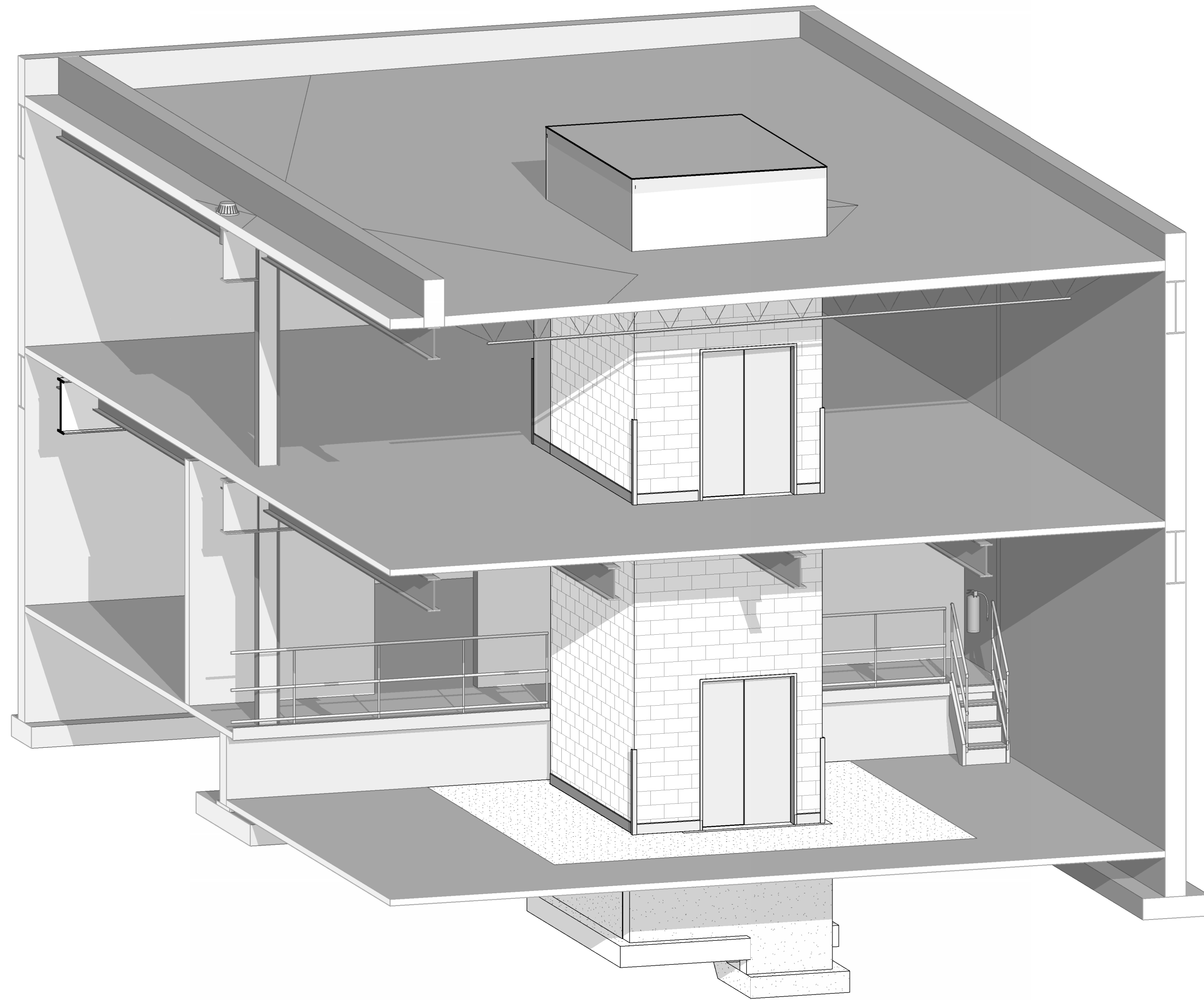


VOTING MACHINE WAREHOUSE ELEVATOR ADDITION

403 EAST 24TH STREET, CHESTER, PA 19013

ISSUED FOR BIDDING: MARCH 4TH, 2026

AXONOMETRIC VIEW



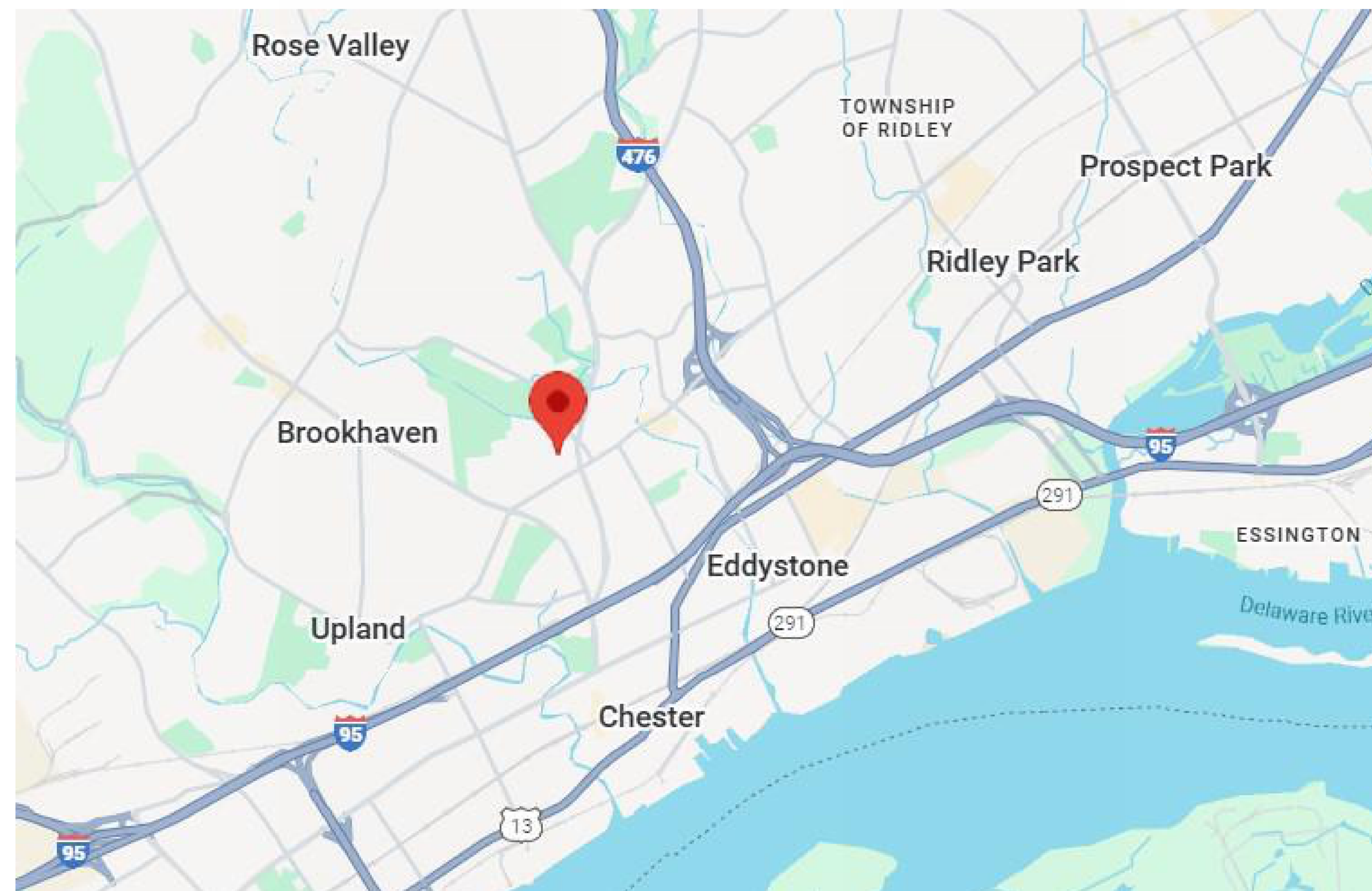
PROJECT TEAM

ARCHITECT, STRUCTURAL ENGINEER, MEP ENGINEER:	CLIENT:	COST ESTIMATING:
NORR GENERAL PARTNERSHIP 1617 JFK BLVD PHILADELPHIA, PA 19103 CONTACT(S): BARBARA MALEWICZ TEL: 215.283.0232 BARBARA.MALEWICZ@NORR.COM	COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS 201 W FRONT STREET MEDIA, PA 19063 CONTACT(S): ROBERT BERNSTEIN, AIA TEL: 610.891.5082 BERNSTEINR@CO.DELAWARE.PA.US	BECKER FRONDORF 1500 WALNUT ST, SUITE #1910 PHILADELPHIA, PA 19102 CONTACT(S): MIKE ZAIDEL TEL: 215.772.1400 MZAIDEL@BECKERFRONDORF.COM

INDEX OF DRAWINGS

DRAWING LIST - ARCHITECTURAL		2026.03.04 ISSUED FOR BIDDING	
SHEET No.	SHEET NAME		
G00-00	COVER SHEET	X	
G01-03	CODE ANALYSIS AND LEGENDS	X	
G01-04	UL REFERENCES	X	
G01-05	SCOPE OF WORK PHASING PLANS	X	
AD20-01	OVERALL DEMOLITION PLAN - FIRST FLOOR	X	
AD20-02	OVERALL DEMOLITION PLAN - SECOND FLOOR	X	
AD20-RF	OVERALL ROOF DEMOLITION PLAN	X	
AD30-01	OVERALL DEMOLITION REFLECTED CEILING PLAN - FIRST FLOOR	X	
AD30-02	OVERALL DEMOLITION REFLECTED CEILING PLAN - SECOND FLOOR	X	
A02-01	OVERALL LIFE SAFETY PLAN - BASEMENT AND FIRST FLOOR	X	
A02-02	OVERALL LIFE SAFETY PLAN - SECOND FLOOR	X	
A05-01	DOOR & FRAME SCHEDULE, TYPES, DETAILS, PARTITION TYPES, TYPICAL MOUNTING HEIGHTS	X	
A10-01	REFERENCE SITE PLAN	X	
A20-01	OVERALL FLOOR PLAN - FIRST FLOOR	X	
A20-02	OVERALL FLOOR PLAN - SECOND FLOOR	X	
A30-03	PARTIAL ROOF PLAN	X	
A30-01	OVERALL REFLECTED CEILING PLAN - FIRST FLOOR	X	
A30-02	OVERALL REFLECTED CEILING PLAN - SECOND FLOOR	X	
A52-01	VERTICAL TRANSPORTATION PLANS AND ELEVATIONS	X	
A52-02	VERTICAL TRANSPORTATION SECTIONS	X	
A52-03	VERTICAL TRANSPORTATION DETAILS	X	
DRAWING LIST - STRUCTURAL			
S001	GENERAL NOTES	X	
S002	GENERAL NOTES CONT'D	X	
S100	STRUCTURAL PLANS	X	
S200	TYPICAL DETAILS	X	
S301	FOUNDATION SECTIONS	X	
S302	FRAMING SECTIONS	X	
DRAWING LIST - FIRE PROTECTION			
FP20-01	COVER SHEET	X	
FP20-01	OVERALL FIRE PROTECTION PLAN - FIRST FLOOR	X	
FP20-02	OVERALL FIRE PROTECTION PLAN - SECOND FLOOR	X	
DRAWING LIST - MECHANICAL HVAC			
M00-01	MECHANICAL COVER SHEET	X	
M03-01	SCHEDULES AND DETAILS	X	
M20-01	OVERALL MECHANICAL PLAN - FIRST FLOOR	X	
M20-02	OVERALL MECHANICAL PLAN - SECOND FLOOR	X	
M20-01	OVERALL MECHANICAL DEMOLITION PLAN - FIRST FLOOR	X	
DRAWING LIST - ELECTRICAL			
E01-01	DRAWING LIST & LEGENDS	X	
E01-02	ELECTRICAL DETAILS & SCHEDULES	X	
E10-01	OVERALL POWER & LIGHTING PLAN - FIRST FLOOR	X	
E10-02	OVERALL POWER & LIGHTING PLAN - SECOND FLOOR	X	
ED10-01	OVERALL POWER & LIGHTING DEMOLITION PLAN - FIRST FLOOR	X	
ED10-02	OVERALL POWER & LIGHTING DEMOLITION PLAN - SECOND FLOOR	X	

PROJECT LOCATION



DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

NORR

NORR
One Penn Center
1617 JFK Blvd, Suite 1600
Philadelphia, PA 19103
norr.com

Project Manager BM	Drawn MK
Project Architect CP	Checked CP

Client
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**

Project
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**

Drawing Title
COVER SHEET

Project No.
IN2325-0323

Drawing No.
G00-00

DESCRIPTION
PROJECT NAME: WAREHOUSE ELEVATOR ADDITION
PROJECT DESCRIPTION: THE PROJECT REPRESENTS AN ALTERATION LEVEL II TO AN EXISTING TWO STORY COMMERCIAL WAREHOUSE BUILDING. THE ALTERATION WILL INCLUDE THE ADDITION OF A SERVICE ELEVATOR, REPAIRS TO AN EXTERIOR WINDOW AND INTERIOR FLOORS AND WALLS, AND REMOVAL OF AN EXISTING FREIGHT LIFT. THE EXISTING BUILDING IS FULLY SPRINKLERED. EXISTING OCCUPANCY IS STORAGE. THERE WILL BE NO CHANGE IN OCCUPANCY. EXISTING CONSTRUCTION TYPE IS IIBB NON-COMBUSTIBLE WITH EXTERIOR LOAD-BEARING MASONRY WALLS, STEEL FLOOR STRUCTURE WITH WOODEN PLANK DECKING AND CONCRETE TOPPING, AND STEEL ROOF STRUCTURE AND DECK WITH CONTINUOUS INSULATION AND SINGLE PLY ROOF MEMBRANE. NO WORK IS BEING DONE TO ANY OTHER SPACES.

APPLICABLE / ADOPTED CODES
BUILDING CODE: * ICC INTERNATIONAL BUILDING CODE (IBC), 2021
EXISTING BUILDING CODE: * ICC INTERNATIONAL EXISTING BUILDING CODE (IBC), 2021
BARRIER FREE CODE: * REFERENCES TO ANSI 117.1-2009 * AMERICANS WITH DISABILITIES ACT ARCHITECTURAL STANDARDS FOR ACCESSIBLE DESIGN, 2010 * CODE OF FEDERAL REGULATIONS PART 36, SUBPART D
FIRE CODES: * ICC INTERNATIONAL FIRE CODE, 2021
MECHANICAL CODES: * ICC INTERNATIONAL MECHANICAL CODE, 2021 * ASHRAE STANDARDS 90.1, 90.2 AND 62, 2019 (VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY)
ENERGY CODES: * ICC INTERNATIONAL ENERGY CONSERVATION CODE, 2021
PLUMBING CODE: * ICC INTERNATIONAL PLUMBING CODE, 2021
ELECTRICAL CODE: * NFPA 70: NATIONAL ELECTRICAL CODE (NEC) 2020
FUEL GAS CODE: * ICC MECHANICAL CODE, 2021
ELEVATOR CODE: * ASME A17.1, 2016 * 34 PA CODE, CHAPTER 405

BUILDING CLASSIFICATION		
	ALLOWED/REQUIRED	EXISTING
A. OCCUPANCY CLASSIFICATION		
IBC CHAPTER 3 USE GROUP:	S2	S2
B. MIXED USE AND OCCUPANCY IBC CHAPTER 5		
BASEMENT OCCUPANCY GROUP:	S2	S2
FIRST FLOOR PRIMARY OCCUPANCY GROUP:	S2	S2
ACCESSORY OCCUPANCY GROUP (LESS THAN 10% FLOOR AREA):	B	B
SECOND FLOOR OCCUPANCY GROUP:	S2	S2
C. CONSTRUCTION CLASSIFICATION IBC CHAPTER 6	IIIB	IIIB
D. BUILDING AREA LIMITATIONS IBC CHAPTER 5 MAXIMUM TABULAR AREA PER STORY, (S.F.): FULLY SPRINKLERED, TWO STORY: TOTAL BUILDING AREA:	78,000 SF 158,000 SF 158,000 SF	15,019 SF 30,020 SF 30,020 SF
E. BUILDING HEIGHT LIMITATIONS IBC CHAPTER 5 MAXIMUM HEIGHT - FT: MAXIMUM HEIGHT - STORIES:	75 4	29 2

FIRE RESISTANCE REQUIREMENTS OF CONSTRUCTION ELEMENTS		
	ALLOWED/REQUIRED	PROPOSED
C. INTERIOR FINISHES IBC CHAPTER 8 INTERIOR WALL & CEILING FINISH FLAME SPREAD INTERIOR EXIT STAIRWAYS, RAMPS & PASSAGEWAYS: CORRIDORS FOR EXIT ACCESS: ROOMS & ENCLOSED SPACES: INTERIOR FLOOR FINISHES RADIANT FLUX CLASS:	CLASS C CLASS C CLASS C CLASS B	CLASS C CLASS C CLASS C CLASS B

OCCUPANT LOAD		
	ALLOWED/REQUIRED	ACTUAL
A. OCCUPANT LOADS		
DESIGN OCCUPANT LOAD:		
MAIN FUNCTION AREA: BASEMENT FLOOR AREA PER OCCUPANT (S-2):	500	:
TOTAL DESIGN DESIGN OCCUPANT LOAD:	3	0
FIRST FLOOR FLOOR AREA PER OCCUPANT (S-2): FLOOR AREA PER OCCUPANT (B):	500 150	: :
TOTAL FIRST FLOOR DESIGN OCCUPANT LOAD:	36	3
SECOND FLOOR: FLOOR AREA PER OCCUPANT (S-2):	500	:
TOTAL SECOND FLOOR DESIGN OCCUPANT LOAD:	31	3
TOTAL BUILDING DESIGN OCCUPANT LOAD:	67	6

MATERIAL LEGEND		
EARTH	STONE	WOOD FRAMING - CONTINUOUS MEMBER
GRASS / GREEN ROOF	MASONRY - BRICK	WOOD BLOCKING
GRAVEL	RIGID INSULATION	PLYWOOD
CONCRETE	FOAM INSULATION	OSB
PRECAST CONCRETE	SPRAY INSULATION	FINISH WOOD
CMU	BATT INSULATION	METAL/STEEL
GLAZED CMU	GLASS (CUT)	GYPSUM

SYMBOL LEGEND	
ANNOTATION SYMBOLS	
	INDICATES VIEW NUMBER
	INDICATES VIEW NAME
	SCALE: View Scale
	TITLE MARK
	INDICATES SECTION NUMBER
	INDICATES REFERENCE SM / TYP / REV
	PLAN DETAIL REFERENCE
	INDICATES DRAWING NUMBER WHERE DETAIL IS LOCATED
	INDICATES SECTION NUMBER
	INDICATES REFERENCE SM / TYP / REV
	BUILDING SECTION REFERENCE
	INDICATES DRAWING NUMBER WHERE SECTION IS LOCATED
	INDICATES SECTION NUMBER
	INDICATES REFERENCE SM / TYP / REV
	WALL / DETAIL SECTION REFERENCE
	INDICATES DRAWING NUMBER WHERE SECTION IS LOCATED
	INDICATES REFERENCE SM / TYP / REV
	INDICATES ELEVATION NUMBER
	EXTERIOR ELEVATION REFERENCE
	INDICATES DRAWING NUMBER WHERE ELEVATION IS LOCATED
	INDICATES REFERENCE SM / TYP / REV
	INDICATES ELEVATION NUMBER
	INTERIOR ROOM ELEVATION REFERENCE
	INDICATES DRAWING NUMBER WHERE ELEVATION IS LOCATED
	GRID TAG
	INDICATES LEVEL NAME
	LEVEL TAG
	INDICATES LEVEL ELEVATION
	HEIGHT ELEVATION TAG
	INDICATES UNIT TYPE NAME
	INDICATES ROOM NAME
	ROOM TAG
	INDICATES ROOM NUMBER
	INDICATES UNIT TYPE DESCRIPTION (E.G. "SAME AS BELOW", "TYPE-A", ETC.)
	DOOR NUMBER TAG
	WINDOW TAG
	REVISION TAG
	NORTH ARROW
ASSEMBLY SYMBOLS	
	INDICATES CEILING ASSEMBLY
	CEILING ASSEMBLY TAG
	INDICATES CEILING HEIGHT A.F.F.
	FLOOR ASSEMBLY TAG
	ROOF ASSEMBLY TAG
	WALL / PARTITION ASSEMBLY TAG
FINISHES SYMBOLS	
	ACCESSORY TYPE TAG
	EQUIPMENT TYPE TAG
	FINISH SET OUT / START POINT
	FURNITURE TYPE TAG
	MILLWORK TYPE TAG
	ROOM FINISH TYPE TAG
	MATERIAL TAG

ARCHITECTURAL ABBREVIATIONS

ACC	ACCESSIBLE	HB	HOSE BIB	S/A	SUPPLY AIR
ACFL	ACCESS FLOOR	HC	HOLLOW CORE	SAM	SELF-ADHERED MEMBRANE
ACT	ACOUSTICAL CEILING TILE	H/C	HANDICAP	SC	SOLID CORE
AD	AREA DRAIN	HCW	HOLLOW CORE WOOD	SCW	SOLID CORE WOOD
ADJ	ADJACENT	HD	HANGAR DOOR	SD	SINGLE SWING DOOR
AFF	ABOVE FINISHED FLOOR	HDR	HEADER	SF	SQUARE FEET
ALUM	ALUMINUM	HDWD	HARDWOOD	SFL	SAFETY FLOOR
ANNP	ANNUNCIATOR PANEL	HDWR	HARDWARE	SG	STRUCTURAL GLAZING
ANOD	ANODIZED	HM	HOLLOW METAL	SHT	SHEET
APPROX	APPROXIMATE	HO	HONEY-COMB	SIA	SIAMESE CONNECTION
ARCH	ARCHITECTURAL	HOR	HORIZONTAL	SIM	SIMILAR
AUTO	AUTOMATIC	HR	HOUR	SL	SLIDING DOOR
AVB	AIR VAPOR BARRIER	HSGK	HOUSEKEEPING	SMC	STEEL METAL CARRIER
AVM	AIR VAPOR MOISTURE BARRIER	HSS	HOLLOW STEEL SECTION	SOG	SLAB ON GRADE
		HT	HEIGHT	SP	STAND PIPE
B	BASE	HVAC	HEATING / VENTING / AIR CONDITIONING	SPEC	SPECIFICATION
BF	BIFOLD DOOR	HVY	HEAVY	SQ	SQUARE
BLDG	BUILDING	HW	HOT WATER	SS	STAINLESS STEEL
BM	BEAM			SSM	SOLID SURFACING MATERIAL
B/O	BOTTOM OF	ID	INSIDE DIAMETER	ST	STONE
BOL	BOLLARD	INFO	INFORMATION	STC	SOUND TRANSMISSION CLASS
BUR	BUILT UP ROOFING	INSUL	INSULATION	STD	STANDARD
		INT	INTERIOR	STL	STEEL
CAB	CABINET	IMP	INSULATED METAL PANEL	STOR	STORAGE
CB	CATCH BASIN	ISO	POLYISOCYANURATE	STRUCT	STRUCTURAL
CD	COILING DOOR	JAN	JANITOR CLOSET	SUSP	SUSPENDED
CG	CORNER GUARD				
CIP	CAST IN PLACE				
CJ	CONTROL JOINT				
CL	CENTRE LINE	KIT	KITCHEN		
CLG	CEILING				
CLR	CLEARANCE	L	LENGTH		
CMF	COMPOSITE METAL PANEL	LAV	LAVATORY		
CMU	CONCRETE MASONRY UNIT	LINO	LINOLEUM		
COL	COLUMN	LL	LIVE LOAD		
COM	CUSTOMERS OWN MATERIAL	LVR	LOUVER		
CONC	CONCRETE				
CONST	CONSTRUCTION	m	METER		
CONT	CONTINUOUS	MATL	MATERIAL		
CORR	CORRIDOR	MAX	MAXIMUM		
CPT	CARPET	MECH	MECHANICAL		
CPT-T	CARPET TILE	MED	MEDIUM	U/G	UNDER GROUND
CS	COUNTER SHUTTER	MEL	MELAMINE	UNO	UNLESS NOTED OTHERWISE
CT	CERAMIC TILE	MEP	MECHANICAL, ELECTRICAL AND PLUMBING	U/S	UNDERSIDE
CW	CURTAIN WALL				
C/W	COMPLETE WITH	MEZZ	MEZZANINE	V	VENEER
		MF	MINERAL FIBRE	VB	VAPOR BARRIER
DCRON	DURACRON	MFR	MANUFACTURER	VCT	VINYL COMPOSITE TILE
DD	DOUBLE SWING DOOR	MH	MANHOLE	VERT	VERTICAL
DEG	DEGREES	MIN	MINIMUM	VEST	VESTIBULE
DEMO	DEMOLITION	MISC	MISCELLANEOUS	VIF	VERIFY IN FIELD
DF	DRINKING FOUNTAIN	MLDG	MOULDING		
DIA	DIAMETER	MLWK	MILLWORK		
DIM	DIMENSION	mm	MILLIMETER	W	WIDTH
DL	DEAD LOAD	MP	METAL PANEL	WC	WALL COVERING
DN	DOWN	MTD	MOUNTED	WC	WATER CLOSET
DNAR	DURANAR	MTL	METAL	WD	WOOD
DP	DEPTH			WH	WATER HEATER
DR	DOOR	N/A	NOT APPLICABLE	WP	WATERPROOF
DW	DISH WASHER	NF	NO FRAME (FRAMELESS)	WPR	WALL PROTECTION
DWG	DRAWING	NIC	NOT IN CONTRACT	WRM	WASHROOM
		No.	NUMBER	WW	WOOD VENEER
		NTS	NOT TO SCALE		
				X-HVY	EXTRA HEAVY
		O/C	ON CENTER		
		OD	OUTSIDE DIAMETER		
		ELEC	ELECTRICAL	OH	OVERHEAD DOOR
		ELEV	ELEVATOR	O/H	OVERHEAD
		EP	ELECTRICAL PANEL	OPNG	OPENING
		EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	OPP	OPPOSITE
				OS	OWNER SUPPLIED
				OWSJ	OPEN WEB STEEL JOIST
				P	PAINT (color)
				PC	POWDER COAT
				P.CONC	POLISHED CONCRETE
				PD	PLANTER DRAIN
				PERP	PERPENDICULAR
				PH	PHASE
				PL	PROPERTY LINE
				PLAM	PLASTIC LAMINATE
				PLYWD	PLYWOOD
				PO	POLYSTYRENE
				POLY	POLYETHYLENE
				POLY-U	POLYURETHANE
				PREFAB	PREFABRICATED
				PREFIN	PREFINISHED
				PS	PRESSED STEEL
				PSFR	PRESSED STEEL FRAME
				PT	PRESSURE TREATED
				PTD	PAINTED
				QT	QUARRY TILE
				R	RADIUS
				R/A	RETURN AIR
				RB	RUBBER BASE
				RCP	REFLECTED CEILING BASE
				RD	ROOF DRAIN
				RE	REVOLVING DOOR
				REINF	REINFORCED
				REF	REFERENCE
				REFR	REFRIGERATOR
				REQ'D	REQUIRED
				RES	RESILIENT FLOORING
				REV	REVISION
				RM	ROOM
				RO	ROLLING DOOR
				RR	RAPID ROLL DOOR
				RSF	RESILIENT SHEET FLOORING
				RUB	RUBBER
				RWL	RAINWATER LEADER
G ()	GLASS (type)				
GA	GAUGE				
GALV	GALVANIZED				
GB	GRAB BAR				
GBN	GARBAGE BIN				
GC	GENERAL CONTRACTOR				
GL	GLASS / GLAZING				
GRD	GROUND				
GWB	GYPSUM WALL BOARD				
GWG	GEORGIAN WIRE GLASS				
GYP	GYPSUM				

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Design Team	
Architecture:	NORR
Structural:	NORR
Mechanical:	NORR
Electrical:	NORR

