SCHEDULE | | | | | | |
|-------------------|--------------------------|---|--------------------------------|-------------------------|------------|--|
| CODE | MATERIAL | MANUFACTURER/ SUPPLIER (BASIS OF DESIGN) | SERIES/PATTERN | COLOR: | DIMENSIONS | REMARKS |
| CPT-1 | CARPET TILE | TARKETT COMMERCIAL | COLORMAP | INDIAN INK 42809 | 24"x24" | CORRIDORS |
| CPT-2 | CARPET TILE | TARKETT COMMERCIAL | TEXTUREMAP | INDIAN INK 42809 | 24"x24" | OFFICES |
| LVT-1 | LUXURY VINYL TILE | TARKETT COMMERCIAL | ID LATITUDE WOOD LOOK | PLYW 3523 LAURAL OAK | 6"x48" | BREAKROOMS, MURPHY ANNEX FIRST FLOOR HALL |
| LVT-2 | LUXURY VINYL TILE | TARKETT COMMERCIAL | EVENT STONE - PEUS URBAN STONE | 11201 BOARDWALK | 24"x12" | COPIER ROOM |
| QT-1 | QUARTZ TILE | ALTRO | QUARTZ TILE | CHIP PATTERN, COLOR TBD | 24"x24" | ALTERNATE AT STAIR LANDINGS |
| PTD-1 | PAINT | SHERWIN WILLIAMS | SEE SPECS | WORLDLY GRAY 7043 | NA | GENERAL WALLS/CORRIDORS/HALLWAYS U.N.O. |
| PTD-2 | PAINT | SHERWIN WILLIAMS | SEE SPECS | ACCESSIBLE BEIGE 7036 | NA | OFFICES/CONFERENCE/BREAK U.N.O. |
| PTD-3 | PAINT | SHERWIN WILLIAMS | SEE SPECS | URBANE BRONZE 7048 | NA | METAL DOOR FRAMES & BORROWED LITES |
| PTD-4 | PAINT | SHERWIN WILLIAMS | SEE SPECS | WORLDLY GRAY 7043 | NA | STEEL STAIR STRINGERS, RAILING, ETC. @ALTERNATE - STAIR A & STAIR B |
| PTD-5 | PAINT | SHERWIN WILLIAMS | SEE SPECS | WORLDLY GRAY 7043 | NA | STEEL STAIR STRINGERS, RAILING, ETC. @ALTERNATE - STAIR C, STAIR D & STAIR E |
| PTD-6 | PAINT | SHERWIN WILLIAMS | SEE SPECS | WORLDLY GRAY 7043 | NA | METAL DOORS |
| PTD-7 | PAINT | SHERWIN WILLIAMS | SEE SPECS | PURE WHITE 7005 | NA | WINDOWS, WINDOW CASING AND SILLS |
| PTD-8 | PAINT | SHERWIN WILLIAMS | SEE SPECS | PURE WHITE 7005 | NA | CEILING/SOFFITS |
| PTD-9 | PAINT | SHERWIN WILLIAMS | SEE SPECS | PURE WHITE 7005 | NA | WALLS @ALTERNATE - STAIR A & STAIR B |
| PTD-10 | PAINT | SHERWIN WILLIAMS | SEE SPECS | URBANE BRONZE 7048 | NA | EXISTING STEEL HANDRAIL BRACKETS @ LOBBY STAIRS |
| WC-1 | VINYL WALLCOVERING | MOMENTUM | PESCADO | SILVER COBIA | NA | NEUTRAL WALLCOVERING & LOBBY (SEE FINISH PLANS FOR LOCATION) |
| WC-2 | VINYL WALLCOVERING | MOMENTUM | CUSTOM PRINT | CUSTOM PRINT | NA | ACCENT LOBBY STAIRS (SEE FINISH PLANS & INTERIOR ELEVATIONS FOR LOCATION) |
| RBS-1 | RUBBER STAIRS AND TREADS | TARKETT JOHNSONITE | STAIRWELL MANAGEMENT | TBD | NA | COORD. W/ RBS-1 - STAIR LANDINGS @ ALTERNATE STAIR E |
| COVE-1 | RUBBER COVE BASE | TARKETT JOHNSONITE | DURACOVE | TBD | 6" | COORD. W/ CPT-1, CPT-2 |
| COVE-2 | RUBBER COVE BASE | TARKETT JOHNSONITE | DURACOVE | TBD | 6" | COORD. W/ LVT-1 (WOOD LOOK) |
| COVE-3 | RUBBER COVE BASE | TARKETT JOHNSONITE | DURACOVE | TBD | 6" | COORD. W/ LVT-2 (STONE LOOK) |
| COVE-4 | RUBBER COVE BASE | TARKETT JOHNSONITE | DURACOVE | TBD | 6" | COORD. W/ VCT-1 - STAIR LANDINGS @ ALTERNATE STAIR A & STAIR B |
| COVE-5 | RUBBER COVE BASE | TARKETT JOHNSONITE | DURACOVE | TBD | 6" | COORD. W/ RBS-1 - STAIR LANDINGS @ ALTERNATE STAIR E |
| SW-1 | EXISTING STAINED WOOD | NA | NA | STAINED - WALNUT | NA | REFINISH & STAINED EXISTING WOOD AS SHOWN ON INTERIOR ELEVATIONS. |



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DSCYF -
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Building Finishes
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MC3701000092

1825 FAULKLAND ROAD
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MATERIAL
SCHEDULE

A0.01

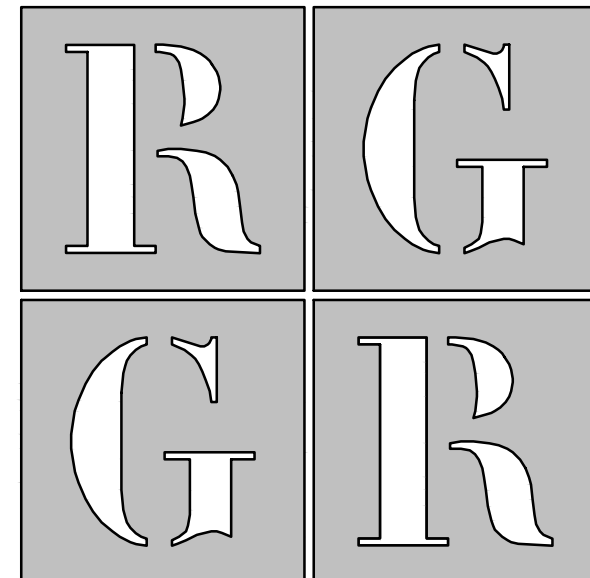
| ROOM FINISH SCHEDULE | | | | | | |
|--|-----------------|--------------------|--------------------------------|--------------------|--------------------|---|
| Number | Room Name | Floor Finish | Floor Pattern/Installation Met | Base | Wall Finish | Notes |
| GROUND LEVEL FLOOR FINISH SCHEDULE | | | | | | |
| ADMIN BUILDING - GROUND LEVEL | | | | | | |
| A001 | ELEVATOR HALL | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-1 | |
| A002 | STAIR 'B' | QT-1 | GRID | COVE-4 | PTD-1 | ALTERNATE #2 |
| A003 | HALL | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-1 | |
| A004 | MECH. | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| A005 | STORAGE | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| A006 | MECH. | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| A007 | EQUIPMENT | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| A008 | MECH. | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| A009 | TUNNEL CORRIDOR | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-1 | |
| MURPHY ANNEX BUILDING - GROUND LEVEL | | | | | | |
| M001 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M002 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M003 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M004 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M005 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M006 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M007 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M008 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M009 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M010 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M011 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M012 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M013 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M014 | STORAGE | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| M015 | STAIR 'D' | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | PTD-1 | ALTERNATE #3 |
| M016 | TOILET (N.I.C.) | (N.I.C.) | (N.I.C.) | (N.I.C.) | PTD-1 | |
| M017 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M018 | STORAGE | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | PTD-2 | |
| M018A | CLOSET | LVT-1 | UNIDIRECTIONAL | COVE-2 | EXISTING TO REMAIN | |
| M019 | STAIR 'C' | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | PTD-1 | ALTERNATE #3 |
| M020 | CORRIDOR | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-1 | |
| M021 | CORRIDOR | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-1 | |
| M022 | CORRIDOR | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-1 | |
| M023 | CORRIDOR | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-1 | |
| M024 | JANITOR | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| C001 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C002 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C003 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C004 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C005 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C006 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C007 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C008 | MECH. | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| C009 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C010 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C011 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C012 | STAIR | RBS-1 | NA | COVE-5 | PTD-1 | ALTERNATE #4 |
| C013 | CORRIDOR | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| C014 | CORRIDOR | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| C015 | CORRIDOR | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| FIRST FLOOR ROOM FINISH SCHEDULE | | | | | | |
| ADMINISTRATION BUILDING - FIRST FLOOR | | | | | | |
| A101 | VESTIBULE | EXISTING TO REMAIN | EXISTING TO REMAIN | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| A102 | LOBBY | EXISTING TO REMAIN | EXISTING TO REMAIN | SWB-1 | * PTD-1 & WC-1 | * SEE FINISH PLANS & INTERIOR ELEVATIONS FOR LOCATION |
| A102A | LOBBY HALL | EXISTING TO REMAIN | EXISTING TO REMAIN | SWB-1 | * PTD-1 & WC-1 | * SEE FINISH PLANS & INTERIOR ELEVATIONS FOR LOCATION |
| A102B | VESTIBULE | EXISTING TO REMAIN | EXISTING TO REMAIN | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| A103 | COPY RM. | LVT-2 | VERTICAL ASHLAR | COVE-3 | PTD-1 | |
| A103A | MECH. | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| A103B | JAN. | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | EXISTING TO REMAIN | |
| A104 | ELEVATOR HALL | EXISTING TO REMAIN | EXISTING TO REMAIN | SWB-1 | * PTD-1 & WC-1 | * SEE FINISH PLANS & INTERIOR ELEVATIONS FOR LOCATION |
| A105 | OPEN OFFICE | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A106 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A107 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A108 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A109 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A110 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A111 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A112 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A113 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A114 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A115 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A116 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A117 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A118 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A119A | STAIR HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A119B | STAIR 'A' | VCT-1 | GRID | COVE-4 | PTD-1 | ALTERNATE #2 |
| A120 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A121 | OPEN OFFICE | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A122 | STORAGE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A123 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A124 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A125 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A126 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A127 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A128 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A129 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A130 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A131 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A132 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A133 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A134 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A135 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A136 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A137 | TRAINING | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A138 | TRAINING | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A139 | LOBBY STAIRS | EXISTING TO REMAIN | EXISTING TO REMAIN | SWB-1 | * PTD-1 & WC-2 | * SEE FINISH PLANS & INTERIOR ELEVATIONS FOR LOCATION |

| FIRST FLOOR ROOM FINISH SCHEDULE | | | | | | |
|--|-----------------|--------------------|--------------------------------|--------------------|-------------|--|
| ADMINISTRATION BUILDING - FIRST FLOOR | | | | | | |
| Number | Room Name | Floor Finish | Floor Pattern/Installation Met | Base | Wall Finish | Notes |
| A140 | TOILET HALL | LVT-1 | UNIDIRECTIONAL | COVE-2 | WC-1 | |
| A141 | WOMENS | (N.I.C.) | (N.I.C.) | (N.I.C.) | PTD-1 | ON ALL DRYWALL WALLS, EXCLUDE CERAMIC TILE ON WET WALL |
| A142 | MENS | (N.I.C.) | (N.I.C.) | (N.I.C.) | PTD-1 | ON ALL DRYWALL WALLS, EXCLUDE CERAMIC TILE ON WET WALL |
| A143 | CONFERENCE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A144 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A145 | OPEN OFFICE | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A146 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A147 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A148 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A149 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A150 | CORRIDOR | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A151 | OPEN OFFICE | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A152 | MOTHERS ROOM | CPT-2 | VERTICAL ASHLAR | COVE-1 | WC-1 | |
| A153 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A154 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A155 | LIBRARY | N.I.C. | N.I.C. | N.I.C. | PTD-2 | |
| A156 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A157 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A158 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A159 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A160 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A161 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A162 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A163 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A164 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A165 | CORRIDOR | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A166 | STORAGE | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A167 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A168 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A169 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A170 | CORRIDOR | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A171 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A172 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A173 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A174 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A175 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A176 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A177 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A178 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A179 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A180 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A181 | STAIR 'B' | QT-1 | GRID | COVE-4 | PTD-1 | ALTERNATE #2 |
| A182 | ELEVATOR HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A183 | TUNNEL CORRIDOR | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | PTD-1 @ WOOD WINDOW SILLS & WINDOW WOOD MULLIONS |
| MURPHY ANNEX BUILDING - FIRST FLOOR | | | | | | |
| M101 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M102 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M103 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M104 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M105 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M106 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M107 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M108 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M109 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M110 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M111 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M112 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M113 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M114 | ALCOVE | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-1 | |
| M115 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| M116 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| M117 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| M118 | STAIR 'C' | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | PTD-1 | ALTERNATE #3 |
| M119 | CONFERENCE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| M120 | STORAGE | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-1 | |
| M121 | TOILET | (N.I.C.) | (N.I.C.) | (N.I.C.) | PTD-1 | |
| M122 | ALCOVE | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-1 | |
| M123 | TOILET | (N.I.C.) | (N.I.C.) | (N.I.C.) | PTD-1 | |
| M124 | STAIR 'D' | EXISTING TO REMAIN | NA | EXISTING TO REMAIN | PTD-1 | ALTERNATE #3 |
| C101 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C102 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C103 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C104 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C105 | CONF. | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C106 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C107 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| C108 | MECH. | EXISTING TO REMAIN | EXISTING TO REMAIN | EXISTING TO REMAIN | PTD-2 | |
| C109 | OFFICE | | | | | |

SECOND FLOOR FINISH SCHEDULE

ADMINISTRATION BUILDING - SECOND FLOOR

| | | | | | | |
|-------|---------------|----------|-----------------|----------|-------|--|
| A210 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A211 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A212 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A213 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A214 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A215 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A216 | STORAGE | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A217 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A218 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A218 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A219 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A220 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A220A | STAIR HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A220B | STAIR 'A' | QT-1 | GRID | COVE-4 | PTD-1 | ALTERNATE #2 |
| A221 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A222 | STORAGE | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A223 | TRAINING ROOM | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A224 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A225 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A226 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A227 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A228 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A229 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A230 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A231 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A232 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A233 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A234 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A235 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A35B | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A35C | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A236 | BREAK AREA | CPT-2 | VERTICAL ASHLAR | COVE-2 | PTD-2 | |
| A237 | KITCHENETTE | LVT-1 | UNIDIRECTIONAL | COVE-2 | PTD-2 | |
| A238 | TOILET HALL | LVT-1 | UNIDIRECTIONAL | COVE-2 | WC-1 | |
| A239 | WOMENS | (N.I.C.) | (N.I.C.) | (N.I.C.) | PTD-1 | ON ALL DRYWALL WALLS, EXCLUDE CERAMIC TILE ON WET WALL |
| A240 | MENS | (N.I.C.) | (N.I.C.) | (N.I.C.) | PTD-1 | ON ALL DRYWALL WALLS, EXCLUDE CERAMIC TILE ON WET WALL |
| A241 | CONFERENCE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A242 | STORAGE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A243 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A244 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A245 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A246 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A247 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A248 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A249 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A250 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A251 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A252 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A253 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A254 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A255 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A256 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A257 | STAIR 'B' | QT-1 | GRID | COVE-4 | PTD-1 | ALTERNATE #2 |
| A258 | ELEVATOR HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A259 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A260 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A261 | OPEN OFFICE | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A262 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A263 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A264 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A265 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A266 | OPEN OFFICE | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A267 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A268 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A269 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A270 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A271 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A272 | HALL | CPT-1 | VERTICAL ASHLAR | COVE-1 | PTD-1 | |
| A273 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A274 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A275 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A276 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A277 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A278 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A279 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A280 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A281 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A282 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A283 | CONFERENCE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |
| A284 | OFFICE | CPT-2 | VERTICAL ASHLAR | COVE-1 | PTD-2 | |



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PROJECT INFO:

DSCYF -
Administration Building,
Murphy Cottage & Annex
Building Finishes
Renovations
MC3701000092

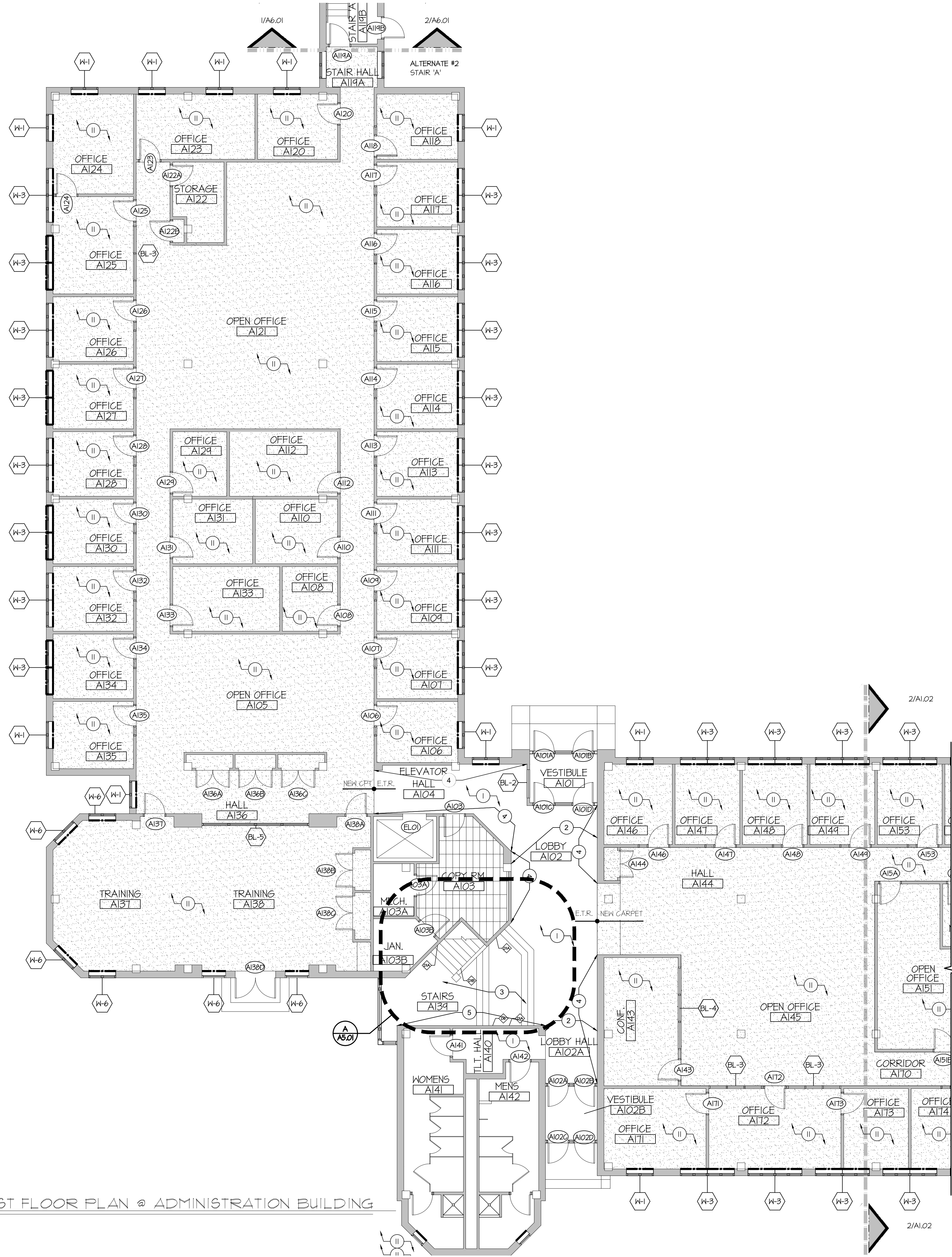
1825 FAULKLAND ROAD
 WILMINGTON, DE 19805

SHEET INFO:

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ROOM FINISH
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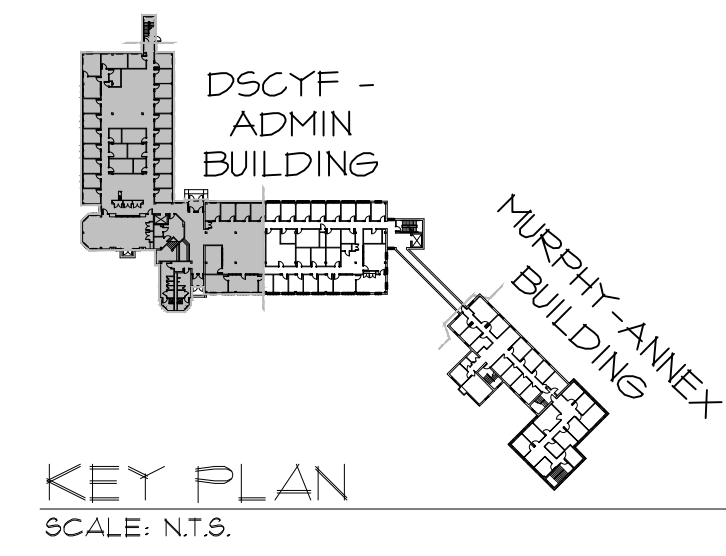


1 PARTIAL FIRST FLOOR PLAN @ ADMINISTRATION BUILDING
SCALE: 1/8" = 1'-0"

| LEGEND & NOTES | |
|---|---|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. | |
| 2. CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DNGS. PRIOR TO START OF CONSTRUCTION. | |
| 3. CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT. | |
| 4. OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. | |
| NOTES: | |
| 1. SEE A3.03 FOR WINDOW AND BORROWED LITE TYPES AND PAINTING SCHEDULE. | |
| 1. SEE A4.01 FOR REFLECTED CEILING PLAN NOTING CEILING HEIGHTS FOR WALL PAINTING. | |
| LEGEND: | |
| | WINDOW SHADE (SEE SPEC 12 24 00 FOR ADDITIONAL INFORMATION) |

| FLOORING RENOVATION LEGEND: | |
|-----------------------------|---|
| | NEW CARPET TILE, SEE MATERIAL SCHEDULE |
| | NEW LVT PLANK, SEE MATERIAL SCHEDULE |
| | NEW 1X2' LVT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #2 - STAIR 'A' & STAIR 'B': NEW VGT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #4 - STAIR 'E': NEW RUBBER STAIRWELL SYSTEM, SEE MATERIAL SCHEDULE |
| | ETR - EXISTING FLOORING TO REMAIN |

| NEW WORK KEYNOTES | |
|-------------------|---|
| 1 | CLEAN AND POLISH EXISTING TERRAZZO FLOOR TILES. |
| 2 | EXISTING WOOD BASEBOARD TO REMAIN |
| 3 | CLEAN AND POLISH EXISTING TERRAZZO STAIR LANDINGS, AND TREADS |
| 4 | NEW HALL COVERING, SEE INTERIOR ELEVATIONS FOR EXTENT OF WORK |
| 5 | NEW ACCENT WALL COVERING, SEE INTERIOR ELEVATIONS FOR EXTENT |
| 6 | PAINT EXISTING GYP. BOARD CEILING & SOFFITS, SEE REFLECTED CEILING PLANS |
| 7 | NEW LIGHT FIXTURE, SEE LIGHTING LEGEND. |
| 8 | PREP & PAINT EXISTING STEEL HANDRAIL BRACKETS & ASSOCIATED STEEL |
| 9 | PATCH AND PREP WALLS AS NECESSARY TO REINSTALL EXISTING HANDRAIL AND BRACKETS AFTER INSTALLATION OF NEW WALL COVERING |
| 10 | ALL WALLS AND GYP. BOARD CEILINGS TO RECEIVE NEW PAINT UNLESS NOTED OTHERWISE, SEE MATERIAL SCHEDULE & RCP SHEET A4.01 FOR TYP. CEILING HEIGHTS |
| 11 | NEW RUBBER COVE BASE TO MATCH EXISTING SIZE, COLOR, & PROFILE |
| 12 | EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE BOARD TO BE PAINTED TO MATCH NEW WINDOW SILL PAINT |