Seal

NORR
One Penn Center
1917 JFK Blvd, Suite 1600
Philadelphia, PA 19103
norr.com

Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

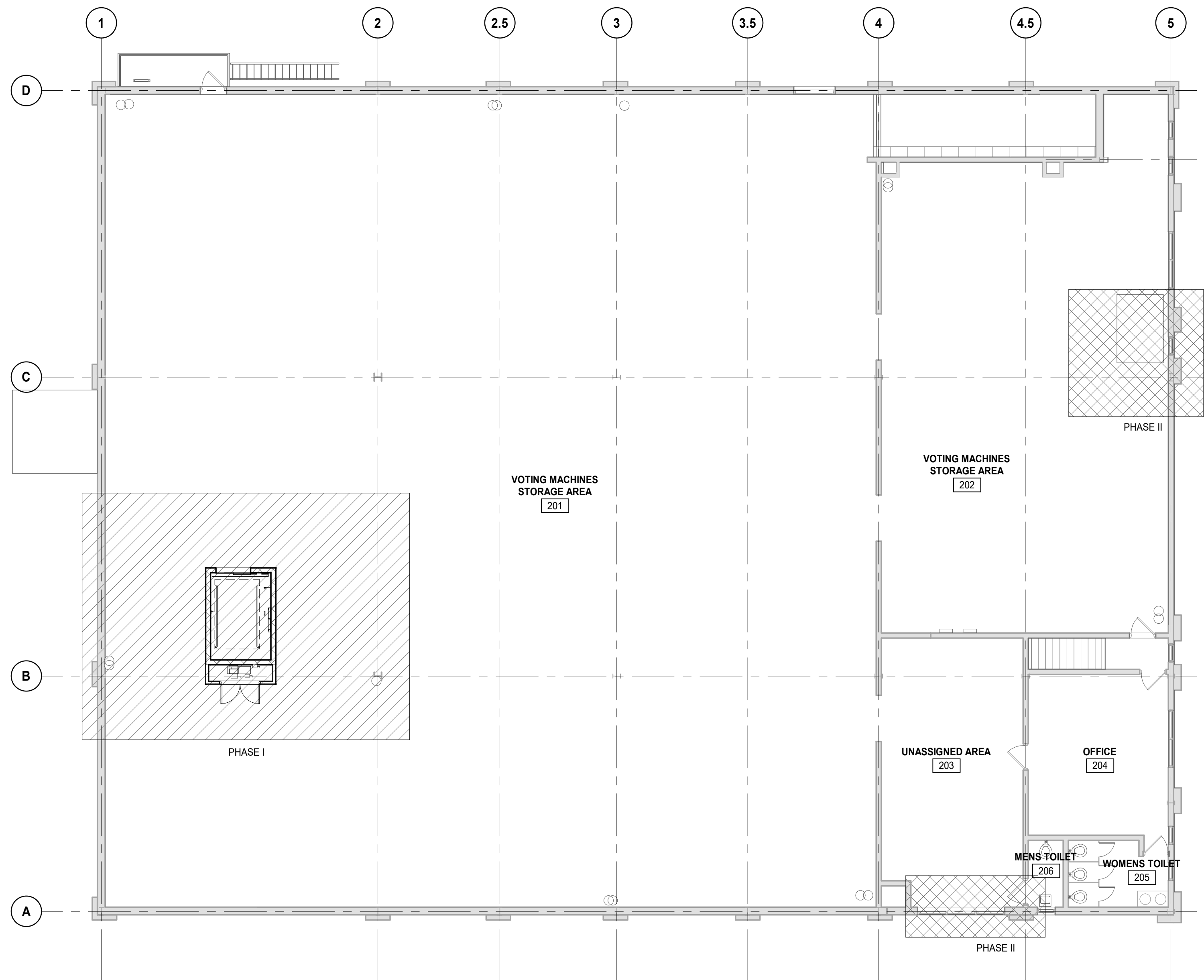
Client
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

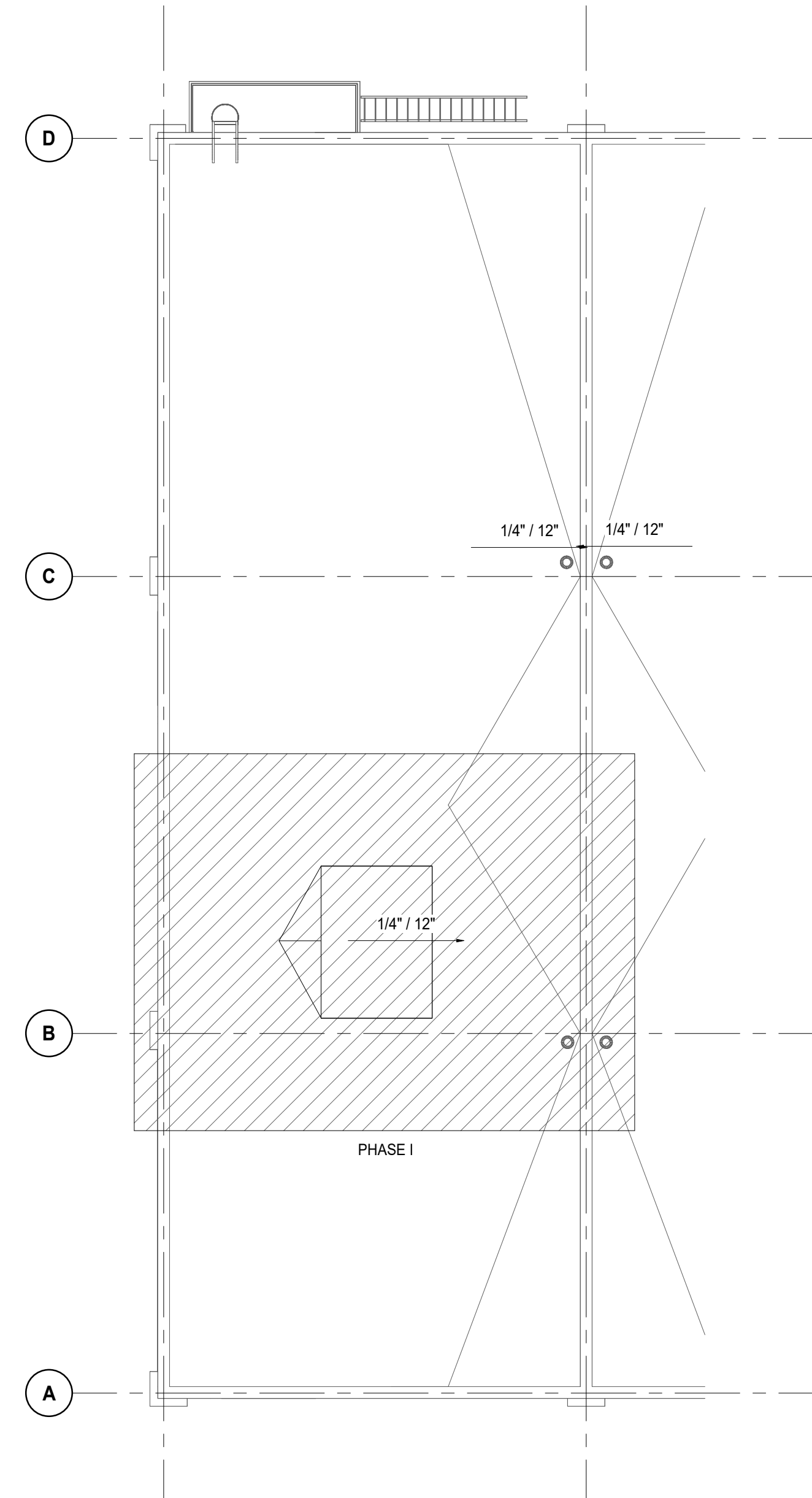
Drawing Title
**CODE ANALYSIS AND
LEGENDS**

Project No.
IN2325-0323

Drawing No.
G01-03



E3 OVERALL PHASING PLAN - SECOND FLOOR
G01-05 SCALE: 1" = 10'-0"



C3 OVERALL PHASING PLAN - ROOF
G01-05 SCALE: 1" = 10'-0"

PHASING SCOPE OF WORK LEGEND

PHASE I

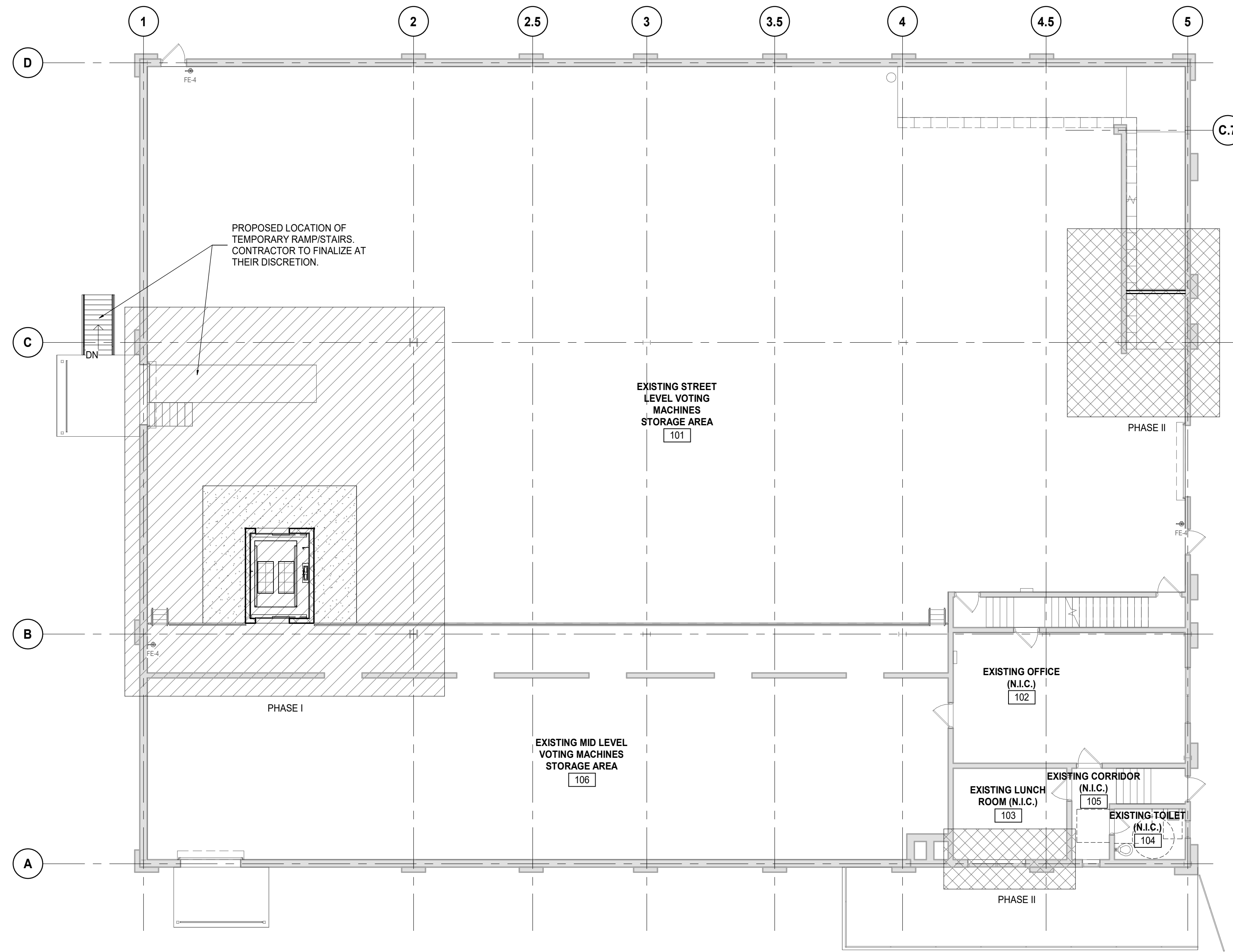
- ERECT ANY TEMPORARY PARTITIONS, RAMP, STAIRS, AND ETC.
- DEMOLISH, RECONFIGURE, AND REPAIR EXISTING FIRST AND SECOND FLOOR SLABS TO ACCOMMODATE FOR NEW SCOPE OF WORK.
- DEMOLISH, RECONFIGURE, AND REPAIR ROOF TO ACCOMMODATE FOR NEW SCOPE OF WORK.
- ERECT NEW ELEVATOR SHAFT AND FOUNDATION.
- INSTALL NEW ELEVATOR EQUIPMENT.
- RECONFIGURE AND REPAIR ALL NECESSARY EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS TO ACCOMMODATE FOR NEW SCOPE OF WORK.

PHASE II

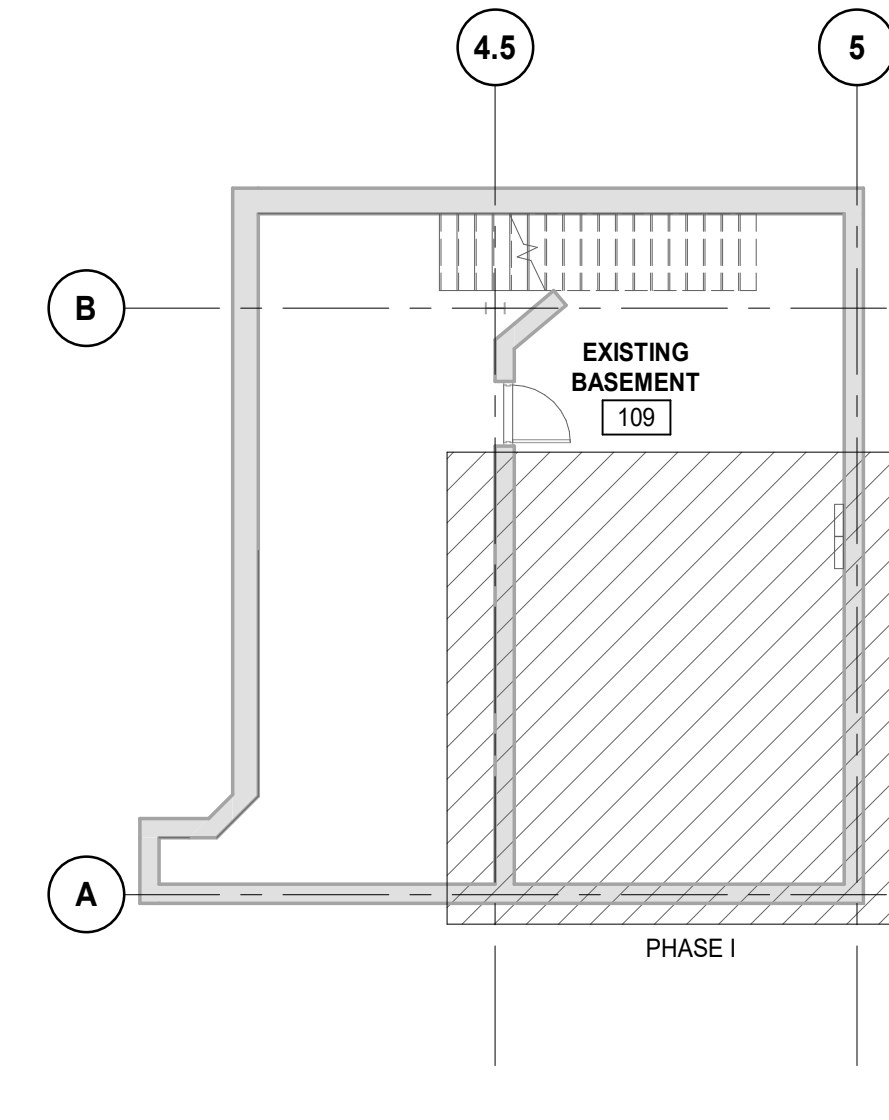
- REMOVE EXISTING FREIGHT LIFT AND LIFT SUPPORT STRUCTURE, GUARD RAILS, AND ALL PERTINENT EXISTING BUILDING ASSEMBLIES TO ACCOMMODATE FOR NEW SCOPE OF WORK.
- INFILL EXISTING FIRST FLOOR CONCRETE SLAB DEPRESSION.
- INFILL EXISTING SECOND FLOOR SLAB.
- ERECT A NEW GPM AND GWB PARTITION TO SEPARATE FIRST FROM SECOND FLOOR.
- REPAIR/REPLACE AS AN ADD ALTERNATE EXTERIOR FENESTRATION ASSEMBLIES.

NOTE:

1. THE GENERAL PHASING ON THESE PLANS IS DIAGRAMMATIC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL MEANS AND METHODS AND ASSURE THAT EGRESS PATHS ARE MAINTAINED AT ALL TIMES.
2. PROVIDE AND INSTALL TEMPORARY PARTITION ACCORDING TO EACH PHASE.



E1 OVERALL PHASING PLAN - FIRST FLOOR
G01-05 SCALE: 1" = 10'-0"

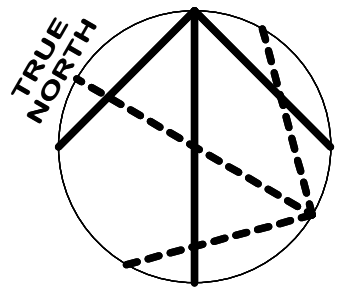


C1 OVERALL PHASING PLAN - BASEMENT
G01-05 SCALE: 1" = 10'-0"

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

NORR

NORR
One Penn Center
1917 JFK Blvd, Suite 1600
Philadelphia, PA 19103
norr.com

Project Manager: BM
Project Architect: CP

Drawn: Author
Checked: Checker

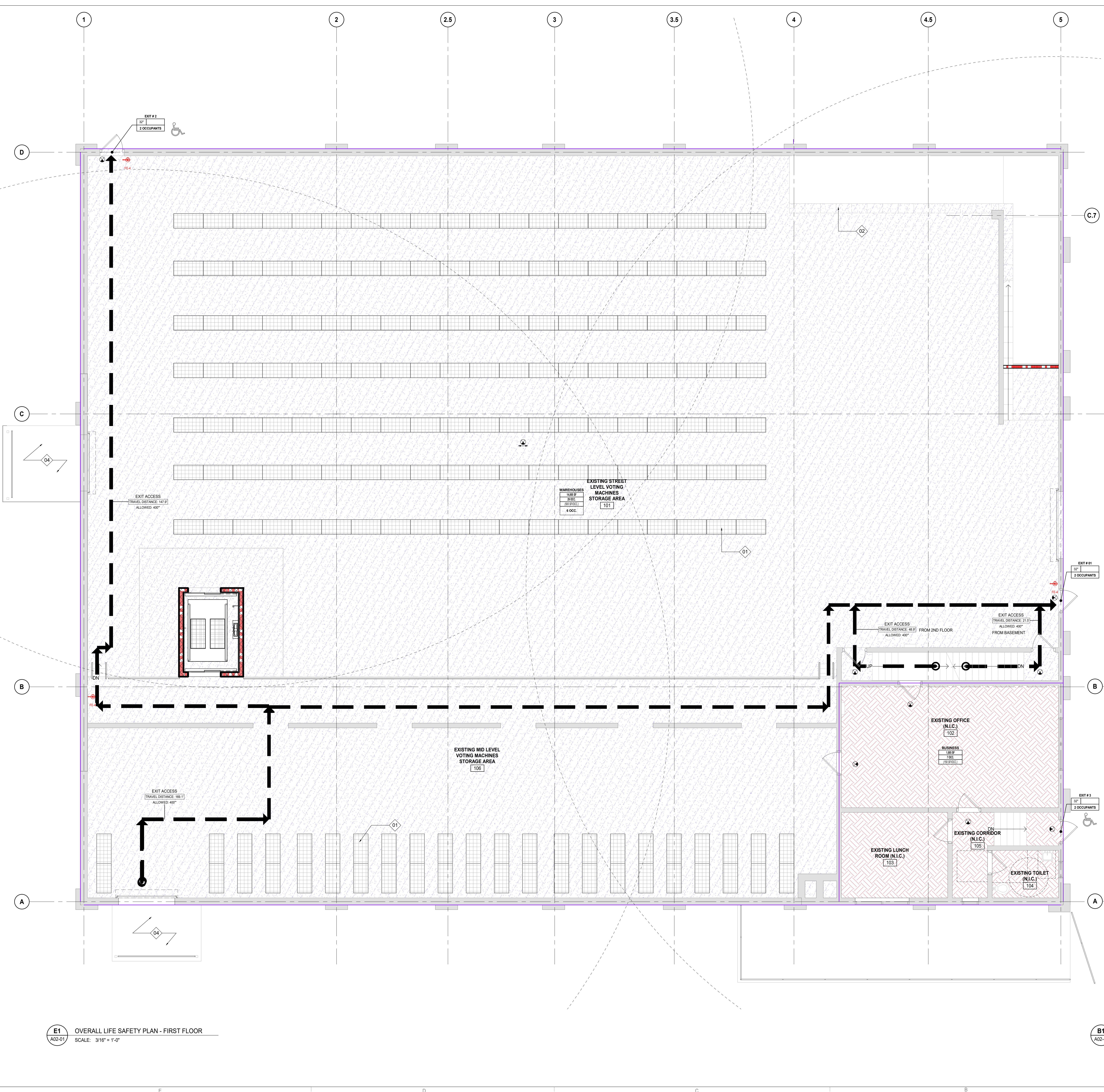
Client:
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project:
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19103

Drawing Title:
**SCOPE OF WORK
PHASING PLANS**

Project No.: IN2325-0323
Drawing No.: **G01-05**

4/27/2024 4:25:52 PM
 Absolute Draw (DWG) - Voting Machine Warehouse Elevator Addition (N2325-0323_A02_01) - WarehouseElevatorAddition_024.rvt



LIFE SAFETY - LEGEND

EXIT KEY:
 CLEAR WIDTH IN INCHES
 EGRESS TYPE IDENTIFIER, STAIR OR EXIT DOOR
 MAX. ALLOWED EXIT CAPACITY PER **IBC 1005.3.2**
 SEE CODE SUMMARY
 ACTUAL CODE CALCULATED OCCUPANT LOAD

OCCUPANCY KEY:
 OCCUPANCY IDENTIFIER
 OCCUPANT LOAD FACTOR PER **IBC TABLE 1004.1.2**
 ALLOWED OCCUPANTS
 NET / GROSS SF PER OCCUPANT
 ACTUAL OCCUPANTS

EGRESS TAG KEY:
 EGRESS TYPE IDENTIFIER
 ACTUAL TRAVEL DISTANCE TO EXIT
 TRAVEL DISTANCE ALLOWED BY CODE

FIRE EXTINGUISHER:
 FEC-4: EXISTING FIRE EXTINGUISHER (NOT IN CABINET)
 FIRE EXTINGUISHER LOCATION (MAX TRAVEL DISTANCE 75'-0")

ADDITIONAL FIRE PROTECTION ELEMENTS:
 EXISTING CEILING SUSPENDED EXIT SIGN
 EXISTING WALL MOUNTED EXIT SIGN

PATH OF TRAVEL:
 EXIT TRAVEL DISTANCE - MAX. ALLOWED 250'-0"
 COMMON PATH OF TRAVEL DISTANCE - MAX. ALLOWED 115'-0"
 ACCESSIBLE MEANS OF EGRESS
 NOTE: EACH TENANT SPACE MUST HAVE A MINIMUM OF ONE ACCESSIBLE ENTRANCE AND TWO ACCESSIBLE MEANS OF EGRESS.

LIFE SAFETY - RATING LEGEND

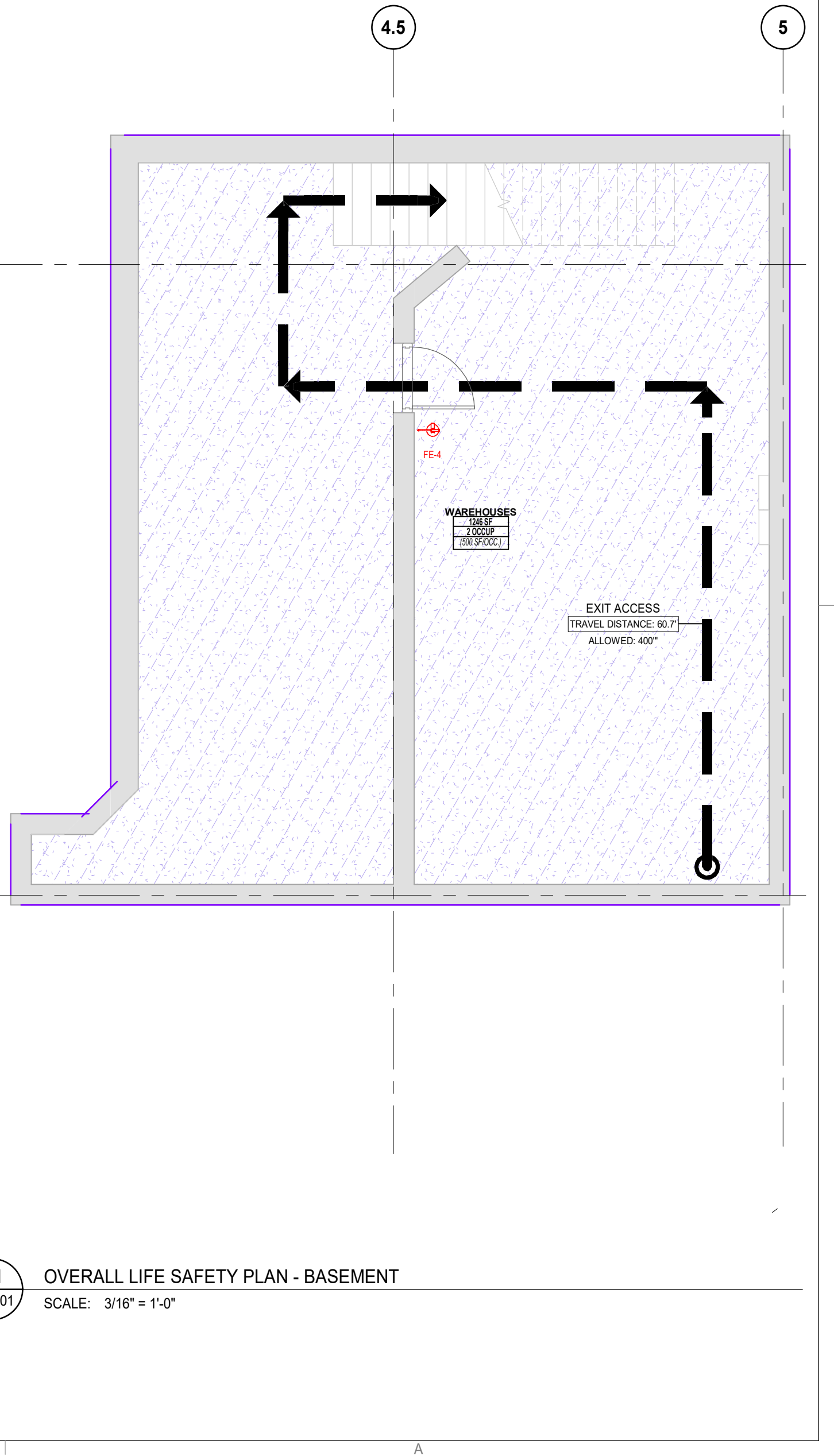
1 HR

FUNCTION OF SPACE

BUSINESS
 WAREHOUSES

KEYED NOTES - LIFE SAFETY PLANS

TAG	DESCRIPTION
01	EXISTING FURNITURE TO REMAIN
02	EXISTING RAMP AND STAIRS TO REMAIN
03	EXISTING EXTERIOR ROOF ACCESS PLATFORM/LANDING TO REMAIN
04	EXISTING LOADING DOCK TO REMAIN



E1 OVERALL LIFE SAFETY PLAN - FIRST FLOOR
 SCALE: 3/16" = 1'-0"

B1 OVERALL LIFE SAFETY PLAN - BASEMENT
 SCALE: 3/16" = 1'-0"

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal

NORR
 NORR
 One Penn Center
 1517 JFK Blvd, Suite 1600
 Philadelphia, PA 19103
 norr.com

Project Manager: BM
 Drawn: Author
 Project Architect: CP
 Checked: Checker
 Client: COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS
 105 W 3RD ST, MEDIA, PA 19063
 Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
 403 EAST 24TH STREET, CHESTER, PA 19013
 Drawing Title: OVERALL LIFE SAFETY PLAN - BASEMENT AND FIRST FLOOR

Project No.: IN2325-0323
 Drawing No.: A02-01

ARCH E Title Block - © 2023 - Rev (Sep/23) - Copyright © 2023

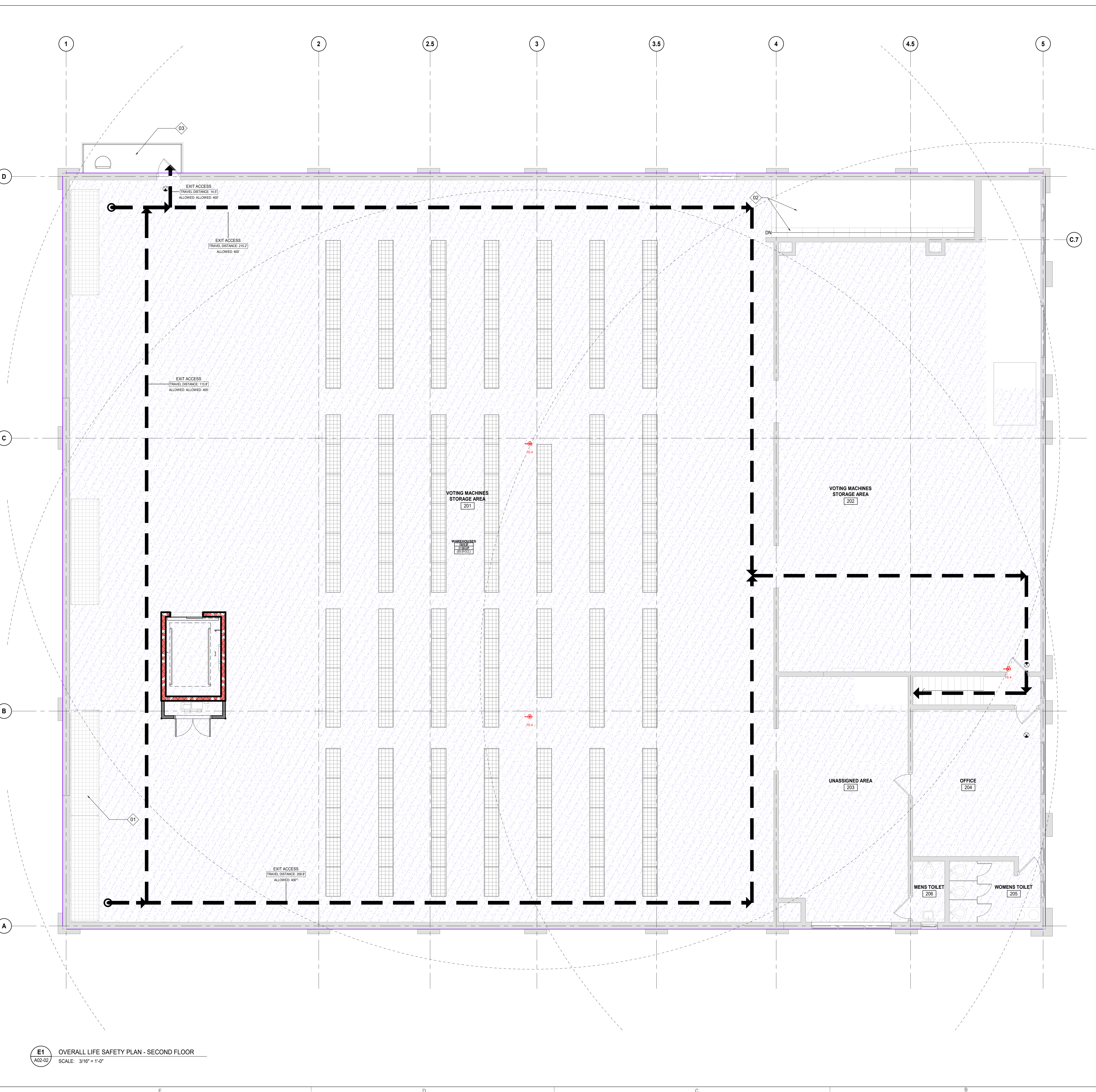
4/27/2025 4:25:58 PM

Autodesk Docs (BIM) - Voting Machine Warehouse Elevator Addition (N2325-0323_A02_02) - Warehouse Elevator Addition - 02A.rvt

E1

A02-02

SCALE: 3/16" = 1'-0"



LIFE SAFETY - LEGEND

EXIT KEY:
 CLEAR WIDTH IN INCHES
 EGRESS TYPE IDENTIFIER: STAIR OR EXIT DOOR
 MAX. ALLOWED EXIT CAPACITY PER IBC 1009.2.2
 SEE CODE SUMMARY
 ACTUAL CODE CALCULATED OCCUPANT LOAD

OCCUPANCY KEY:
 OCCUPANCY IDENTIFIER
 OCCUPANT LOAD FACTOR PER IBC TABLE 1004.1.2
 ALLOWED OCCUPANTS
 NET / GROSS SF PER OCCUPANT
 ACTUAL OCCUPANTS

EGRESS TAG KEY:
 EGRESS TYPE IDENTIFIER
 ACTUAL TRAVEL DISTANCE TO EXIT
 TRAVEL DISTANCE ALLOWED BY CODE

FIRE EXTINGUISHER:
 FEC-4: EXISTING FIRE EXTINGUISHER (NOT IN CABINET)
 FIRE EXTINGUISHER LOCATION (MAX TRAVEL DISTANCE 75'-0")

ADDITIONAL FIRE PROTECTION ELEMENTS:
 EXISTING CEILING SUSPENDED EXIT SIGN
 EXISTING WALL MOUNTED EXIT SIGN

PATH OF TRAVEL:
 EXIT TRAVEL DISTANCE - MAX. ALLOWED 250'-0"
 COMMON PATH OF TRAVEL DISTANCE - MAX. ALLOWED 115'-0"
 ACCESSIBLE MEANS OF EGRESS. NOTE: EACH TENANT SPACE MUST HAVE A MINIMUM OF ONE ACCESSIBLE ENTRANCE AND TWO ACCESSIBLE MEANS OF EGRESS.

LIFE SAFETY - RATING LEGEND

1 HR

FUNCTION OF SPACE

WAREHOUSES

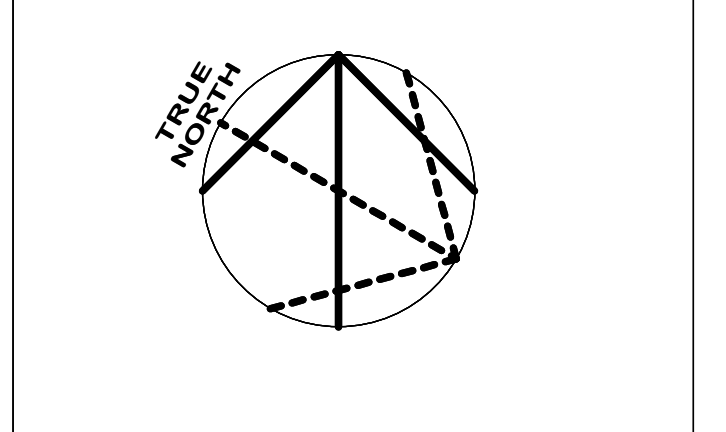
KEYED NOTES - LIFE SAFETY PLANS

TAG	DESCRIPTION
01	EXISTING FURNITURE TO REMAIN
02	EXISTING RAMP AND STAIRS TO REMAIN
03	EXISTING EXTERIOR ROOF ACCESS PLATFORM/LANDING TO REMAIN
04	EXISTING LOADING DOCK TO REMAIN

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

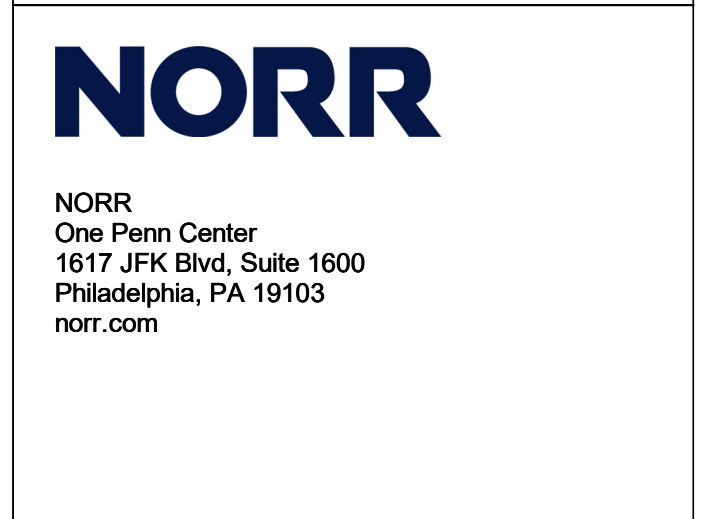
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

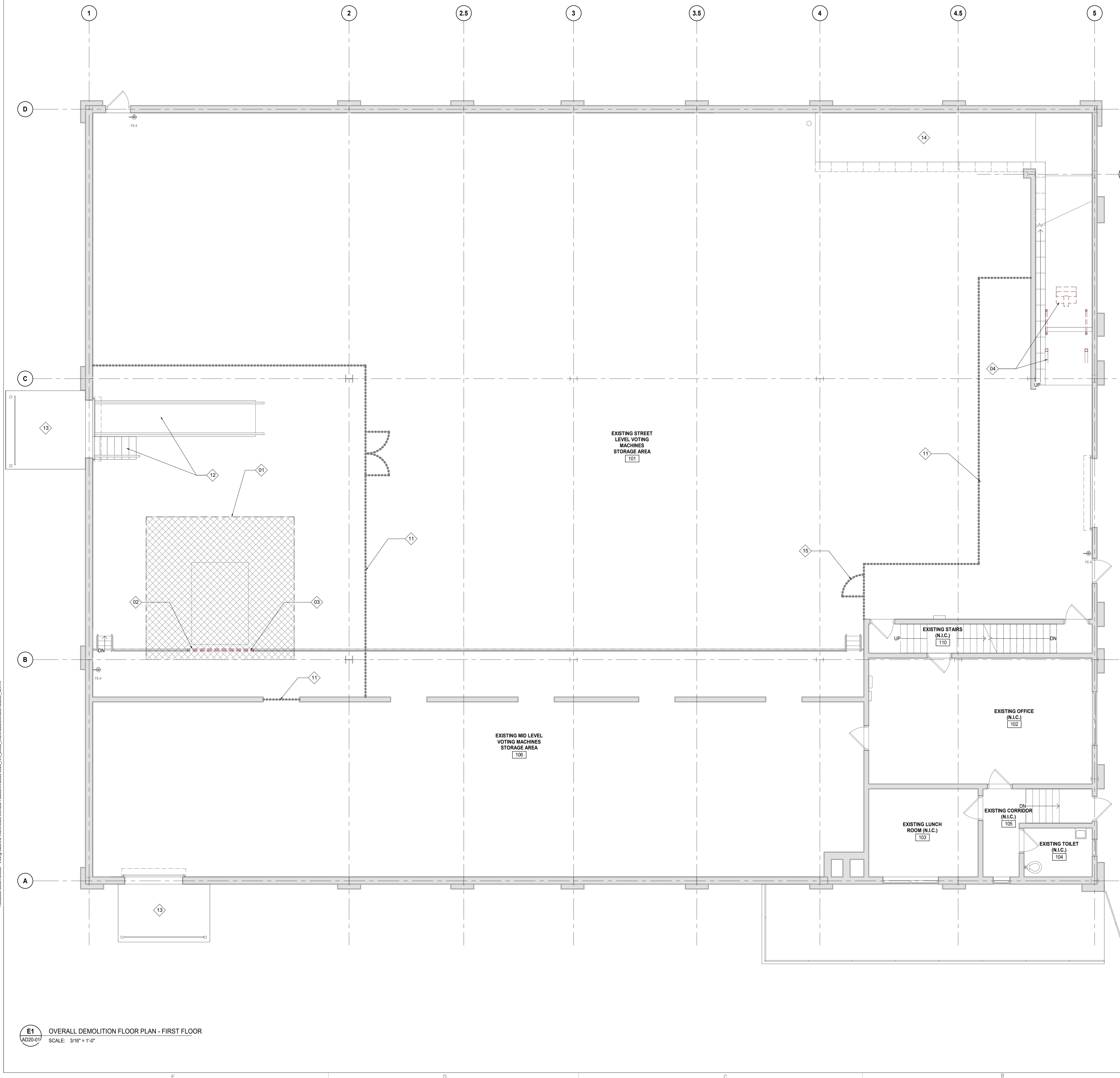
Seal



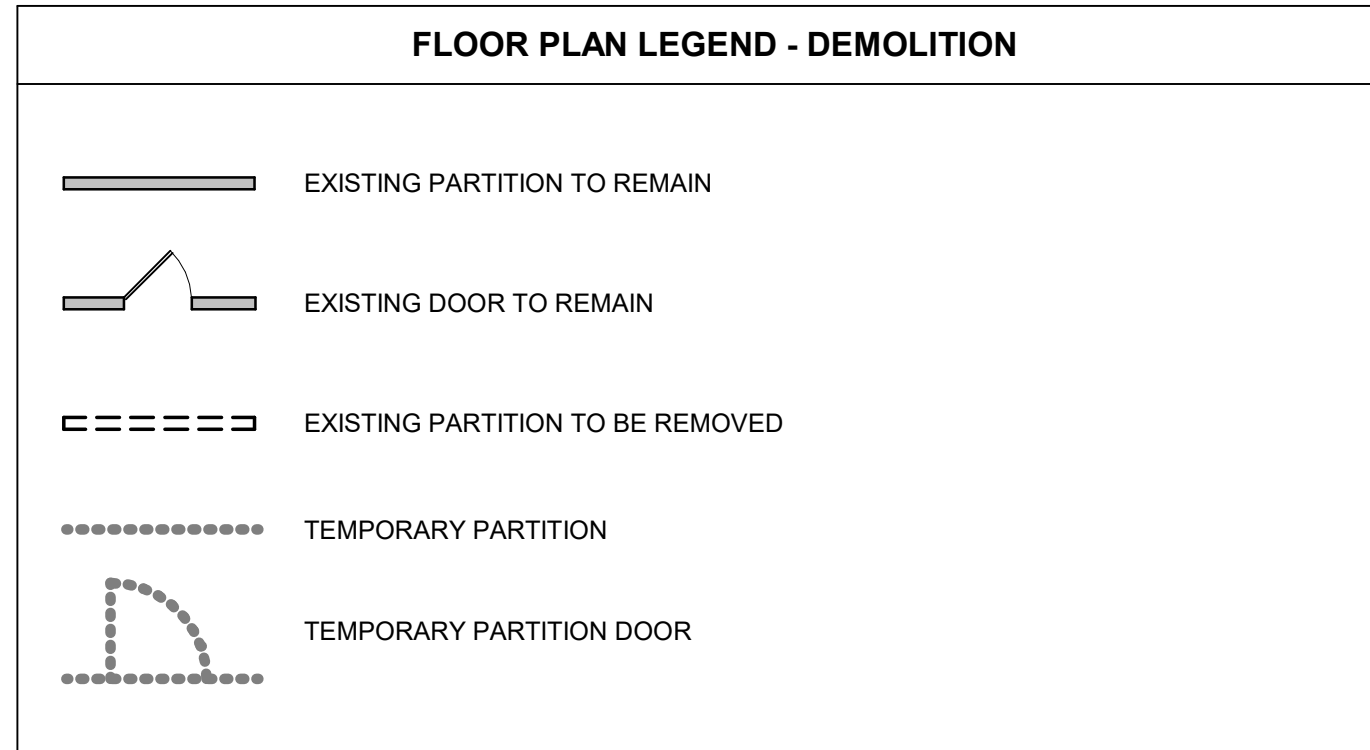
Project Manager: BM
 Drawn: Author
 Project Architect: CP
 Checked: Checker
 Client: COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS
 105 W 3RD ST, MEDIA, PA 19063

Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
 403 EAST 24TH STREET, CHESTER, PA 19013
 Drawing Title: OVERALL LIFE SAFETY PLAN - SECOND FLOOR

Project No.: IN2325-0323
 Drawing No.: A02-02
 ARCH E Title Block - v. 2023 - Rev (02/23) - Copyright © 2023



- ### DEMOLITION GENERAL NOTES
- OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE, IF REQUIRED.
 - FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
 - PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
 - IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE TENANT BEFORE PROCEEDING.
 - AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED AND JOB SITE KEPT CLEAN ON A DAILY BASIS.
 - ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
 - WHERE PARTITIONS ARE TO BE REMOVED, REMOVE ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO PANELS AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING TO REMAIN CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH.
 - REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR DRAINS NOT BEING RE-USED AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
 - REMOVAL OF ALL EQUIPMENT, CABLING, SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES, SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.
 - SCOPE INCLUDES:
 - REMOVAL OF ALL ITEMS OF ANY NATURE SHOWN ON DRAWINGS TO BE REMOVED.
 - CONTRACTOR TO DEMO AND REMOVE EXISTING PARTITIONS & CONSTRUCTION INCLUSIVE OF WALLS, LIGHTING, GRID, TILE AND EQUIPMENT AS SHOWN ON DRAWINGS.
 - ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION.
 - WHEN THE NATURE OF THE DEMOLITION WORK REQUIRES THEIR USE, ALL WORK TO BE ISOLATED BY TEMPORARY LOCKABLE PAINTED PLYWOOD BARRIERS SO THAT WORK IS SEPARATED FROM OCCUPIED TENANT SPACE. CONTRACTOR TO ENSURE BARRIERS PROTECT DEMOLITION WORK AND PROHIBIT UNAUTHORIZED ENTRY.
 - ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN THE FIELD. ARCHITECT TO BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
 - EXISTING CONSTRUCTION ADJACENT TO ITEMS BEING REMOVED TO BE ADEQUATELY PROTECTED AND PATCHED AND REPAIRED AS REQUIRED. ANY DAMAGE TO EXISTING FINISHES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGED SURFACES TO BE REPAIRED AND REFINISHED TO NEAREST INSIDE CORNER. ALL REPAIR WORK SUBJECT TO APPROVAL BY ARCHITECT/BUILDING MANAGEMENT.
 - MAINTAIN ALL ABOVE CEILING DUCTWORK, DIFFUSERS, GRILLES, OR OTHER EQUIPMENT AS REQUIRED FOR PROPER DISTRIBUTION OF AIR. TEMPORARILY HANG EQUIPMENT FROM CEILING IF NECESSARY. CONTRACTOR TO INSTALL FILTER OR GAUZE MATERIAL AT BUILDING'S HVAC RETURN OPENINGS TO MINIMIZE DUST IN HVAC SYSTEM.
 - COORDINATE ALL WORK CONCERNING EXISTING EQUIPMENT AND SERVICES TO REMAIN. DE-ENERGIZE CIRCUITS AND MAKE THEM SAFE AS REQUIRED BY APPLICABLE CODES. RECONNECT CIRCUITS THAT ARE TO REMAIN AND ARE DISRUPTED DURING DEMOLITION.
 - RECONNECT EXISTING CIRCUITRY WHICH ORIGINATES OR PASSES THROUGH THE RENOVATED AREAS BUT SERVES OTHER AREAS NOT BEING RENOVATED. EXTEND THESE CIRCUITS AS MAY BE NECESSARY TO THE EXISTING PANELBOARDS.
 - COORDINATE WORK CONCERNING EXISTING EQUIPMENT AND SERVICES IN THE BUILDING WITH OWNER. CONTRACTOR TO CONTACT OWNER TO SCHEDULE A SHUTDOWN AT A TIME CONVENIENT TO OWNER WHEN IT BECOMES NECESSARY TO TEMPORARILY DISTURB OR INTERRUPT SYSTEMS OR SERVICES TO PERMIT DEMOLITION. CONTRACTOR REQUEST MUST BE IN WRITING.
 - CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EGRESS EXIT DOORS THROUGHOUT ALL DEMOLITION/NEW CONSTRUCTION.
 - CONTRACTOR TO ENSURE THAT ANY DEMOLITION REQUIRING "EXCESSIVE" NOISE BE PERFORMED AFTER NORMAL BUSINESS HOURS. COORDINATE WITH BUILDING MANAGEMENT.
 - CONTRACTOR TO PROVIDE SUPPLEMENTAL LIGHTING SUFFICIENT FOR SAFE WORKING CONDITIONS THROUGHOUT COURSE OF DEMOLITION/NEW CONSTRUCTION AS REQUIRED.
 - CONTRACTOR TO COORDINATE PLACEMENT OF DUMPSTERS WITH BUILDING MANAGEMENT.
 - CONTRACTOR TO REMOVE ALL TOOLS, EQUIPMENT AND DEBRIS FROM SITE UPON COMPLETION OF DEMOLITION WORK. REMOVE TEMPORARY PROTECTION AND LEAVE INTERIOR AREAS BROOM CLEAN.
 - PREP & PATCH WALLS, CEILINGS & FLOORS IF AFFECTED BY DEMOLITION. REPAIR AS REQUIRED TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PREPARE SURFACES TO RECEIVE NEW FINISHES, AS REQUIRED. FINISHES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



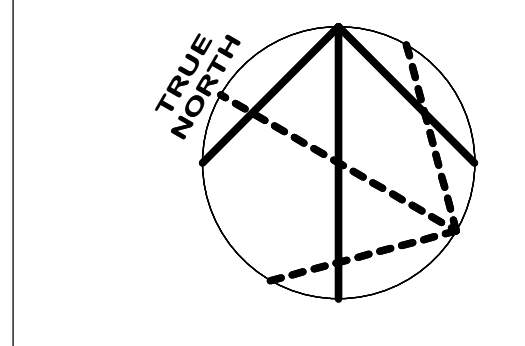
KEYED NOTES - DEMOLITION PLANS

#	DESCRIPTION
01	DEMO EXISTING CONC FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION EXTENTS
02	REMOVE PORTION OF EXISTING FLOOR C CHANNEL. 3" DEMOLITION EXTENTS ON EACH SIDE W/ PROPOSED NEW ELEVATOR LOCATION V.I.F.
03	REMOVE/DISMANTLE PORTION OF EXISTING STEEL GUARDRAIL. REUSE EXISTING BALLASTERS TO SECURE EXISTING GUARDRAIL. 3" DEMO EXTENTS ON EACH SIDE W/ PROPOSED NEW ELEVATOR LOCATION. V.I.F.
04	REMOVE EXISTING MECHANICAL LIFT IN ITS ENTIRETY & RELEVANT EQUIPMENT
06	REMOVE EXISTING STEEL GUARDRAIL
07	DEMO EXISTING CONC FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION EXTENTS
08	REMOVE PORTION OF EXISTING FLOOR C CHANNEL. COORDINATE DEMOLITION EXTENTS W/ PROPOSED NEW ELEVATOR LOCATION
09	REMOVE EXISTING WINDOW PANE ENCLOSURE. ALTERNATE: CONTRACTOR TO REMOVE AND REPLACE ENTIRE WINDOW SYSTEM
10	DEMO EXISTING ROOF TO ACCOMMODATE FOR NEW ELEVATOR SHAFT. COORDINATE ELEVATOR SHAFT LOCATION WITH NEW ARCHITECTURAL PLANS
11	NEW FLOOR TO FLOOR/ROOF STRUCTURE HIGH TEMPORARY PARTITION. CONTRACTOR TO DETERMINE EXTENT OF TEMP PARTITION TO PROVIDE ACCESS AND SPACE FOR AND DURING CONSTRUCTION. FIELD VERIFY PARTITION EXTENTS AND ACCESS DOOR LOCATION
12	NEW TEMPORARY WORK STAIRS AND RAMP. FIELD VERIFY/COORDINATE EQUIPMENT RAMP WIDTH AND LENGTH
13	LOADING DOCK
14	EXISTING RAMP TO REMAIN
15	TEMPORARY PARTITION DOOR FOR FACILITY PERSONNEL ACCESS ONLY. DOOR SIGNAGE TO BE PROVIDED AT EACH OPENING.
16	TEMPORARY PARTITION DOOR FOR CONTRACTOR ACCESS ONLY. DOOR SIGNAGE TO BE PROVIDED AT EACH OPENING.
17	COORDINATE 2ND FLOOR WORK AREA ACCESS W/ SHEET A10.01
18	EXISTING FURNITURE TO REMAIN. CONTRACTOR TO PROTECT DURING CONSTRUCTION
19	REMOVE EXISTING FREIGHT LIFT WALL MOUNTED ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS
20	USE EXISTING LADDER AS MEANS FOR 2ND FLOOR ACCESS/GC TO BUILT NEW SCAFFOLDING STAIR FOR ACCESS TO 2ND FLOOR

E1 OVERALL DEMOLITION FLOOR PLAN - FIRST FLOOR
SCALE: 3/16" = 1'-0"

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

NORR

NORR
One Penn Center
1917 JFK Blvd, Suite 1600
Philadelphia, PA 19103
norr.com

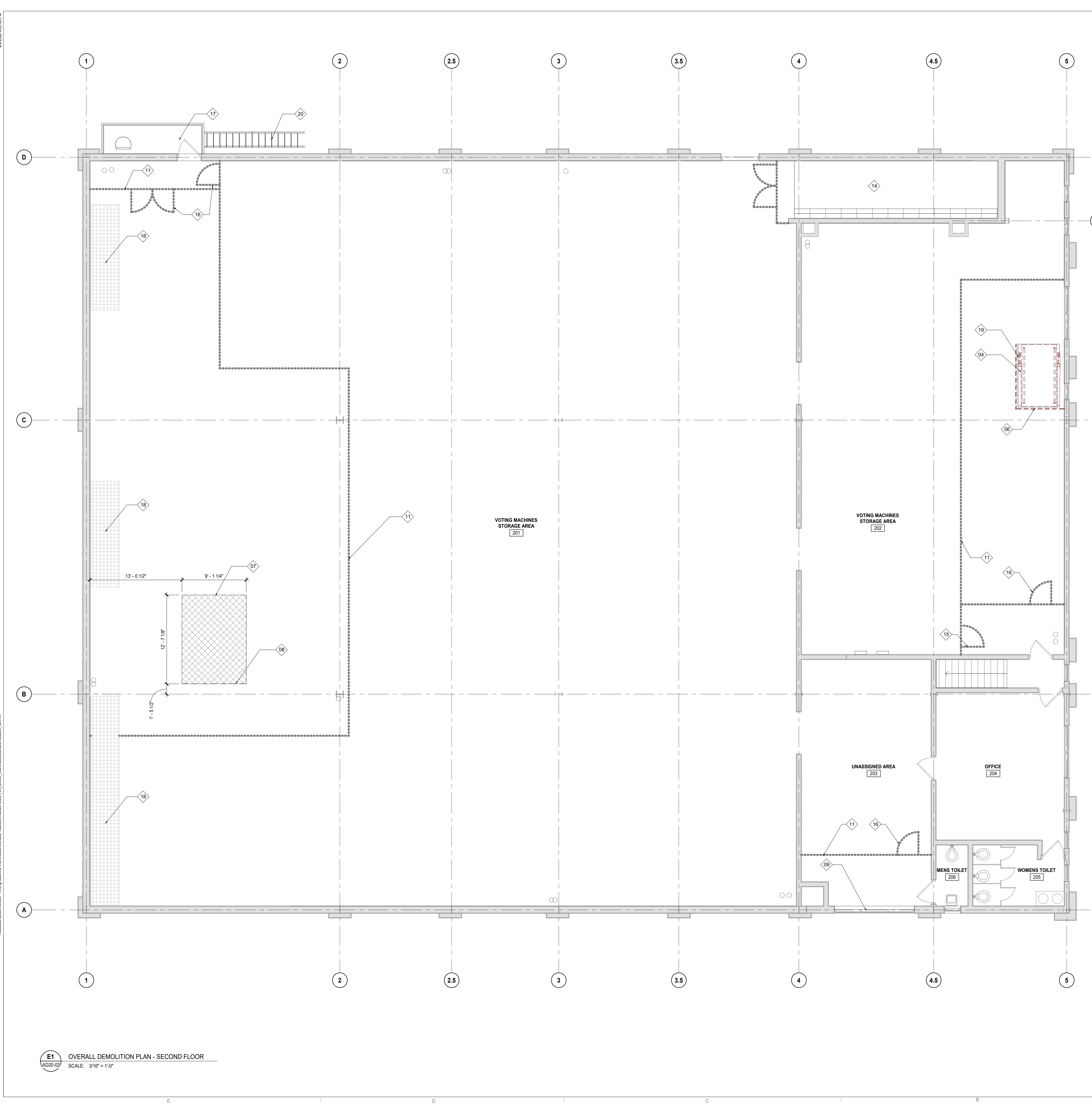
Project Manager: BM
Drawn: Author

Project Architect: CP
Checked: Checker

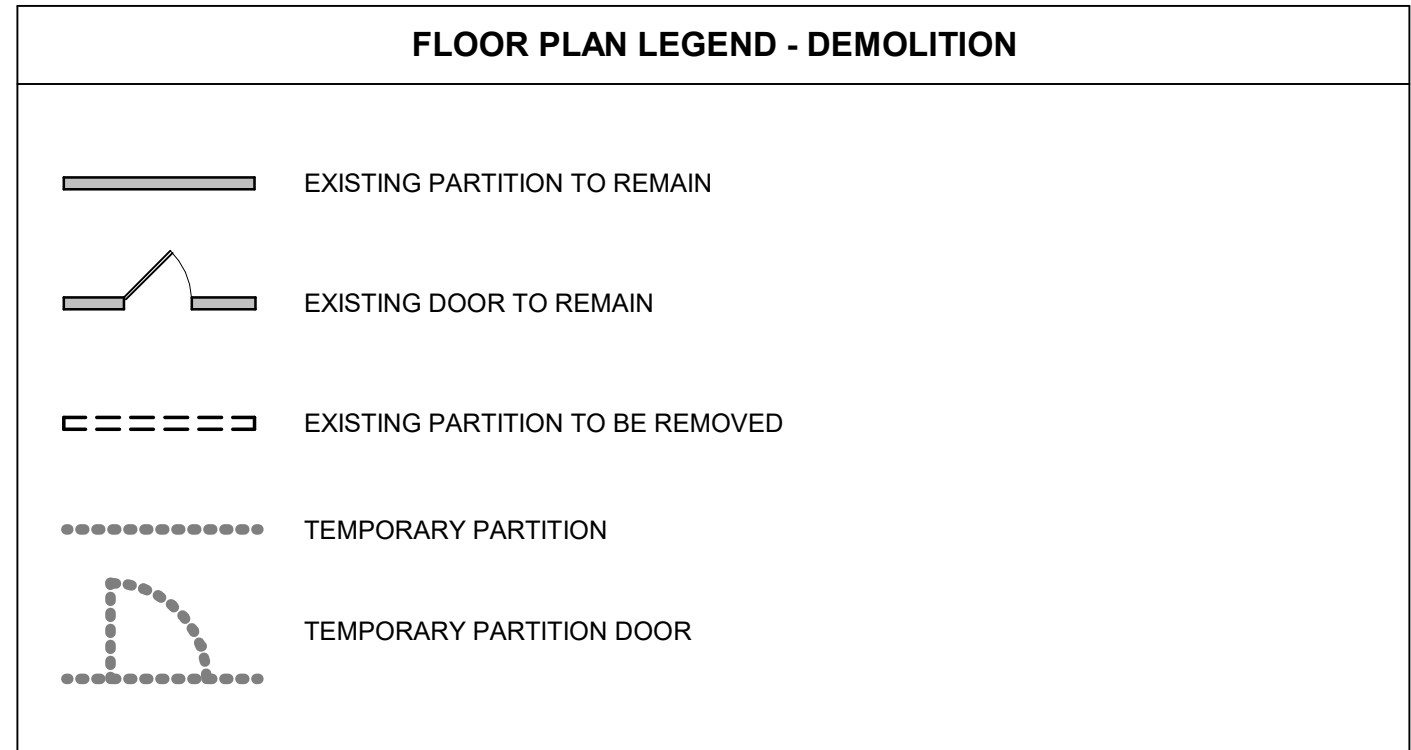
Client:
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project:
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title:
**OVERALL DEMOLITION
PLAN - FIRST FLOOR**