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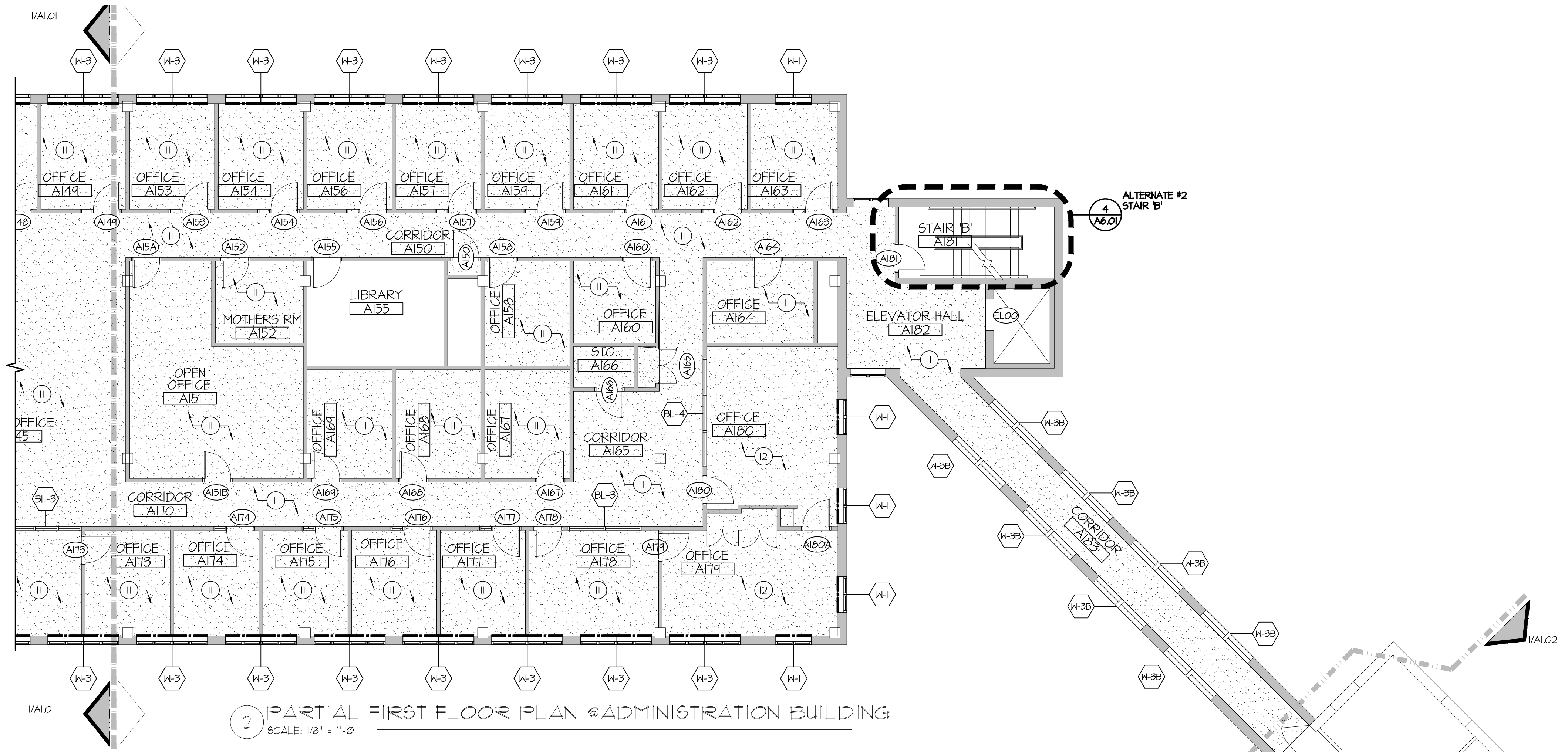
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1825 FAULKLAND ROAD WILMINGTON, DE 19805

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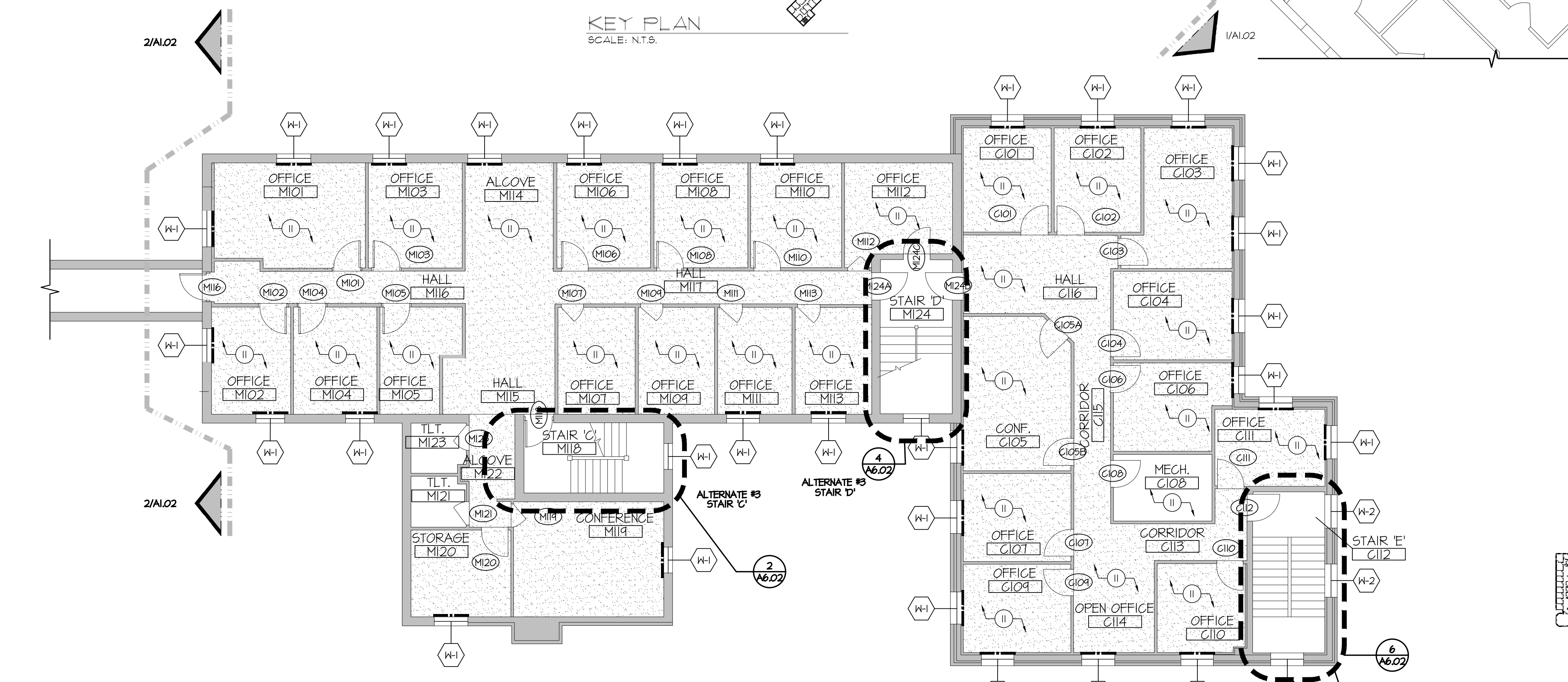
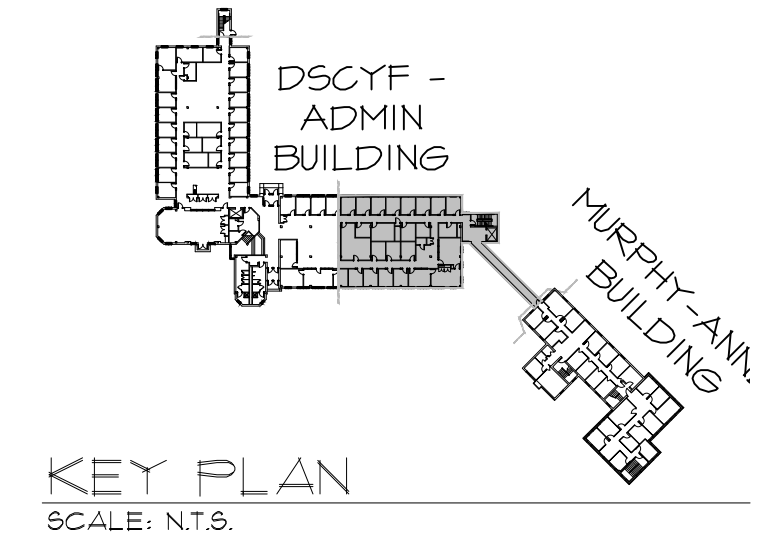
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PARTIAL FIRST FLOOR RENOVATION PLAN - ADMIN

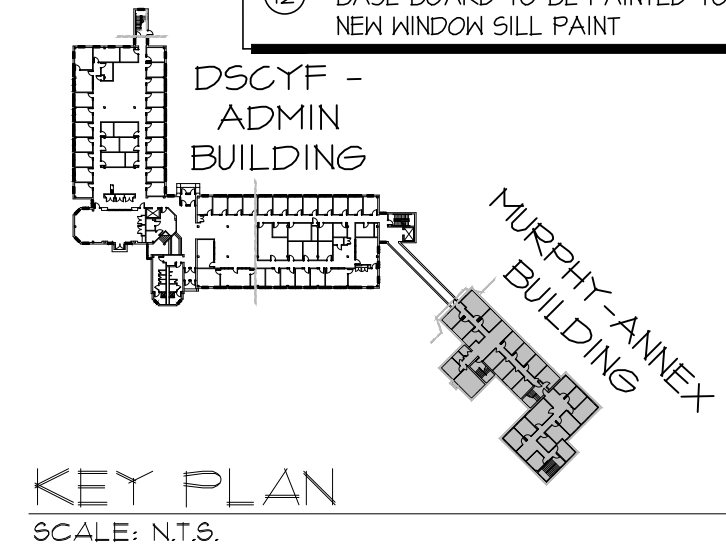
A1.01



2 PARTIAL FIRST FLOOR PLAN @ ADMINISTRATION BUILDING
SCALE: 1/8" = 1'-0"



1 PARTIAL FIRST FLOOR PLAN @ MURPHY-ANNEX BUILDING
SCALE: 1/8" = 1'-0"



| LEGEND & NOTES | |
|---|---|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. | |
| 2. CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DWGS. PRIOR TO START OF CONSTRUCTION. | |
| 3. CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT. | |
| 4. OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. | |
| NOTES: | |
| 1. SEE A3.03 FOR WINDOW AND BORROWED LITE TYPES AND PAINTING SCHEDULE. | |
| 1. SEE A4.01 FOR REFLECTED CEILING PLAN NOTING CEILING HEIGHTS FOR WALL PAINTING. | |
| LEGEND: | |
| | WINDOW SHADE (SEE SPEC 12 24 00 FOR ADDITIONAL INFORMATION) |

| FLOORING RENOVATION LEGEND: | |
|-----------------------------|--|
| | NEW CARPET TILE, SEE MATERIAL SCHEDULE |
| | NEW LVT PLANK, SEE MATERIAL SCHEDULE |
| | NEW 1X2' LVT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #2 - STAIR 'A' & STAIR 'B': NEW VCT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #4 - STAIR 'E': NEW RUBBER STAIRWELL SYSTEM, SEE MATERIAL SCHEDULE |
| | EXISTING FLOORING TO REMAIN |

| NEW WORK KEYNOTES | |
|-------------------|---|
| 1 | CLEAN AND POLISH EXISTING TERRAZZO FLOOR TILES. |
| 2 | EXISTING WOOD BASEBOARD TO REMAIN |
| 3 | CLEAN AND POLISH EXISTING TERRAZZO STAIR LANDINGS, AND TREADS |
| 4 | NEW WALL COVERING. SEE INTERIOR ELEVATIONS FOR EXTENT OF WORK |
| 5 | NEW ACCENT WALL COVERING, SEE INTERIOR ELEVATIONS FOR EXTENT |
| 6 | PAINT EXISTING GYP. BOARD CEILING & SOFFITS, SEE REFLECTED CEILING PLANS |
| 7 | NEW LIGHT FIXTURE, SEE LIGHTING LEGEND. |
| 8 | PREP & PAINT EXISTING STEEL HANDRAIL BRACKETS & ASSOCIATED STEEL |
| 9 | PATCH AND PREP WALLS AS NECESSARY TO REINSTALL EXISTING HANDRAIL AND BRACKETS AFTER INSTALLATION OF NEW WALL COVERING |
| 10 | ALL WALLS AND GYP. BOARD CEILINGS TO RECEIVE NEW PAINT UNLESS NOTED OTHERWISE. SEE MATERIAL SCHEDULE & RCP SHEET A4.01 FOR TYP. CEILING HEIGHTS |
| 11 | NEW RUBBER COVE BASE TO MATCH EXISTING SIZE, COLOR, & PROFILE |
| 12 | EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE BOARD TO BE PAINTED TO MATCH NEW WINDOW SILL PAINT |

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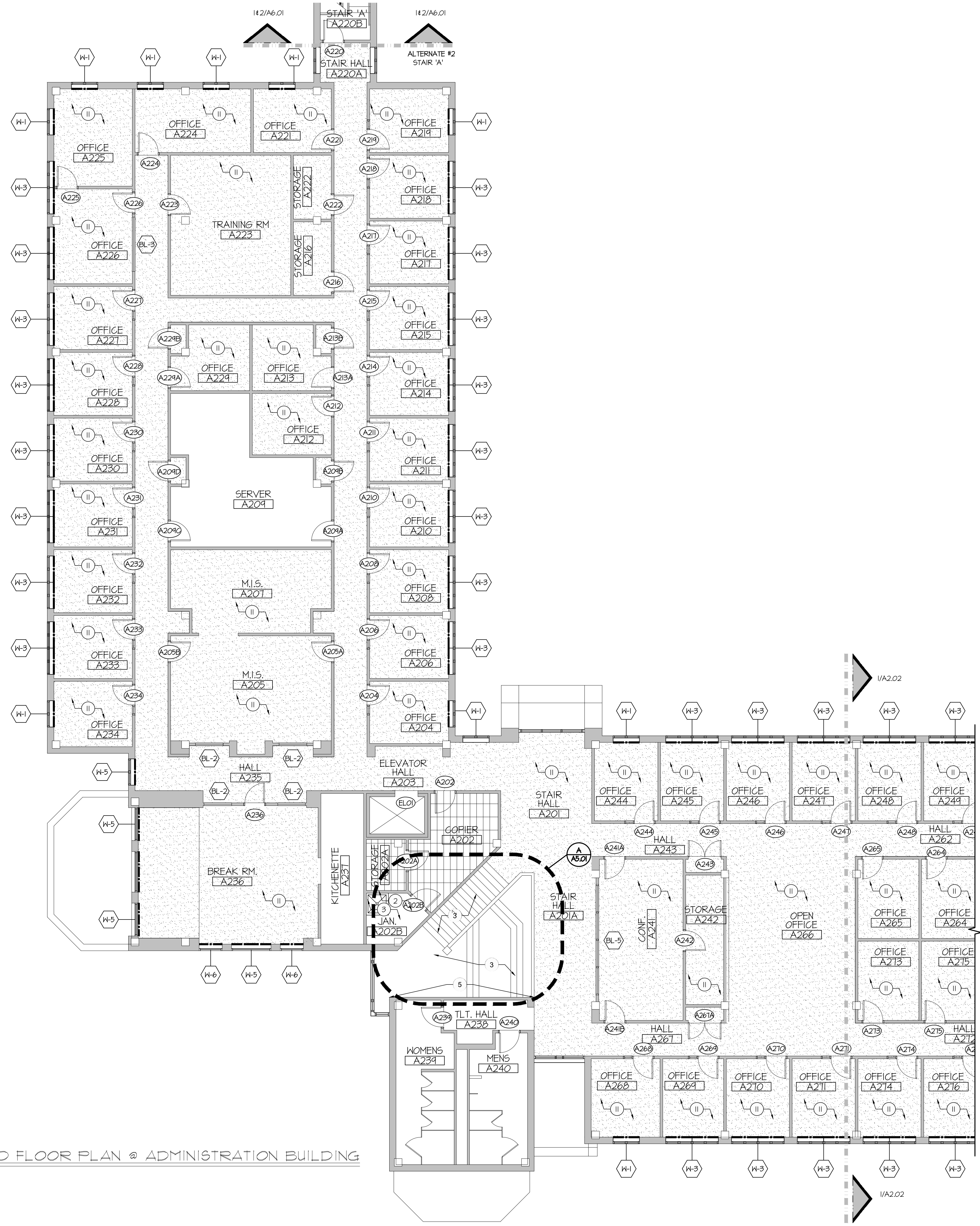
PROJECT INFO:
 DSCYF - Administration Building, Murphy Cottage & Annex Building Finishes Renovations MC3701000092
 1825 FAULKLAND ROAD WILMINGTON, DE 19805

SHEET INFO:
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PARTIAL FIRST FLOOR RENOVATION PLANS - MURPHY-ANNEX

A1.02



LEGEND & NOTES

LEGEND:

- EXISTING WALL TO REMAIN
- - - EXISTING TO BE REMOVED
- (X) DOOR TAG
- (X) WINDOW TAG
- (X) DEMOLITION KEYNOTE
- (X) NEW WORK KEYNOTE

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION.
- CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DINGS. PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT.
- OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT.

NOTES:

- SEE A3.03 FOR WINDOW AND BORROWED LITE TYPES AND PAINTING SCHEDULE.
- SEE A4.01 FOR REFLECTED CEILING PLAN NOTING CEILING HEIGHTS FOR WALL PAINTING.

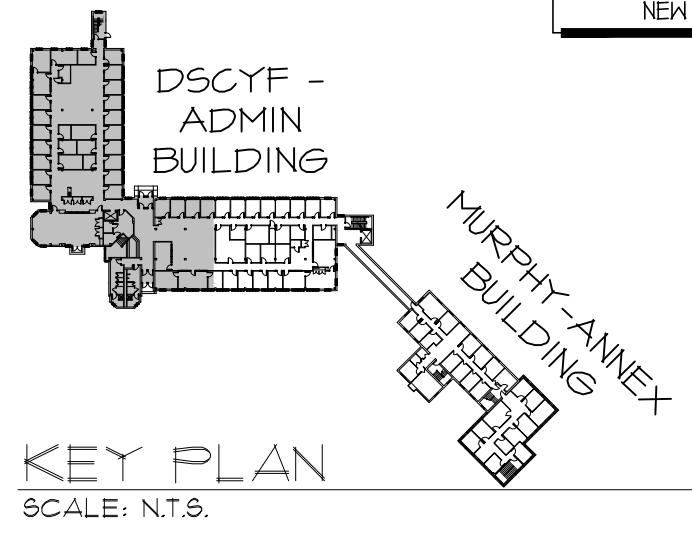
LEGEND: WINDOW SHADE (SEE SPEC 12 24 00 FOR ADDITIONAL INFORMATION)

FLOORING RENOVATION LEGEND:

- (Pattern) NEW CARPET TILE, SEE MATERIAL SCHEDULE
- (Pattern) NEW LVT PLANK, SEE MATERIAL SCHEDULE
- (Pattern) NEW 1/2" LVT, SEE MATERIAL SCHEDULE
- (Pattern) ALTERNATE #2 - STAIR 'A' & STAIR 'B': NEW VCT, SEE MATERIAL SCHEDULE
- (Pattern) ALTERNATE #4 - STAIR 'E': NEW RUBBER STAIRWELL SYSTEM, SEE MATERIAL SCHEDULE
- (Pattern) ETR EXISTING FLOORING TO REMAIN

NEW WORK KEYNOTES

- CLEAN AND POLISH EXISTING TERRAZZO FLOOR TILES.
- EXISTING WOOD BASEBOARD TO REMAIN
- CLEAN AND POLISH EXISTING TERRAZZO STAIR LANDINGS, AND TREADS
- NEW WALL COVERING, SEE INTERIOR ELEVATIONS FOR EXTENT OF WORK.
- NEW ACCENT WALL COVERING, SEE INTERIOR ELEVATIONS FOR EXTENT
- PAINT EXISTING GYP. BOARD CEILING & SOFFITS, SEE REFLECTED CEILING PLANS
- NEW LIGHT FIXTURE, SEE LIGHTING LEGEND.
- PREP & PAINT EXISTING STEEL HANDRAIL BRACKETS & ASSOCIATED STEEL
- PATCH AND PREP WALLS AS NECESSARY TO REINSTALL EXISTING HANDRAIL AND BRACKETS AFTER INSTALLATION OF NEW WALL COVERING.
- ALL HALLS AND GYP. BOARD CEILINGS TO RECEIVE NEW PAINT UNLESS NOTED OTHERWISE, SEE MATERIAL SCHEDULE & RCP SHEET A4.01 FOR TYP. CEILING HEIGHTS
- NEW RUBBER COVE BASE TO MATCH EXISTING SIZE, COLOR, & PROFILE
- EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE BOARD TO BE PAINTED TO MATCH NEW WINDOW SILL PAINT



1 PARTIAL SECOND FLOOR PLAN @ ADMINISTRATION BUILDING
SCALE: 1/8" = 1'-0"

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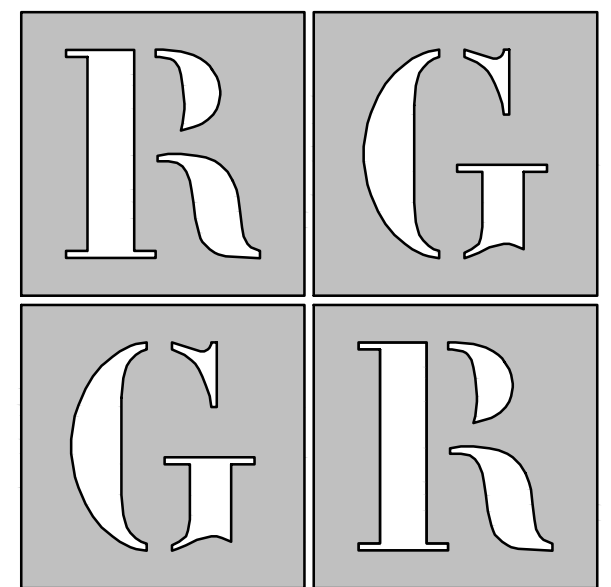
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PARTIAL SECOND FLOOR RENOVATION FLOOR PLAN - ADMIN
A2.01