- ### DEMOLITION GENERAL NOTES
- OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE, IF REQUIRED.
 - FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
 - PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
 - IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
 - AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED AND JOB SITE KEPT CLEAN ON A DAILY BASIS.
 - ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
 - WHERE PARTITIONS ARE TO BE REMOVED, REMOVE ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO PANELS AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING TO REMAIN CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH.
 - REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR DRAINS NOT BEING RE-USED AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
 - REMOVAL OF ALL EQUIPMENT, CABLING, SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES, SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.
 - SCOPE INCLUDES:
 - REMOVAL OF ALL ITEMS OF ANY NATURE SHOWN ON DRAWINGS TO BE REMOVED.
 - CONTRACTOR TO DEMO AND REMOVE EXISTING PARTITIONS & CONSTRUCTION INCLUSIVE OF WALLS, LIGHTING, GRID, TILE AND EQUIPMENT AS SHOWN ON DRAWINGS.
 - ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION.
 - WHEN THE NATURE OF THE DEMOLITION WORK REQUIRES THEIR USE, ALL WORK TO BE ISOLATED BY TEMPORARY LOCKABLE PAINTED PLYWOOD BARRIERS SO THAT WORK IS SEPARATED FROM OCCUPIED TENANT SPACE. CONTRACTOR TO ENSURE BARRIERS PROTECT DEMOLITION WORK AND PROHIBIT UNAUTHORIZED ENTRY.
 - ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN THE FIELD. ARCHITECT TO BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
 - EXISTING CONSTRUCTION ADJACENT TO ITEMS BEING REMOVED TO BE ADEQUATELY PROTECTED AND PATCHED AND REPAIRED AS REQUIRED. ANY DAMAGE TO EXISTING FINISHES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGED SURFACES TO BE REPAIRED AND REFINISHED TO NEAREST INSIDE CORNER. ALL REPAIR WORK SUBJECT TO APPROVAL BY ARCHITECT/BUILDING MANAGEMENT.
 - MAINTAIN ALL ABOVE CEILING DUCTWORK, DIFFUSERS, GRILLES, OR OTHER EQUIPMENT AS REQUIRED FOR PROPER DISTRIBUTION OF AIR. TEMPORARILY HANG EQUIPMENT FROM CEILING IF NECESSARY. CONTRACTOR TO INSTALL FILTER OR GAUZE MATERIAL AT BUILDING'S HVAC RETURN OPENINGS TO MINIMIZE DUST IN HVAC SYSTEM.
 - COORDINATE ALL WORK CONCERNING EXISTING EQUIPMENT AND SERVICES TO REMAIN. DE-ENERGIZE CIRCUITS AND MAKE THEM SAFE AS REQUIRED BY APPLICABLE CODES. RECONNECT CIRCUITS THAT ARE TO REMAIN AND ARE DISRUPTED DURING DEMOLITION.
 - RECONNECT EXISTING CIRCUITRY WHICH ORIGINATES OR PASSES THROUGH THE RENOVATED AREAS BUT SERVES OTHER AREAS NOT BEING RENOVATED. EXTEND THESE CIRCUITS AS MAY BE NECESSARY TO THE EXISTING PANELBOARDS.
 - COORDINATE WORK CONCERNING EXISTING EQUIPMENT AND SERVICES IN THE BUILDING WITH OWNER. CONTRACTOR TO CONTACT OWNER TO SCHEDULE A SHUTDOWN AT A TIME CONVENIENT TO OWNER WHEN IT BECOMES NECESSARY TO TEMPORARILY DISTURB OR INTERRUPT SYSTEMS OR SERVICES TO PERMIT DEMOLITION. CONTRACTOR REQUEST MUST BE IN WRITING.
 - CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EGRESS EXIT DOORS THROUGHOUT ALL DEMOLITION/NEW CONSTRUCTION.
 - CONTRACTOR TO ENSURE THAT ANY DEMOLITION REQUIRING "EXCESSIVE" NOISE BE PERFORMED AFTER NORMAL BUSINESS HOURS. COORDINATE WITH BUILDING MANAGEMENT.
 - CONTRACTOR TO PROVIDE SUPPLEMENTAL LIGHTING SUFFICIENT FOR SAFE WORKING CONDITIONS THROUGHOUT COURSE OF DEMOLITION/NEW CONSTRUCTION AS REQUIRED.
 - CONTRACTOR TO COORDINATE PLACEMENT OF DUMPSTERS WITH BUILDING MANAGEMENT.
 - CONTRACTOR TO REMOVE ALL TOOLS, EQUIPMENT AND DEBRIS FROM SITE UPON COMPLETION OF DEMOLITION WORK. REMOVE TEMPORARY PROTECTION AND LEAVE INTERIOR AREAS BROOM CLEAN.
 - PREP & PATCH WALLS, CEILINGS & FLOORS IF AFFECTED BY DEMOLITION. REPAIR AS REQUIRED TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PREPARE SURFACES TO RECEIVE NEW FINISHES, AS REQUIRED. FINISHES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



KEYED NOTES - DEMOLITION PLANS

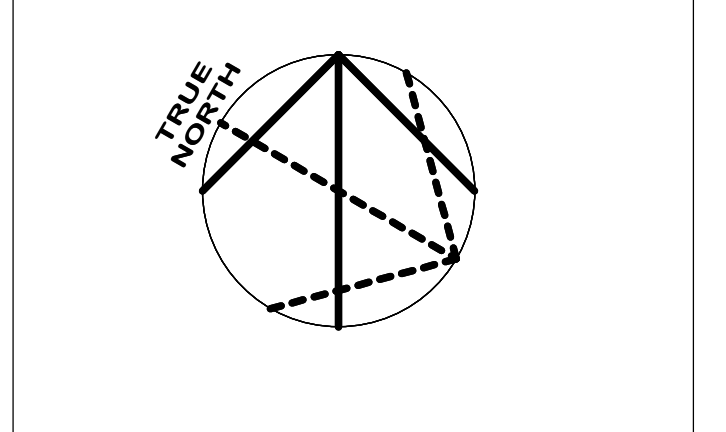
#	DESCRIPTION
01	DEMO EXISTING CONC FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION EXTENTS
02	REMOVE PORTION OF EXISTING FLOOR C CHANNEL. 3" DEMOLITION EXTENTS ON EACH SIDE W/ PROPOSED NEW ELEVATOR LOCATION V.I.F.
03	REMOVE/DISMANTLE PORTION OF EXISTING STEEL GUARDRAIL. REUSE EXISTING BALLASTERS TO SECURE EXISTING GUARDRAIL. 3" DEMO EXTENTS ON EACH SIDE W/ PROPOSED NEW ELEVATOR LOCATION. V.I.F.
04	REMOVE EXISTING MECHANICAL LIFT IN ITS ENTIRETY & RELEVANT EQUIPMENT
06	REMOVE EXISTING STEEL GUARDRAIL
07	DEMO EXISTING CONC FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION EXTENTS
08	REMOVE PORTION OF EXISTING FLOOR C CHANNEL. COORDINATE DEMOLITION EXTENTS W/ PROPOSED NEW ELEVATOR LOCATION
09	REMOVE EXISTING WINDOW PANE ENCLOSURE. ALTERNATE: CONTRACTOR TO REMOVE AND REPLACE ENTIRE WINDOW SYSTEM
10	DEMO EXISTING ROOF TO ACCOMMODATE FOR NEW ELEVATOR SHAFT. COORDINATE ELEVATOR SHAFT LOCATION WITH NEW ARCHITECTURAL PLANS
11	NEW FLOOR TO FLOOR/ROOF STRUCTURE HIGH TEMPORARY PARTITION. CONTRACTOR TO DETERMINE EXTENT OF TEMP PARTITION TO PROVIDE ACCESS AND SPACE FOR AND DURING CONSTRUCTION. FIELD VERIFY PARTITION EXTENTS AND ACCESS DOOR LOCATION
12	NEW TEMPORARY WORK STAIRS AND RAMP. FIELD VERIFY/COORDINATE EQUIPMENT RAMP WIDTH AND LENGTH
13	LOADING DOCK
14	EXISTING RAMP TO REMAIN
15	TEMPORARY PARTITION DOOR FOR FACILITY PERSONNEL ACCESS ONLY. DOOR SIGNAGE TO BE PROVIDED AT EACH OPENING.
16	TEMPORARY PARTITION DOOR FOR CONTRACTOR ACCESS ONLY. DOOR SIGNAGE TO BE PROVIDED AT EACH OPENING.
17	COORDINATE 2ND FLOOR WORK AREA ACCESS W/ SHEET A10.01
18	EXISTING FURNITURE TO REMAIN. CONTRACTOR TO PROTECT DURING CONSTRUCTION
19	REMOVE EXISTING FREIGHT LIFT WALL MOUNTED ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS
20	USE EXISTING LADDER AS MEANS FOR 2ND FLOOR ACCESS/GO TO BUILT NEW SCAFFOLDING STAIR FOR ACCESS TO 2ND FLOOR

E1 OVERALL DEMOLITION PLAN - SECOND FLOOR
 AD20-02 SCALE: 3/16" = 1'-0"

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal

NORR

NORR
 One Penn Center
 1817 JFK Blvd, Suite 1600
 Philadelphia, PA 19103
 norr.com

Project Manager: BM
 Drawn: Author

Project Architect: GP
 Checked: Checker

Client:

**COUNTY OF DELAWARE
 DEPARTMENT OF PUBLIC
 WORKS**

105 W 3RD ST, MEDIA, PA 19063

Project:

**VOTING MACHINE
 WAREHOUSE ELEVATOR
 ADDITION**

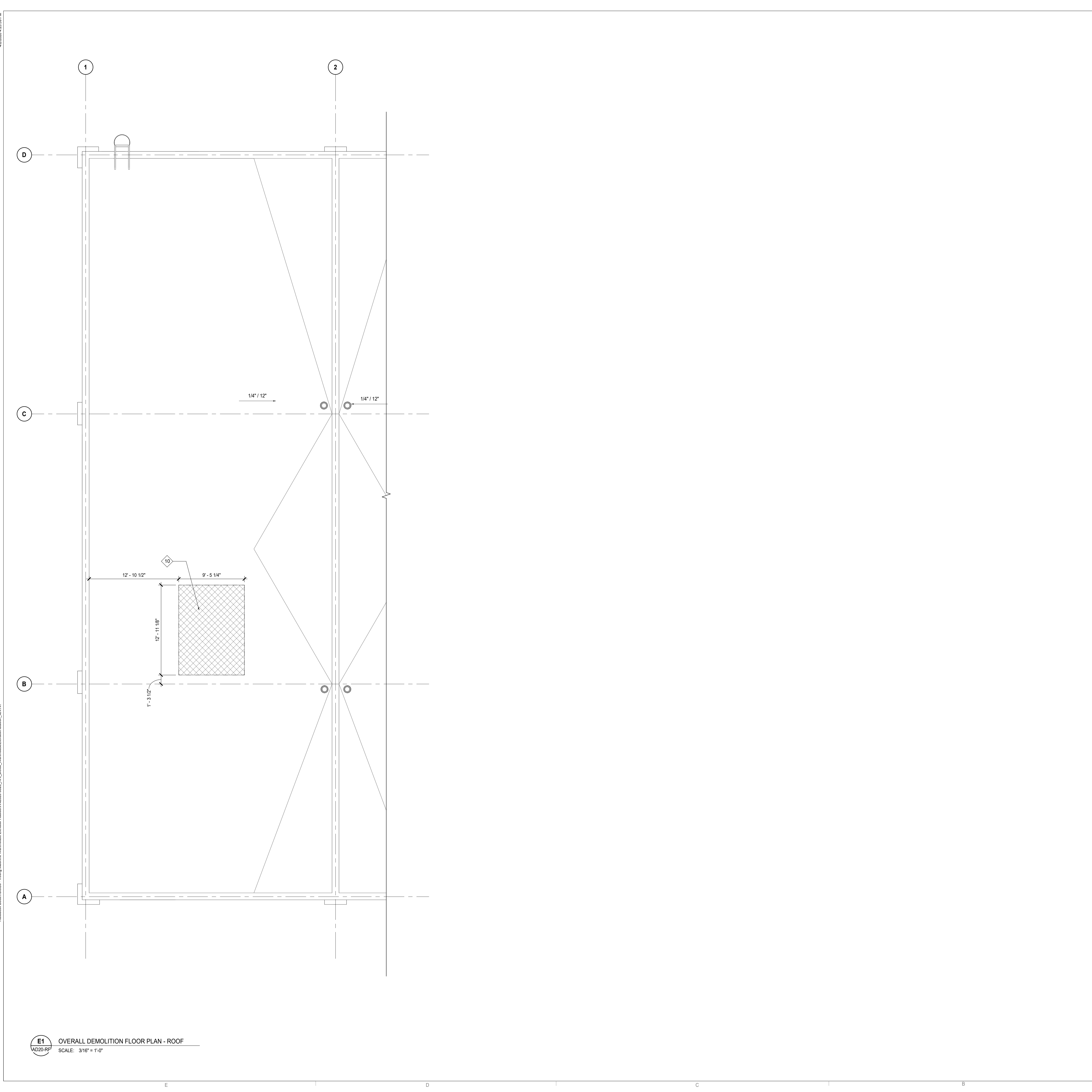
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title:

**OVERALL DEMOLITION
 PLAN - SECOND FLOOR**

4/20/2025 4:25:59 PM

Autodesk Docs (DWG) - Voting Machine Warehouse Elevator Addition (N2325-0323_AB_Demo) WarehouseElevatorAddition_04.rvt

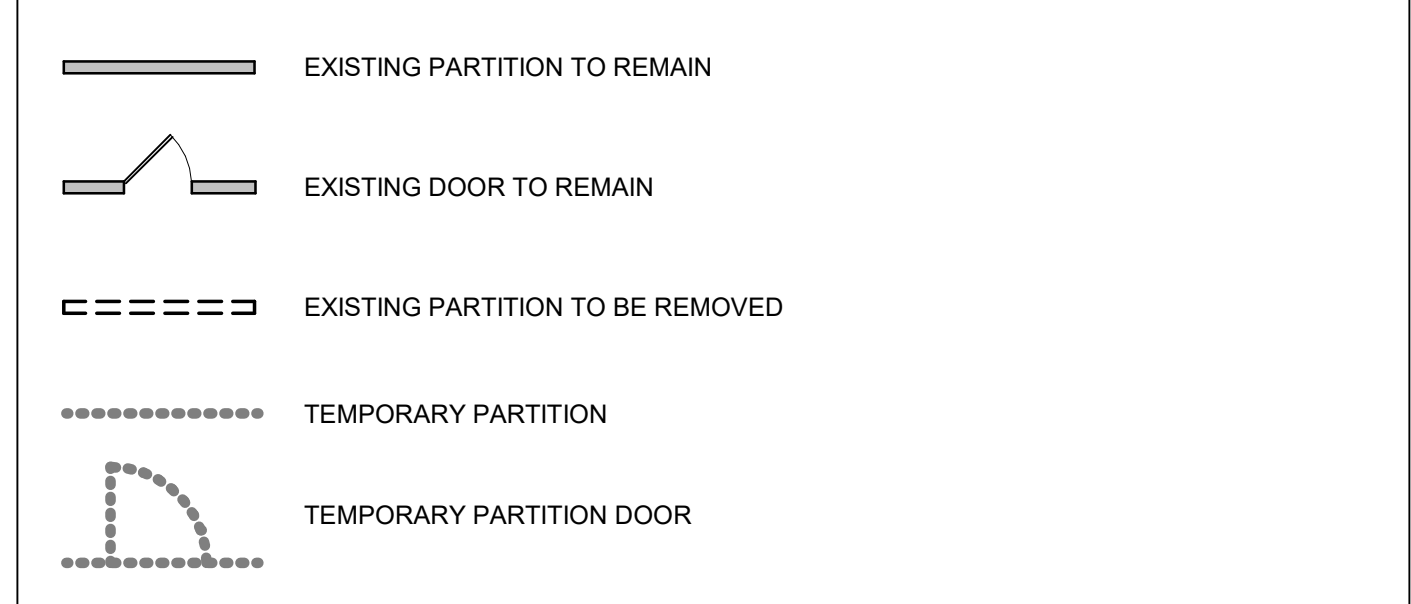


E1 OVERALL DEMOLITION FLOOR PLAN - ROOF
 SCALE: 3/16" = 1'-0"

DEMOLITION GENERAL NOTES

- OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE, IF REQUIRED.
- FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
- IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE TENANT BEFORE PROCEEDING.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED AND JOB SITE KEPT CLEAN ON A DAILY BASIS.
- ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
- WHERE PARTITIONS ARE TO BE REMOVED, REMOVE ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO PANELS AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING TO REMAIN CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH.
- REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR DRAINS NOT BEING RE-USED AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
- REMOVAL OF ALL EQUIPMENT, CABLING, SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES, SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.
- SCOPE INCLUDES:
 - REMOVAL OF ALL ITEMS OF ANY NATURE SHOWN ON DRAWINGS TO BE REMOVED.
 - CONTRACTOR TO DEMO AND REMOVE EXISTING PARTITIONS & CONSTRUCTION INCLUSIVE OF WALLS, LIGHTING, GRID, TILE AND EQUIPMENT AS SHOWN ON DRAWINGS.
- ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION.
- WHEN THE NATURE OF THE DEMOLITION WORK REQUIRES THEIR USE, ALL WORK TO BE ISOLATED BY TEMPORARY LOCKABLE PAINTED PLYWOOD BARRIERS SO THAT WORK IS SEPARATED FROM OCCUPIED TENANT SPACE. CONTRACTOR TO ENSURE BARRIERS PROTECT DEMOLITION WORK AND PROHIBIT UNAUTHORIZED ENTRY.
- ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN THE FIELD. ARCHITECT TO BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
- EXISTING CONSTRUCTION ADJACENT TO ITEMS BEING REMOVED TO BE ADEQUATELY PROTECTED AND PATCHED AND REPAIRED AS REQUIRED. ANY DAMAGE TO EXISTING FINISHES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGED SURFACES TO BE REPAIRED AND REFINISHED TO NEAREST INSIDE CORNER. ALL REPAIR WORK SUBJECT TO APPROVAL BY ARCHITECT/BUILDING MANAGEMENT.
- MAINTAIN ALL ABOVE CEILING DUCTWORK, DIFFUSERS, GRILLES, OR OTHER EQUIPMENT AS REQUIRED FOR PROPER DISTRIBUTION OF AIR. TEMPORARILY HANG EQUIPMENT FROM CEILING IF NECESSARY. CONTRACTOR TO INSTALL FILTER OR GAUZE MATERIAL AT BUILDING'S HVAC RETURN OPENINGS TO MINIMIZE DUST IN HVAC SYSTEM.
- COORDINATE ALL WORK CONCERNING EXISTING EQUIPMENT AND SERVICES TO REMAIN. DE-ENERGIZE CIRCUITS AND MAKE THEM SAFE AS REQUIRED BY APPLICABLE CODES. RECONNECT CIRCUITS THAT ARE TO REMAIN AND ARE DISRUPTED DURING DEMOLITION.
- RECONNECT EXISTING CIRCUITRY WHICH ORIGINATES OR PASSES THROUGH THE RENOVATED AREAS BUT SERVES OTHER AREAS NOT BEING RENOVATED. EXTEND THESE CIRCUITS AS MAY BE NECESSARY TO THE EXISTING PANELBOARDS.
- COORDINATE WORK CONCERNING EXISTING EQUIPMENT AND SERVICES IN THE BUILDING WITH OWNER. CONTRACTOR TO CONTACT OWNER TO SCHEDULE A SHUTDOWN AT A TIME CONVENIENT TO OWNER WHEN IT BECOMES NECESSARY TO TEMPORARILY DISTURB OR INTERRUPT SYSTEMS OR SERVICES TO PERMIT DEMOLITION. CONTRACTOR REQUEST MUST BE IN WRITING.
- CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EGRESS EXIT DOORS THROUGHOUT ALL DEMOLITION/NEW CONSTRUCTION.
- CONTRACTOR TO ENSURE THAT ANY DEMOLITION REQUIRING "EXCESSIVE" NOISE BE PERFORMED AFTER NORMAL BUSINESS HOURS. COORDINATE WITH BUILDING MANAGEMENT.
- CONTRACTOR TO PROVIDE SUPPLEMENTAL LIGHTING SUFFICIENT FOR SAFE WORKING CONDITIONS THROUGHOUT COURSE OF DEMOLITION/NEW CONSTRUCTION AS REQUIRED.
- CONTRACTOR TO COORDINATE PLACEMENT OF DUMPS WITH BUILDING MANAGEMENT.
- CONTRACTOR TO REMOVE ALL TOOLS, EQUIPMENT AND DEBRIS FROM SITE UPON COMPLETION OF DEMOLITION WORK. REMOVE TEMPORARY PROTECTION AND LEAVE INTERIOR AREAS BROOM CLEAN.
- PREP & PATCH WALLS, CEILINGS & FLOORS IF AFFECTED BY DEMOLITION. REPAIR AS REQUIRED TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PREPARE SURFACES TO RECEIVE NEW FINISHES, AS REQUIRED. FINISHES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

FLOOR PLAN LEGEND - DEMOLITION



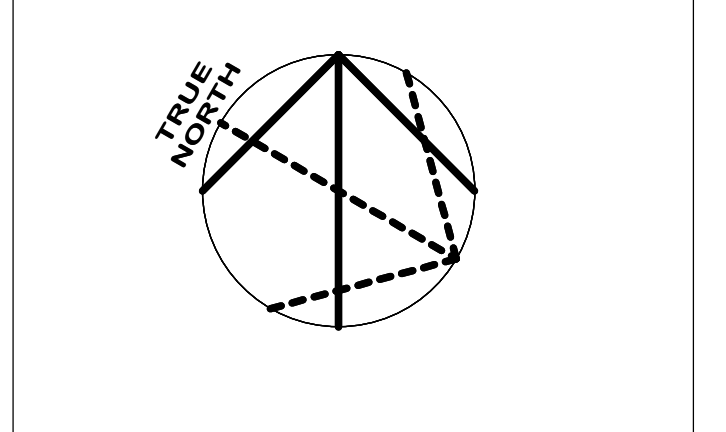
KEYED NOTES - DEMOLITION PLANS

#	DESCRIPTION
01	DEMO EXISTING CONC FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION EXTENTS
02	REMOVE PORTION OF EXISTING FLOOR C CHANNEL. 3" DEMOLITION EXTENTS ON EACH SIDE W/ PROPOSED NEW ELEVATOR LOCATION V.I.F.
03	REMOVE/DISMANTLE PORTION OF EXISTING STEEL GUARDRAIL. REUSE EXISTING BALLASTERS TO SECURE EXISTING GUARDRAIL. 3" DEMO EXTENTS ON EACH SIDE W/ PROPOSED NEW ELEVATOR LOCATION. V.I.F.
04	REMOVE EXISTING MECHANICAL LIFT IN ITS ENTIRETY & RELEVANT EQUIPMENT
06	REMOVE EXISTING STEEL GUARDRAIL
07	DEMO EXISTING CONC FLOOR SLAB. REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION EXTENTS
08	REMOVE PORTION OF EXISTING FLOOR C CHANNEL. COORDINATE DEMOLITION EXTENTS W/ PROPOSED NEW ELEVATOR LOCATION
09	REMOVE EXISTING WINDOW PANE ENCLOSURE. ALTERNATE: CONTRACTOR TO REMOVE AND REPLACE ENTIRE WINDOW SYSTEM
10	DEMO EXISTING ROOF TO ACCOMMODATE FOR NEW ELEVATOR SHAFT. COORDINATE ELEVATOR SHAFT LOCATION WITH NEW ARCHITECTURAL PLANS
11	NEW FLOOR TO FLOOR/ROOF STRUCTURE HIGH TEMPORARY PARTITION. CONTRACTOR TO DETERMINE EXTENT OF TEMP PARTITION TO PROVIDE ACCESS AND SPACE FOR AND DURING CONSTRUCTION. FIELD VERIFY PARTITION EXTENTS AND ACCESS DOOR LOCATION
12	NEW TEMPORARY WORK STAIRS AND RAMP. FIELD VERIFY/COORDINATE EQUIPMENT RAMP WIDTH AND LENGTH
13	LOADING DOCK
14	EXISTING RAMP TO REMAIN
15	TEMPORARY PARTITION DOOR FOR FACILITY PERSONNEL ACCESS ONLY. DOOR SIGNANGE TO BE PROVIDED AT EACH OPENING.
16	TEMPORARY PARTITION DOOR FOR CONTRACTOR ACCESS ONLY. DOOR SIGNANGE TO BE PROVIDED AT EACH OPENING.
17	COORDINATE 2ND FLOOR WORK AREA ACCESS W/ SHEET A10.01
18	EXISTING FURNITURE TO REMAIN. CONTRACTOR TO PROTECT DURING CONSTRUCTION
19	REMOVE EXISTING FREIGHT LIFT WALL MOUNTED ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS
20	USE EXISTING LADDER AS MEANS FOR 2ND FLOOR ACCESS/GO TO BUILT NEW SCAFFOLDING STAIR FOR ACCESS TO 2ND FLOOR

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal

NORR

NORR
 One Penn Center
 1917 JFK Blvd, Suite 1600
 Philadelphia, PA 19103
 norr.com

Project Manager: BM
 Drawn: Author

Project Architect: CP
 Checked: Checker

Client:

**COUNTY OF DELAWARE
 DEPARTMENT OF PUBLIC
 WORKS**

105 W 3RD ST, MEDIA, PA 19063

Project:

**VOTING MACHINE
 WAREHOUSE ELEVATOR
 ADDITION**

403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title:

**OVERALL ROOF
 DEMOLITION PLAN**

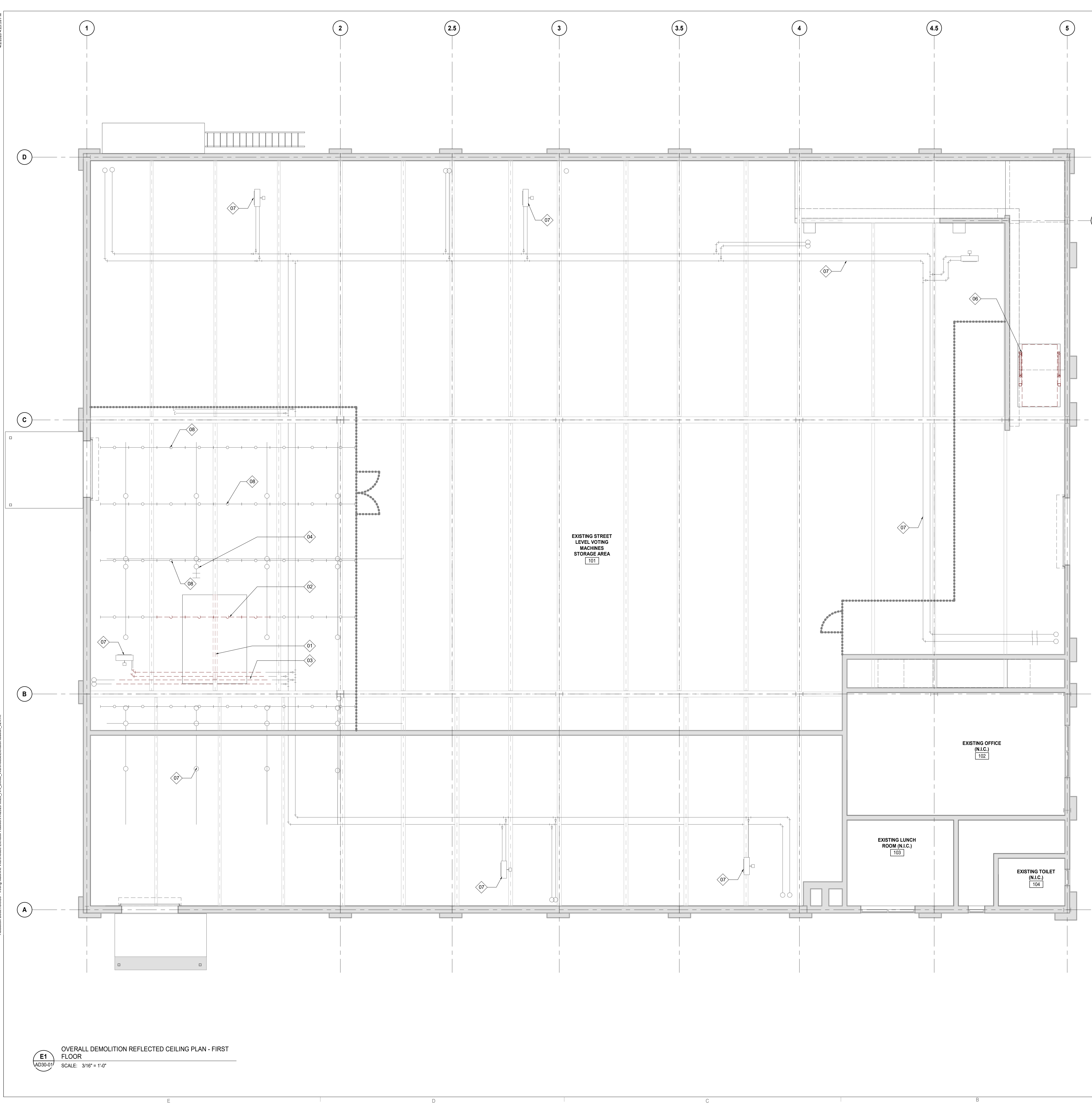
Project No.: IN2325-0323

Drawing No.: **AD20-RF**

ARCH E Title Block - v 2023 - Rev (Sep/23) - Copyright © 2023

4/20/2025 4:25:59 PM

Autodesk Docs (DWG) - Voting Machine Warehouse Elevator Addition (IN2325-0323_A01_01.dwg) - Warehouse Elevator Addition - 04.rvt



- DEMOLITION GENERAL NOTES**
- OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE, IF REQUIRED.
 - FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
 - PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
 - IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE TENANT BEFORE PROCEEDING.
 - AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED AND JOB SITE KEPT CLEAN ON A DAILY BASIS.
 - ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
 - WHERE PARTITIONS ARE TO BE REMOVED, REMOVE ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO PANELS AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING TO REMAIN CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH.
 - REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR DRAINS NOT BEING RE-USED AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
 - REMOVAL OF ALL EQUIPMENT, CABLING, SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES, SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.
 - SCOPE INCLUDES:
 - REMOVAL OF ALL ITEMS OF ANY NATURE SHOWN ON DRAWINGS TO BE REMOVED.
 - CONTRACTOR TO DEMO AND REMOVE EXISTING PARTITIONS & CONSTRUCTION INCLUSIVE OF WALLS, LIGHTING, GRID, TILE AND EQUIPMENT AS SHOWN ON DRAWINGS.
 - ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION.
 - WHEN THE NATURE OF THE DEMOLITION WORK REQUIRES THEIR USE, ALL WORK TO BE ISOLATED BY TEMPORARY LOCKABLE PAINTED PLYWOOD BARRIERS SO THAT WORK IS SEPARATED FROM OCCUPIED TENANT SPACE. CONTRACTOR TO ENSURE BARRIERS PROTECT DEMOLITION WORK AND PROHIBIT UNAUTHORIZED ENTRY.
 - ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN THE FIELD. ARCHITECT TO BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
 - EXISTING CONSTRUCTION ADJACENT TO ITEMS BEING REMOVED TO BE ADEQUATELY PROTECTED AND PATCHED AND REPAIRED AS REQUIRED. ANY DAMAGE TO EXISTING FINISHES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGED SURFACES TO BE REPAIRED AND REFINISHED TO NEAREST INSIDE CORNER. ALL REPAIR WORK SUBJECT TO APPROVAL BY ARCHITECT/BUILDING MANAGEMENT.
 - MAINTAIN ALL ABOVE CEILING DUCTWORK, DIFFUSERS, GRILLES, OR OTHER EQUIPMENT AS REQUIRED FOR PROPER DISTRIBUTION OF AIR. TEMPORARILY HANG EQUIPMENT FROM CEILING IF NECESSARY. CONTRACTOR TO INSTALL FILTER OR GAUZE MATERIAL AT BUILDING'S HVAC RETURN OPENINGS TO MINIMIZE DUST IN HVAC SYSTEM.
 - COORDINATE ALL WORK CONCERNING EXISTING EQUIPMENT AND SERVICES TO REMAIN. DE-ENERGIZE CIRCUITS AND MAKE THEM SAFE AS REQUIRED BY APPLICABLE CODES. RECONNECT CIRCUITS THAT ARE TO REMAIN AND ARE DISRUPTED DURING DEMOLITION.
 - RECONNECT EXISTING CIRCUITRY WHICH ORIGINATES OR PASSES THROUGH THE RENOVATED AREAS BUT SERVES OTHER AREAS NOT BEING RENOVATED. EXTEND THESE CIRCUITS AS MAY BE NECESSARY TO THE EXISTING PANELBOARDS.
 - COORDINATE WORK CONCERNING EXISTING EQUIPMENT AND SERVICES IN THE BUILDING WITH OWNER. CONTRACTOR TO CONTACT OWNER TO SCHEDULE A SHUTDOWN AT A TIME CONVENIENT TO OWNER WHEN IT BECOMES NECESSARY TO TEMPORARILY DISTURB OR INTERRUPT SYSTEMS OR SERVICES TO PERMIT DEMOLITION. CONTRACTOR REQUEST MUST BE IN WRITING.
 - CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EGRESS EXIT DOORS THROUGHOUT ALL DEMOLITION/NEW CONSTRUCTION.
 - CONTRACTOR TO ENSURE THAT ANY DEMOLITION REQUIRING "EXCESSIVE" NOISE BE PERFORMED AFTER NORMAL BUSINESS HOURS. COORDINATE WITH BUILDING MANAGEMENT.
 - CONTRACTOR TO PROVIDE SUPPLEMENTAL LIGHTING SUFFICIENT FOR SAFE WORKING CONDITIONS THROUGHOUT COURSE OF DEMOLITION/NEW CONSTRUCTION AS REQUIRED.
 - CONTRACTOR TO COORDINATE PLACEMENT OF DUMPSTERS WITH BUILDING MANAGEMENT.
 - CONTRACTOR TO REMOVE ALL TOOLS, EQUIPMENT AND DEBRIS FROM SITE UPON COMPLETION OF DEMOLITION WORK. REMOVE TEMPORARY PROTECTION AND LEAVE INTERIOR AREAS BROOM CLEAN.
 - PREP & PATCH WALLS, CEILINGS & FLOORS IF AFFECTED BY DEMOLITION. REPAIR AS REQUIRED TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PREPARE SURFACES TO RECEIVE NEW FINISHES, AS REQUIRED. FINISHES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

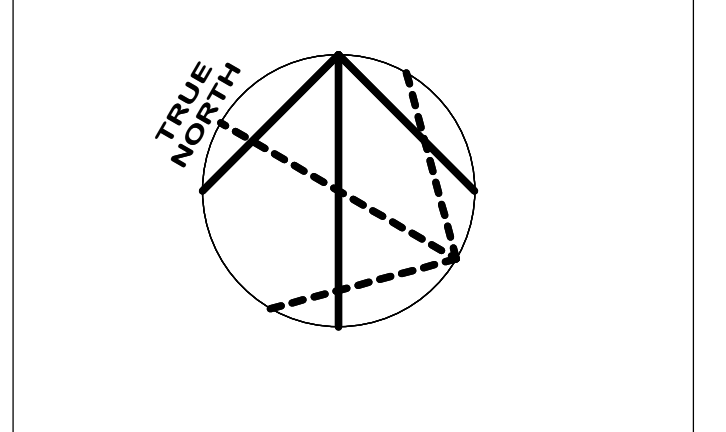
KEYED NOTES - DEMOLITION REFLECTED CEILING PLANS

TAG	DESCRIPTION
01	REMOVE PORTION OF EXISTING BEAM. SEE STRUCTURAL DRAWINGS
02	REMOVE AND RELOCATE EXISTING LIGHTS. SEE ELECTRICAL DRAWINGS
03	REMOVE AND REROUTE EXISTING PLUMBING LINES. SEE MECHANICAL DRAWINGS
04	RECONFIGURE EXISTING SPRINKLER LINES AND HEADS TO ACCOMMODATE FOR NEW ELEVATOR SHAFT. SEE FIRE PROTECTION DRAWINGS
05	REMOVE EXISTING WEB JOISTS. SEE STRUCTURAL DRAWINGS
06	REMOVE EXISTING FREIGHT LIFT WALL MOUNTED ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS
07	MECHANICAL EQUIPMENT. COORDINATE WITH MECHANICAL DRAWINGS
08	ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR MORE INFO

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

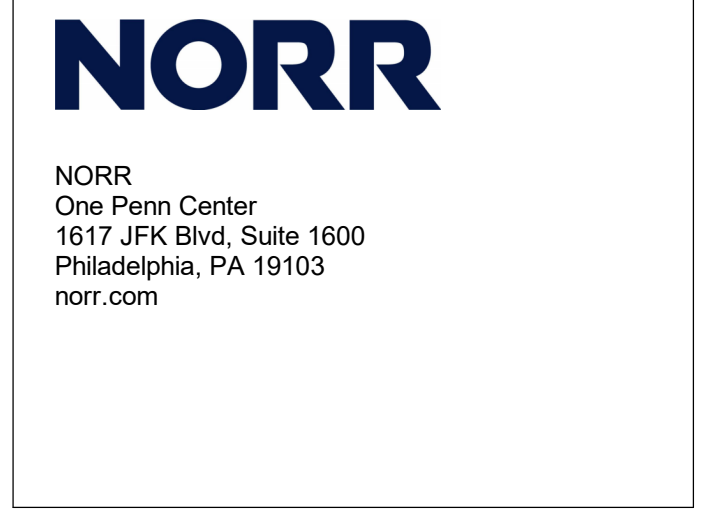
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal



Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

Client
**COUNTY OF DELAWARE
 DEPARTMENT OF PUBLIC
 WORKS**
 105 W 3RD ST, MEDIA, PA 19063

Project
**VOTING MACHINE
 WAREHOUSE ELEVATOR
 ADDITION**
 403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title
**OVERALL DEMOLITION
 REFLECTED CEILING PLAN
 - FIRST FLOOR**

Project No. IN2325-0323

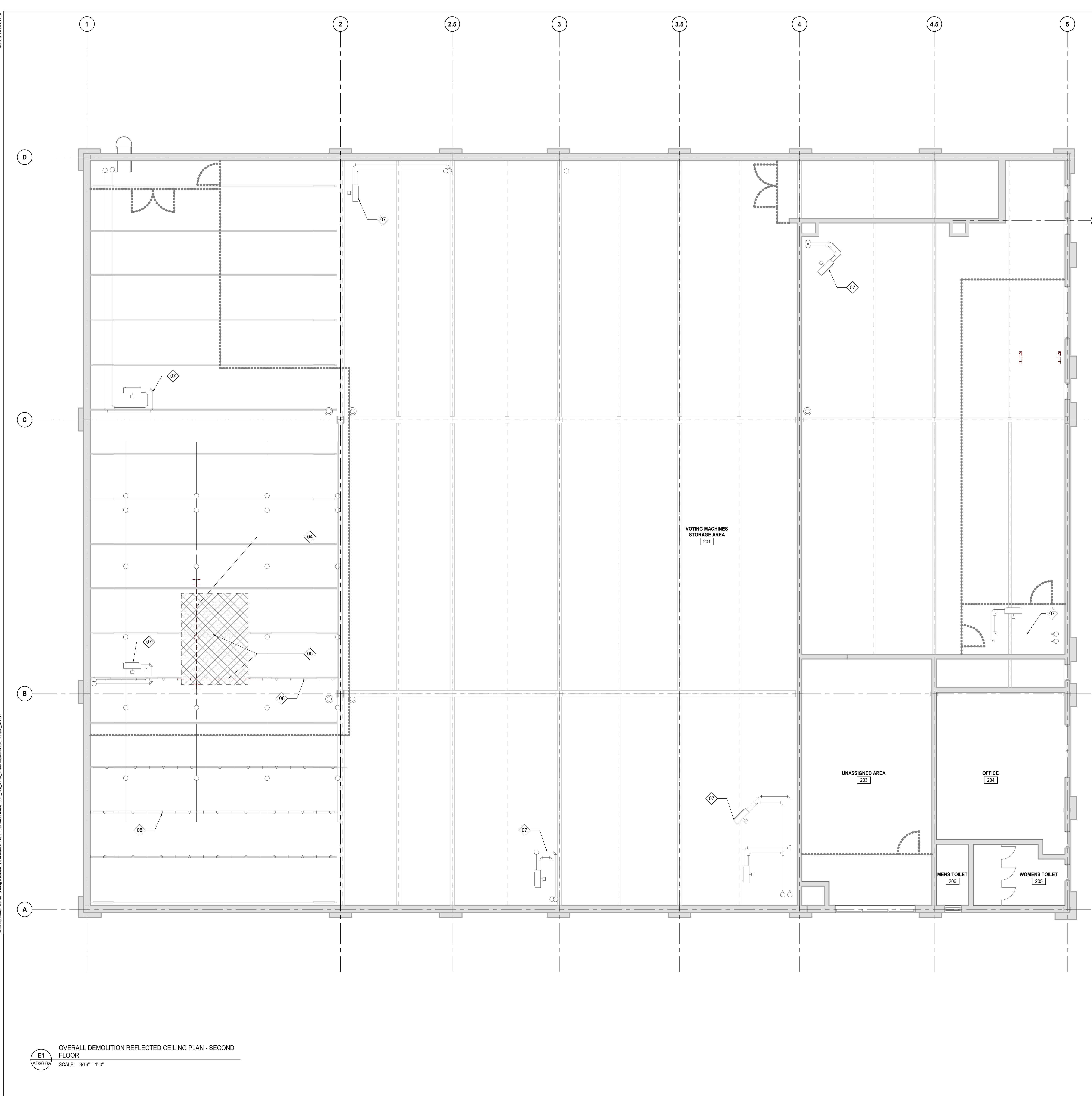
Drawing No. **AD30-01**

ARCH E Title Block - © 2023 - Rev (Sep/23) - Copyright © 2023

E1
AD30-01
 OVERALL DEMOLITION REFLECTED CEILING PLAN - FIRST FLOOR
 SCALE: 3/16" = 1'-0"

4/20/2025 4:28:51 PM

Autodesk Docs (DWG) - Voting Machine Warehouse Elevator Addition (IN2325-0323_A01_01.dwg) - Warehouse Elevator Addition - 024.rvt



- DEMOLITION GENERAL NOTES**
1. OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE, IF REQUIRED.
 2. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
 3. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
 4. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE TENANT BEFORE PROCEEDING.
 5. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED AND JOB SITE KEPT CLEAN ON A DAILY BASIS.
 6. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
 7. WHERE PARTITIONS ARE TO BE REMOVED, REMOVE ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO PANELS AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING TO REMAIN CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH.
 9. REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR DRAINS NOT BEING RE-USED AND TERMINATE IN COMPLIANCE WITH APPLICABLE BUILDING CODES.
 10. REMOVAL OF ALL EQUIPMENT, CABLING, SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES, SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.
 11. SCORE INCLUDES:
 - A. REMOVAL OF ALL ITEMS OF ANY NATURE SHOWN ON DRAWINGS TO BE REMOVED.
 - B. CONTRACTOR TO DEMO AND REMOVE EXISTING PARTITIONS & CONSTRUCTION INCLUDING OF WALLS, LIGHTING, GRID, TILE AND EQUIPMENT AS SHOWN ON DRAWINGS.
 12. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION.
 13. WHEN THE NATURE OF THE DEMOLITION WORK REQUIRES THEIR USE, ALL WORK TO BE ISOLATED BY TEMPORARY, LOCKABLE PAINTED PLYWOOD BARRIERS SO THAT WORK IS SEPARATED FROM OCCUPIED TENANT SPACE. CONTRACTOR TO ENSURE BARRIERS PROTECT DEMOLITION WORK AND PROHIBIT UNAUTHORIZED ENTRY.
 14. ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN THE FIELD. ARCHITECT TO BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
 15. EXISTING CONSTRUCTION ADJACENT TO ITEMS BEING REMOVED TO BE ADEQUATELY PROTECTED AND PATCHED AND REPAIRED AS REQUIRED. ANY DAMAGE TO EXISTING FINISHES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGED SURFACES TO BE REPAIRED AND REFINISHED TO NEAREST INSIDE CORNER. ALL REPAIR WORK SUBJECT TO APPROVAL BY ARCHITECT/BUILDING MANAGEMENT.
 16. MAINTAIN ALL ABOVE CEILING DUCTWORK, DIFFUSERS, GRILLES, OR OTHER EQUIPMENT AS REQUIRED FOR PROPER DISTRIBUTION OF AIR. TEMPORARILY HANG EQUIPMENT FROM CEILING IF NECESSARY. CONTRACTOR TO INSTALL FILTER OR GAUZE MATERIAL AT BUILDING'S HVAC RETURN OPENINGS TO MINIMIZE DUST IN HVAC SYSTEM.
 17. COORDINATE ALL WORK CONCERNING EXISTING EQUIPMENT AND SERVICES TO REMAIN. DE-ENERGIZE CIRCUITS AND MAKE THEM SAFE AS REQUIRED BY APPLICABLE CODES. RECONNECT CIRCUITS THAT ARE TO REMAIN AND ARE DISRUPTED DURING DEMOLITION.
 18. RECONNECT EXISTING CIRCUITRY WHICH ORIGINATES OR PASSES THROUGH THE RENOVATED AREAS BUT SERVES OTHER AREAS NOT BEING RENOVATED. EXTEND THESE CIRCUITS AS MAY BE NECESSARY TO THE EXISTING PANELBOARDS.
 19. COORDINATE WORK CONCERNING EXISTING EQUIPMENT AND SERVICES IN THE BUILDING WITH OWNER. CONTRACTOR TO CONTACT OWNER TO SCHEDULE A SHUTDOWN AT A TIME CONVENIENT TO OWNER WHEN IT BECOMES NECESSARY TO TEMPORARILY DISTURB OR INTERRUPT SYSTEMS OR SERVICES TO PERMIT DEMOLITION. CONTRACTOR REQUEST MUST BE IN WRITING.
 20. CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EGRESS EXIT DOORS THROUGHOUT ALL DEMOLITION/NEW CONSTRUCTION.
 21. CONTRACTOR TO ENSURE THAT ANY DEMOLITION REQUIRING "EXCESSIVE" NOISE BE PERFORMED AFTER NORMAL BUSINESS HOURS. COORDINATE WITH BUILDING MANAGEMENT.
 22. CONTRACTOR TO PROVIDE SUPPLEMENTAL LIGHTING SUFFICIENT FOR SAFE WORKING CONDITIONS THROUGHOUT COURSE OF DEMOLITION/NEW CONSTRUCTION AS REQUIRED.
 23. CONTRACTOR TO COORDINATE PLACEMENT OF DUMPSTER WITH BUILDING MANAGEMENT.
 24. CONTRACTOR TO REMOVE ALL TOOLS, EQUIPMENT AND DEBRIS FROM SITE UPON COMPLETION OF DEMOLITION WORK. REMOVE TEMPORARY PROTECTION AND LEAVE INTERIOR AREAS BROOM CLEAN.
 25. PREP & PATCH WALLS, CEILINGS & FLOORS IF AFFECTED BY DEMOLITION. REPAIR AS REQUIRED TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PREPARE SURFACES TO RECEIVE NEW FINISHES, AS REQUIRED. FINISHES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

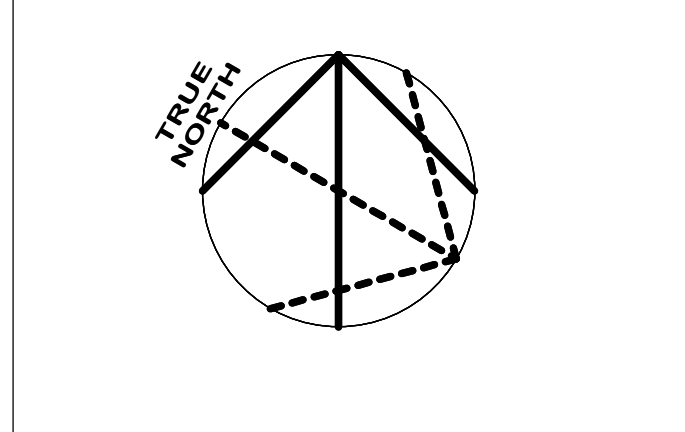
KEYED NOTES - DEMOLITION REFLECTED CEILING PLANS

#	DESCRIPTION
01	REMOVE PORTION OF EXISTING BEAM. SEE STRUCTURAL DRAWINGS
02	REMOVE AND RELOCATE EXISTING LIGHTS. SEE ELECTRICAL DRAWINGS
03	REMOVE AND REROUTE EXISTING PLUMBING LINES. SEE MECHANICAL DRAWINGS
04	RECONFIGURE EXISTING SPRINKLER LINES AND HEADS TO ACCOMMODATE FOR NEW ELEVATOR SHAFT. SEE FIRE PROTECTION DRAWINGS
05	REMOVE EXISTING WEB JOISTS. SEE STRUCTURAL DRAWINGS
06	REMOVE EXISTING FREIGHT LIFT WALL MOUNTED ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS
07	MECHANICAL EQUIPMENT. COORDINATE WITH MECHANICAL DRAWINGS
08	ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS FOR MORE INFO

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

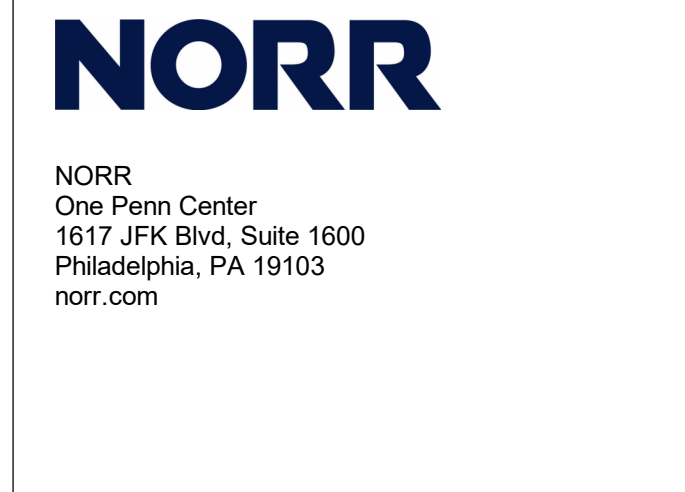
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal



Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

Client
**COUNTY OF DELAWARE
 DEPARTMENT OF PUBLIC
 WORKS**
 105 W 3RD ST, MEDIA, PA 19063

Project
**VOTING MACHINE
 WAREHOUSE ELEVATOR
 ADDITION**
 403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title
**OVERALL DEMOLITION
 REFLECTED CEILING PLAN
 - SECOND FLOOR**

Project No.
IN2325-0323

Drawing No.
AD30-02

ARCH E Title Block - v 2023 - Rev (Sep/23) - Copyright © 2023

E1
AD30-02
 OVERALL DEMOLITION REFLECTED CEILING PLAN - SECOND FLOOR
 SCALE: 3/16" = 1'-0"

DOOR PARAMETERS															FRAME PARAMETERS										OPENING PARAMETERS										COMMENTS
DOOR NO.	WALL TAG	TYPE	WIDTH	HEIGHT	THK	DUTY	MATL	GAUGE	CORE TYPE	GLASS TYPE	GLASS THK	FINISH	COLOR	FRAM E TYPE	OVERALL WIDTH	OVERALL HEIGHT	MATL	GAUGE	DETAIL NO.	GLASS TYPE	GLASS THK	INSUL	FINISH	COLOR	OPENING FRR	TEMP RISE RATING	ACOUSTIC RATING	HDWR GROUP	ELEC	ACCESS CONTROL	SIGNAGE	WALL WIDTH			
101	-	-	4'-6"	7'-0"	0'-1 3/4"	-	SS	(none)	(none)	-	-	SS	-	-	-	4'-6"	7'-0"	SS	-	-	-	-	-	(none)	-	-	-	-	-	-	-	-	0'-7 3/4"	DOORS FROM ELEVATOR MANUFACTURER.	
106	-	-	4'-6"	7'-0"	0'-1 3/4"	-	SS	(none)	(none)	-	-	SS	-	-	-	4'-6"	7'-0"	SS	-	-	-	-	-	(none)	-	-	-	-	-	-	-	-	0'-7 3/4"	DOORS FROM ELEVATOR MANUFACTURER.	
108	-	DD8	5'-0"	6'-8"	0'-1 3/4"	-	HM	(none)	(none)	-	-	PTD	-	-	5'-4"	6'-10"	-	-	-	-	-	-	(none)	-	-	-	-	-	-	-	-	0'-4 7/8"	DOORS FROM ELEVATOR MANUFACTURER.		
201	-	-	4'-6"	7'-0"	0'-1 3/4"	-	SS	(none)	(none)	-	-	SS	-	-	-	4'-6"	7'-0"	SS	-	-	-	-	-	(none)	-	-	-	-	-	-	-	-	0'-7 3/4"	DOORS FROM ELEVATOR MANUFACTURER.	

DOOR / FRAME LEGENDS & ABBREVIATIONS

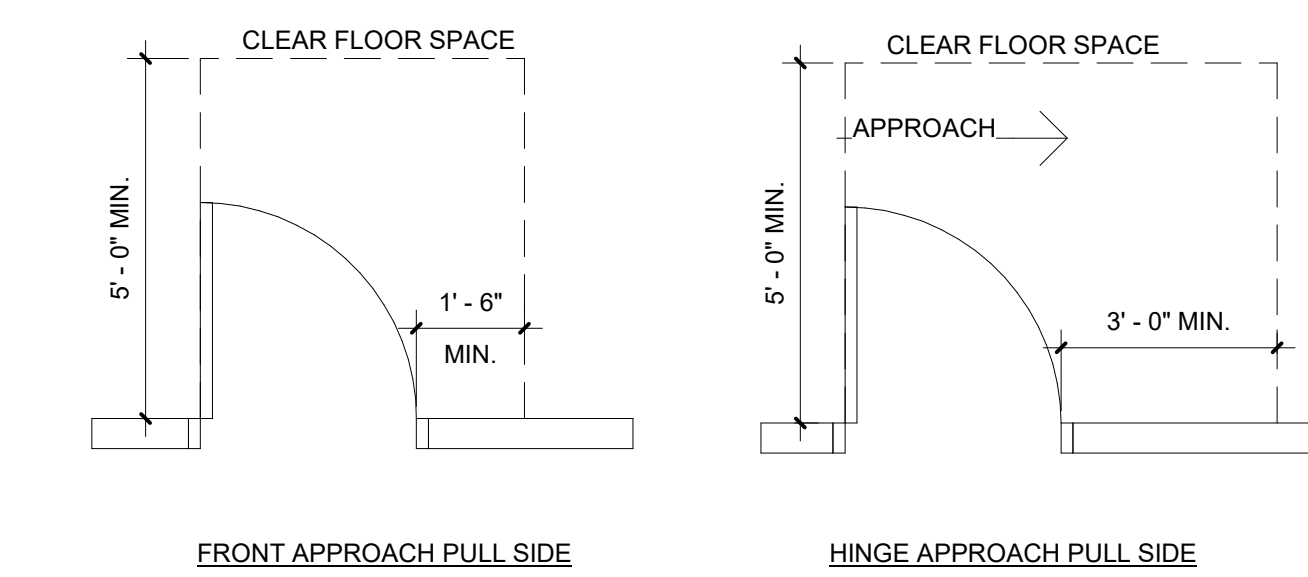
LEGEND / ABBREVIATIONS	DOOR TYPES LEGEND
ALUM ALUMINUM	BF BIFOLD DOOR
AND ANODIZED	CD COLLING DOOR
CLR CLEAR	CS COUNTER SHUTTER
DCRON DURACRON	DD DOUBLE SWING DOOR
DNAR DURANAR	GA GLAZED ALUMINUM DOOR
EXT EXTERIOR	GL GLASS DOOR
F FRAME	HD HANGAR DOOR
G () GLASS (Type)	ID IMPACT DOOR
GA GLAZED ALUMINUM	OH OVERHEAD DOOR
GALV GALVANIZED	RE REVOLVING DOOR
GWG GEORGIAN WIRE GLASS	RO ROLLING DOOR
HCW HOLLOW CORE WOOD	RR RAPID ROLL DOOR
HM HOLLOW METAL	SD SINGLE SWING DOOR
HR HOUR	SL SLIDING DOOR
INSUL INSULATED	SP SPECIAL DOOR (define and detail)
MIN MINUTE	
N/A NOT APPLICABLE	
NF NO FRAME (FRAMELESS)	
PC POWDER COAT	
PS PRESSED STEEL	
PTD PAINTED	
SCW SOLID CORE WOOD	
SS STAINLESS STEEL	
STL STEEL	
TSG TEMPERED SAFETY GLASS	
WD WOOD	
WV WOOD VENEER	

WV LEGEND

MD MEDIUM	STD STANDARD
HVY HEAVY	X-HVY EXTRA HEAVY

DOOR AND FRAME GENERAL NOTES

- REFER TO SPECIFICATIONS OR FINISH IDENTIFICATION SCHEDULE FOR DESCRIPTION OF FINISHES AND COLOURS



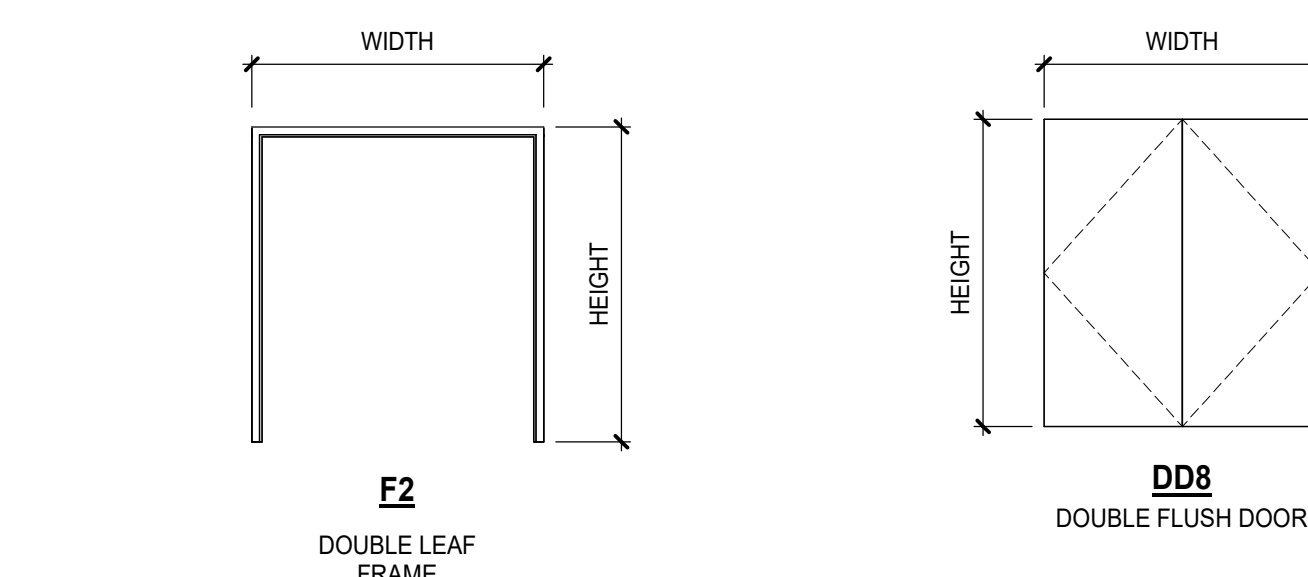
DOOR HARDWARE TYPES				
HARDWARE TYPE	BOD MANUFACTURER	MODEL #	STYLE/FINISH	COMMENTS
HINGE - HVY WT	MCKINNEY	ALX	US32D	COORDINATE WITH OWNER
LOCK SET	SCHLAGE	-	US32D	COORDINATE WITH OWNER
KICK PLATE	ROCKWOOD	K1050 12\"/>		

- NOTE:**
- OPPOSITE HAND DOOR SWING SIMILAR, SEE ARCHITECTURAL PLAN FOR CORRECT DOOR SWING.
 - DEVICES SHALL BE INSTALLED IN A NEAT MANNER.
 - SPACING BETWEEN DEVICES SHALL BE 3 INCHES.