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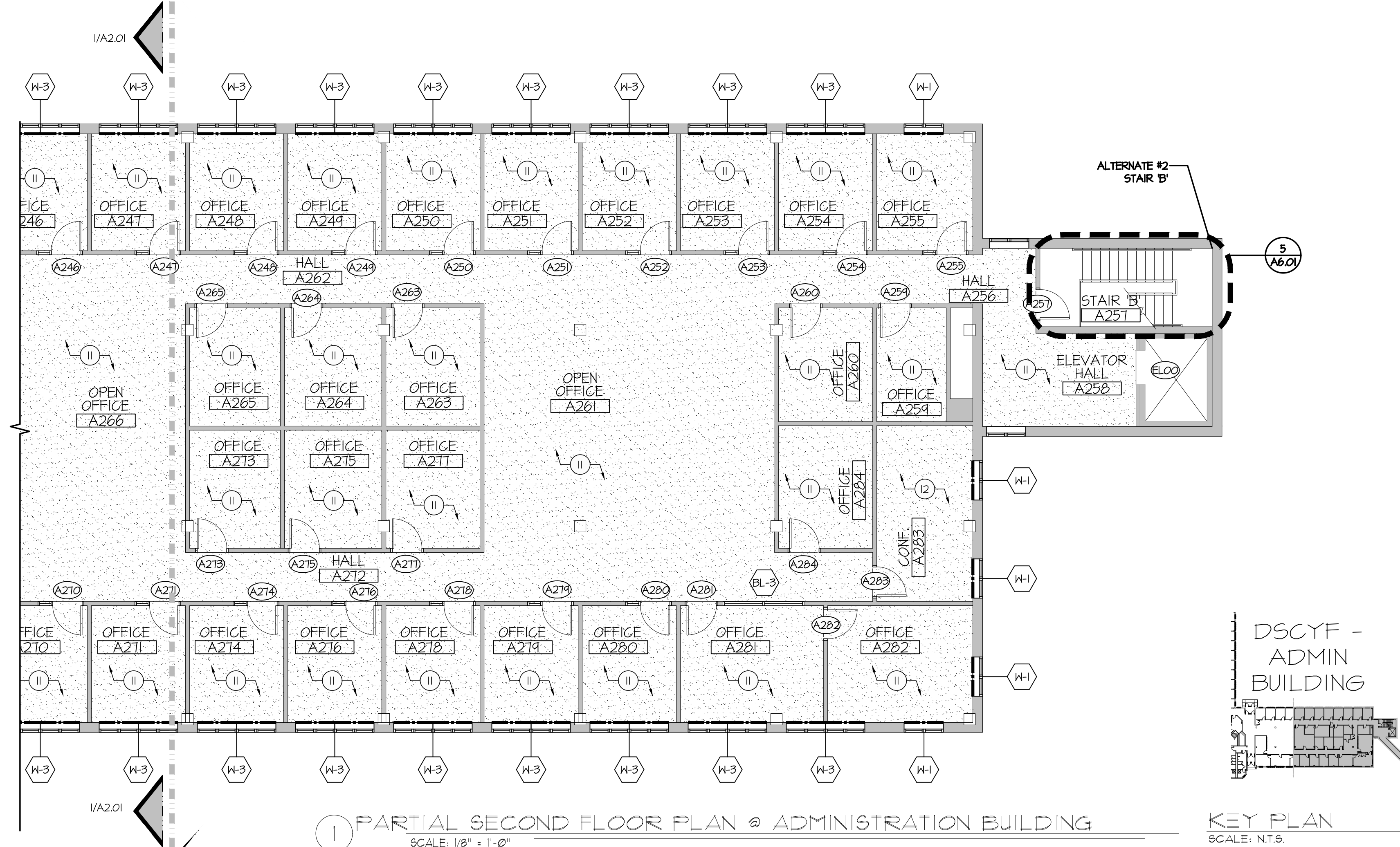


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| LEGEND & NOTES | |
|-----------------------|--|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. | CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. |
| 2. | CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DWGS. PRIOR TO START OF CONSTRUCTION. |
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| 4. | OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. |
| NOTES: | |
| 1. | SEE A3.03 FOR WINDOW AND BORROWED LITE TYPES AND PAINTING SCHEDULE. |
| 1. | SEE A4.01 FOR REFLECTED CEILING PLAN NOTING CEILING HEIGHTS FOR WALL PAINTING. |
| LEGEND: | |
| | WINDOW SHADE (SEE SPEC 12 24 00 FOR ADDITIONAL INFORMATION) |

| FLOORING RENOVATION LEGEND: | |
|-----------------------------|---|
| | NEW CARPET TILE, SEE MATERIAL SCHEDULE |
| | NEW LVT PLANK, SEE MATERIAL SCHEDULE |
| | NEW 1'x2' LVT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #2 - STAIR 'A' & STAIR 'B': NEW VGT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #4 - STAIR 'E': NEW RUBBER STAIRWELL SYSTEM, SEE MATERIAL SCHEDULE |
| | EXISTING FLOORING TO REMAIN |

| NEW WORK KEYNOTES | |
|-------------------|---|
| ① | CLEAN AND POLISH EXISTING TERRAZZO FLOOR TILES. |
| ② | EXISTING WOOD BASEBOARD TO REMAIN |
| ③ | CLEAN AND POLISH EXISTING TERRAZZO STAIR LANDINGS, AND TREADS |
| ④ | NEW WALL COVERINGS, SEE INTERIOR ELEVATIONS FOR EXTENT OF WORK |
| ⑤ | NEW ACCENT WALL COVERING, SEE INTERIOR ELEVATIONS FOR EXTENT |
| ⑥ | PAINT EXISTING GYP. BOARD CEILING & SOFFITS, SEE REFLECTED CEILING PLANS |
| ⑦ | NEW LIGHT FIXTURE, SEE LIGHTING LEGEND. |
| ⑧ | PREP & PAINT EXISTING STEEL HANDRAIL BRACKETS & ASSOCIATED STEEL |
| ⑨ | PATCH AND PREP WALLS AS NECESSARY TO REINSTALL EXISTING HANDRAIL AND BRACKETS AFTER INSTALLATION OF NEW WALL COVERING |
| ⑩ | ALL WALLS AND GYP. BOARD CEILINGS TO RECEIVE NEW PAINT UNLESS NOTED OTHERWISE, SEE MATERIAL SCHEDULE & RCP SHEET A4.01 FOR TYP. CEILING HEIGHTS |
| ⑪ | NEW RUBBER COVE BASE TO MATCH EXISTING SIZE, COLOR, & PROFILE |
| ⑫ | EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE BOARD TO BE PAINTED TO MATCH NEW WINDOW SILL PAINT |



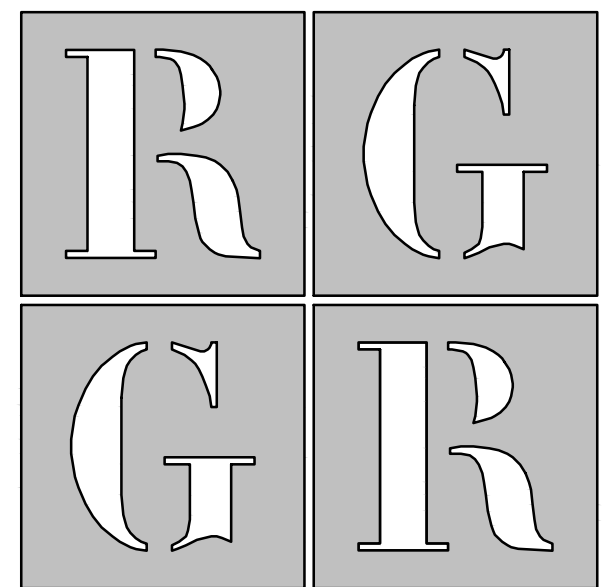
① PARTIAL SECOND FLOOR PLAN @ ADMINISTRATION BUILDING
 SCALE: 1/8" = 1'-0"

ISSUED FOR:
 DFM 99% REVIEW 9 FEB 2026
 BIDDING 14 APRIL 2026

PROJECT INFO:
 DSCYF - Administration Building, Murphy Cottage & Annex Building Finishes Renovations MC3701000092
 1825 FAULKLAND ROAD WILMINGTON, DE 19805

SHEET INFO:
 PROJECT NO: 25039
 DRAWN BY: NSG
 CHECKED BY: GDR
 SCALE: AS NOTED
 DATE: 14 APRIL 2026

TITLE & NO.:
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PARTIAL SECOND FLOOR RENOVATION FLOOR PLAN - MURPHY
A2.02

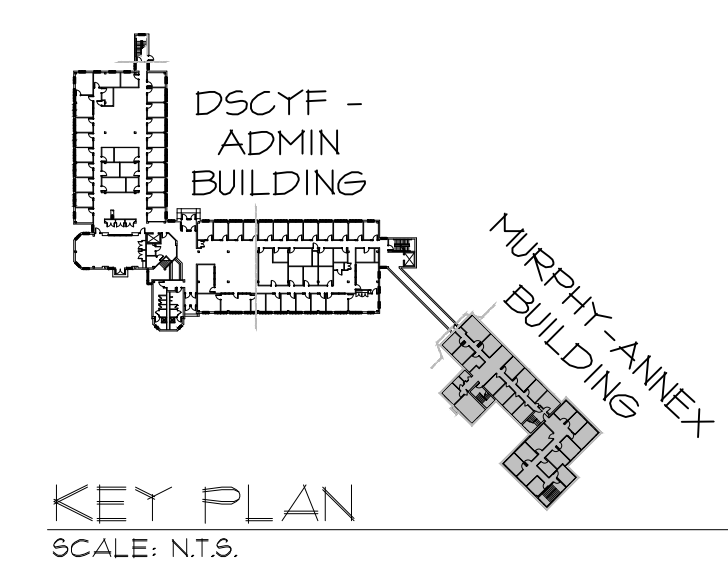
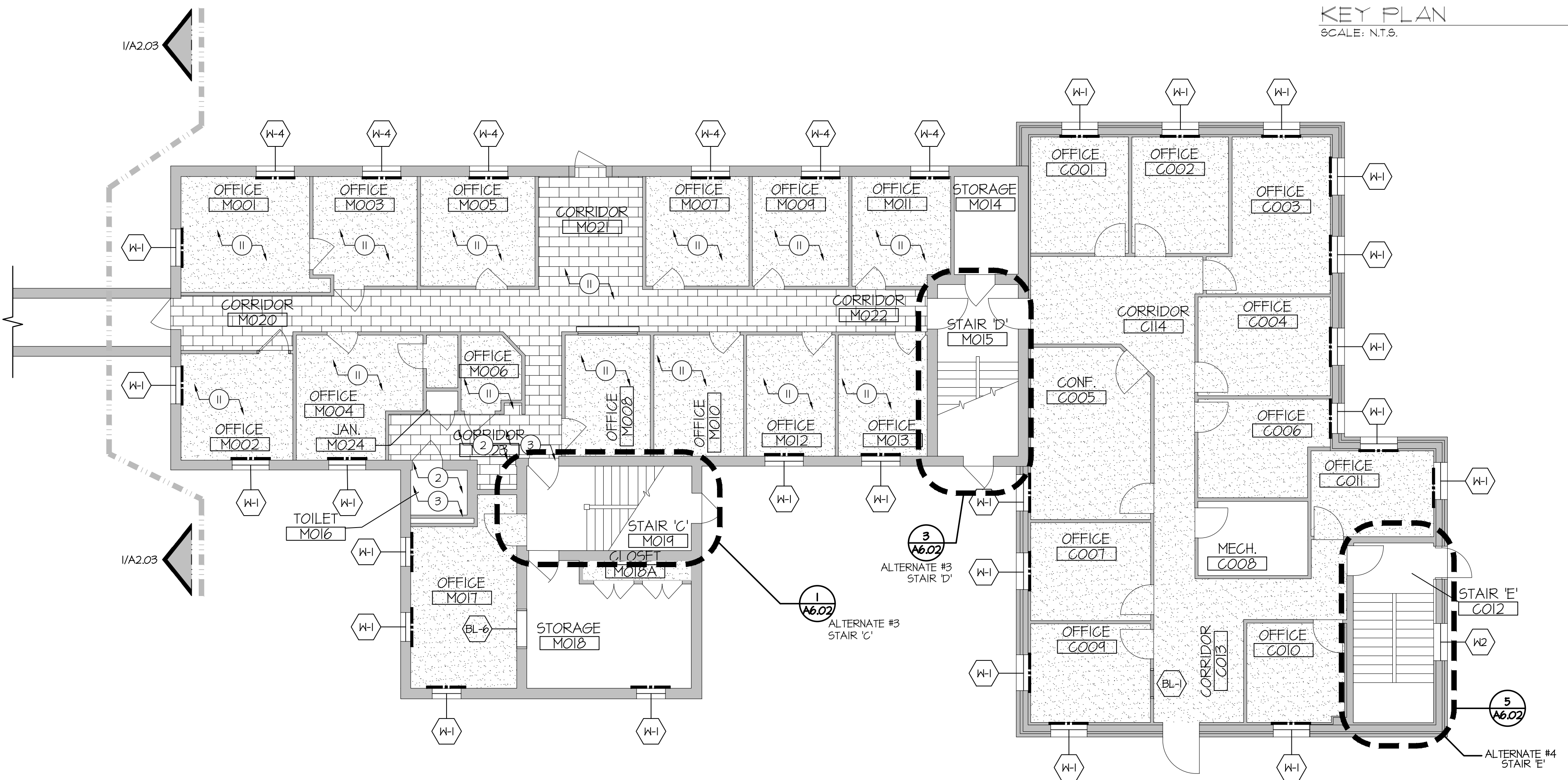
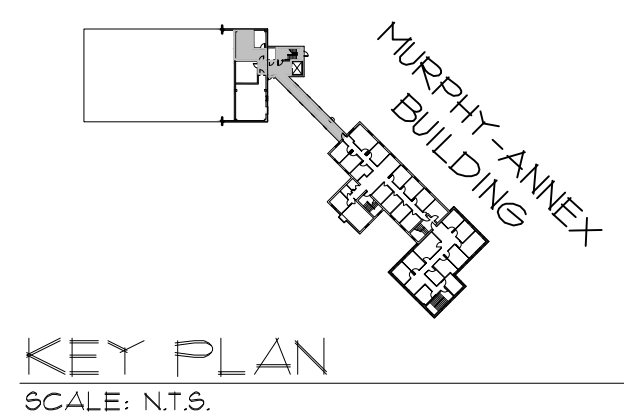
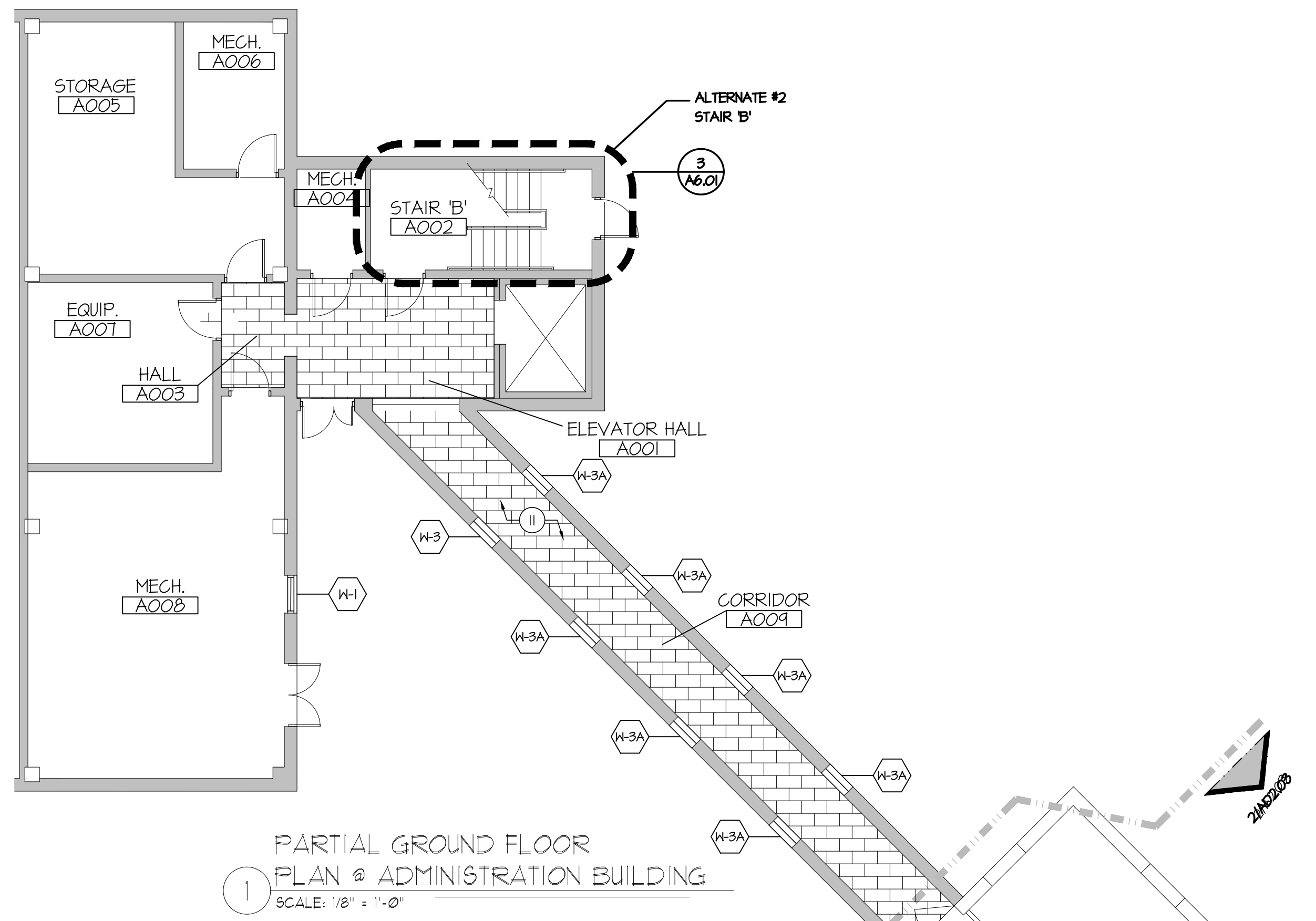


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 www.rgarchitects.net
 302.376.8100

| LEGEND & NOTES | |
|-----------------------|--|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. | CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. |
| 2. | CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DINGS. PRIOR TO START OF CONSTRUCTION. |
| 3. | CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT. |
| 4. | OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. |
| NOTES: | |
| 1. | SEE A3.03 FOR WINDOW AND BORROWED LITE TYPES AND PAINTING SCHEDULE. |
| 1. | SEE A4.01 FOR REFLECTED CEILING PLAN NOTING CEILING HEIGHTS FOR WALL PAINTING. |
| LEGEND: | |
| | WINDOW SHADE (SEE SPEC 12 24 00 FOR ADDITIONAL INFORMATION) |

| FLOORING RENOVATION LEGEND: | |
|-----------------------------|---|
| | NEW CARPET TILE, SEE MATERIAL SCHEDULE |
| | NEW LVT PLANK, SEE MATERIAL SCHEDULE |
| | NEW 1X2' LVT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #2 - STAIR 'A' & STAIR 'B': NEW VGT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #4 - STAIR 'E': NEW RUBBER STAIRWELL SYSTEM, SEE MATERIAL SCHEDULE |
| | EXISTING FLOORING TO REMAIN |

| NEW WORK KEYNOTES | |
|-------------------|---|
| ① | CLEAN AND POLISH EXISTING TERRAZZO FLOOR TILES. |
| ② | EXISTING WOOD BASEBOARD TO REMAIN |
| ③ | CLEAN AND POLISH EXISTING TERRAZZO STAIR LANDINGS, AND TREADS |
| ④ | NEW WALL COVERING, SEE INTERIOR ELEVATIONS FOR EXTENT OF WORK |
| ⑤ | NEW ACCENT WALL COVERING, SEE INTERIOR ELEVATIONS FOR EXTENT |
| ⑥ | PAIN EXISTING GYP. BOARD CEILING & SOFFITS, SEE REFLECTED CEILING PLANS |
| ⑦ | NEW LIGHT FIXTURE, SEE LIGHTING LEGEND. |
| ⑧ | PREP & PAINT EXISTING STEEL HANDRAIL BRACKETS & ASSOCIATED STEEL |
| ⑨ | PATCH AND PREP WALLS AS NECESSARY TO REINSTALL EXISTING HANDRAIL AND BRACKETS AFTER INSTALLATION OF NEW WALL COVERING |
| ⑩ | ALL WALLS AND GYP. BOARD CEILINGS TO RECEIVE NEW PAINT UNLESS NOTED OTHERWISE, SEE MATERIAL SCHEDULE & RCP SHEET A4.01 FOR TYP. CEILING HEIGHTS |
| ⑪ | NEW RUBBER COVE BASE TO MATCH EXISTING SIZE, COLOR, & PROFILE |
| ⑫ | EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE BOARD TO BE PAINTED TO MATCH NEW WINDOW SILL PAINT |