DOOR HARDWARE SCHEDULE	
SET 1.0 (Closet door)	
1 Lockset (Storage Type)	
6 Hinges	
2 Kick Plate (Pull Side)	
1 Astragal	

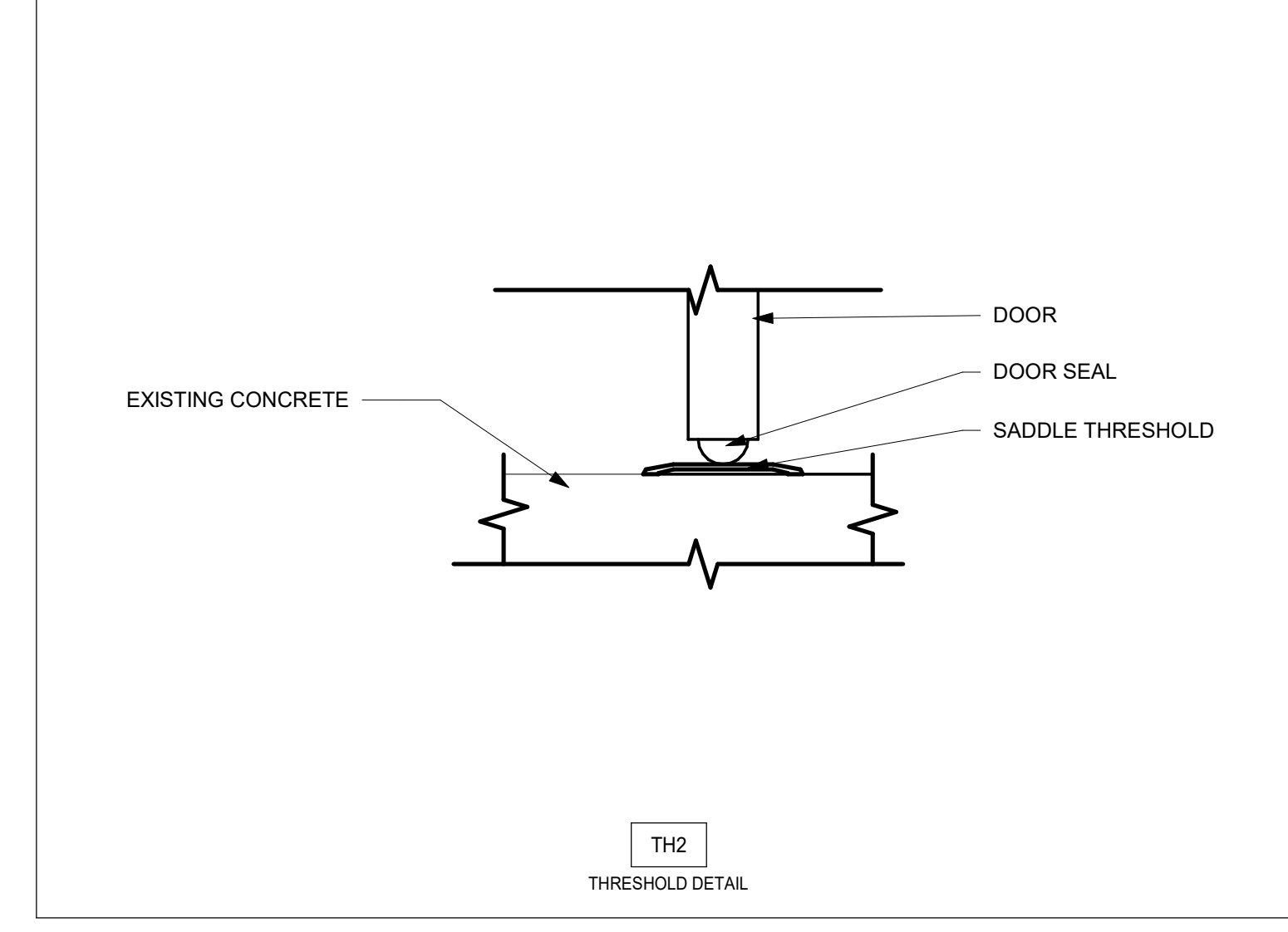
- HARDWARE NOTES**
- VERIFY ALL LOCK FUNCTIONS AND KEYING WITH OWNER
 - ALL HARDWARE SETS WITH CLOSERS TO HAVE BALL BEARING HINGES
 - ALL PASSAGE AND LOCKSETS TO BE LEVER TYPE, COMPLYING TO ALL APPLICABLE ADA REQUIREMENTS
 - ALL HARDWARE FINISHES TO BE US26D OR 626 SATIN CHROMIUM PLATED UNLESS OTHERWISE REQUIRED BY MANUFACTURER
 - INTERIOR DOOR OPENING FORCE NOT TO EXCEED 5 LBS

C1
A05-01
DOOR CLEARANCE DETAILS
SCALE: 3/8" = 1'-0"

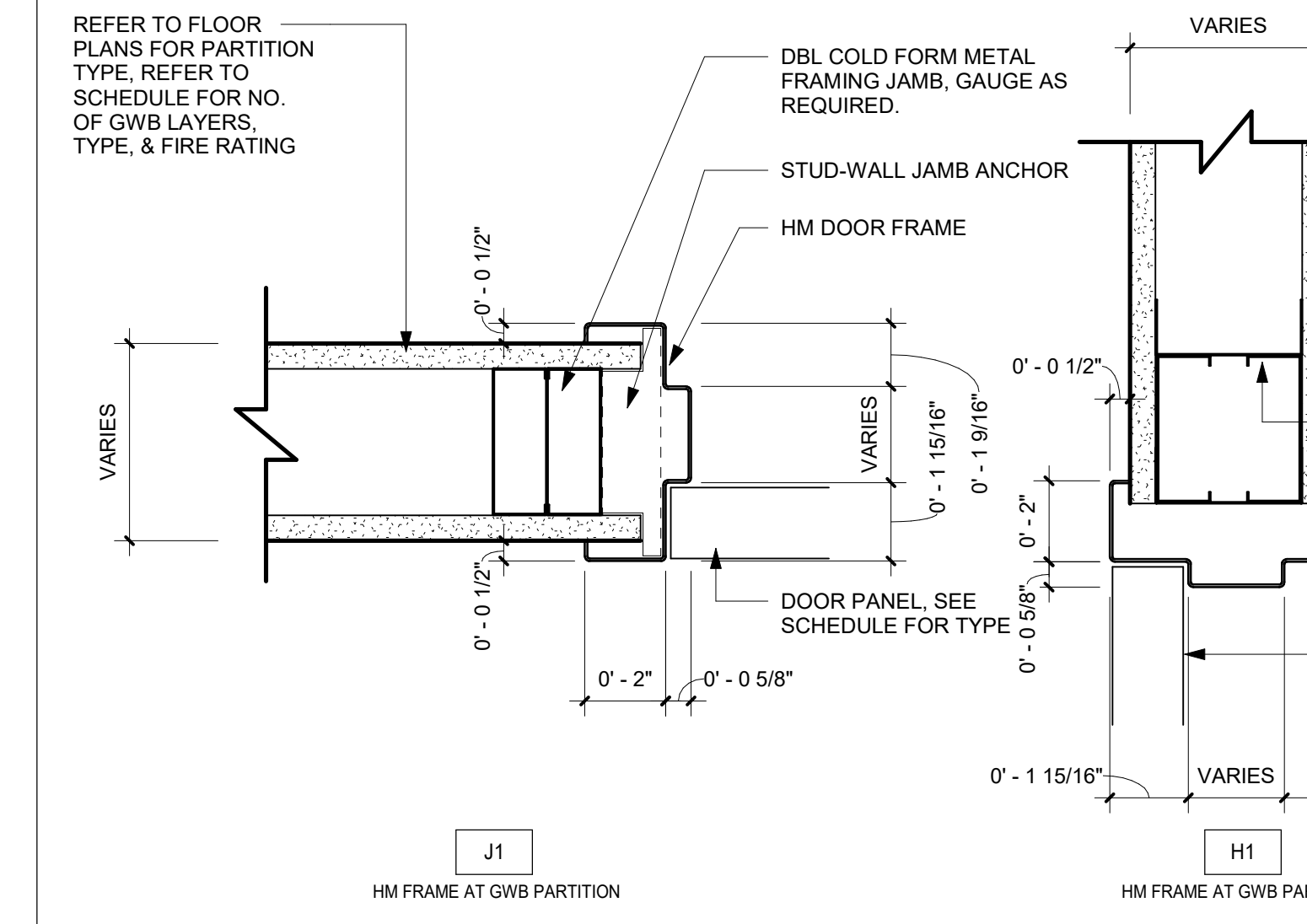


DOUBLE DOORS FRAME TYPE **DOUBLE SWING DOOR TYPES**

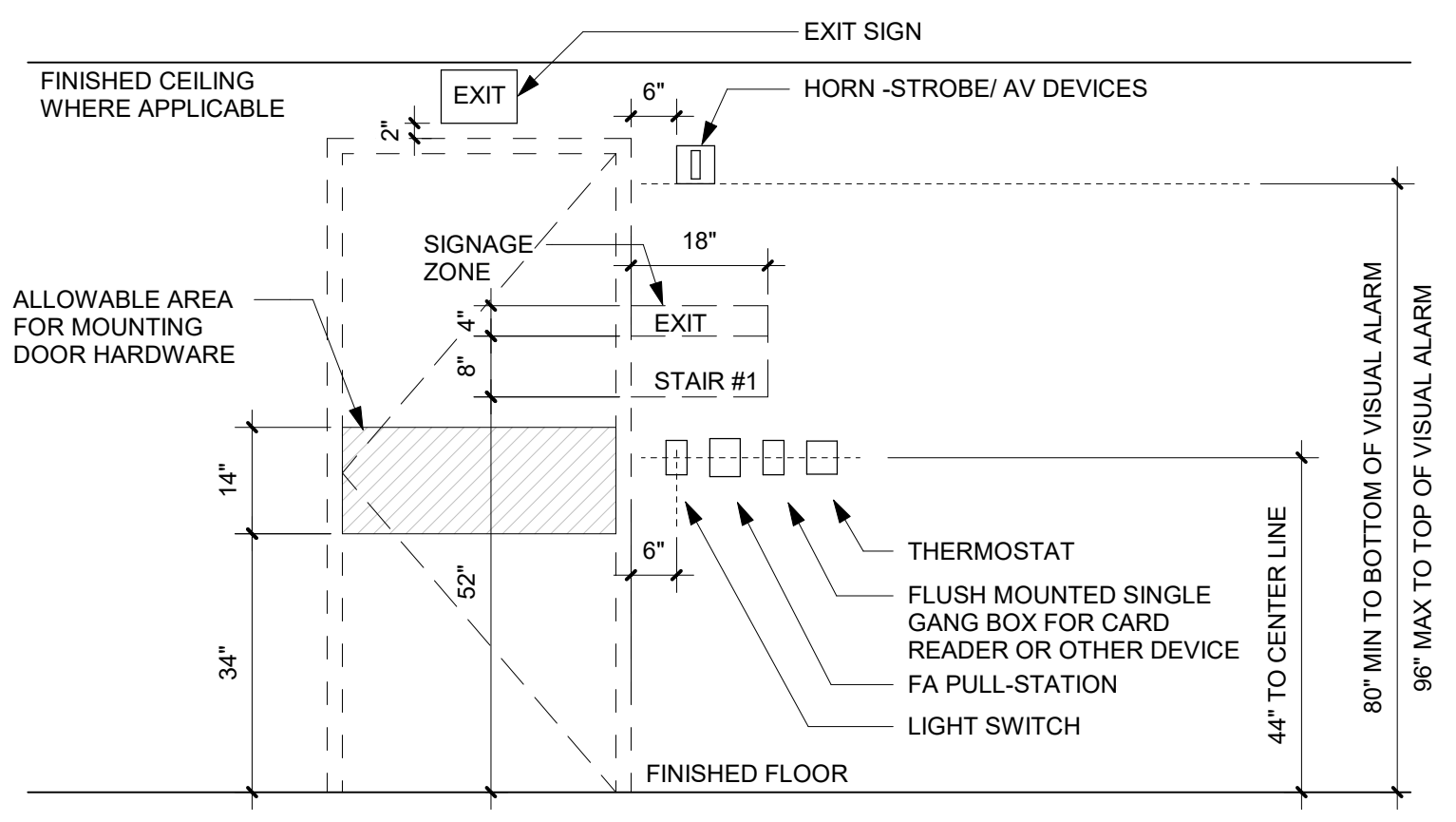
THRESHOLD DETAILS



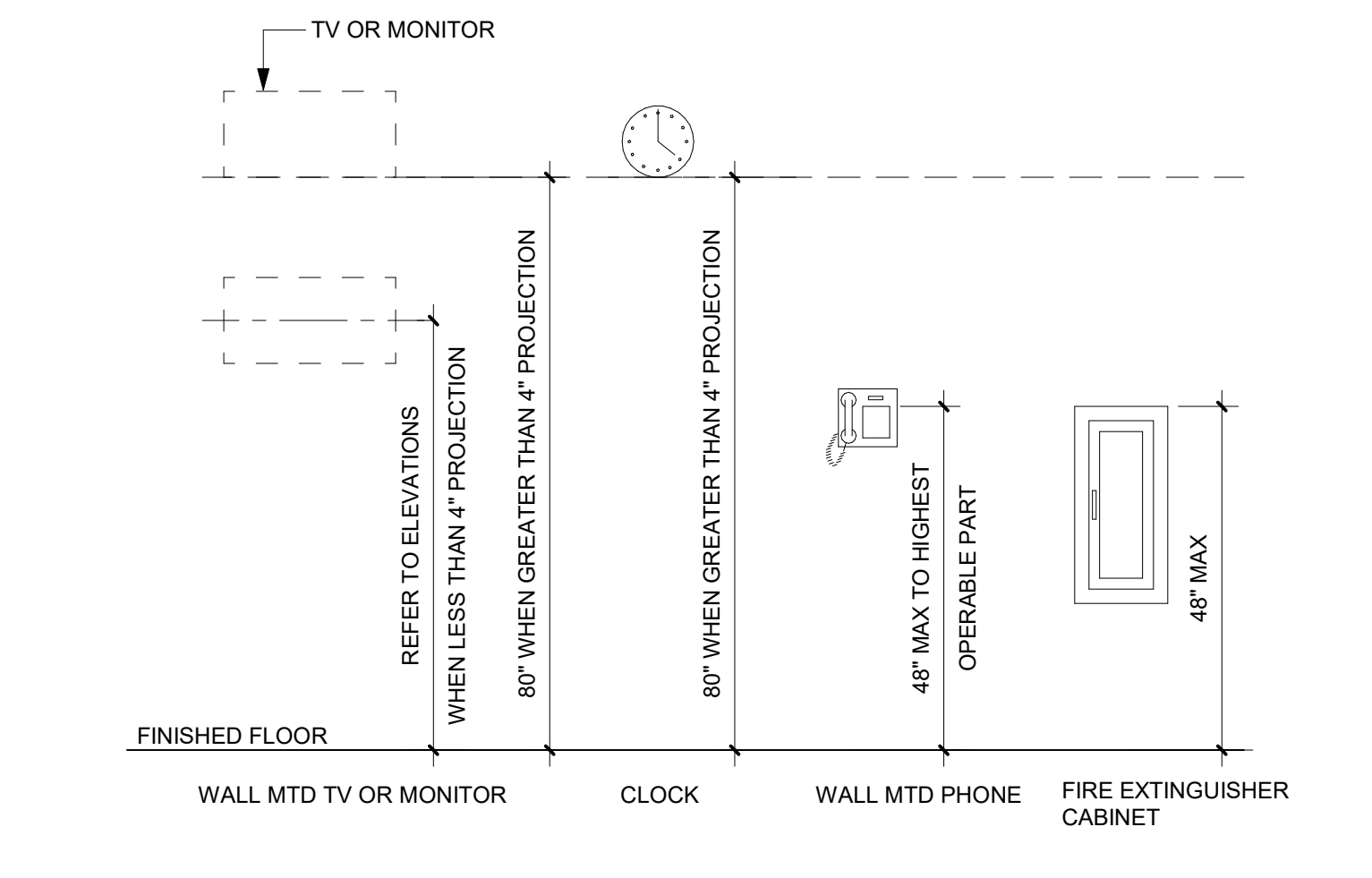
NON-RATED DOOR FRAME DETAILS



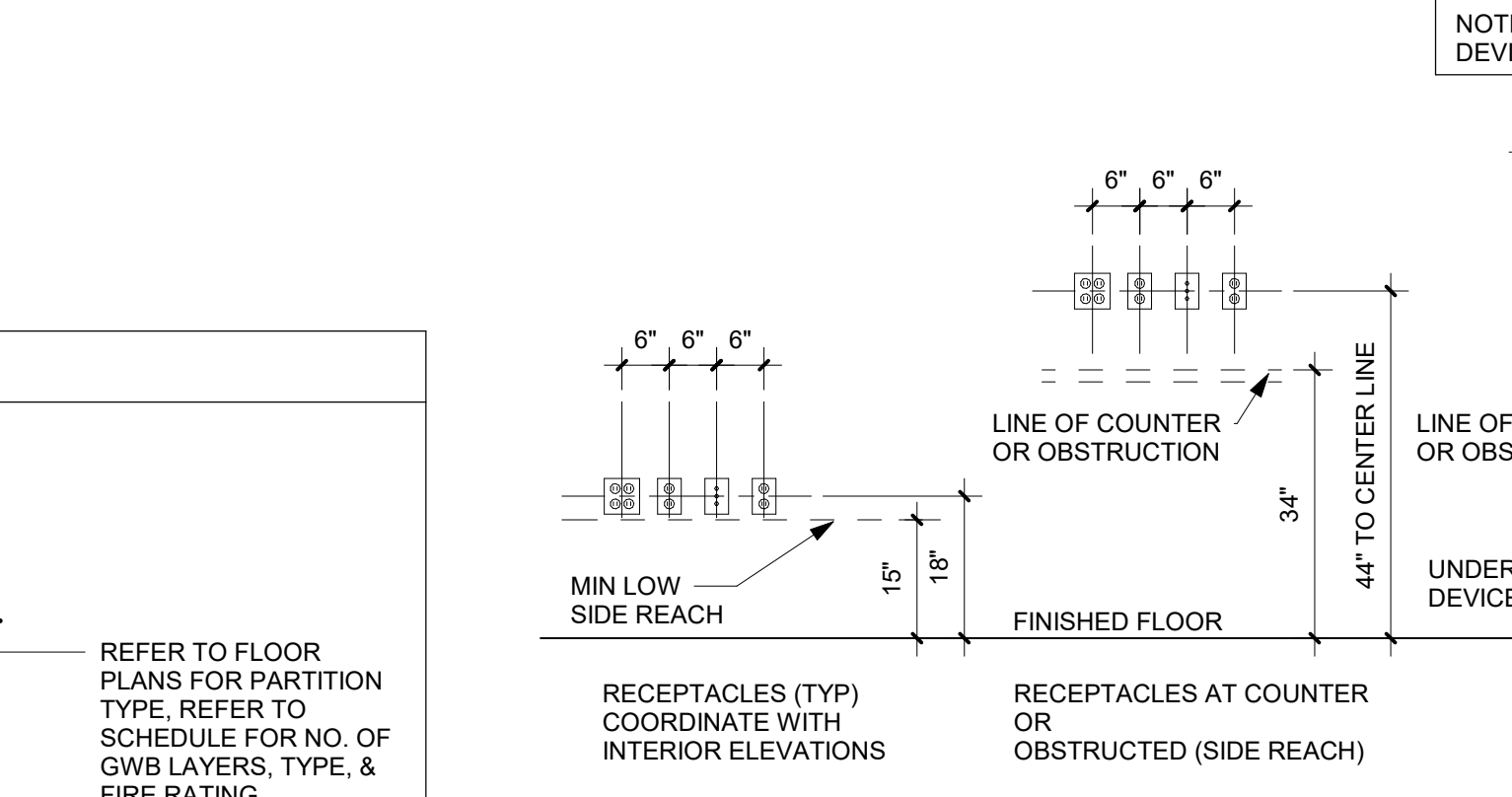
E1
A05-01
DOOR FRAME DETAILS
SCALE: 3/8" = 1'-0"



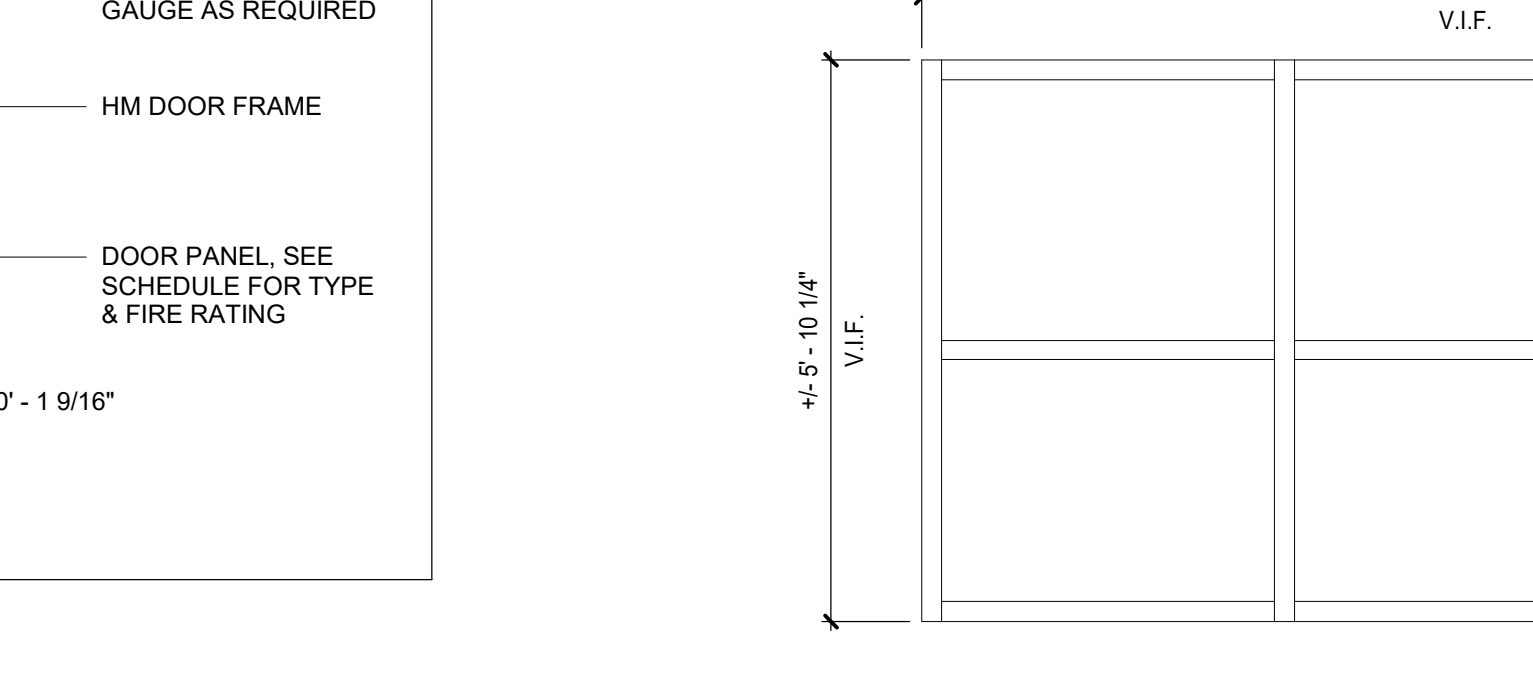
D4
A05-01
TYP MOUNTING LOCATIONS @ DOORS
SCALE: 1/2" = 1'-0"



D3
A05-01
TYP MOUNTING HGTS - MISC
SCALE: 1/2" = 1'-0"



D2
A05-01
ANSI & TYP MOUNTING HGTS - DEVICES
SCALE: 1/2" = 1'-0"

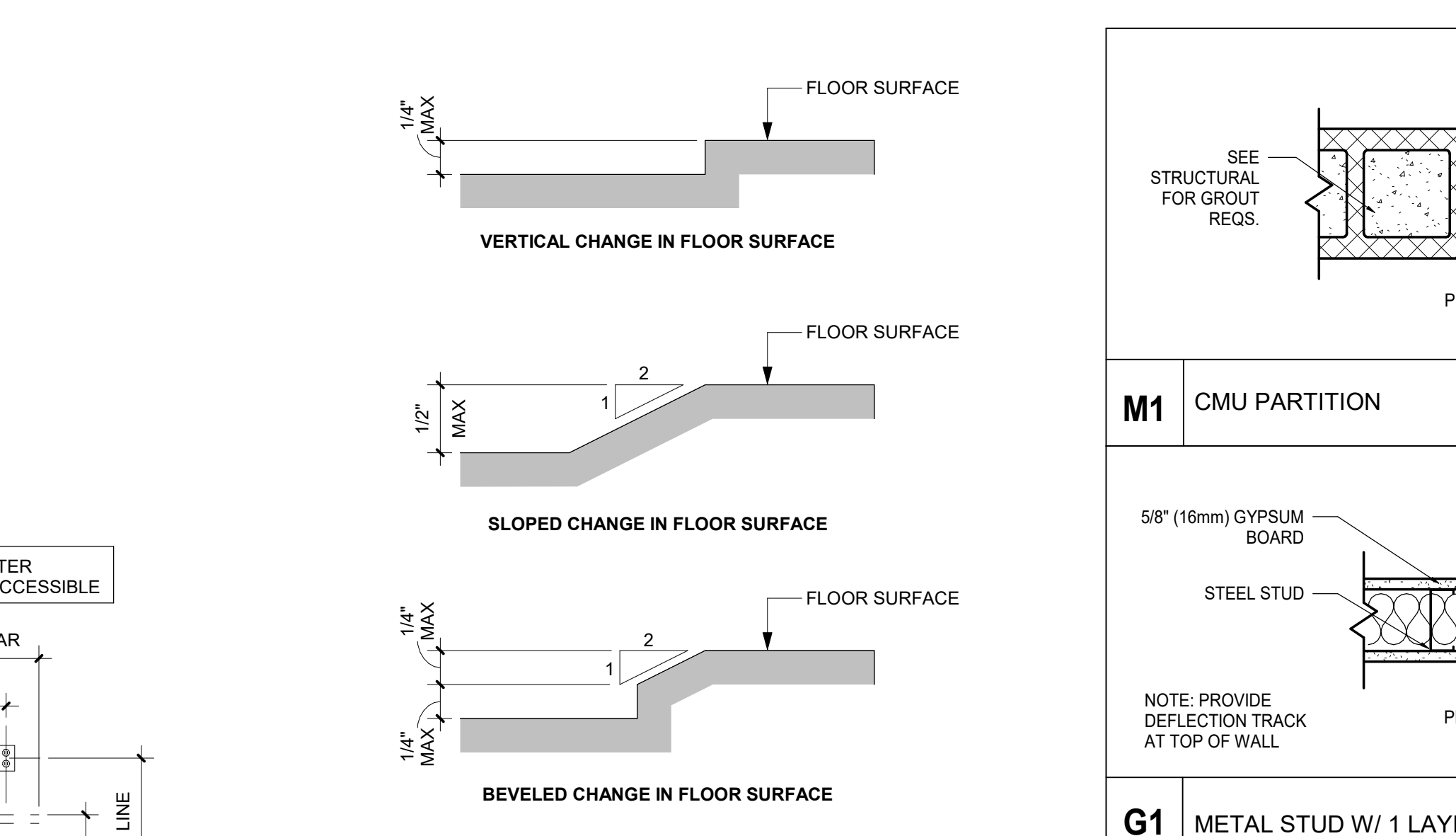


D1
A05-01
WINDOW FRAMING
SCALE: 1/2" = 1'-0"

PARTITION TYPE	PARTITION SUB-TYPE	PARTITION TYPE LEGEND	ADDITIONAL REMARKS	FIRE RATING
G	G	GYPSPUM WITH METAL STUD	A ACOUSTICAL INSULATION	U UNRATED PARTITION (BASE UL STC AS SHOWN RATED)
W	B	GYPSPUM WITH WOOD STUD	B GWB MAY STOP 6\"/>	

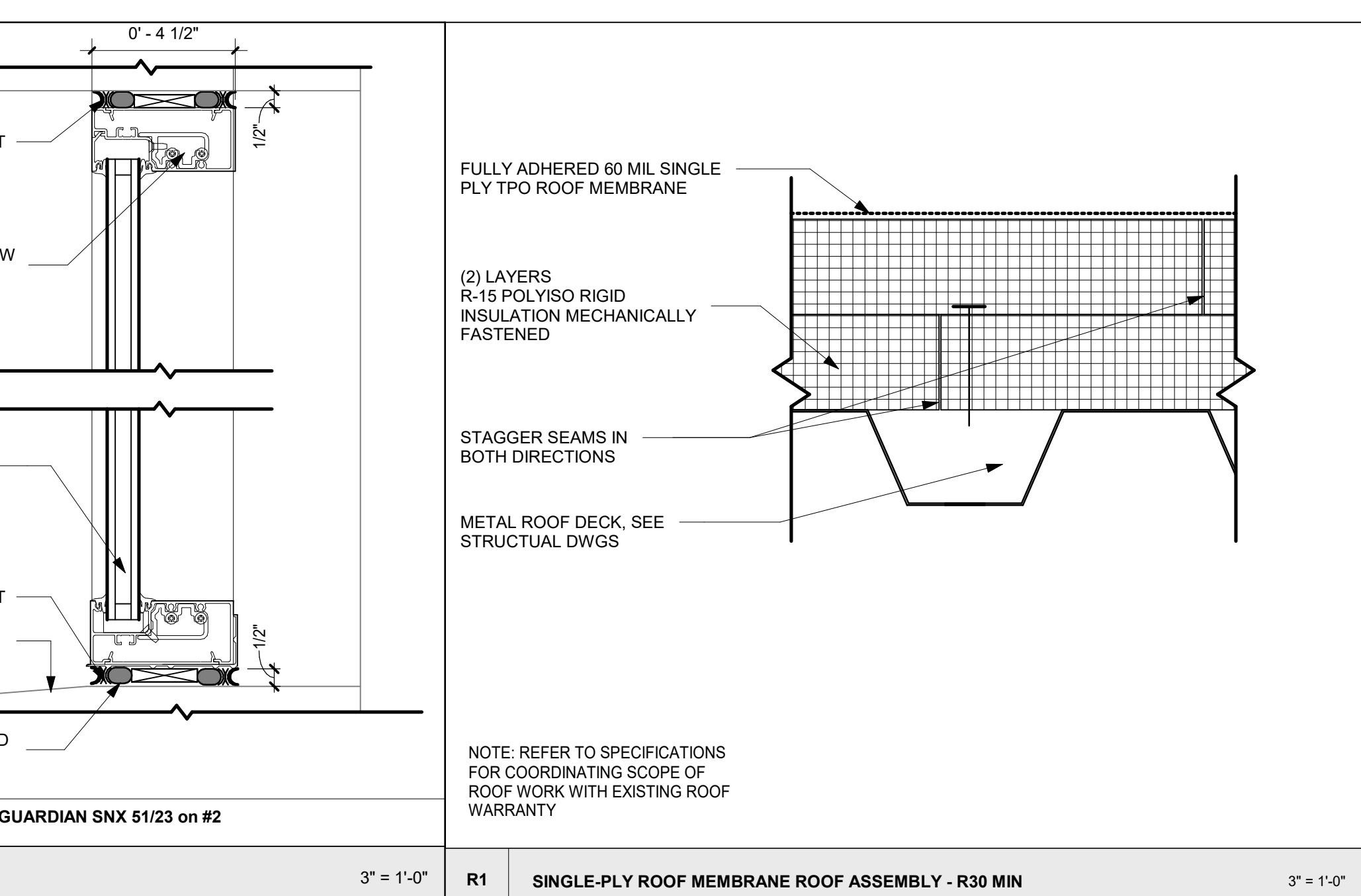
PARTITION SYMBOLS LEGEND						
STUD SIZE (NOMINAL)	METAL STUD SIZE (IMPERIAL)	METAL STUD SIZE (METRIC)	WOOD STUD SIZE (IMPERIAL)	WOOD STUD SIZE (METRIC)	CMU SIZE (NOMINAL)	CMU SIZE (IMPERIAL)
3	3 5/8"	92mm	2 1/2"	64mm	4	3 5/8"
4	6"	152mm	3 1/2"	89mm	6	5 5/8"
6	6"	152mm	5 1/2"	140mm	8	7 5/8"
8	6"	152mm	7 1/4"	184mm	12	11 5/8"

NOMINAL AND ACTUAL FRAMING MEMBER SIZES



C2
A05-01
ANSI CHANGES IN FLOOR LEVELS
SCALE: 1/2" = 1'-0"

CMU SIZE	TOTAL THCKNSS	0 HR	1 HR	2 HR	3 HR	4 HR	STC (W/ SAFB)	UL DESIGN NO.
4	3 5/8" (92mm)	M1-4-0	-	-	-	-	44-48	-
6	5 5/8" (142mm)	M1-6-0	M1-6-1	M1-6-2	-	-	48-52	UL 905 ULC 905
8	7 5/8" (194mm)	M1-8-0	M1-8-1	M1-8-2	-	-	52-57	UL 905 ULC 905
12	11 5/8" (295mm)	M1-12-0	M1-12-1	M1-12-2	-	-	57-63	UL 905 ULC 905



ACCESSIBILITY & MOUNTING HEIGHT NOTES

- ANSI 117.1**
- ALL WORK TO BE COMPLIANT WITH ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH THE CURRENT EDITION OF ICC A117.1.
- AMERICANS WITH DISABILITIES ACT ARCHITECTURAL STANDARDS FOR ACCESSIBLE DESIGN**
- ALL WORK TO BE COMPLIANT WITH ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH THE CURRENT EDITION OF AMERICANS WITH DISABILITIES ACT ARCHITECTURAL STANDARDS FOR ACCESSIBLE DESIGN.
- CODE OF FEDERAL REGULATIONS PART 36, SUBPART D**
- ALL WORK TO BE COMPLIANT WITH ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH THE CURRENT EDITION OF CODE OF FEDERAL REGULATIONS PART 36, SUBPART D.
- STATE AND MUNICIPAL BARRIER FREE CODES**
- ALL WORK TO BE COMPLIANT WITH ACCESSIBILITY GUIDELINES PROVIDED IN ACCORDANCE WITH THE CURRENT EDITION OF ALL STATE AND MUNICIPAL BARRIER FREE CODES.
- GENERAL**
- CONTRACTOR TO SUPPLY AND INSTALL PIPE COVERS / SHROUDS FOR ALL EXPOSED PIPING UNDER NEW LAVATORIES/SINKS.
 - CONTRACTOR TO SUPPLY AND INSTALL METAL BRACKETS OR APPROPRIATE BLOCKING NECESSARY FOR TOILET ACCESSORY INSTALLATION.
 - CONTRACTOR TO MAINTAIN FIRE, SMOKE, AND ACOUSTICAL RATINGS WHERE ACCESSORIES ARE RECESSED INTO THE WALL PARTITION.

Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

NORR

NORR
One Penn Center
1817 JFK Blvd, Suite 1600
Philadelphia, PA 19103
nor.com

Project Manager: BM
Project Architect: CP

Client:
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project:
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 27TH STREET, CHESTER, PA 19013

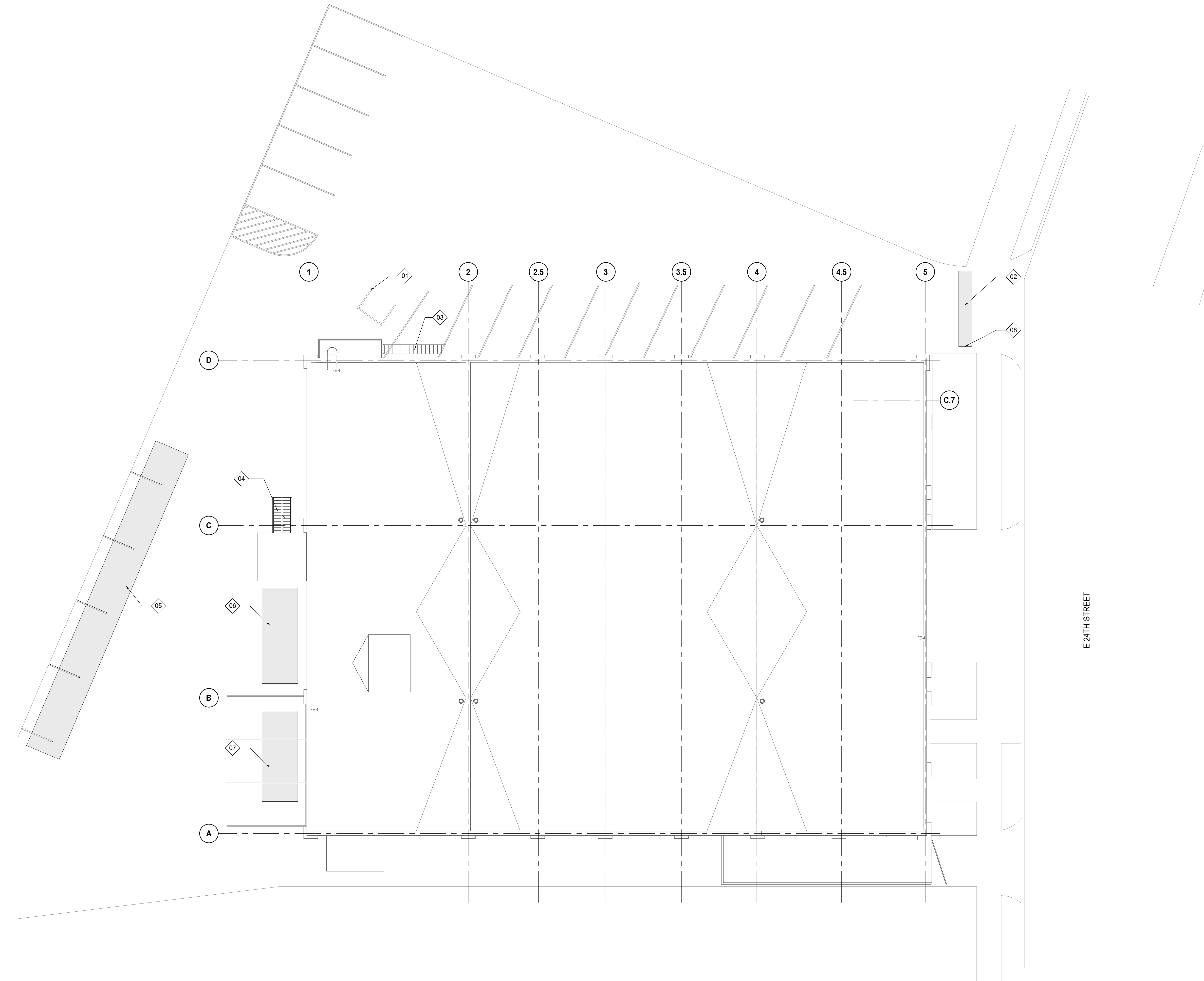
Drawing Title:
**DOOR & FRAME
SCHEDULE, TYPES,
DETAILS, PARTITION
TYPES, TYPICAL
MOUNTING HEIGHTS**

Project No.: IN2325-0323
Drawing No.: A05-01

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

LEGEND - SITE PLAN	
	PROPERTY LINE SETBACK
	PROPERTY LINES
	SPOT ELEVATION MARKER
	ELEVATION IN FEET ABOVE MEAN SEA LEVEL 6'-0" FROM BUILDING CORNER

KEYED NOTES - SITE PLAN	
TAG	DESCRIPTION
01	EXISTING WASTE DISPOSAL AREA
02	RESTRICTED/MONITORED CONTRACTOR SITE ACCESS, COORDINATE W/ OWNER
03	TEMPORARY 2ND FLOOR ACCESS SCAFFOLDING STAIR/COORDINATE W/ OWNER TO UTILIZE EXISTING STEEL EGRESS DROP-DOWN LADDER
04	TEMPORARY CONSTRUCTION STAIRRAMP, COORDINATE W/ OWNER
05	CONTRACTOR PARKING AREA, COORDINATE W/ OWNER
06	TEMPORARY SANITARY FACILITIES AREA, COORDINATE W/ OWNER
07	TEMPORARY FENCED MATERIAL STAGING AREA, COORDINATE W/ OWNER
08	NEW PROJECT SITE ENTRY SIGNAGE, COORDINATE WITH OWNER.

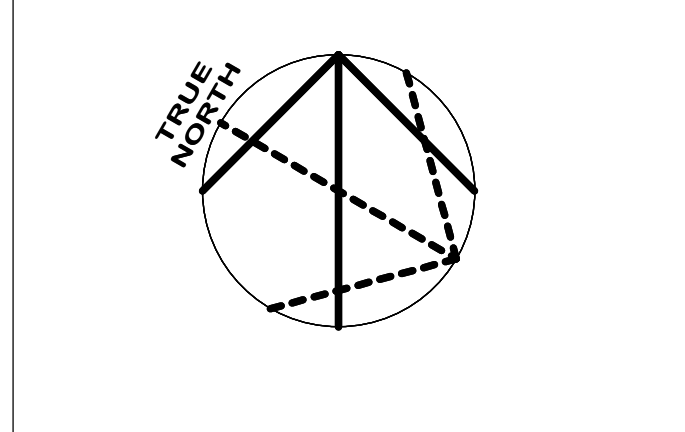


E1 REFERENCE SITE PLAN
SCALE: 3/32" = 1'-0"



This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

NORR

NORR
One Penn Center
1917 JFK Blvd, Suite 1600
Philadelphia, PA 19103
norr.com

Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

Client

**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project

**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title

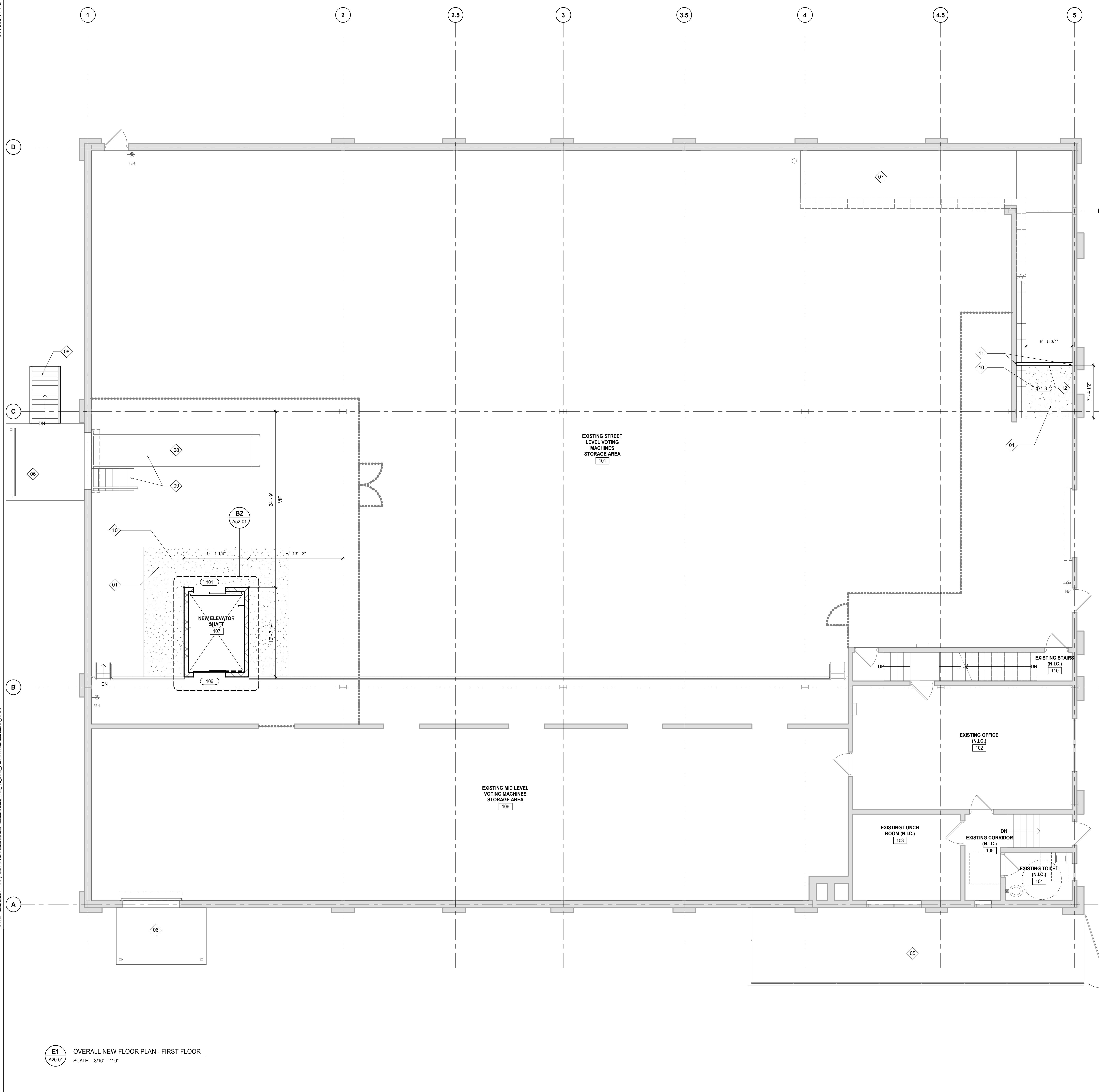
REFERENCE SITE PLAN

Project No.
IN2325-0323

Drawing No.
A10-01

4/27/2025 4:28:58 PM

Architect: Oscar DeLuca - Voting Machine Warehouse Elevator Addition (N2325-0323_A01_01) - Voting Machine Warehouse Elevator Addition (N2325-0323_A01_01) - Voting Machine Warehouse Elevator Addition (N2325-0323_A01_01)



- ### FLOOR PLAN GENERAL NOTES
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT IMMEDIATELY. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
 - DIMENSIONS NOTED "CLEAR" OR "CLR" OR "HOLD" MUST BE ACCURATELY MAINTAINED. SHALL ALLOW FOR THICKNESS OF ALL WALL FINISHES U.O.N., AND SHALL NOT VARY MORE THAN + 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT.
 - ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD U.O.N.
 - ALL FLOOR SLAB PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES. ANY PENETRATIONS AT RATED PARTITIONS TO BE PER APPLICABLE I.L. ASSEMBLY.
 - U.O.N., DOORS ARE CENTERED OR HINGE SIDE IS TO BE LOCATED 4" FROM CORNER AS INDICATED. DOORS MUST HAVE 1'-6" CLEAR ON STRIKE/PULL SIDE AND 12" CLEAR ON STRIKE/PUSH SIDE OF DOOR. VERIFY AND ADVISE ARCHITECTS OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
 - ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED.
 - REFER TO ADD-SERIES SHEETS FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.
 - ALL MILLWORK & WALL-HUNG FURNITURE TO BE FASTENED TO THE PARTITION. PROVIDE BLOCKING FOR ALL MILLWORK & WALL-HUNG FURNITURE NOT SUPPORTED BY THE SLAB OR ABOVE 4'-7" HEIGHT. ALL CONCEALED WOOD BLOCKING TO BE FIRE TREATED, AS REQUIRED BY APPLICABLE CODES.

- ### FLOOR PLAN LEGEND - NEW WORK
- EXISTING PARTITION TO REMAIN
 - EXISTING DOOR TO REMAIN
 - NEW PARTITION, SEE PARTITION TAGS AND TYPES
 - NEW DOOR
 - NEW GLAZING

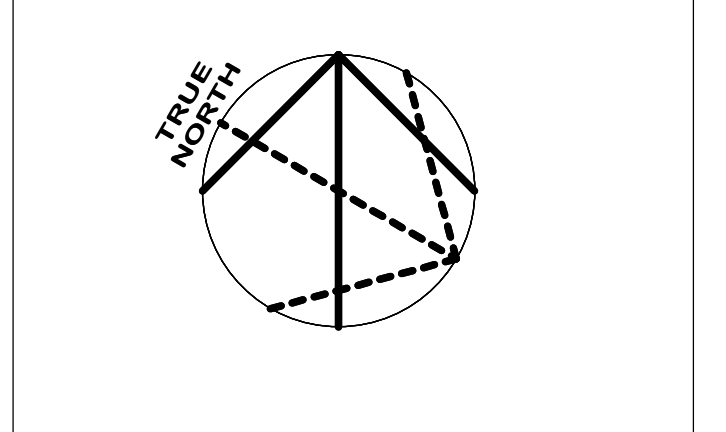
KEYED NOTES - FLOOR PLANS

TAG	DESCRIPTION
01	INFILL EXISTING FLOOR DEPRESSION WITH 4000PSI NORMAL WEIGHT CONCRETE WITH 600-W2 (X2.0 WWF). TOP OF NEW INFILL FLUSH WITH EXISTING CONCRETE FLOOR SURFACE AGAINST EXISTING EXTERIOR WALL. PROVIDE 3/8" COMPRESSIBLE FILLER.
02	REPAIR AND REPLACE DETERIORATED WINDOW PANES IN THIS LOCATION. ADD ALTERNATE - REPLACE ENTIRE GLAZING ASSEMBLY IN THIS LOCATION.
03	INFILL EXISTING LIFT OPENING. REFER TO STRUC DWGS FOR ADD'L INFO.
04	NEW RIGID INSULATION CRICKET.
05	EXISTING ELECTRICAL EQUIPMENT AREA.
06	EXISTING LOADING AREA.
07	EXISTING RAMP TO REMAIN.
08	NEW TEMPORARY ACCESS STAIRS/RAMP.
09	NEW TEMPORARY WORK STAIRS AND RAMP. FIELD VERIFY/COORDINATE EQUIPMENT RAMP WIDTH AND LENGTH.
10	APPLY CONCRETE FINISH TO MATCH EXISTING FOR AREA OF NEW WORK.
11	APPLY 1/8" FIRE RATED CAULK AT NEW PARTITION AND EXISTING WALL JUNCTION.
12	PAINT EACH SIDE OF WALL WITH WHITE SEMI-GLOSS LATEX PAINT. BOD: SHERWIN WILLIAMS.

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

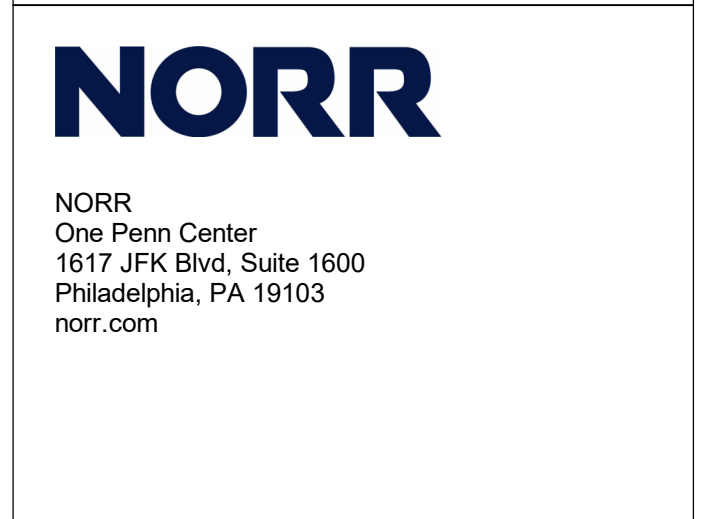


Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal

2



Project Manager: BM
 Project Architect: CP

Drawn: OPMK
 Checked: CP

Client: COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS
 105 W 3RD ST, MEDIA, PA 19063

Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
 403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title: OVERALL FLOOR PLAN - FIRST FLOOR

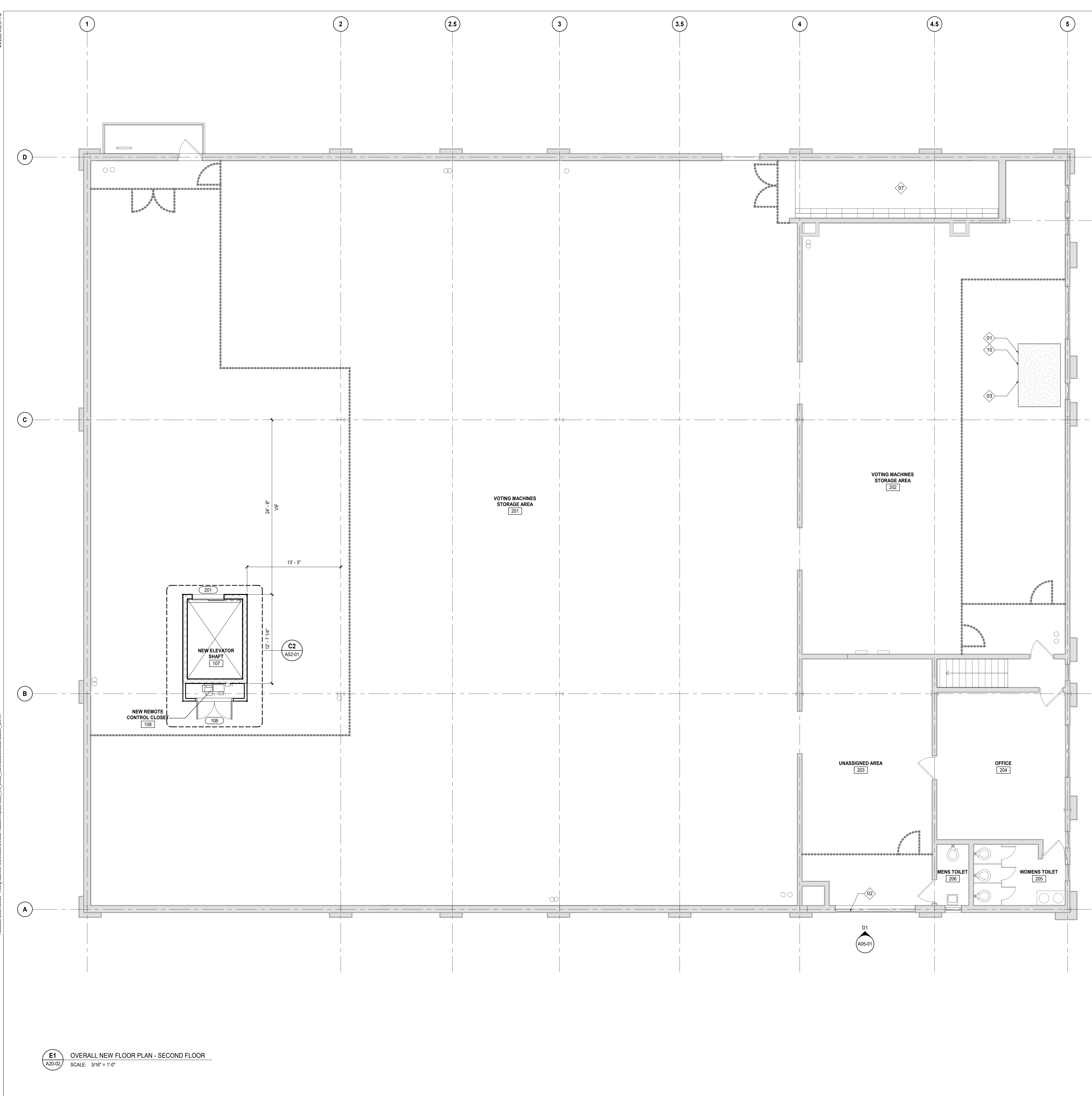
Project No.: IN2325-0323
 Drawing No.: A20-01

ARCH E Title Block - © 2023 - Rev (Sep/23) - Copyright © 2023

E1 OVERALL NEW FLOOR PLAN - FIRST FLOOR
 SCALE: 3/16" = 1'-0"

4/27/2025 4:28:57 PM

Autodesk Docs (DWG) - Voting Machine Warehouse Elevator Addition\IN2325-0323_A02-02_VotingMachineWarehouseElevatorAddition_024.rvt



- FLOOR PLAN GENERAL NOTES**
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT IMMEDIATELY. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
 - DIMENSIONS NOTED "CLEAR" OR "CLR" OR "HOLD" MUST BE ACCURATELY MAINTAINED. SHALL ALLOW FOR THICKNESS OF ALL WALL FINISHES U.O.N., AND SHALL NOT VARY MORE THAN + 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT.
 - ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD U.O.N.
 - ALL FLOOR SLAB PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES. ANY PENETRATIONS AT RATED PARTITIONS TO BE PER APPLICABLE U.I. ASSEMBLY.
 - U.O.N., DOORS ARE CENTERED OR HINGE SIDE IS TO BE LOCATED 4" FROM CORNER AS INDICATED. DOORS MUST HAVE 1'-6" CLEAR ON STRIKE/PULL SIDE AND 12" CLEAR ON STRIKE/PUSH SIDE OF DOOR. VERIFY AND ADVISE ARCHITECTS OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
 - ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED.
 - REFER TO ADD-SERIES SHEETS FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.
 - ALL MILLWORK & WALL-HUNG FURNITURE TO BE FASTENED TO THE PARTITION. PROVIDE BLOCKING FOR ALL MILLWORK & WALL-HUNG FURNITURE NOT SUPPORTED BY THE SLAB OR ABOVE 4'-7" HEIGHT. ALL CONCEALED WOOD BLOCKING TO BE FIRE TREATED, AS REQUIRED BY APPLICABLE CODES.