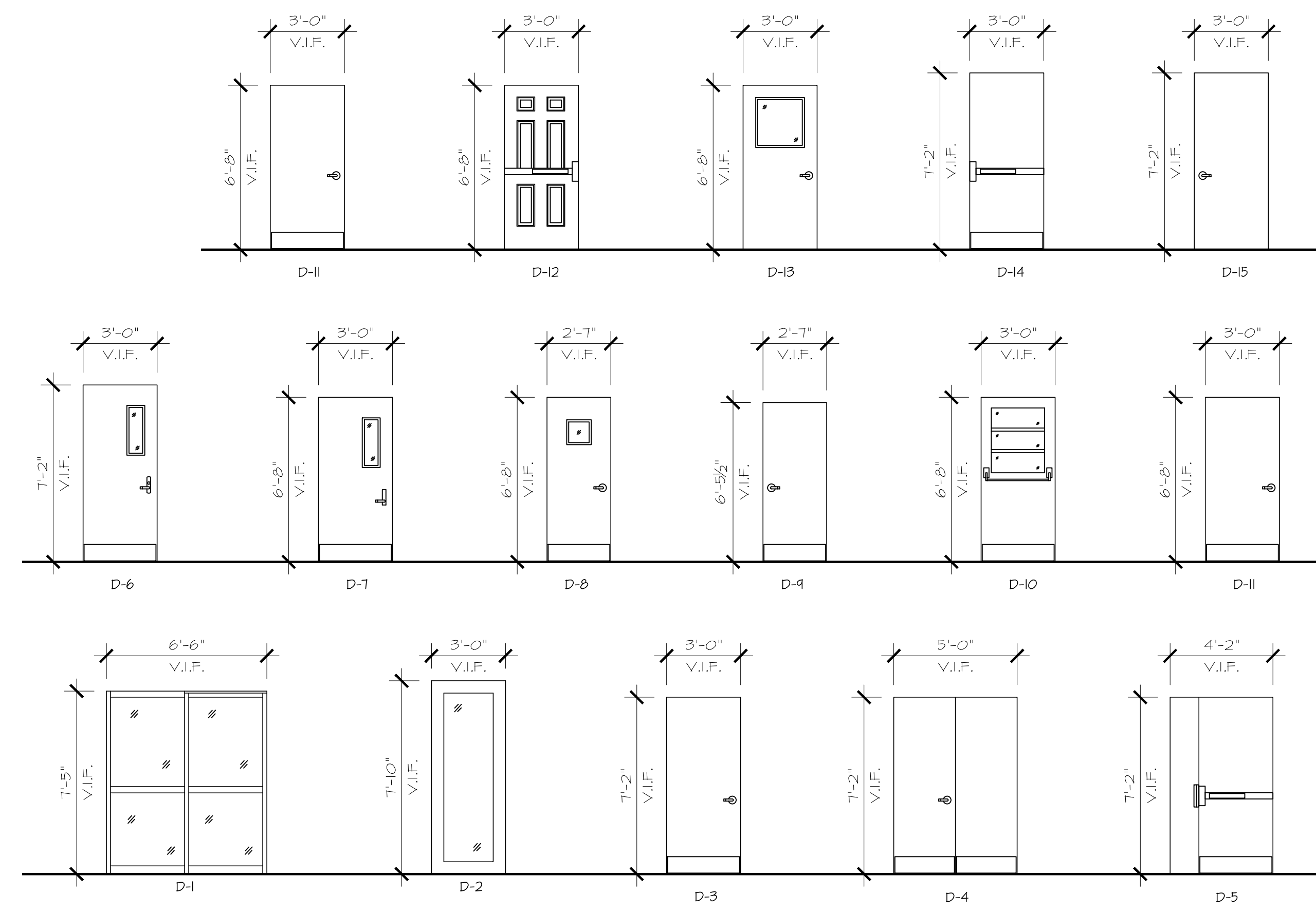
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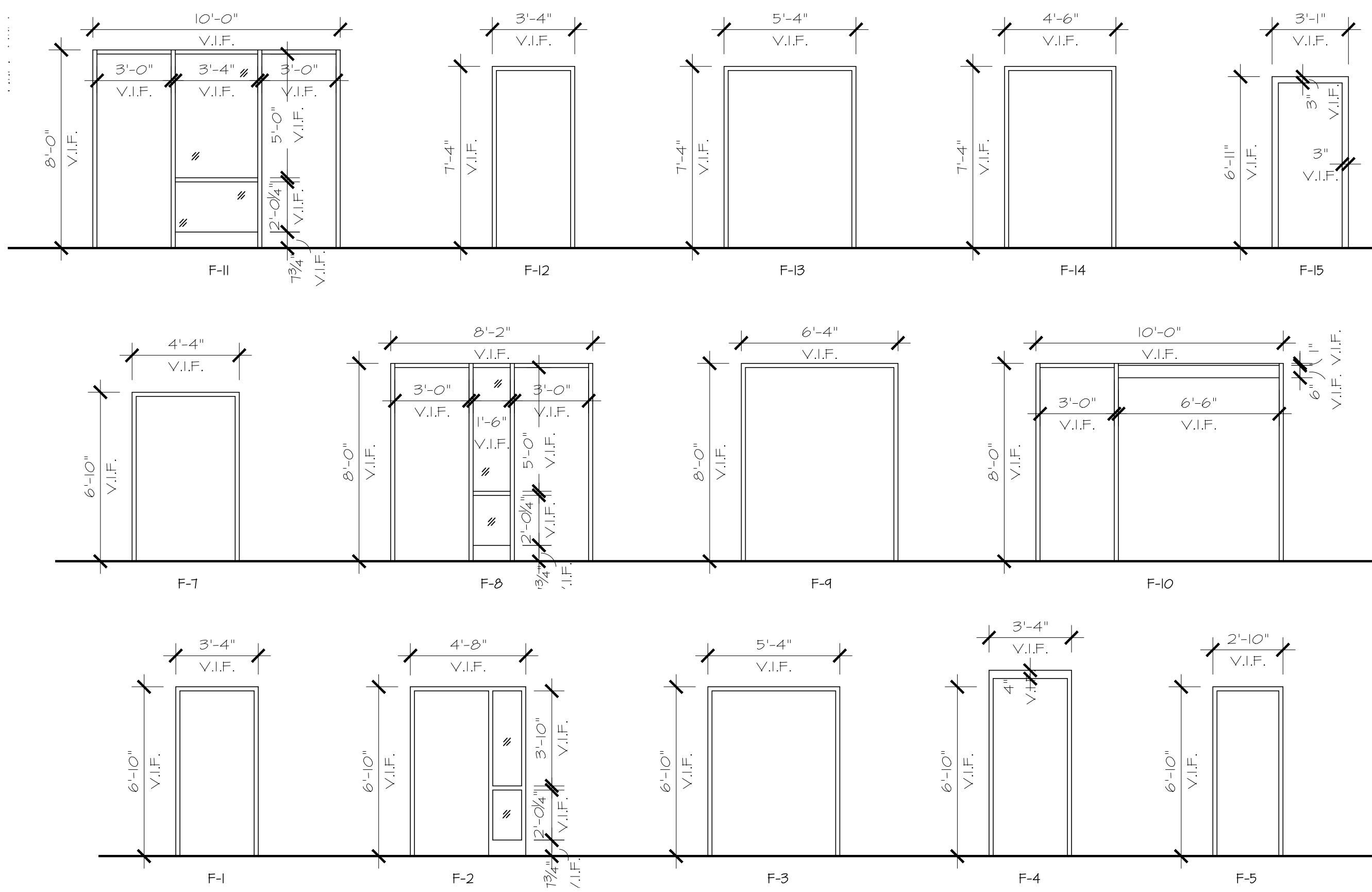
SHEET INFO:
 PROJECT NO: 25039
 DRAWN BY: NSG
 CHECKED BY: GDR
 SCALE: AS NOTED
 DATE: 14 APRIL 2026

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PARTIAL GROUND FLOOR RENOVATION PLANS - MURPHY-ANNEX
A2.03



1 DOOR TYPES FOR PAINTING
SCALE: 1/4" = 1'-0"



2 HOLLOW METAL FRAME TYPES FOR PAINTING
SCALE: 1/4" = 1'-0"

NOTE: REMOVE ALL NECESSARY DOOR HARDWARE AND KICK PANELS. PRIOR TO PAINTING, REINSTALL ALL HARDWARE AND KICK PANELS AFTER PAINTING.

| PAINTING DOOR SCHEDULE | | | | | | | |
|--------------------------------------|-----------|-----------------------|---------------------------|----------------------------|-----------------------|---------------------------|---------------------------|
| DOOR (EXISTING TO REMAIN) | | | | FRAME (EXISTING TO REMAIN) | | | |
| Number | Type | Material | Paint Finish | Type | Material | Paint Finish | Notes |
| GROUND LEVEL DOOR SCHEDULE | | | | | | | |
| ADMINISTRATION - GROUND LEVEL | | | | | | | |
| EL00 | D-15 SIM. | ALUM. (E.T.R.) | PT-6 | N.A. | ALUM. (E.T.R.) | N.A. | ELEVATOR DOOR |
| A001A | D-5 | HOLLOW METAL (E.T.R.) | PT-6 | F-14 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A002A | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | INTERIOR STAIR DOOR |
| A002B | D-3 | HOLLOW METAL (E.T.R.) | PT-6 (INTERIOR SIDE ONLY) | F-12 | HOLLOW METAL (E.T.R.) | PT-3 (INTERIOR SIDE ONLY) | EXTERIOR STAIR DOOR |
| A003 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A004 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A005 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A006 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A007 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A008 | D-4 | HOLLOW METAL (E.T.R.) | PT-6 | F-13 | HOLLOW METAL (E.T.R.) | PT-3 (INTERIOR SIDE ONLY) | EXTERIOR DOUBLE DOORS |
| MURPHY COTTAGE - GROUND LEVEL | | | | | | | |
| EL00 | D-15 SIM. | ALUM. (E.T.R.) | PT-6 | N.A. | ALUM. (E.T.R.) | N.A. | ELEVATOR DOOR |
| EL01 | D-15 SIM. | ALUM. (E.T.R.) | PT-6 | N.A. | ALUM. (E.T.R.) | N.A. | ELEVATOR DOOR |
| M001 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M002 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M003 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M004A | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M004B | N.A. | WOOD (E.T.R.) | N.A. | F-5 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M005 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M006 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M007 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M008 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M009 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M010 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M011 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M013 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M014 | D-11 | HOLLOW METAL (E.T.R.) | PT-6 | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | INTERIOR STAIR DOOR |
| M015A | D-7 | HOLLOW METAL (E.T.R.) | PT-6 | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | INTERIOR STAIR DOOR |
| M015B | D-7 | HOLLOW METAL (E.T.R.) | PT-6 | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | INTERIOR STAIR DOOR |
| M015C | D-10 | HOLLOW METAL (E.T.R.) | PT-6 (INTERIOR SIDE ONLY) | F-1 | HOLLOW METAL (E.T.R.) | PT-3 (INTERIOR SIDE ONLY) | EXTERIOR STAIR DOOR |
| M016 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M017 | D-8 | HOLLOW METAL (E.T.R.) | PT-6 | F-15 | HOLLOW METAL (E.T.R.) | PT-3 | INTERIOR STAIR DOOR |
| M018A | D-9 | HOLLOW METAL (E.T.R.) | PT-6 | F-6 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M018B | N.A. | WOOD (E.T.R.) | N.A. | F-7 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M018C | N.A. | WOOD (E.T.R.) | N.A. | F-7 | HOLLOW METAL (E.T.R.) | PT-3 | |
| M019A | D-7 | HOLLOW METAL (E.T.R.) | PT-6 | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | INTERIOR STAIR DOOR |
| M019B | D-10 | HOLLOW METAL (E.T.R.) | PT-6 (INTERIOR SIDE ONLY) | F-1 | HOLLOW METAL (E.T.R.) | PT-3 (INTERIOR SIDE ONLY) | EXTERIOR STAIR DOOR |
| M020 | D-6 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | TUNNEL FIRE DOOR |
| M021 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | EXTERIOR DOOR |
| M024 | N.A. | WOOD (E.T.R.) | N.A. | F-5 | HOLLOW METAL (E.T.R.) | PT-3 | |
| ANNEX GROUND LEVEL | | | | | | | |
| C001 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C002 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C003 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C004 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C005A | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C005B | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C006 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C007 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C008 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C009 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C010 | D-12 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C011 | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| C012A | D-3 | HOLLOW METAL (E.T.R.) | PT-6 | F-4 | HOLLOW METAL (E.T.R.) | PT-3 | INTERIOR STAIR DOOR |
| C012B | D-12 | HOLLOW METAL (E.T.R.) | PT-6 (INTERIOR SIDE ONLY) | F-4 | HOLLOW METAL (E.T.R.) | PT-3 (INTERIOR SIDE ONLY) | EXTERIOR STAIR DOOR |
| C013 | D-12 | HOLLOW METAL (E.T.R.) | PT-6 (INTERIOR SIDE ONLY) | F-4 | HOLLOW METAL (E.T.R.) | PT-3 (INTERIOR SIDE ONLY) | EXTERIOR DOOR |
| FIRST FLOOR DOOR SCHEDULE | | | | | | | |
| ADMINISTRATION - FIRST FLOOR | | | | | | | |
| A101A | N.A. | ALUM. (E.T.R.) | N.A. | F-8 | ALUM. (E.T.R.) | N.A. | EXTERIOR STOREFRONT DOOR |
| A101B | N.A. | ALUM. (E.T.R.) | N.A. | F-8 | ALUM. (E.T.R.) | N.A. | EXTERIOR STOREFRONT DOOR |
| A101C | N.A. | ALUM. (E.T.R.) | N.A. | F-8 | ALUM. (E.T.R.) | N.A. | VESTIBULE STOREFRONT DOOR |
| A101D | N.A. | ALUM. (E.T.R.) | N.A. | F-8 | ALUM. (E.T.R.) | N.A. | VESTIBULE STOREFRONT DOOR |
| A102A | N.A. | ALUM. (E.T.R.) | N.A. | F-8 | ALUM. (E.T.R.) | N.A. | VESTIBULE STOREFRONT DOOR |
| A102B | N.A. | ALUM. (E.T.R.) | N.A. | F-8 | ALUM. (E.T.R.) | N.A. | VESTIBULE STOREFRONT DOOR |
| A102C | N.A. | ALUM. (E.T.R.) | N.A. | F-8 | ALUM. (E.T.R.) | N.A. | EXTERIOR STOREFRONT DOOR |
| A102D | N.A. | ALUM. (E.T.R.) | N.A. | F-8 | ALUM. (E.T.R.) | N.A. | EXTERIOR STOREFRONT DOOR |
| A103 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A103A | D-15 | HOLLOW METAL (E.T.R.) | PT-6 | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A103B | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A103C | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A106 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A107 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A108 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A109 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A110 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A111 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A112 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A113 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A114 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A115 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A116 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A117 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A118 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A119A | D-14 | HOLLOW METAL (E.T.R.) | PT-6 | F-12 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A119B | D-14 | HOLLOW METAL (E.T.R.) | PT-6 | F-4 | HOLLOW METAL (E.T.R.) | PT-3 (INTERIOR SIDE ONLY) | EXTERIOR DOOR |
| A120 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A122A | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A122B | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A123 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A124 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A125 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A126 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A127 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A128 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A129 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A130 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A131 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A132 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A133 | N.A. | WOOD (E.T.R.) | N.A. | F-1 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A134 | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |
| A135A | N.A. | WOOD (E.T.R.) | N.A. | F-2 | HOLLOW METAL (E.T.R.) | PT-3 | |

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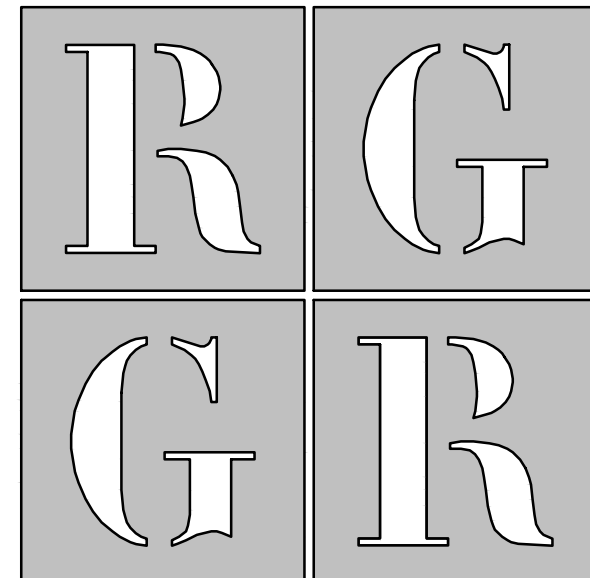
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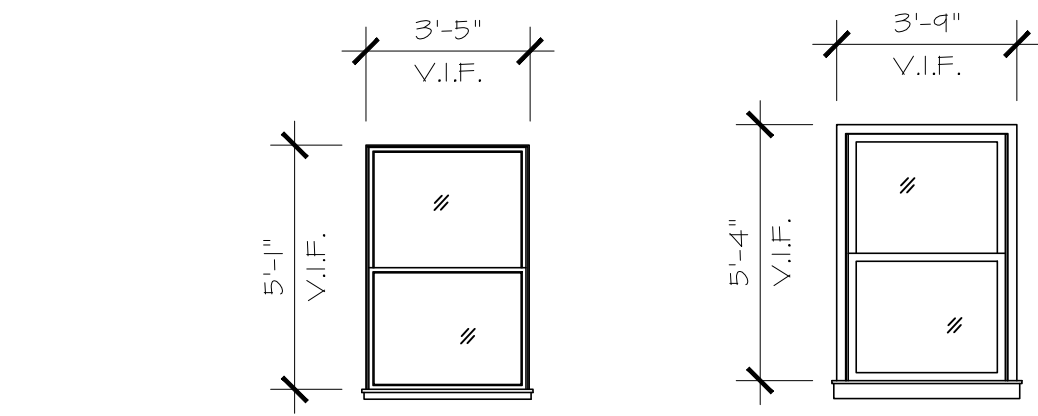
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**DOOR PAINTING
 SCHEDULE &
 DOOR/FRAME
 TYPES**



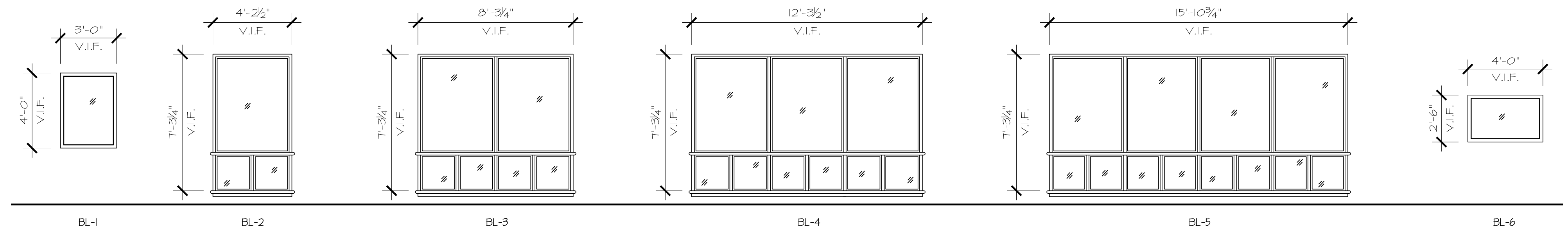
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 200 W. Main St., Middletown, DE 19709
 www.rgarchitects.net
 302.376.8100

| WINDOWS & BORROWD LITE PAINTING SCHEDULE | | | |
|--|------|-----------------------|--------------|
| Room Number | Type | Material | Paint Finish |
| ANNEX GROUND LEVEL | | | |
| C001 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C002 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C003 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C003 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C003 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C004 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C005 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C006 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C007 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C008 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C009 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C009 | BL-1 | HOLLOW METAL (E.T.R.) | PTD-3 |
| C010 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C011 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C011 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C012 | W-2 | WOOD (E.T.R.) | PTD-7 |
| FIRST FLOOR | | | |
| ADMINISTRATION - FIRST FLOOR | | | |
| A101A | BL-2 | WOOD (E.T.R.) | PTD-3 |
| A125 | BL-3 | WOOD (E.T.R.) | PTD-3 |
| A136 | BL-5 | WOOD (E.T.R.) | PTD-3 |
| A143 | BL-4 | WOOD (E.T.R.) | PTD-3 |
| A172 | BL-3 | WOOD (E.T.R.) | PTD-3 |
| A172 | BL-3 | WOOD (E.T.R.) | PTD-3 |
| A178 | BL-3 | WOOD (E.T.R.) | PTD-3 |
| A180 | BL-4 | WOOD (E.T.R.) | PTD-3 |
| ANNEX - FIRST FLOOR | | | |
| C101 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C102 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C103 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C103 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C103 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C104 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C105 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C106 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C107 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C109 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C109 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C110 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C111 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C111 | W-1 | WOOD (E.T.R.) | PTD-7 |
| C112 | W-2 | WOOD (E.T.R.) | PTD-7 |
| C112 | W-2 | WOOD (E.T.R.) | PTD-7 |
| C112 | W-2 | WOOD (E.T.R.) | PTD-7 |
| C114 | W-1 | WOOD (E.T.R.) | PTD-7 |
| SECOND FLOOR | | | |
| ADMINISTRATION - SECOND FLOOR | | | |
| A205 | BL-2 | WOOD (E.T.R.) | PTD-3 |
| A205 | BL-2 | WOOD (E.T.R.) | PTD-3 |
| A226 | BL-3 | WOOD (E.T.R.) | PTD-3 |
| A236 | BL-2 | WOOD (E.T.R.) | PTD-3 |
| A236 | BL-2 | WOOD (E.T.R.) | PTD-3 |
| A241 | BL-5 | WOOD (E.T.R.) | PTD-3 |
| A281 | BL-3 | WOOD (E.T.R.) | PTD-3 |



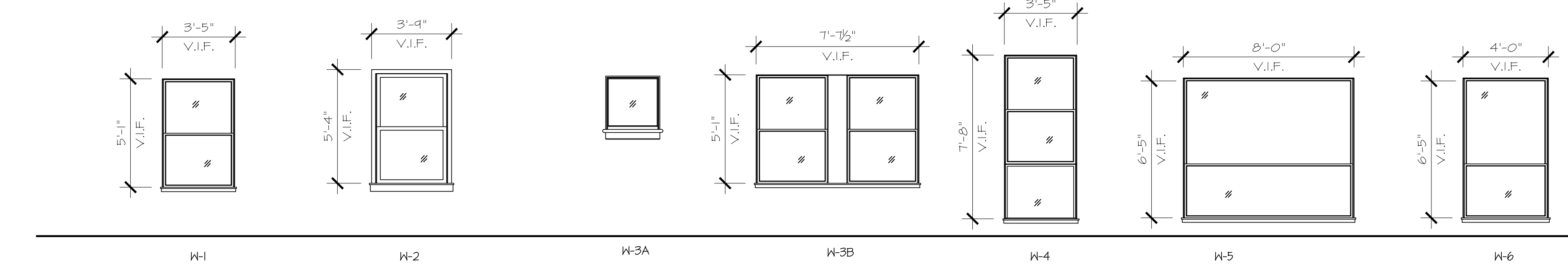
1 WINDOW TYPES FOR INTERIOR PAINTING
 SCALE: 1/4" = 1'-0"

NOTE
 PAINT INTERIOR SIDE OF WINDOW ONLY. NO EXTERIOR PAINTING



2 BORROWED LIGHT WINDOW TYPES FOR PAINTING
 SCALE: 1/4" = 1'-0"

NOTE
 PAINT BOTH SIDES OF ALL INTERIOR BORROWED LITES



3 WINDOW TYPES FOR WINDOW TREATMENTS & PAINTING FOR WINDOW SILLS
 SCALE: 1/4" = 1'-0"

NOTES
 1. WINDOW TYPES SHOWN FOR REFERENCE TO SIZE WINDOW TREATMENTS AND PAINTING AT WOOD WINDOW SILLS. REFERENCE SPEC 12 24 00 FOR ADDITIONAL INFORMATION
 2. ALL WINDOW SILLS SHALL BE PAINTED PT-7. SEE MATERIAL SCHEDULE.

ISSUED FOR:

DFM 99% REVIEW 9 FEB 2026
 BIDDING 14 APRIL 2026

PROJECT INFO:

DSCYF - Administration Building, Murphy Cottage & Annex Building Finishes Renovations MC3701000092
 1825 FAULKLAND ROAD
 WILMINGTON, DE 19805

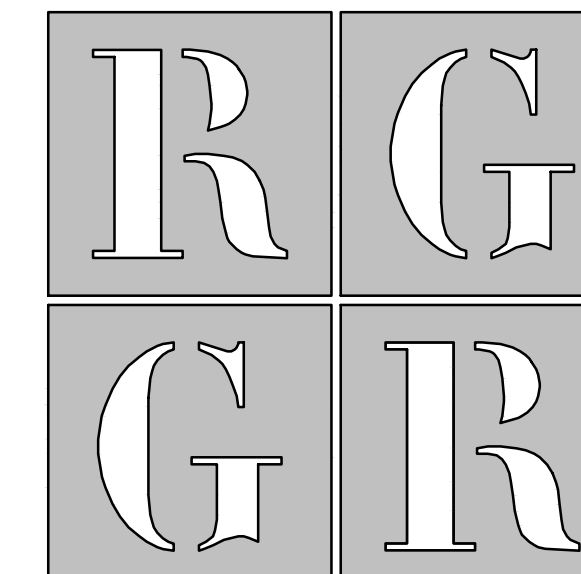
SHEET INFO:

PROJECT NO: 25039
 DRAWN BY: NSG
 CHECKED BY: GDR
 SCALE: AS NOTED
 DATE: 14 APRIL 2026

TITLE & NO.:

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WINDOW PAINTING SCHEDULE AND TYPES



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 R G Architects, LLC
 200 W. Main St., Middletown, DE 19709
 www.rgarchitects.net
 302.376.8100

| LEGEND & NOTES | |
|---|---|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. | |
| 2. CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DNGS. PRIOR TO START OF CONSTRUCTION. | |
| 3. CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT. | |
| 4. OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. | |
| NOTES: | |
| 1. SEE A3.03 FOR WINDOW AND BORROWED LITE TYPES AND PAINTING SCHEDULE. | |
| 1. SEE A4.01 FOR REFLECTED CEILING PLAN NOTING CEILING HEIGHTS FOR WALL PAINTING. | |
| LEGEND: | |
| | WINDOW SHADE (SEE SPEC 12 24 00 FOR ADDITIONAL INFORMATION) |

| REFLECTED CEILING PLAN RENOVATION LEGEND: | |
|---|---|
| | EXISTING GYP. BD. CEILING TO BE PAINTED |

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 Renovations
 MC3701000092

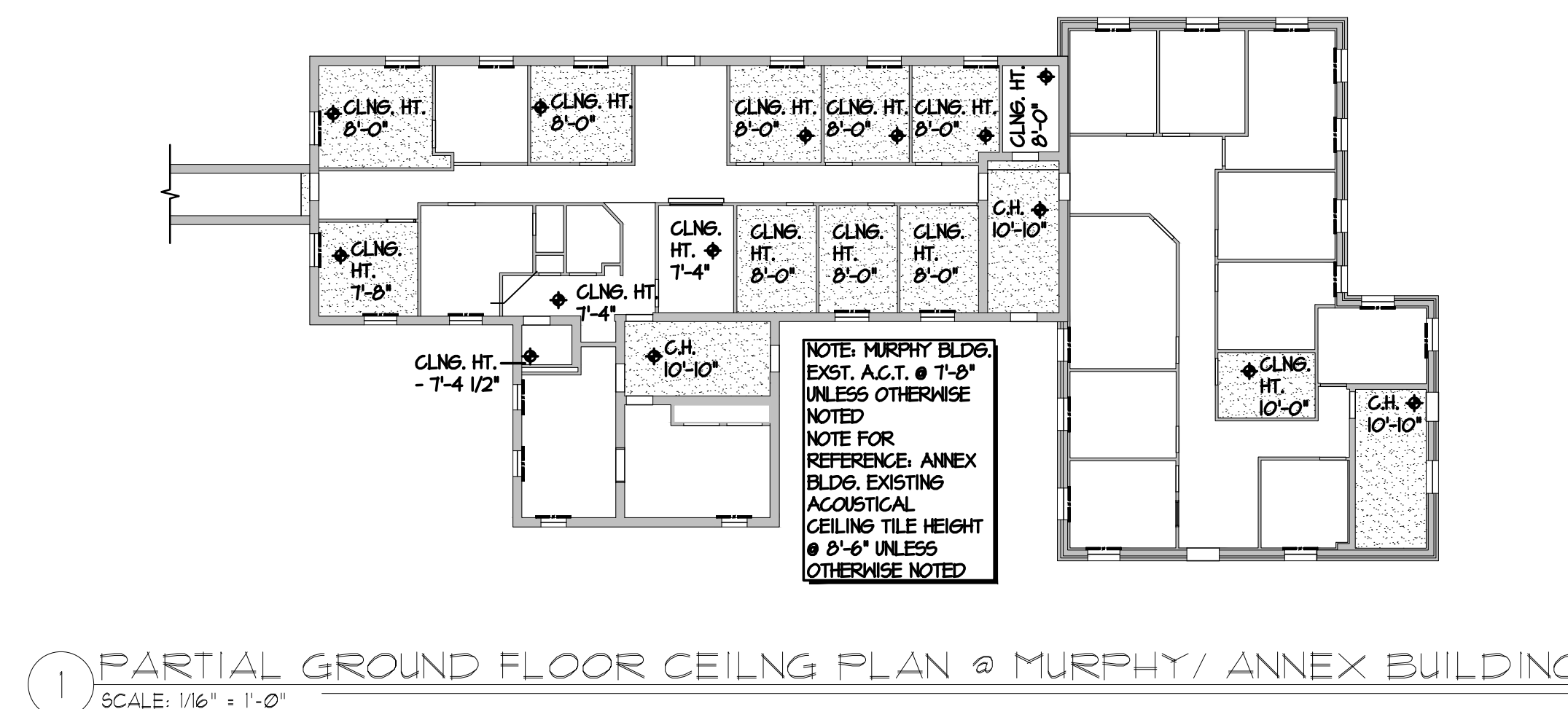
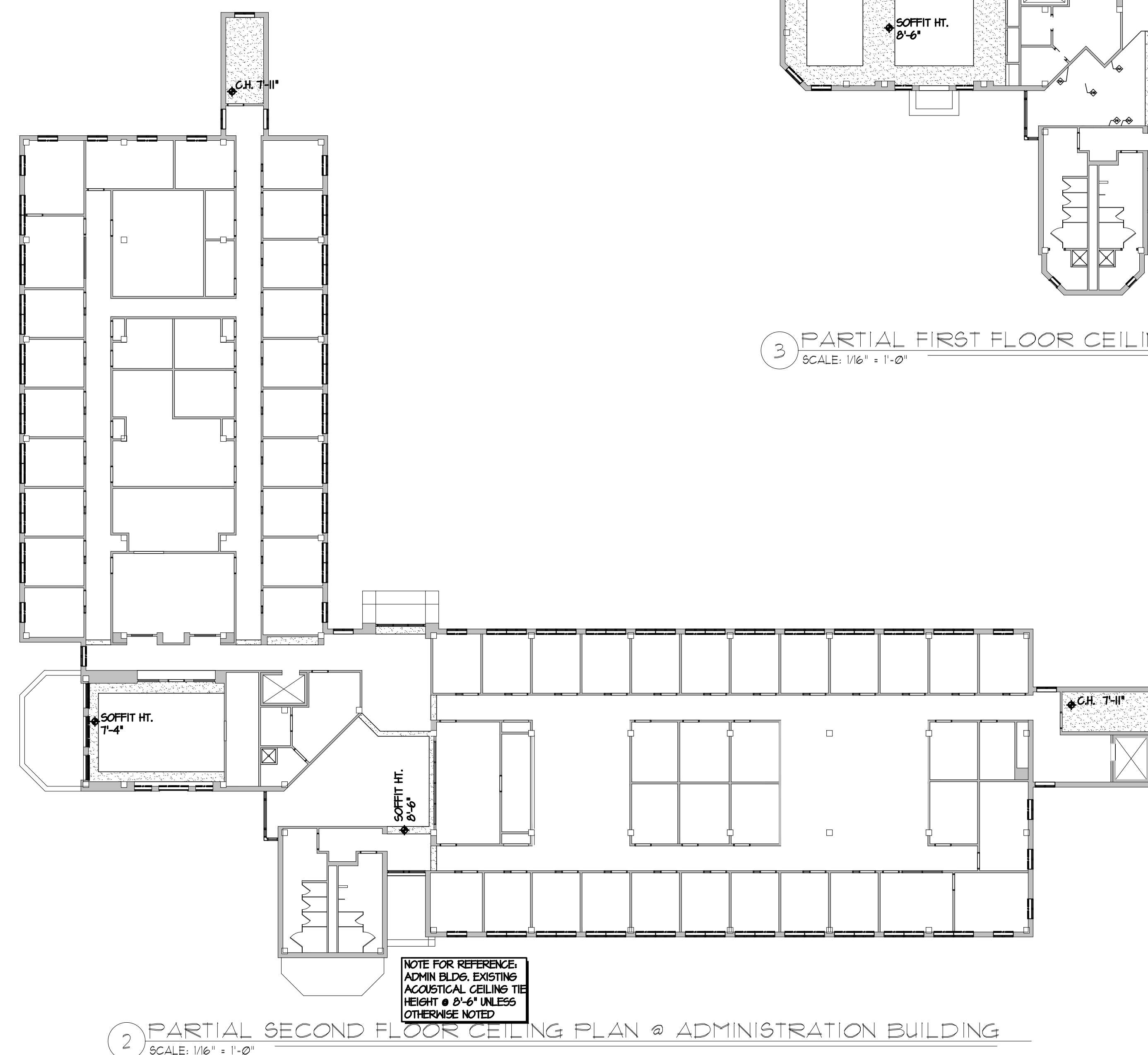
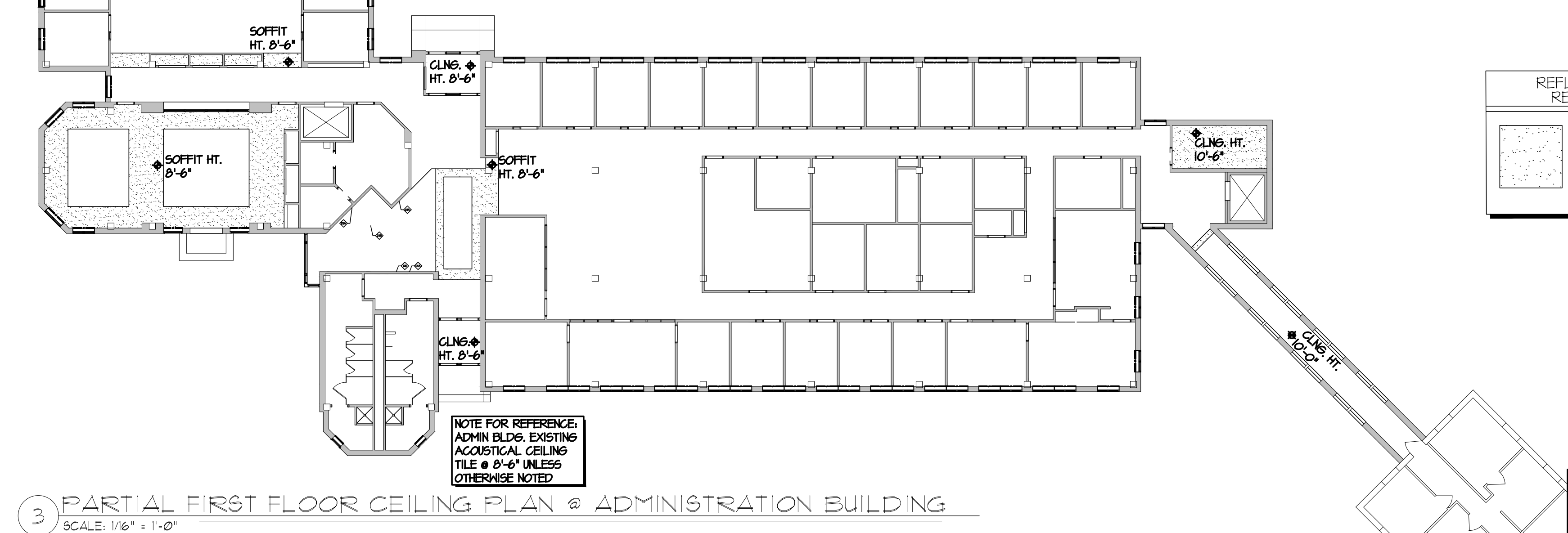
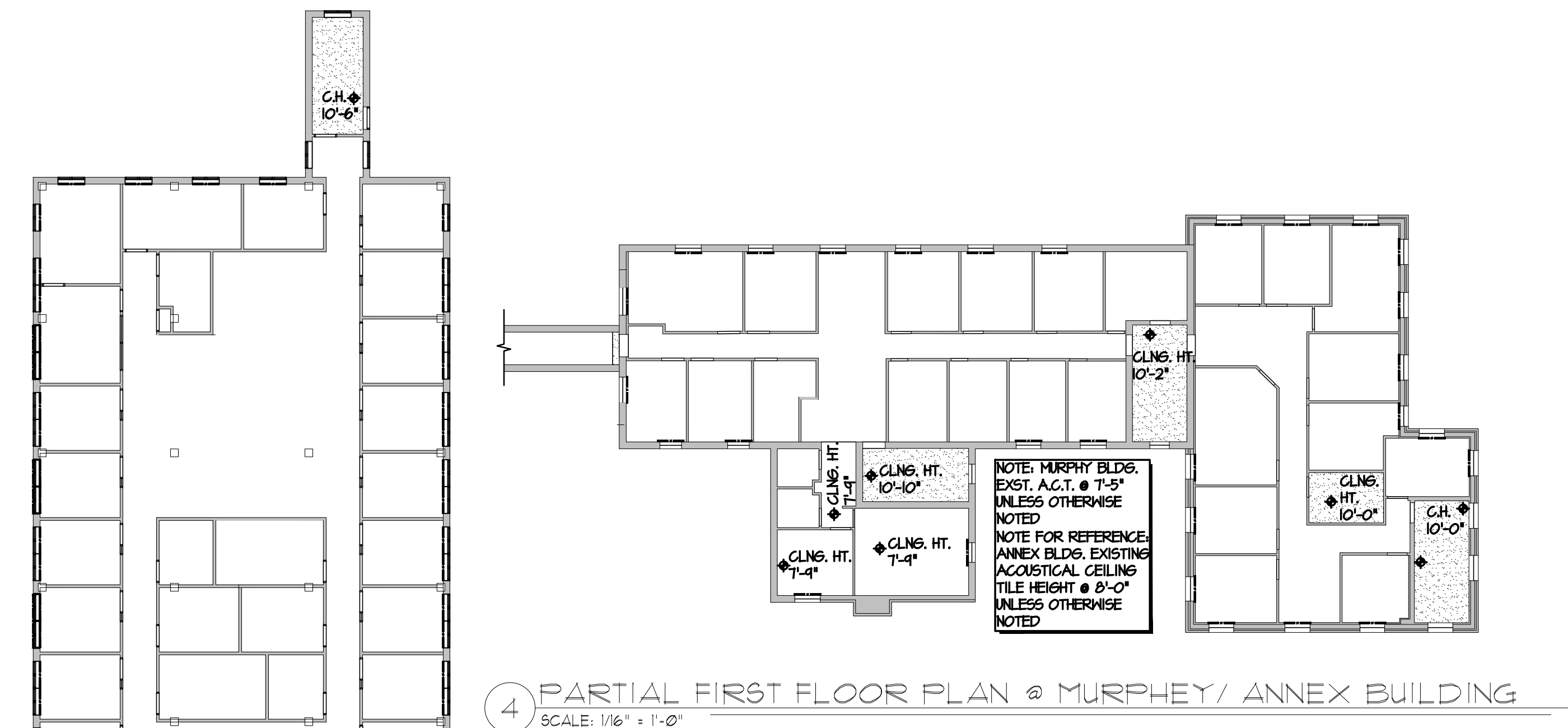
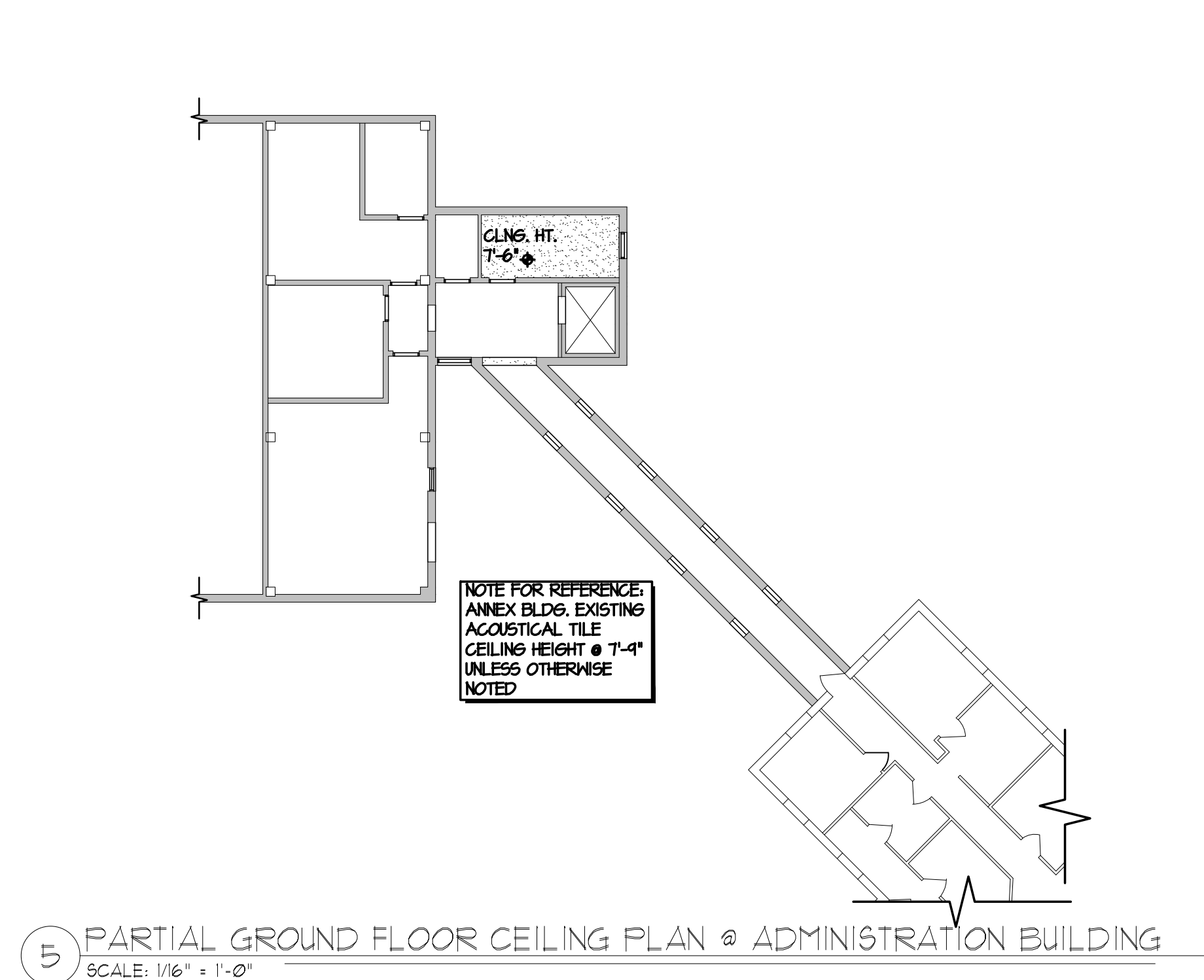
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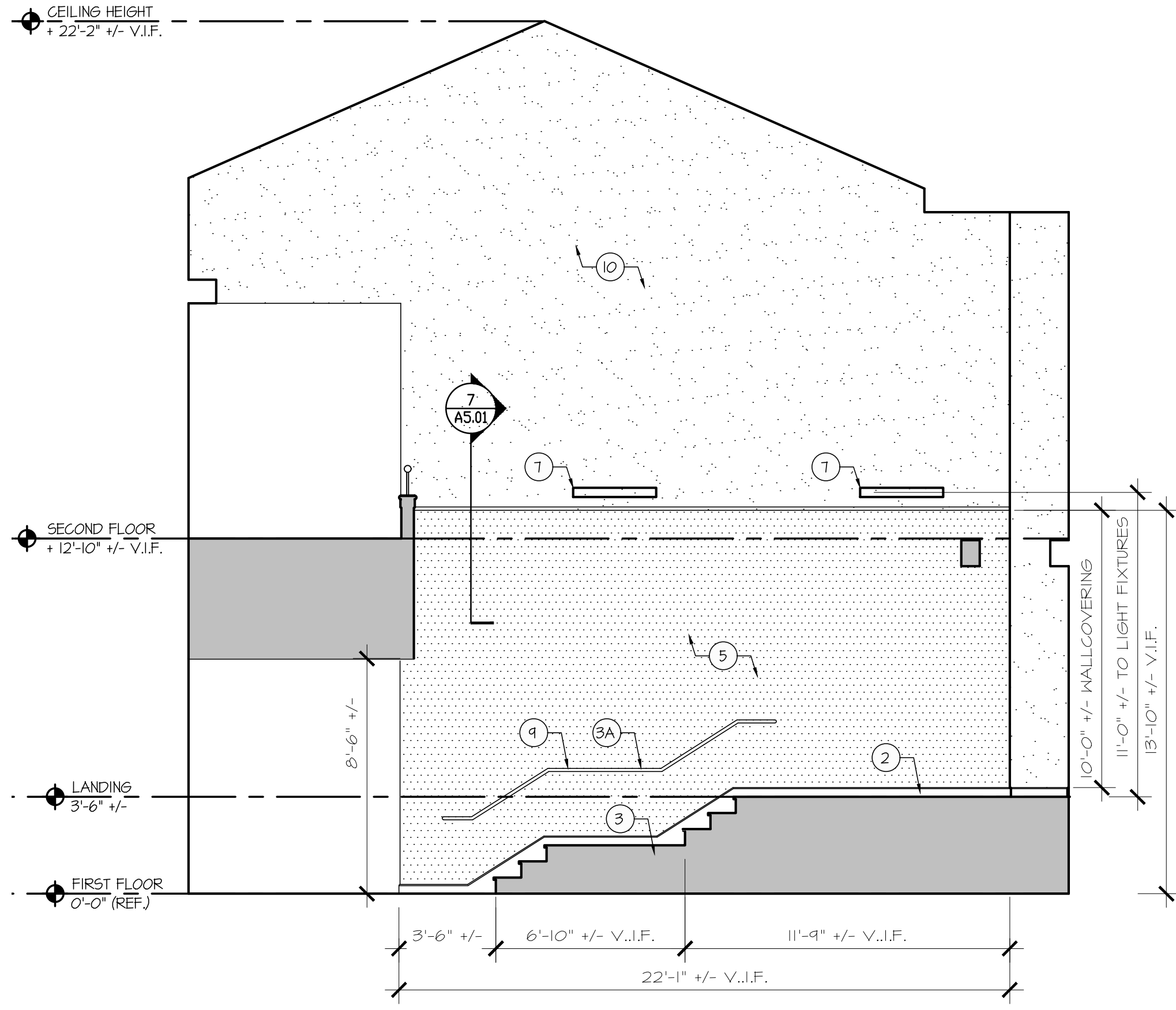
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 SCALE: AS NOTED
 DATE: 14 APRIL 2026

TITLE & NO.:

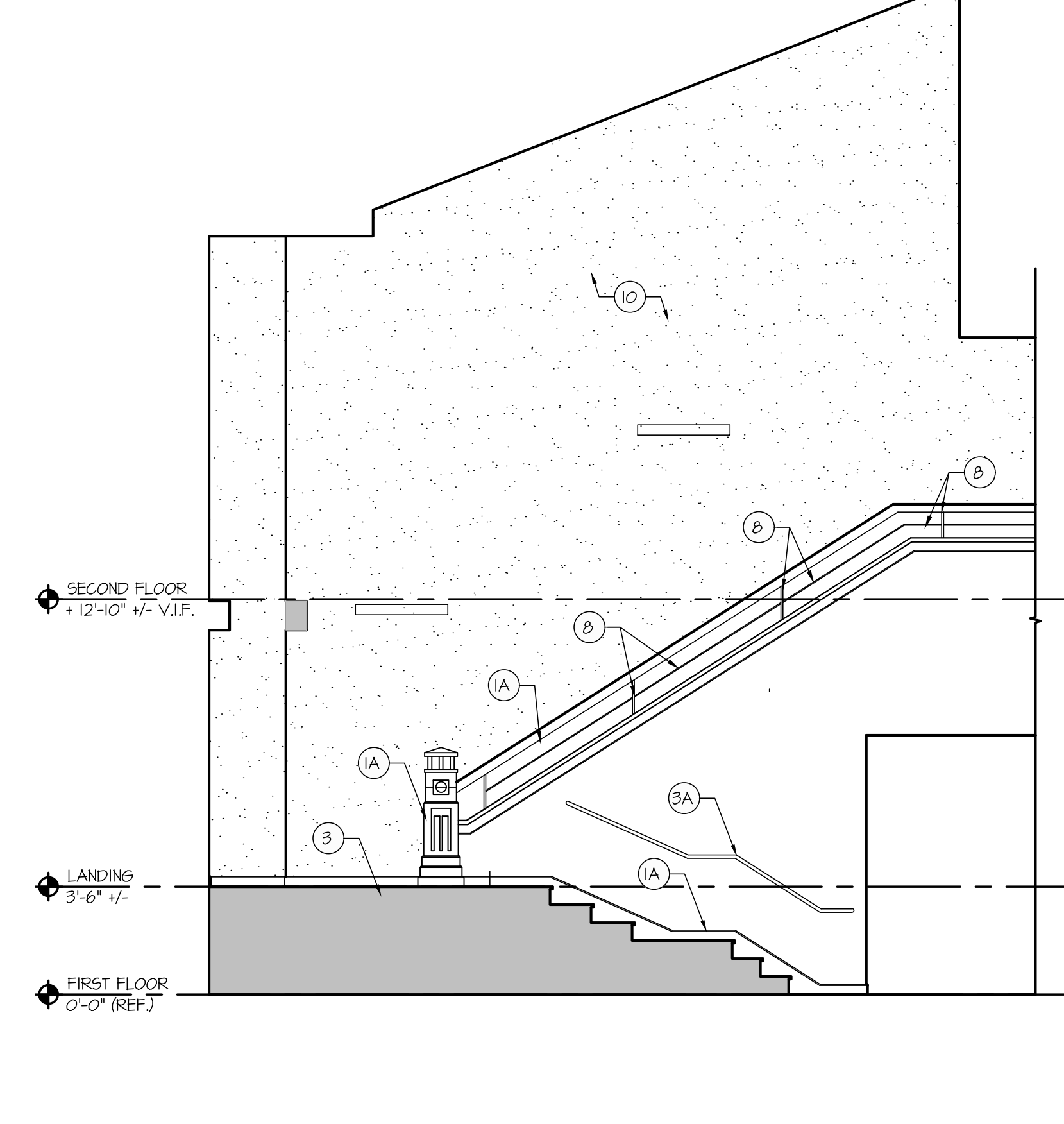
PARTIAL
 REFLECTED CEILING
 PLANS - ADMIN,
 MURPHY, ANNEX

A4.01

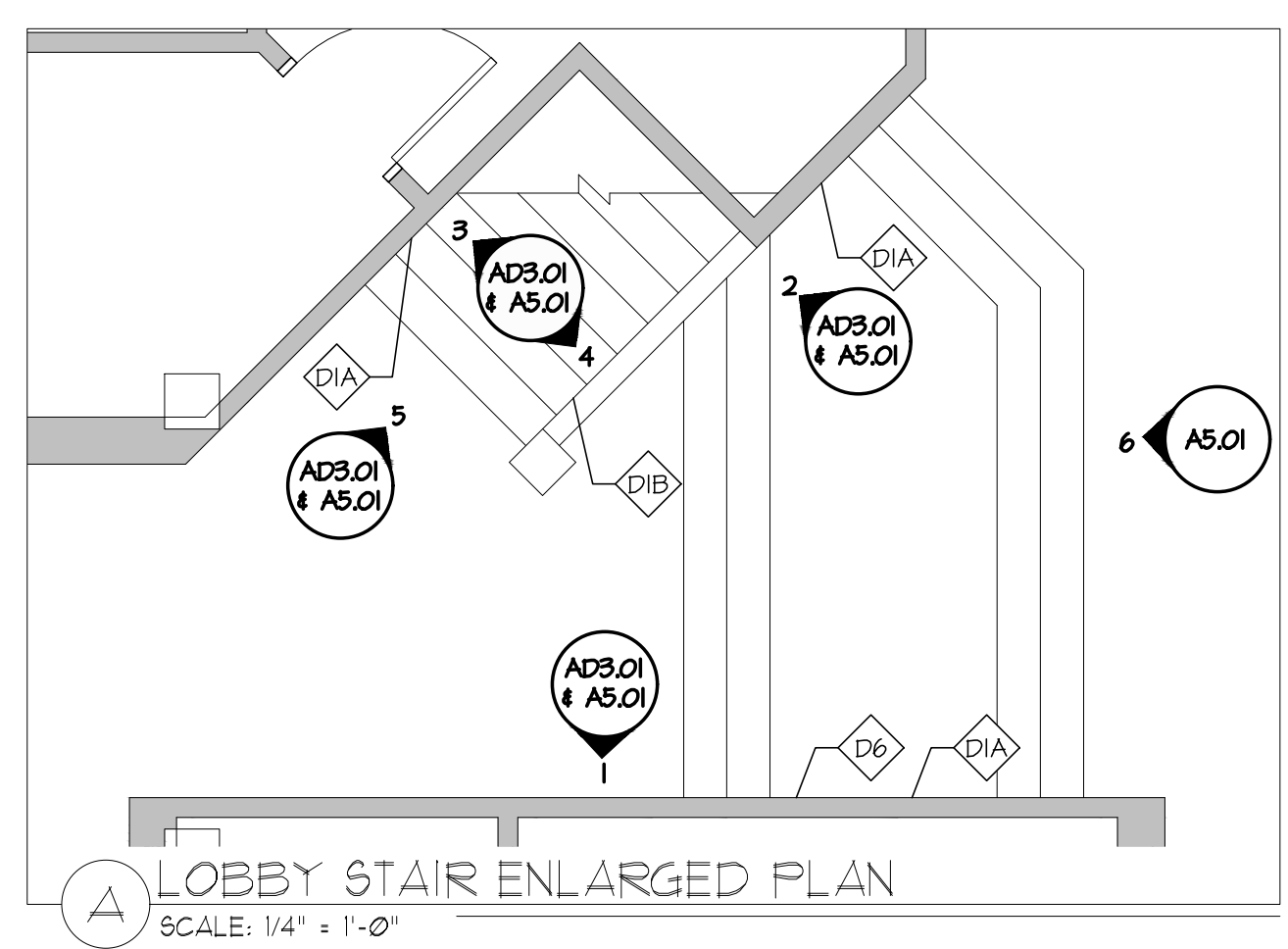




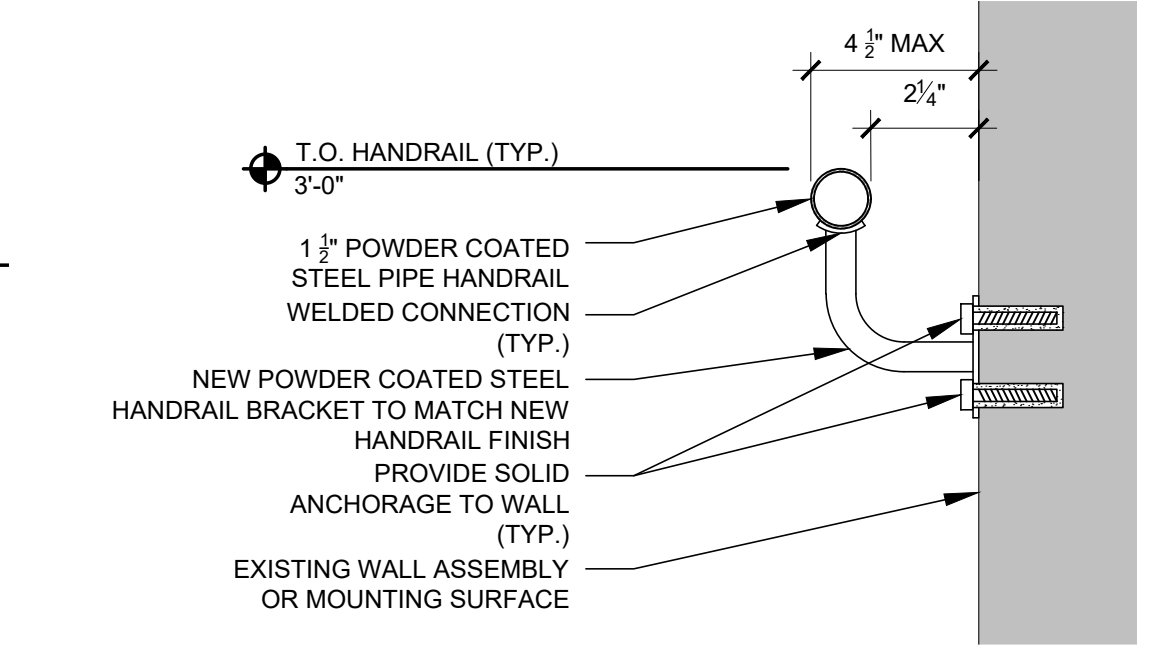
1 LOBBY STAIR INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



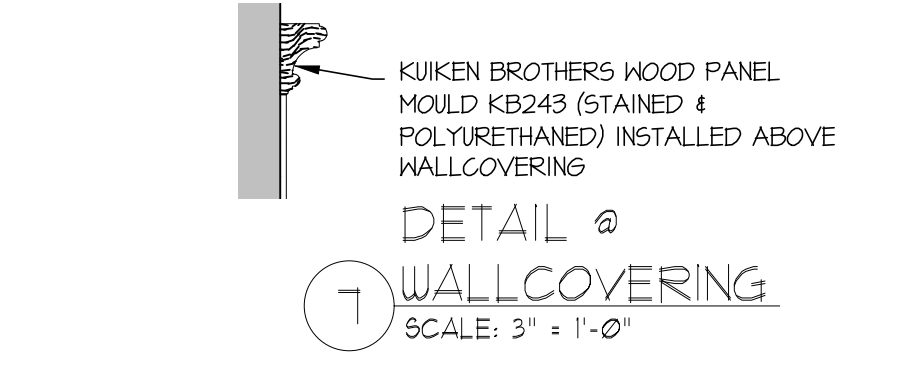
2 LOBBY STAIR INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



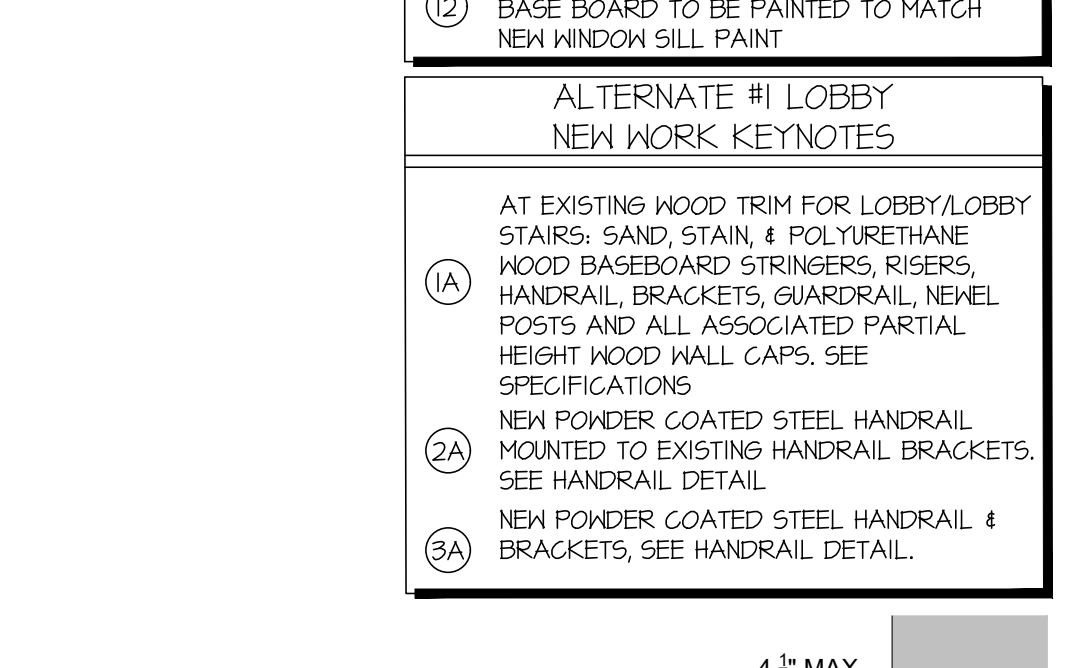
A LOBBY STAIR ENLARGED PLAN
SCALE: 1/4" = 1'-0"



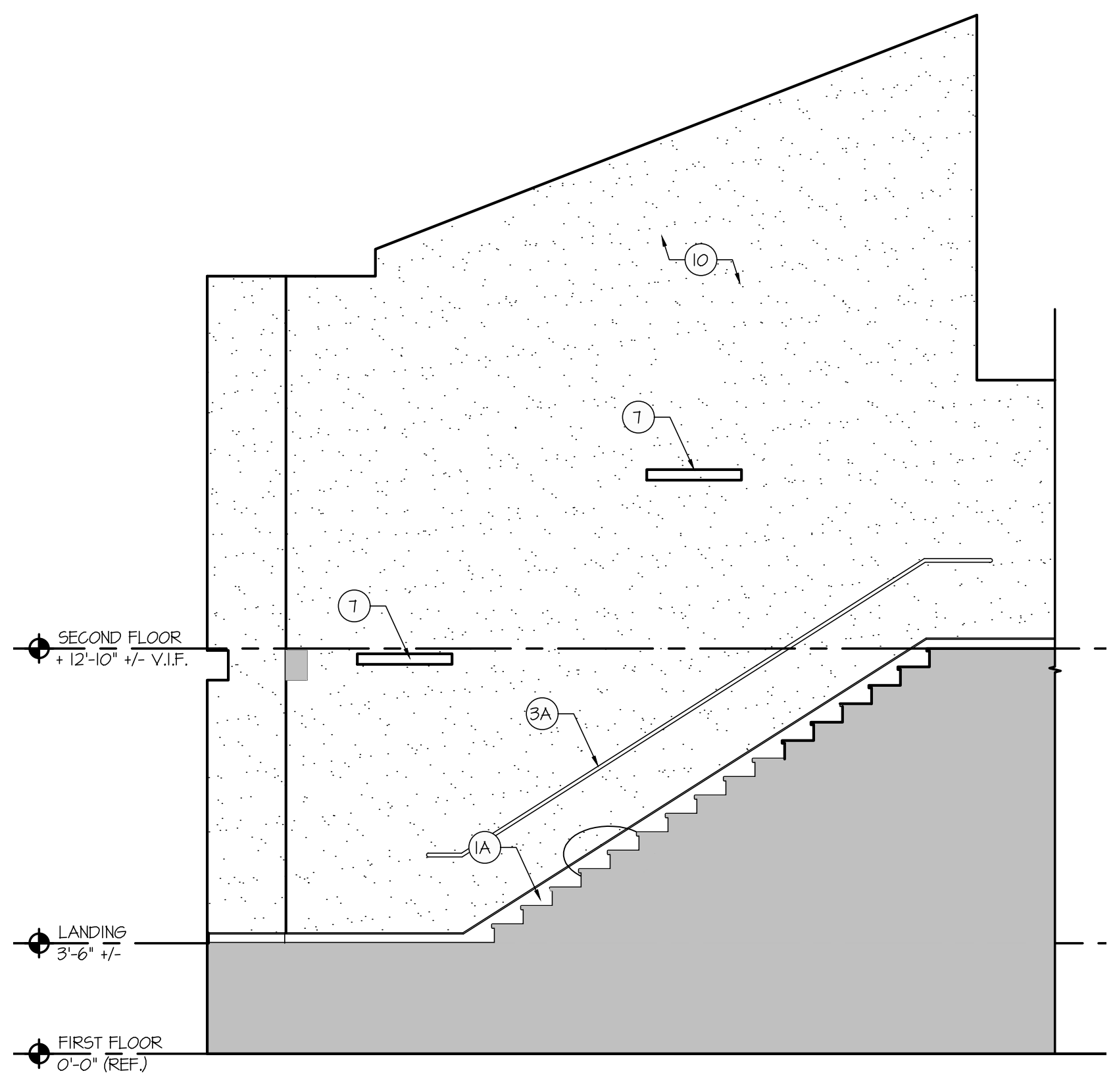
B DETAIL @ NEW HANDRAIL - NEW BRACKET
SCALE: 3" = 1'-0"



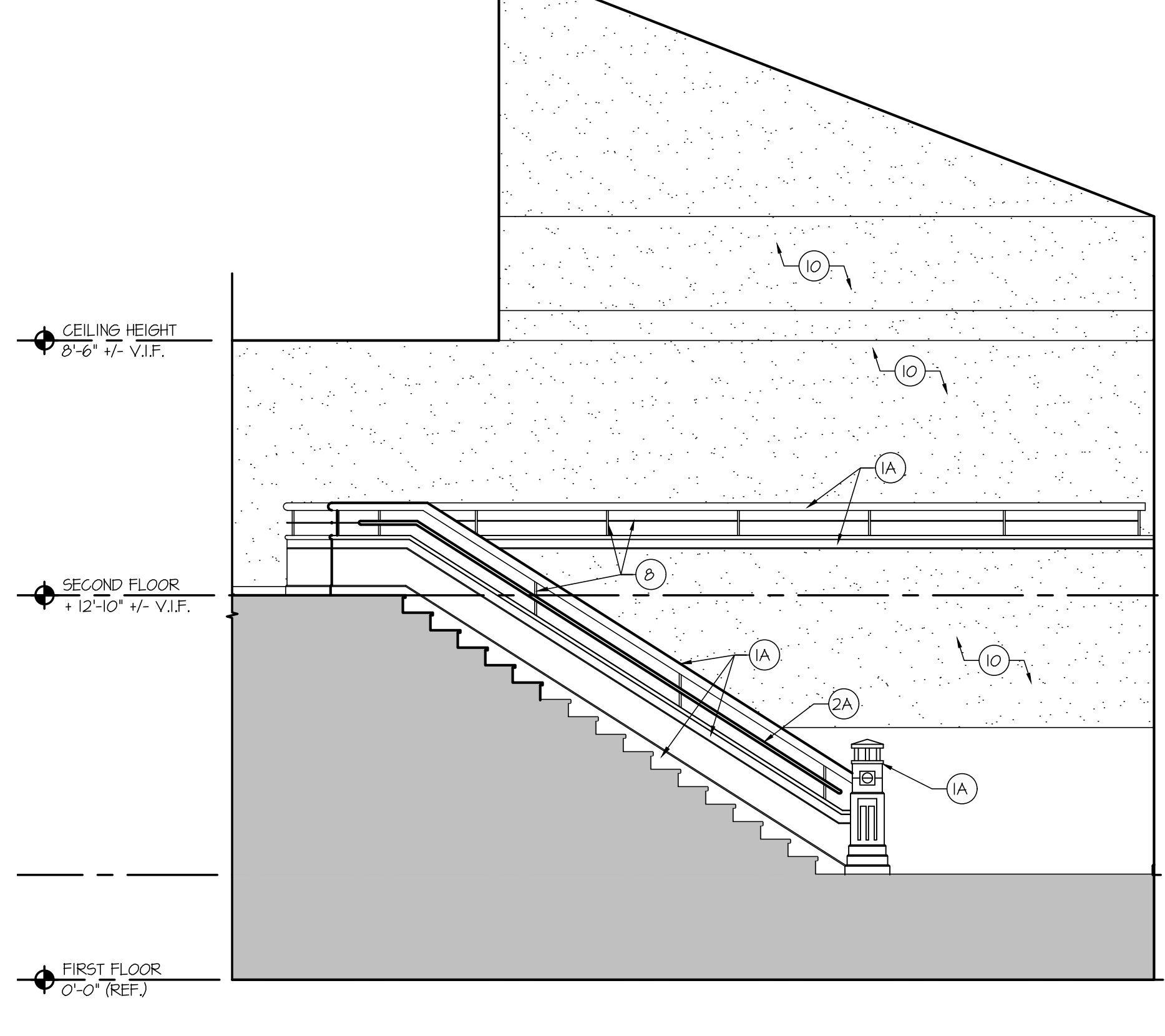
C DETAIL @ WALLCOVERING
SCALE: 3" = 1'-0"



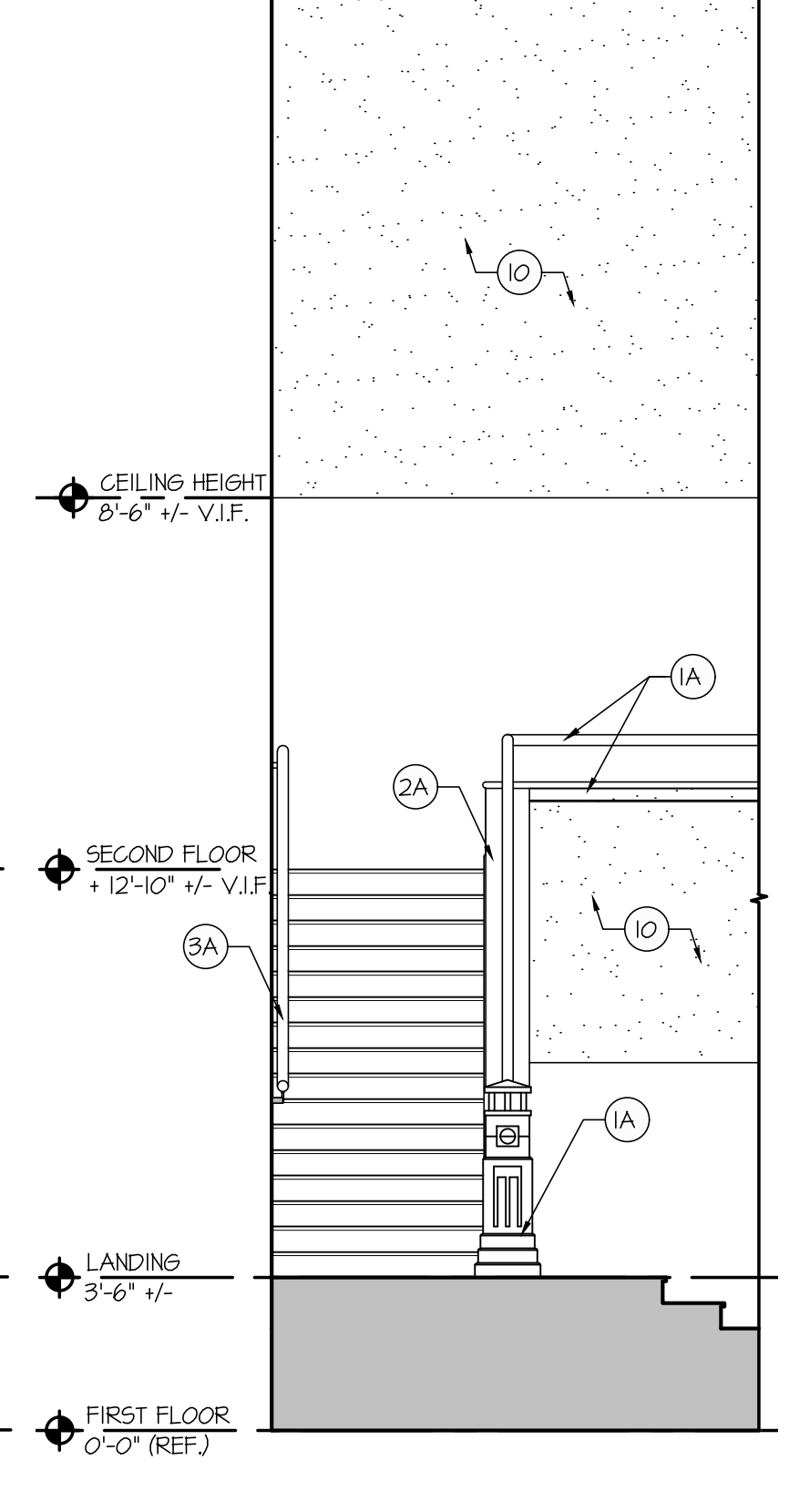
D DETAIL @ NEW HANDRAIL - EXIST. BRACKET
SCALE: 3" = 1'-0"



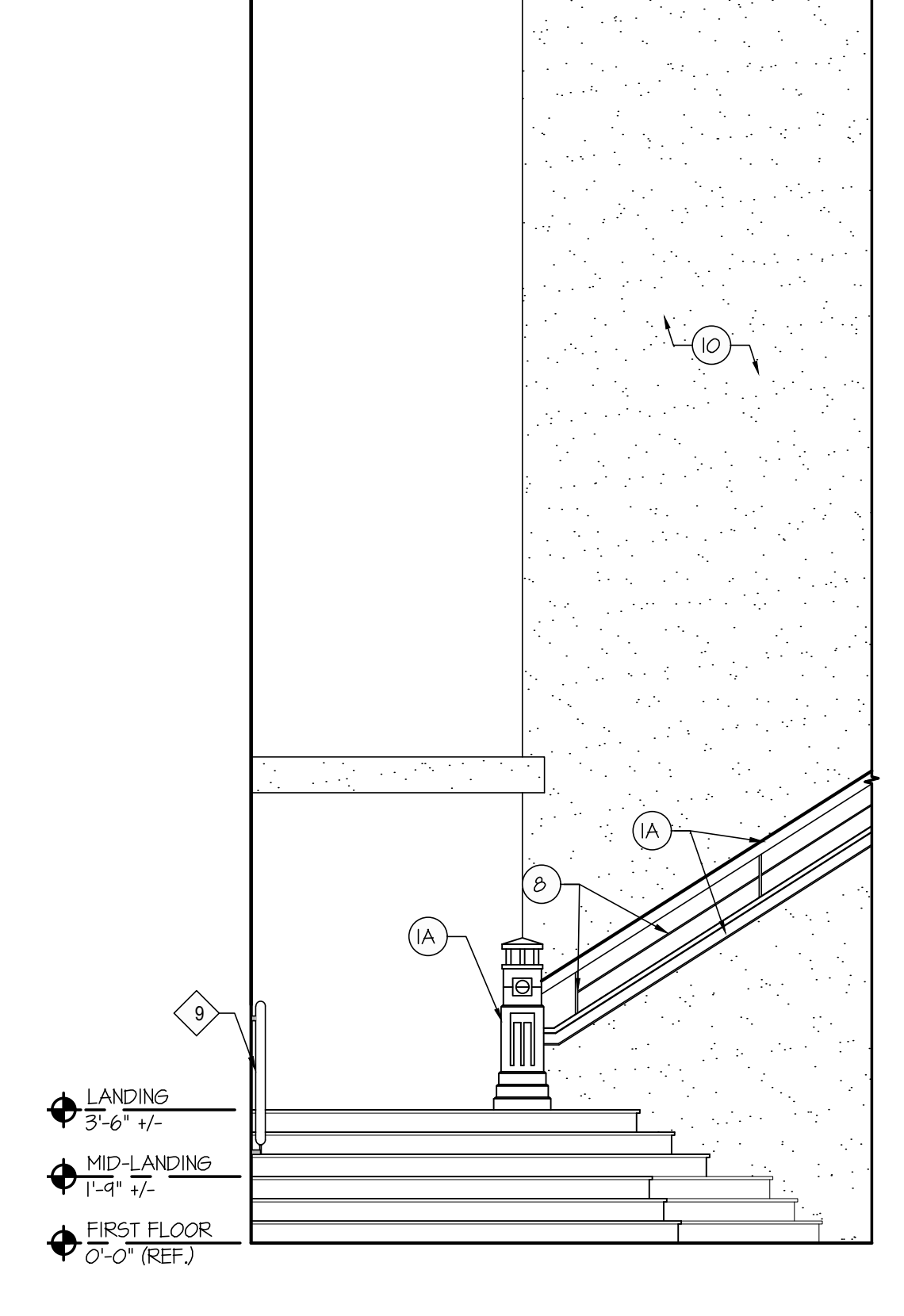
3 LOBBY STAIR INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 LOBBY STAIR INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



5 LOBBY STAIR INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



6 LOBBY STAIR INTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

- NEW WORK KEYNOTES
- 1 CLEAN AND POLISH EXISTING TERRAZZO FLOOR TILES.
 - 2 EXISTING WOOD BASEBOARD TO REMAIN
 - 3 CLEAN AND POLISH EXISTING TERRAZZO STAIR LANDINGS, AND TREADS
 - 4 NEW HALL COVERING, SEE INTERIOR ELEVATIONS FOR EXTENT OF WORK
 - 5 NEW ACCENT WALL COVERING, SEE INTERIOR ELEVATIONS FOR EXTENT
 - 6 PAINT EXISTING GYP. BOARD CEILING & SOFFITS, SEE REFLECTED CEILING PLANS
 - 7 NEW LIGHT FIXTURE, SEE LIGHTING LEGEND.
 - 8 PREP & PAINT EXISTING STEEL HANDRAIL BRACKETS & ASSOCIATED STEEL
 - 9 PATCH AND PREP WALLS AS NECESSARY TO REINSTALL EXISTING HANDRAIL AND BRACKETS AFTER INSTALLATION OF NEW WALL COVERING
 - 10 ALL WALLS AND GYP. BOARD CEILINGS TO RECEIVE NEW PAINT UNLESS NOTED OTHERWISE, SEE MATERIAL SCHEDULE & RCP SHEET A4.01 FOR TYP. CEILING HEIGHTS
 - 11 NEW RUBBER COVE BASE TO MATCH EXISTING SIZE, COLOR, & PROFILE
 - 12 EXISTING CROWN MOLDING, CHAIR RAIL, AND BASE BOARD TO BE PAINTED TO MATCH NEW WINDOW SILL PAINT

- ALTERNATE #1 LOBBY NEW WORK KEYNOTES
- 1A AT EXISTING WOOD TRIM FOR LOBBY/LOBBY STAIRS: SAND, STAIN, & POLYURETHANE WOOD BASEBOARD STRINGERS, RISERS, HANDRAIL, BRACKETS, GUARDRAIL, NEWEL POSTS AND ALL ASSOCIATED PARTIAL HEIGHT WOOD WALL CAPS. SEE SPECIFICATIONS
 - 2A NEW POWDER COATED STEEL HANDRAIL MOUNTED TO EXISTING HANDRAIL BRACKETS. SEE HANDRAIL DETAIL
 - 3A NEW POWDER COATED STEEL HANDRAIL & BRACKETS, SEE HANDRAIL DETAIL.

R G
G R
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R G Architects, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
302.376.8100

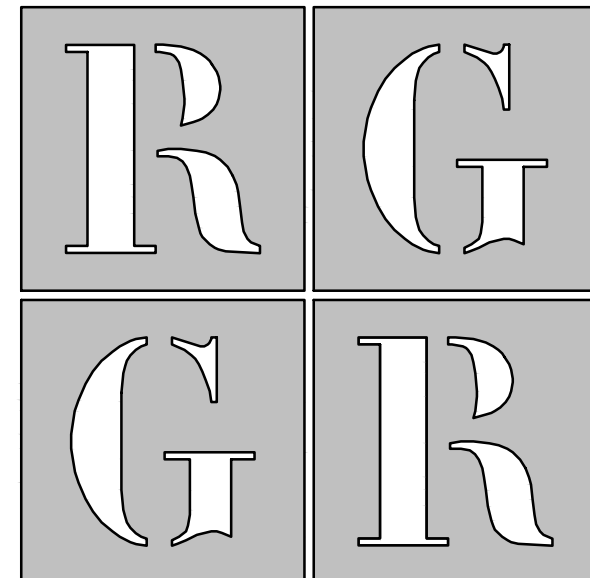
ISSUED FOR:
DFM 99% REVIEW 9 FEB 2026
BIDDING 14 APRIL 2026

PROJECT INFO:
DSCYF -
Administration Building,
Murphy Cottage & Annex
Building Finishes
Renovations
MC3701000092
1825 FAULKLAND ROAD
WILMINGTON, DE 19805

SHEET INFO:
PROJECT NO: 25039
DRAWN BY: NSG
CHECKED BY: GDR
SCALE: AS NOTED
DATE: 14 APRIL 2026

TITLE & NO.:
RENOVATION
INTERIOR
ELEVATIONS @
LOBBY STAIRS

A5.01



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 302.376.8100

| LEGEND & NOTES | |
|----------------|-------------------------|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |

- GENERAL NOTES:**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION.
 - CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP. DNGS. PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT.
 - OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT.

| FLOORING RENOVATION LEGEND: | |
|-----------------------------|---|
| | NEW CARPET TILE, SEE MATERIAL SCHEDULE |
| | NEW LVT PLANK, SEE MATERIAL SCHEDULE |
| | NEW 1x2' LVT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #2 - STAIR 'A' & STAIR 'B': NEW VGT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #4 - STAIR 'E': NEW RUBBER STAIRWELL SYSTEM, SEE MATERIAL SCHEDULE |
| | EXISTING FLOORING TO REMAIN |

| ALTERNATE #2 LOBBY STAIR 'A' & STAIR 'B' NEW WORK KEYNOTES | |
|--|---|
| | NEW QUARTZ TILE (QT-1) FLOORING, SEE MATERIAL SCHEDULE |
| | PAINT EXISTING GYP. BOARD WALLS AND WALL MOUNTED CONDUIT, SEE MATERIAL SCHEDULE. |
| | PAINT EXISTING STEEL STAIR STRINGERS, STAIR RISERS, UNDERSIDE OF STEEL STAIRS, METAL GUARDRAIL, HANDRAIL, POSTS AND ASSOCIATED BRACKETS, SEE MATERIAL SCHEDULE. |
| | PAINT EXISTING GYP. BOARD CEILING, SEE REFLECTED CEILING PLAN |
| | CLEAN EXISTING RUBBER STAIR TREADS TO REMAIN |
| | NEW RUBBER COVE BASE, SEE MATERIAL SCHEDULE. |

ISSUED FOR:
 DFM 99% REVIEW 9 FEB 2026
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 WILMINGTON, DE 19805

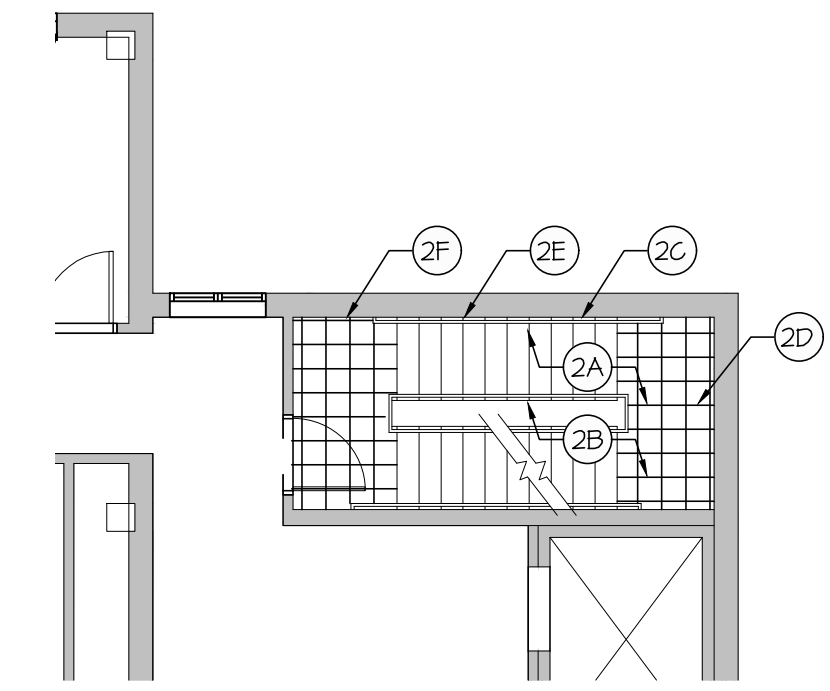
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PROJECT NO: 25039
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 SCALE: AS NOTED
 DATE: 14 APRIL 2026

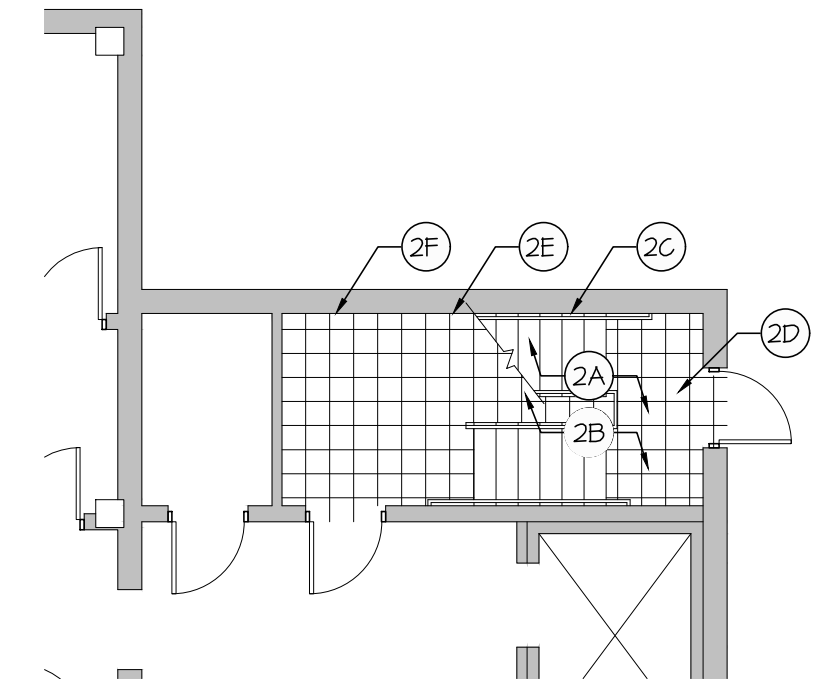
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ALTERNATES:
 RENOVATION
 STAIR PLANS

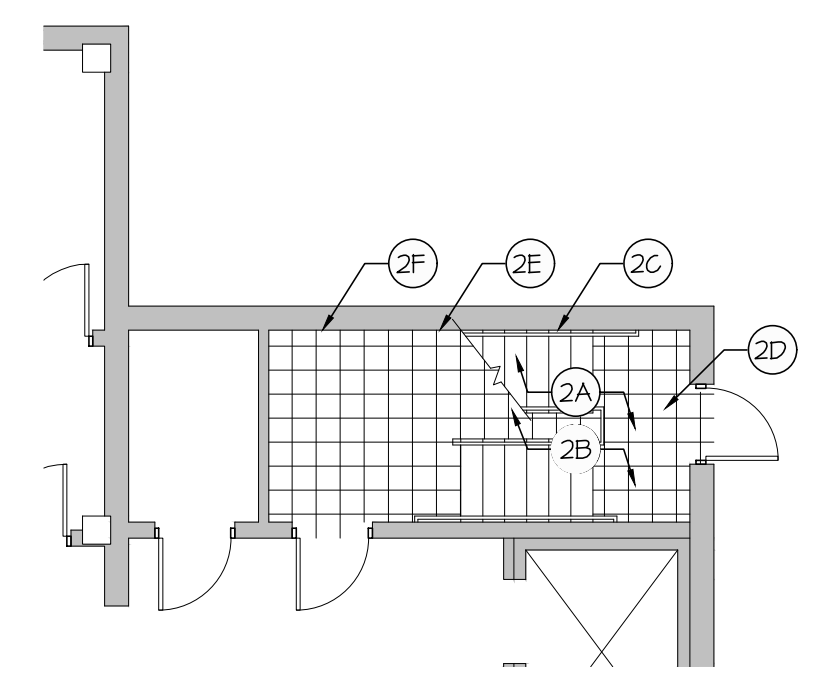
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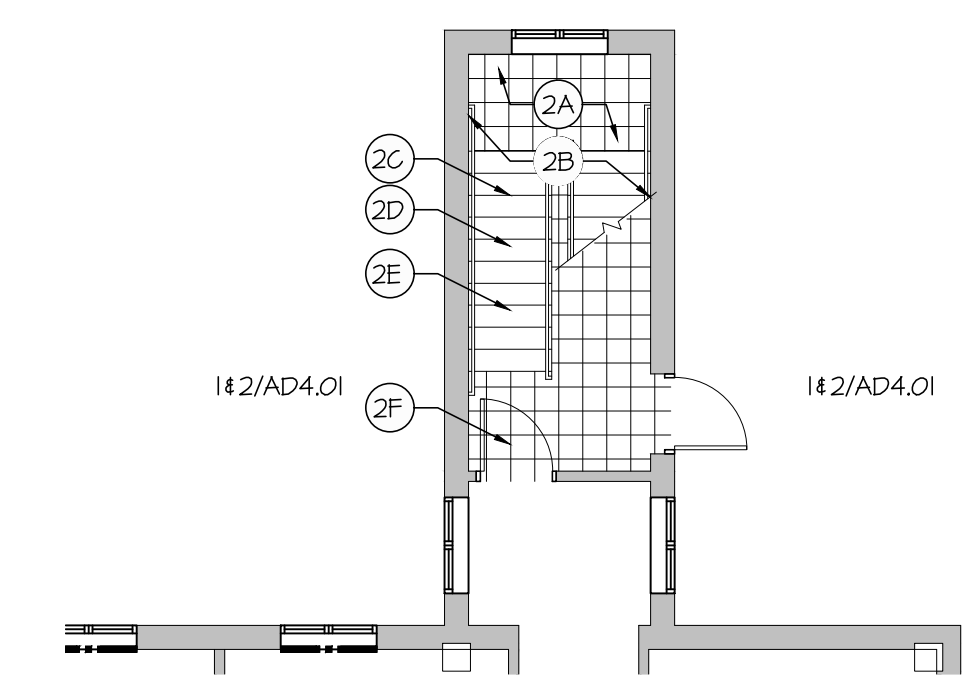
4 ALTERNATE #2 -
 PARTIAL FIRST FLOOR PLAN @ STAIR B
 SCALE: 1/8" = 1'-0"



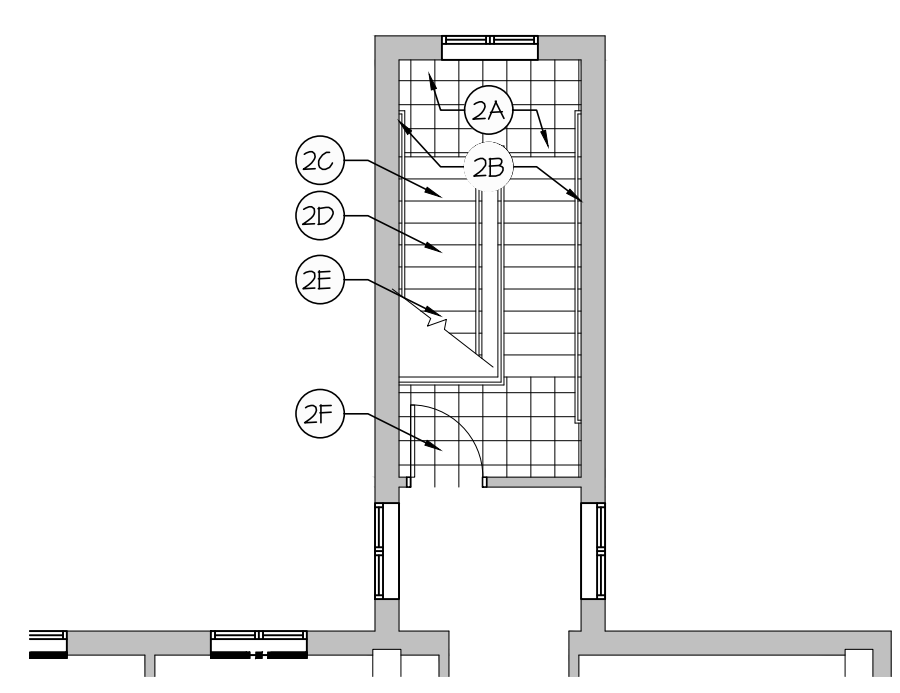
3 ALTERNATE #2 -
 PARTIAL GROUND FLOOR PLAN @ STAIR B
 SCALE: 1/8" = 1'-0"



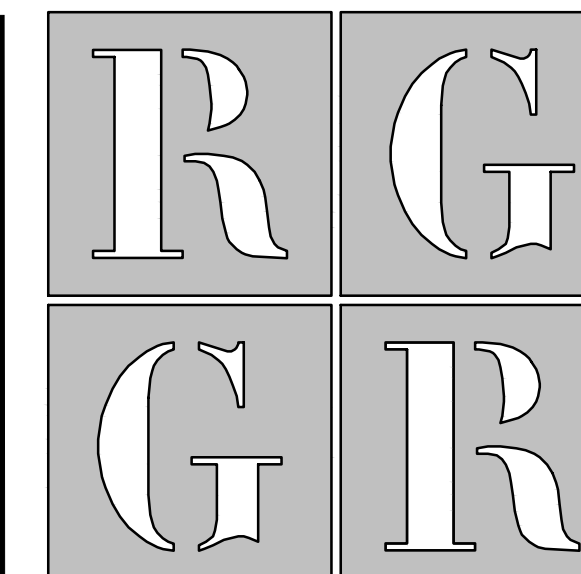
5 ALTERNATE #2 -
 PARTIAL SECOND FLOOR PLAN @ STAIR B
 SCALE: 1/8" = 1'-0"



1 ALTERNATE #2 -
 PARTIAL FIRST FLOOR PLAN @ STAIR A
 SCALE: 1/8" = 1'-0"

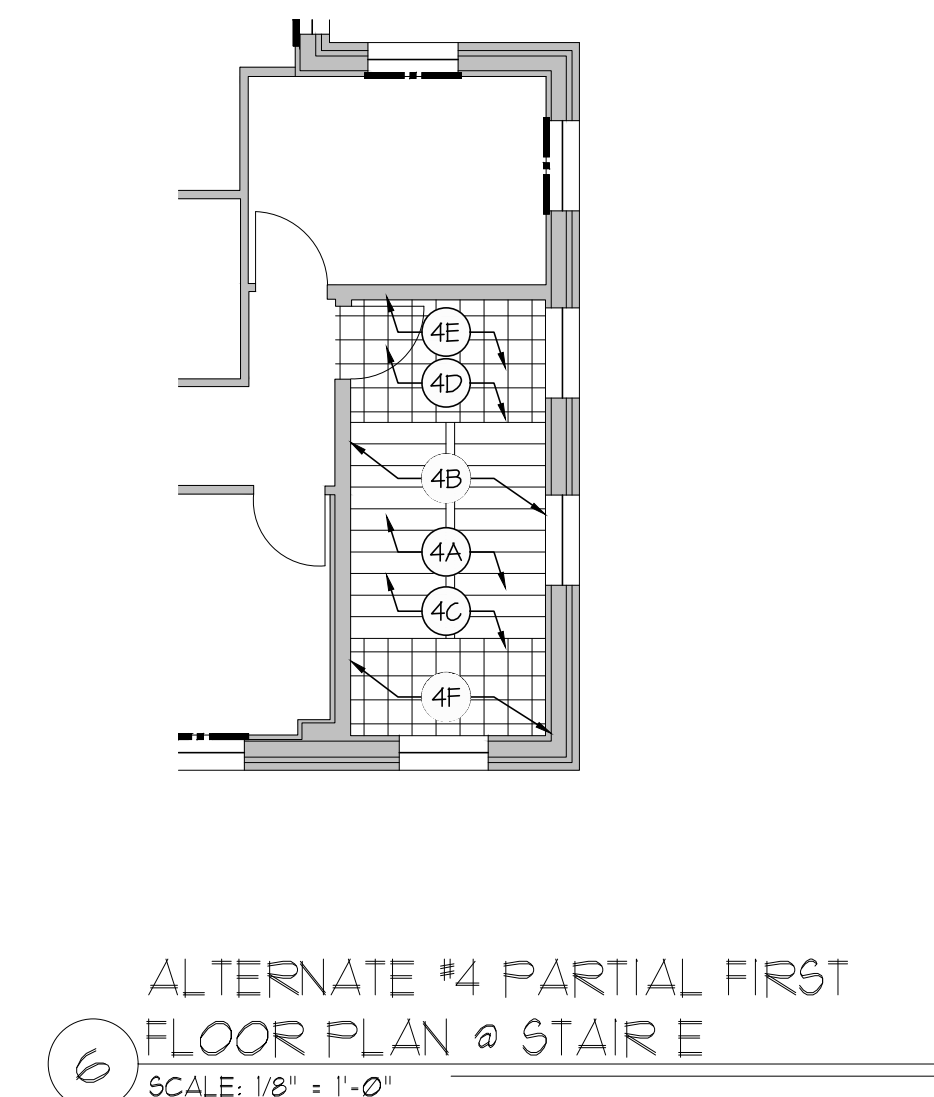
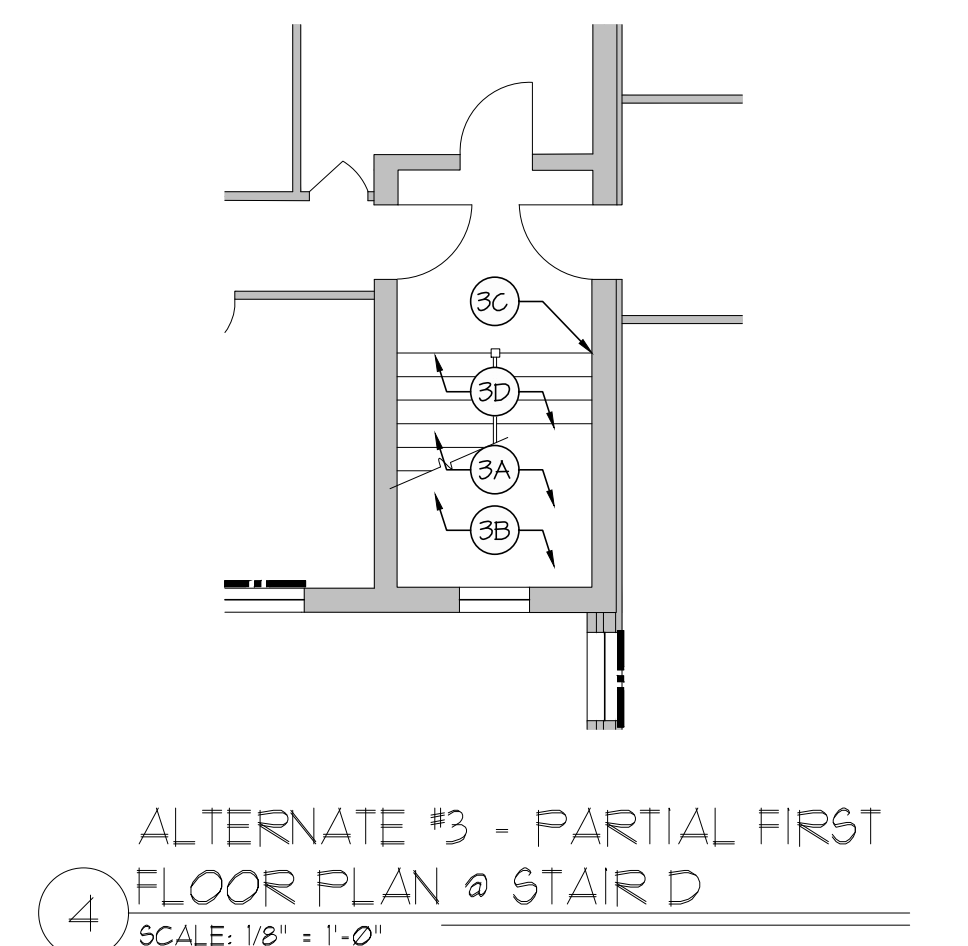
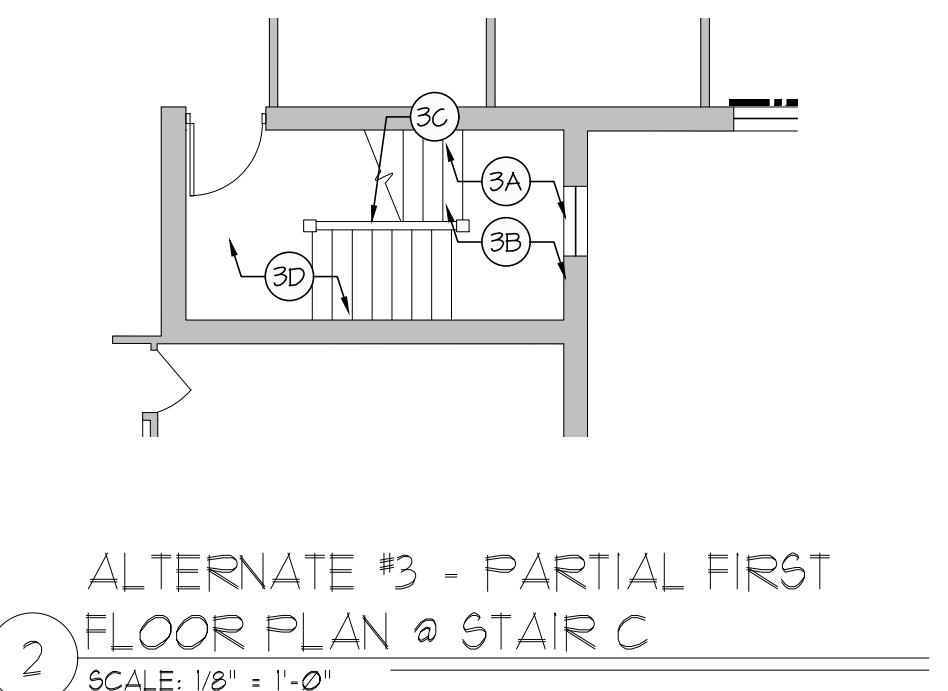
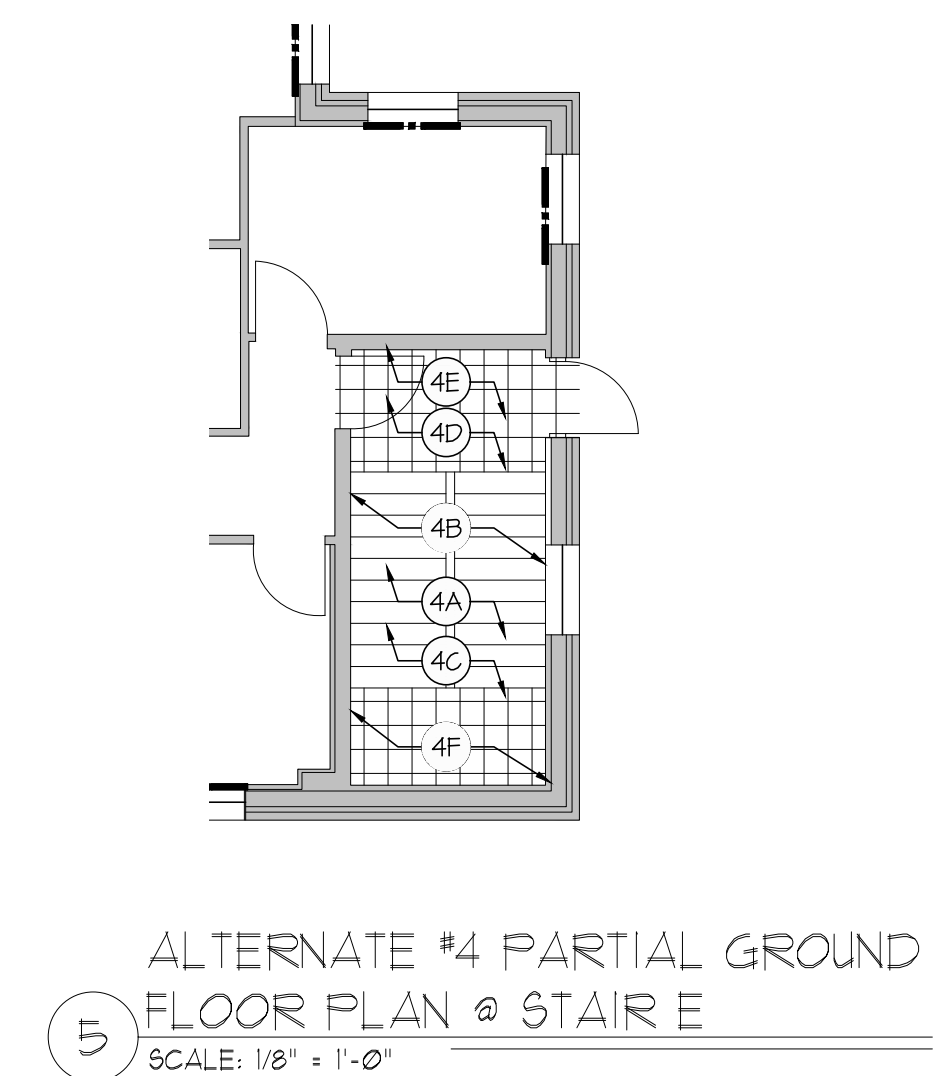
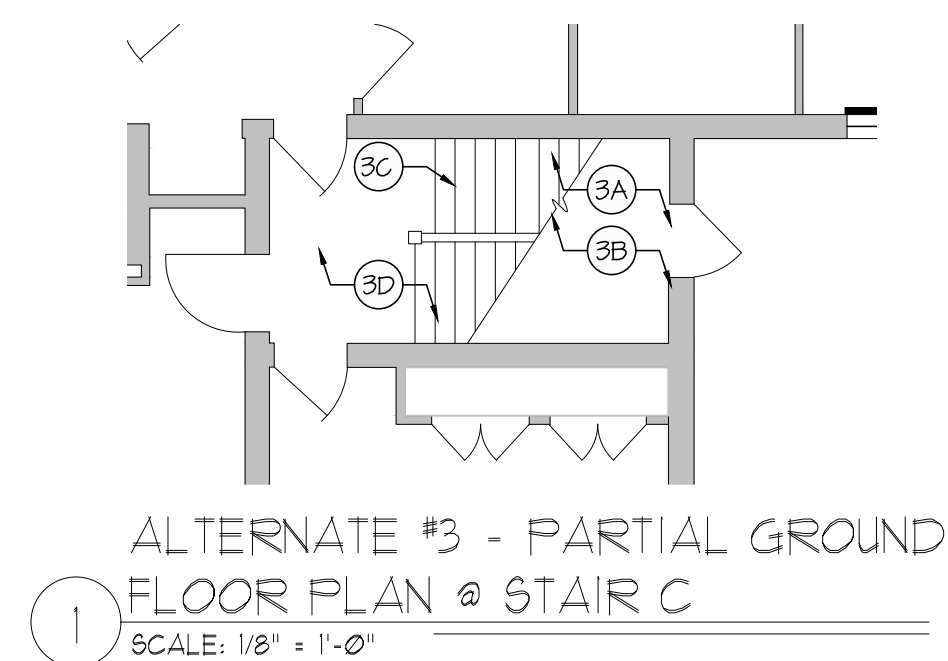


2 ALTERNATE #2 -
 PARTIAL SECOND FLOOR PLAN @ STAIR A
 SCALE: 1/8" = 1'-0"



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 302.376.8100

| LEGEND & NOTES | |
|-----------------------|--|
| LEGEND: | |
| | EXISTING WALL TO REMAIN |
| | EXISTING TO BE REMOVED |
| | DOOR TAG |
| | WINDOW TAG |
| | DEMOLITION KEYNOTE |
| | NEW WORK KEYNOTE |
| GENERAL NOTES: | |
| 1. | CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WITH CONSTRUCTION. |
| 2. | CONTRACTOR SHALL COORD. ALL DEMOLITION AND RENOVATION W/ MEP, DIAGS. PRIOR TO START OF CONSTRUCTION. |
| 3. | CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY IN FIELD DISCREPANCIES THAT CAUSE CONFLICT FOR THE WORK INTENT. |
| 4. | OWNER RESPONSIBLE FOR TEMPORARILY REMOVING FURNITURE AND ANY OBSTRUCTING ITEMS PRIOR TO CONSTRUCTION COMMENCEMENT. |



| FLOORING RENOVATION LEGEND: | |
|-----------------------------|---|
| | NEW CARPET TILE, SEE MATERIAL SCHEDULE |
| | NEW LVT PLANK, SEE MATERIAL SCHEDULE |
| | NEW 1x2 LVT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #2 - STAIR 'A' & STAIR 'B': NEW VGT, SEE MATERIAL SCHEDULE |
| | ALTERNATE #4 - STAIR 'E': NEW RUBBER STAIRWELL SYSTEM, SEE MATERIAL SCHEDULE |
| | ETR EXISTING FLOORING TO REMAIN |

| ALTERNATE #3 STAIR 'C' & STAIR 'D' NEW WORK KEYNOTES | |
|--|--|
| 3A | CLEAN EXISTING TERRAZZO TILE FLOORING, STAIR TREADS AND LANDINGS. |
| 3B | PAINT EXISTING GYP. BOARD AT UNDERSIDE OF STAIRS. SEE MATERIAL SCHEDULE. |
| 3C | PAINT EXISTING STEEL STAIR STRINGERS, STAIR RISERS, METAL GUARDRAIL, HANDRAIL, POSTS AND ASSOCIATED BRACKETS. SEE MATERIAL SCHEDULE. |
| 3D | PAINT EXISTING GYP. BOARD CEILING, SEE REFLECTED CEILING PLAN |

| ALTERNATE #4 STAIR 'E' NEW WORK KEYNOTES | |
|--|---|
| 4A | NEW RUBBER STAIR TREADS WITH INTEGRAL RISERS. |
| 4B | PAINT EXISTING CMU WALLS. SEE MATERIAL SCHEDULE. |
| 4C | PAINT EXISTING STEEL STAIR STRINGERS, METAL GUARDRAIL, HANDRAIL, POSTS AND ASSOCIATED BRACKETS. SEE MATERIAL SCHEDULE |
| 4D | PAINT EXISTING GYP. BOARD CEILING AND AT UNDERSIDE OF STAIRS. SEE REFLECTED CEILING PLAN. |
| 4E | NEW QUARTZ TILE (GT-I) FLOORING. SEE MATERIAL. |
| 4F | NEW RUBBER COVE BASE. SEE REFLECTED CEILING PLANS. |

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 BIDDING 14 APRIL 2026

PROJECT INFO:
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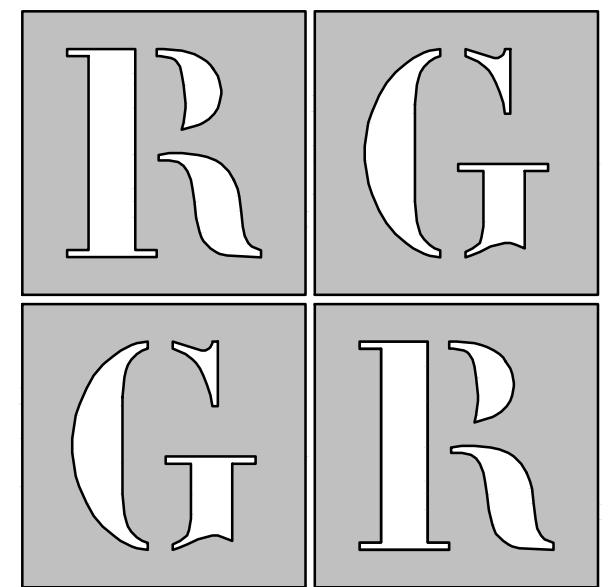
1825 FAULKLAND ROAD
 WILMINGTON, DE 19805

SHEET INFO:
 PROJECT NO: 25039
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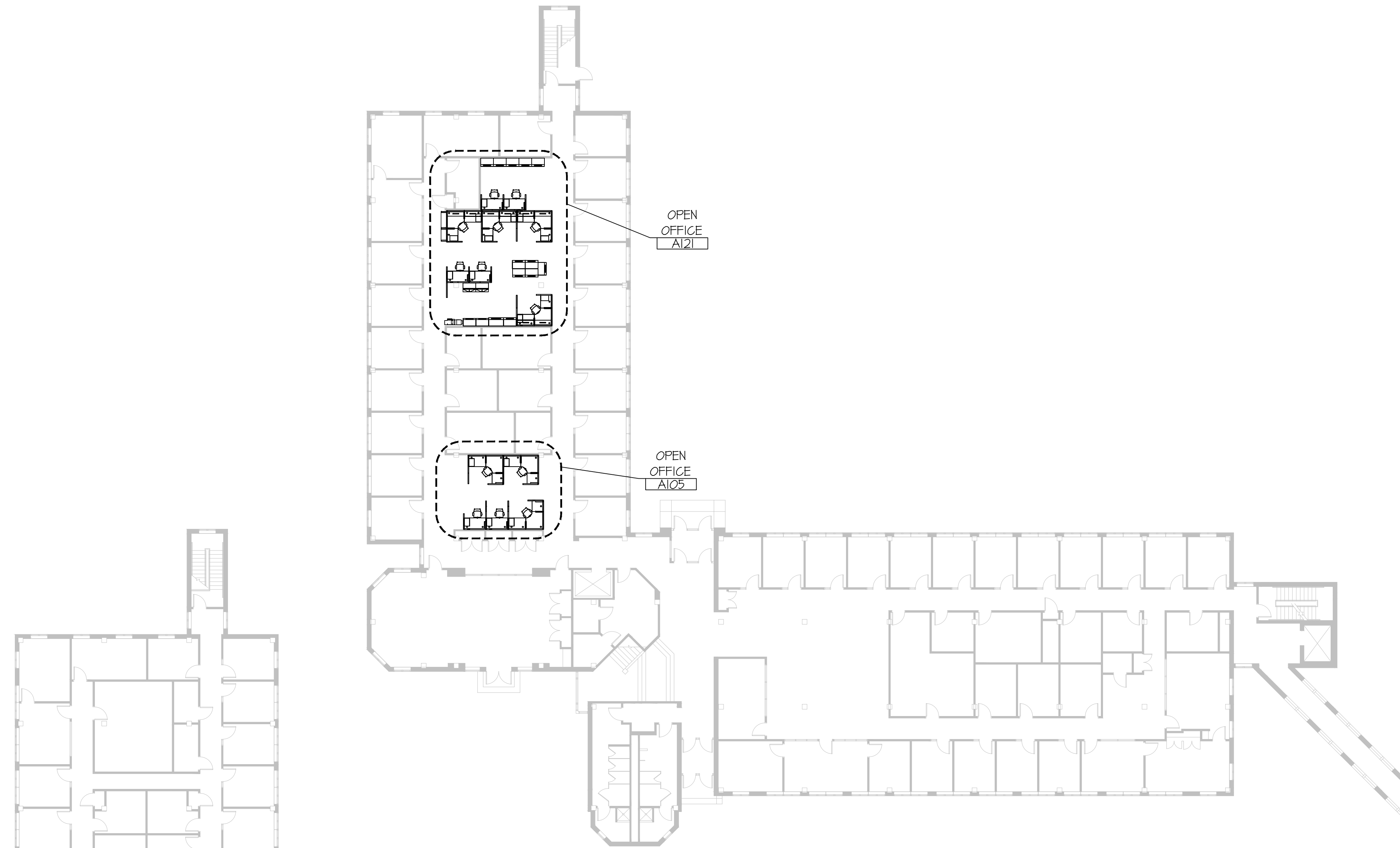
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**ALTERNATES:
 RENOVATION
 STAIR PLANS
 CONT.**

A6.02

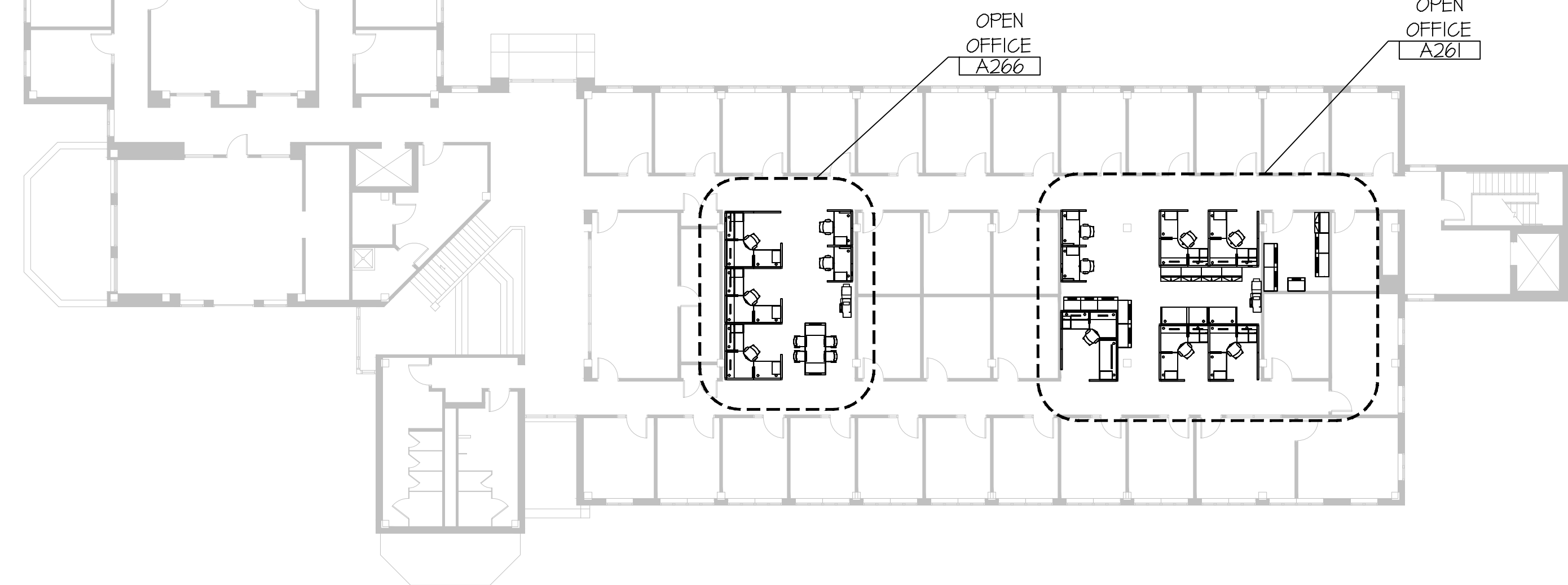


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 302.376.8100



1 FIRST FLOOR FURNITURE PLAN @ ADMINISTRATION BUILDING
 SCALE: 1/16" = 1'-0"

NOTE
 FURNITURE SHOWN FOR REFERENCE ONLY. FURNITURE NOT IN CONTRACT.



2 SECOND FLOOR FURNITURE PLAN @ ADMINISTRATION BUILDING
 SCALE: 1/16" = 1'-0"

ISSUED FOR:
 DFM 99% REVIEW 9 FEB 2026
 BIDDING 14 APRIL 2026

PROJECT INFO:
 DSCYF -
 Administration Building,
 Murphy Cottage & Annex
 Building Finishes
 Renovations
 MC3701000092
 1825 FAULKLAND ROAD
 WILMINGTON, DE 19805

SHEET INFO:
 PROJECT NO: 25039
 DRAWN BY: NSG
 CHECKED BY: GDR
 SCALE: AS NOTED
 DATE: 14 APRIL 2026

TITLE & NO.:
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**FIRST & SECOND
 FLOOR FURNITURE
 PLAN - ADMIN**

A7.01