- FLOOR PLAN LEGEND - NEW WORK**
- EXISTING PARTITION TO REMAIN
 - EXISTING DOOR TO REMAIN
 - NEW PARTITION, SEE PARTITION TAGS AND TYPES
 - NEW DOOR
 - NEW GLAZING

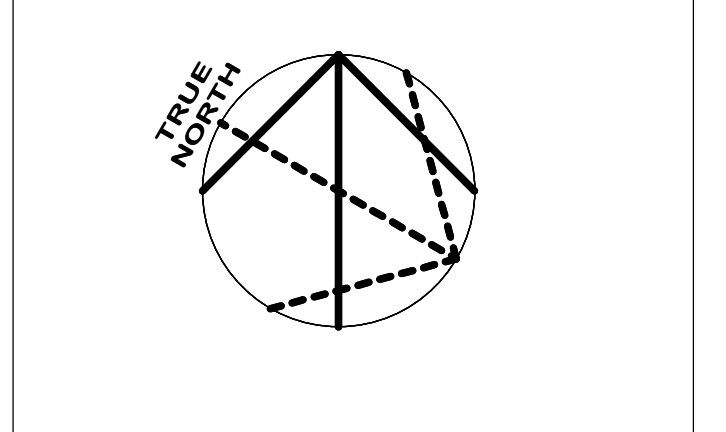
KEYED NOTES - FLOOR PLANS

TAG	DESCRIPTION
01	INFILL EXISTING FLOOR DEPRESSION WITH 4000PSI NORMAL WEIGHT CONCRETE WITH 608-W2 2X2.0 WWF. TOP OF NEW INFILL FLUSH WITH EXISTING CONCRETE FLOOR SURFACE AGAINST EXISTING EXTERIOR WALL PROVIDE 3/8" COMPRESSIBLE FILLER
02	REPAIR AND REPLACE DETERIORATED WINDOW PANES IN THIS LOCATION; ADD ALTERNATE - REPLACE ENTIRE GLAZING ASSEMBLY IN THIS LOCATION
03	INFILL EXISTING LIFT OPENING. REFER TO STRUC DWGS FOR ADD'L INFO
04	NEW RIGID INSULATION CRICKET
05	EXISTING ELECTRICAL EQUIPMENT AREA
06	EXISTING LOADING AREA
07	EXISTING RAMP TO REMAIN
08	NEW TEMPORARY ACCESS STAIRS/RAMP
09	NEW TEMPORARY WORK STAIRS AND RAMP. FIELD VERIFY/COORDINATE EQUIPMENT RAMP WIDTH AND LENGTH
10	APPLY CONCRETE FINISH TO MATCH EXISTING FOR AREA OF NEW WORK
11	APPLY 1HR FIRE RATED CALK AT NEW PARTITION AND EXISTING WALL JUNCTION
12	PAINT EACH SIDE OF WALL WITH WHITE SEMI-GLOSS LATEX PAINT. BOD: SHERWIN WILLIAMS

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

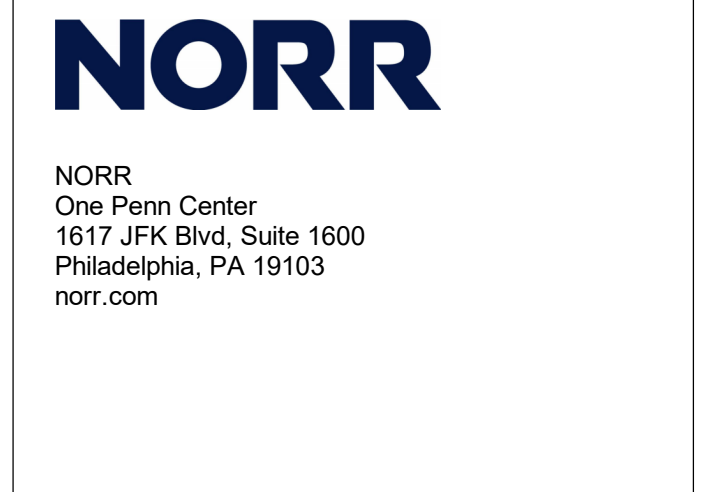


Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal

2



Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

Client

**COUNTY OF DELAWARE
 DEPARTMENT OF PUBLIC
 WORKS**

105 W 3RD ST, MEDIA, PA 19063

Project

**VOTING MACHINE
 WAREHOUSE ELEVATOR
 ADDITION**

403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title

**OVERALL FLOOR PLAN -
 SECOND FLOOR**

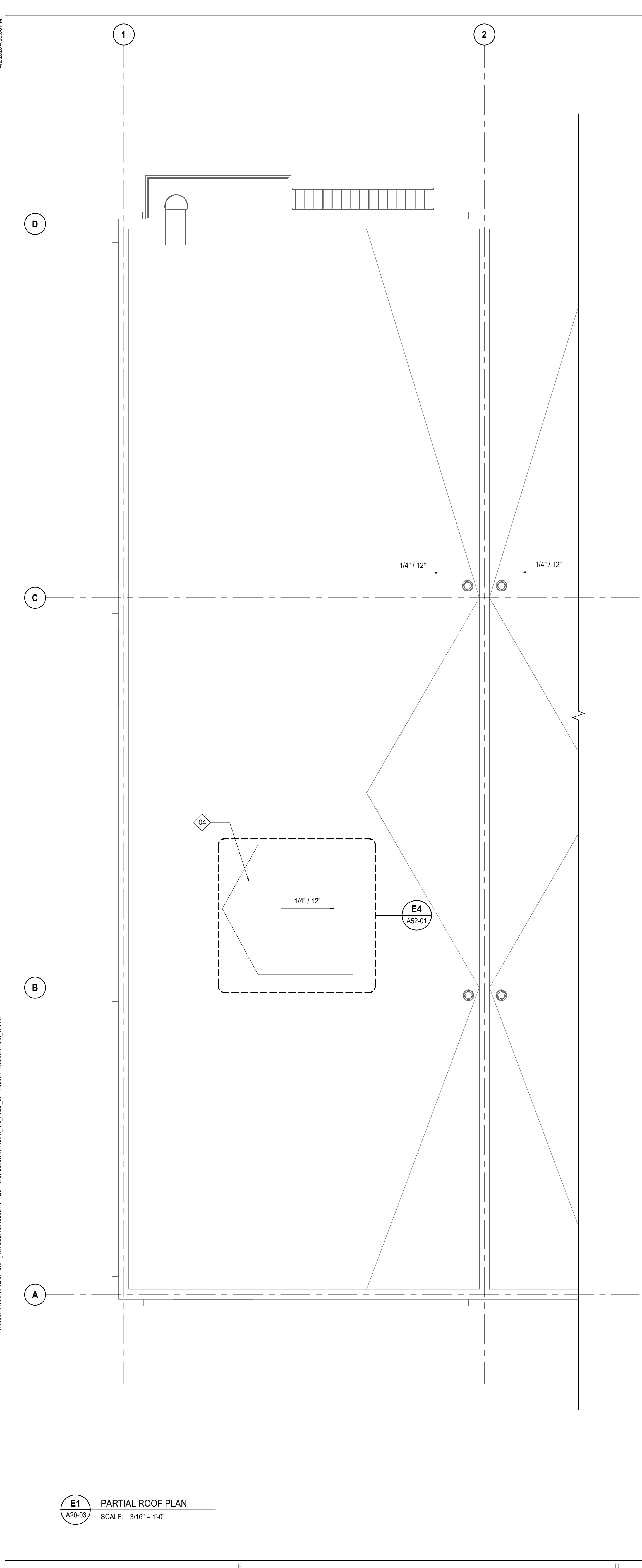
Project No.
IN2325-0323

Drawing No.
A20-02

ARCH E Title Block - 2023 - Rev (Sep/23) - Copyright © 2023

E1 OVERALL NEW FLOOR PLAN - SECOND FLOOR
 SCALE: 3/16" = 1'-0"

4/27/2025 4:28:58 PM

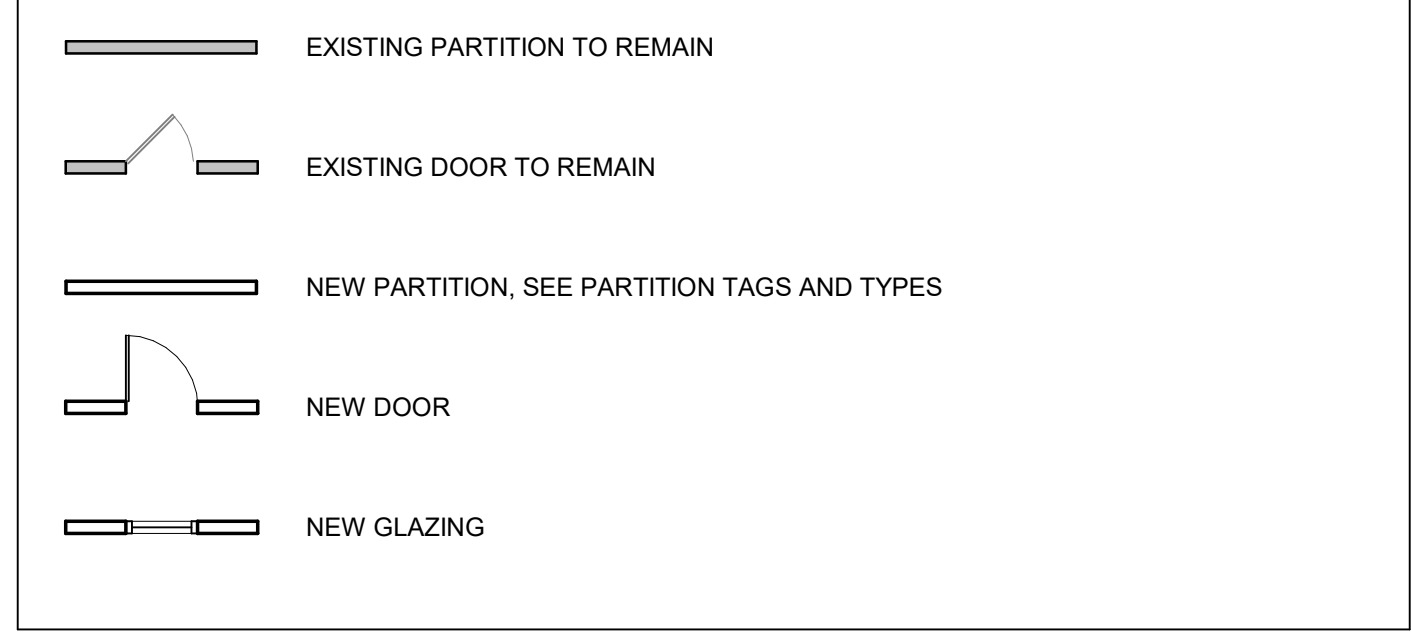


E1 PARTIAL ROOF PLAN
SCALE: 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT IMMEDIATELY. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
- DIMENSIONS NOTED "CLEAR" OR "CLR" OR "HOLD" MUST BE ACCURATELY MAINTAINED. SHALL ALLOW FOR THICKNESS OF ALL WALL FINISHES U.O.N., AND SHALL NOT VARY MORE THAN + 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD U.O.N.
- ALL FLOOR SLAB PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES. ANY PENETRATIONS AT RATED PARTITIONS TO BE PER APPLICABLE U.I. ASSEMBLY.
- U.O.N., DOORS ARE CENTERED OR HINGE SIDE IS TO BE LOCATED 4" FROM CORNER AS INDICATED. DOORS MUST HAVE 1'-6" CLEAR ON STRIKE/PULL SIDE AND 12" CLEAR ON STRIKE/PUSH SIDE OF DOOR. VERIFY AND ADVISE ARCHITECTS OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED.
- REFER TO ADD-SERIES SHEETS FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.
- ALL MILLWORK & WALL-HUNG FURNITURE TO BE FASTENED TO THE PARTITION. PROVIDE BLOCKING FOR ALL MILLWORK & WALL-HUNG FURNITURE NOT SUPPORTED BY THE SLAB OR ABOVE 4'-7" HEIGHT. ALL CONCEALED WOOD BLOCKING TO BE FIRE TREATED, AS REQUIRED BY APPLICABLE CODES.

FLOOR PLAN LEGEND - NEW WORK



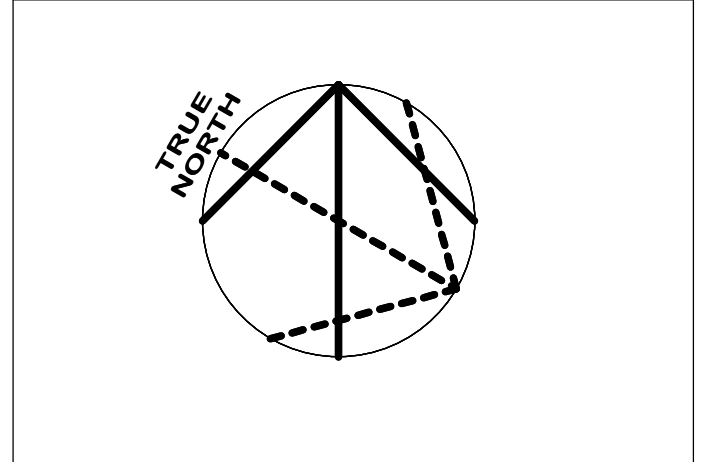
KEYED NOTES - FLOOR PLANS

TAG	DESCRIPTION
01	INFILL EXISTING FLOOR DEPRESSION WITH 4000PSI NORMAL WEIGHT CONCRETE WITH 600-W2.0X2.0 WWF. TOP OF NEW INFILL FLUSH WITH EXISTING CONCRETE FLOOR SURFACE AGAINST EXISTING EXTERIOR WALL PROVIDE 3/8" COMPRESSIBLE FILLER
02	REPAIR AND REPLACE DETERIORATED WINDOW PANES IN THIS LOCATION; ADD ALTERNATE - REPLACE ENTIRE GLAZING ASSEMBLY IN THIS LOCATION
03	INFILL EXISTING LIFT OPENING. REFER TO STRUC DWGS FOR ADD'L INFO
04	NEW RIGID INSULATION CRICKET
05	EXISTING ELECTRICAL EQUIPMENT AREA
06	EXISTING LOADING AREA
07	EXISTING RAMP TO REMAIN
08	NEW TEMPORARY ACCESS STAIRS/RAMP
09	NEW TEMPORARY WORK STAIRS AND RAMP. FIELD VERIFY/COORDINATE EQUIPMENT RAMP WIDTH AND LENGTH
10	APPLY CONCRETE FINISH TO MATCH EXISTING FOR AREA OF NEW WORK
11	APPLY 1HR FIRE RATED CALK AT NEW PARTITION AND EXISTING WALL JUNCTION
12	PAINT EACH SIDE OF WALL WITH WHITE SEMI-GLOSS LATEX PAINT. BOD: SHERWIN WILLIAMS

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer



Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal



Project Manager: BM
Project Architect: CP

Drawn: Author
Checked: Checker

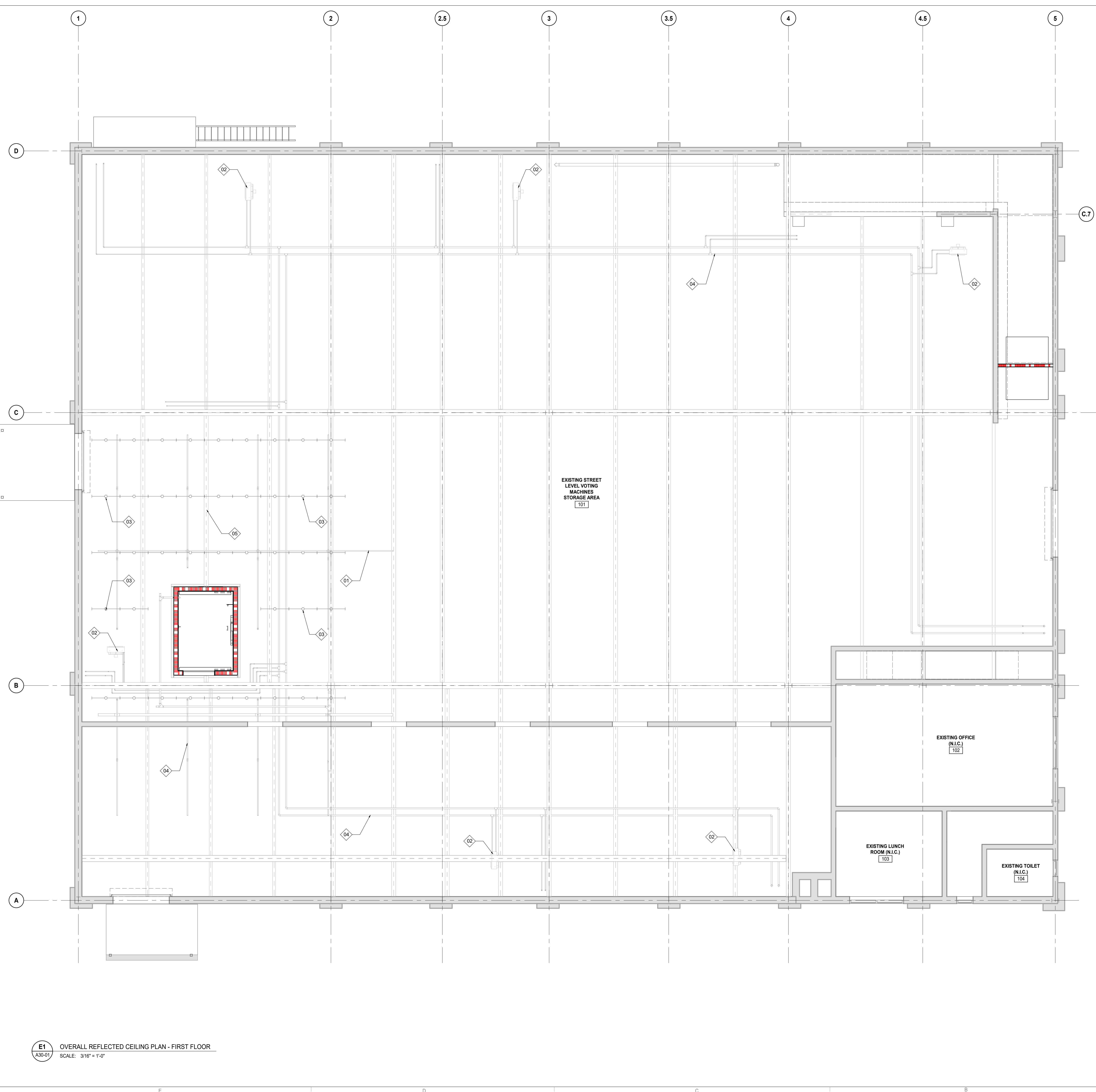
Client: COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS
105 W 3RD ST, MEDIA, PA 19063

Project: VOTING MACHINE WAREHOUSE ELEVATOR ADDITION
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title: PARTIAL ROOF PLAN

Project No.: IN2325-0323
Drawing No.: A20-03

4/27/2024 4:26:10 PM
 Autodesk Docs (DWG) - Voting Machine Warehouse Elevator Addition (N2325-0323_A30-01) - Voting Machine Warehouse Elevator Addition (N2325-0323_A30-01) - Voting Machine Warehouse Elevator Addition (N2325-0323_A30-01)

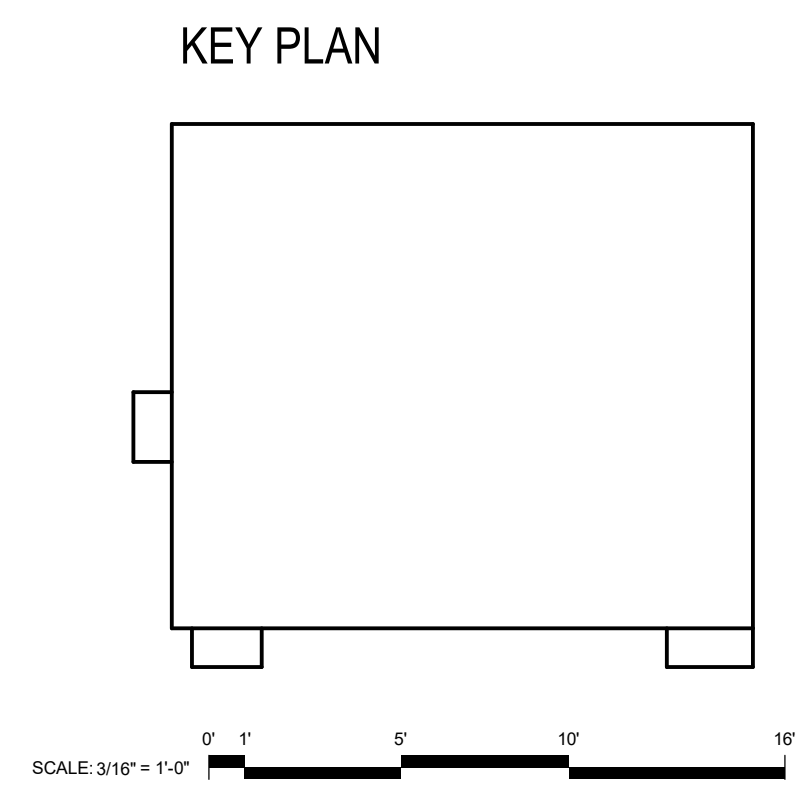


E1 OVERALL REFLECTED CEILING PLAN - FIRST FLOOR
 SCALE: 3/16" = 1'-0"

- REFLECTED CEILING PLAN GENERAL NOTES**
1. THE CONTRACTOR SHALL PROVIDE AND INSTALL CEILING SYSTEMS AND CONSTRUCTION AS DESIGNATED ON THE REFLECTED CEILING PLANS OF THESE DRAWINGS AND NOTES.
 2. COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEMS, ETC. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS.
 3. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, AND FIXTURE LAMPS AS REQUIRED.
 4. LIGHT FIXTURES, EXIT SIGNS, SPRINKLERS, AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN THE CENTER OF INDIVIDUAL CEILING TILES, U.O.N.
 5. CEILINGS IN CLOSETS AND STORAGE AREAS SHALL BE OF THE SAME HEIGHTS AND CONSTRUCTION AS THAT OF ADJOINING SPACES, U.O.N.
 6. NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, STRUCTURES, HVAC, AND/OR EXISTING CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING GRID AND ACTUAL FIELD CONDITION ARE TO BE CLARIFIED WITH ARCHITECT PRIOR TO FRAMING.
 7. INSTALL LIGHT FIXTURES WITH PROTECTIVE FILM OR SIM. COVER OVER LOUVER, LENS, BAFFLE, ETC. TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. LAMPS SHALL BE NEW AT PROJECT COMPLETION.
 8. ARCHITECTURAL DRAWINGS DETERMINE LOCATION OF ALL FIXTURES AND TAKE PRECEDENCE OVER ALL OTHERS, U.O.N.

KEYED NOTES - REFLECTED CEILING PLANS

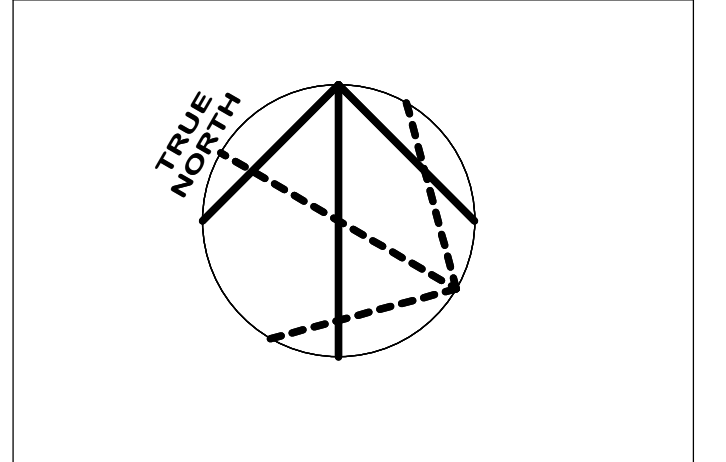
TAG	DESCRIPTION
01	REATTACH EXISTING MECHANICAL EQUIPMENT TO NEW STEEL BEAM
02	MECHANICAL EQUIPMENT, COORDINATE WITH MECHANICAL DRAWINGS
03	LIGHTING. SEE ELECTRICAL DRAWINGS FOR MORE INFO
04	PLUMBING PIPING. SEE MECHANICAL DRAWINGS.
05	STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS.
06	ROOF DRAIN. COORDINATE PLACEMENT WITH STRUCTURAL DRAWINGS. VIF.



DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team

Architecture: NORR
 Structural: NORR
 Mechanical: NORR
 Electrical: NORR

Seal

NORR

NORR
 One Penn Center
 1917 JFK Blvd, Suite 1600
 Philadelphia, PA 19103
 norr.com

Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

Client
**COUNTY OF DELAWARE
 DEPARTMENT OF PUBLIC
 WORKS**
 105 W 3RD ST, MEDIA, PA 19063

Project
**VOTING MACHINE
 WAREHOUSE ELEVATOR
 ADDITION**
 403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title
**OVERALL REFLECTED
 CEILING PLAN - FIRST
 FLOOR**

Project No.
 IN2325-0323

Drawing No.
A30-01

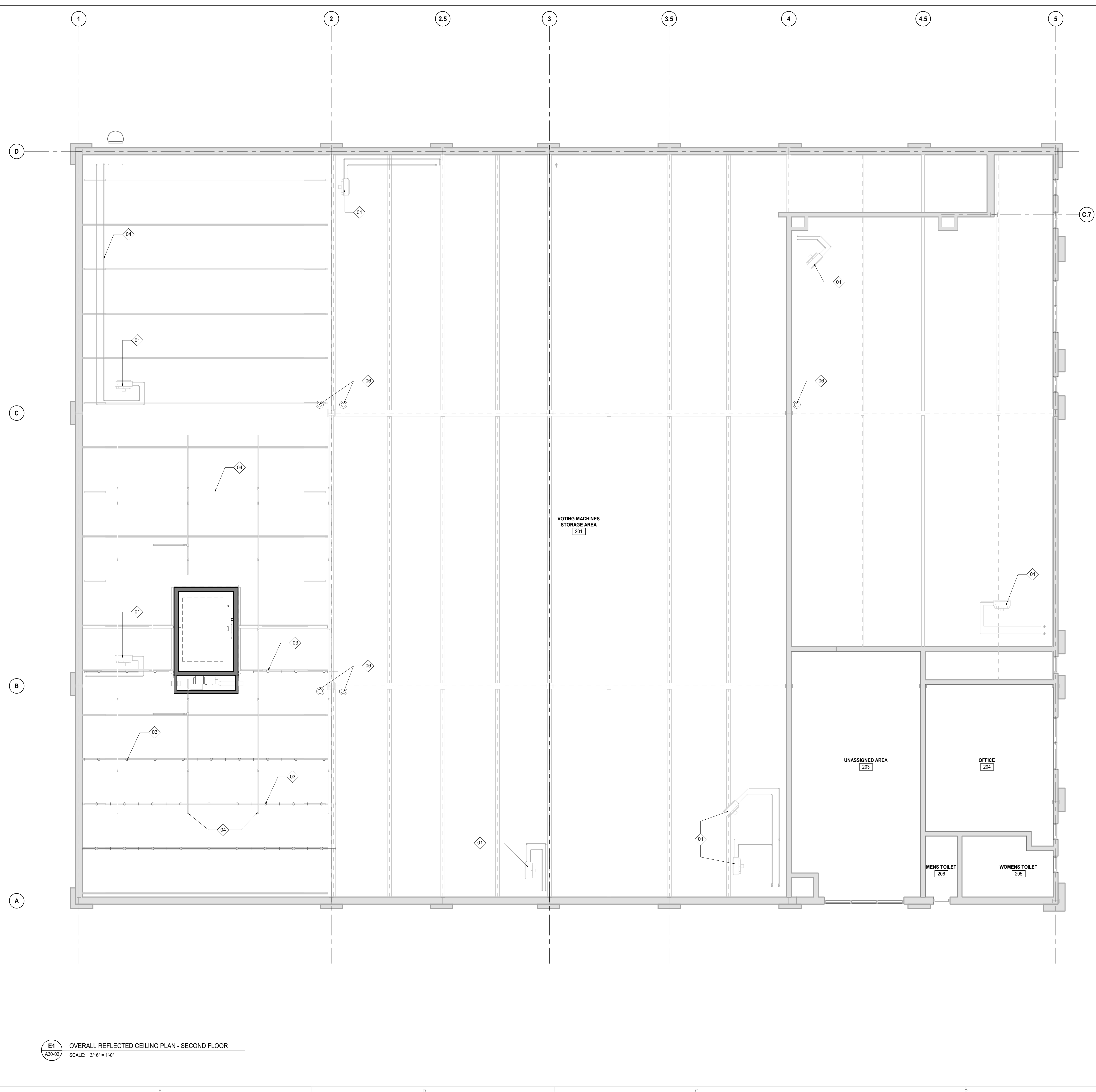
ARCH E Title Block - © 2023 - Rev (Sep23) - Copyright © 2023

4/27/2025 4:26:11 PM

Architect: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Architect: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

ARCH E Title Block - 2023 - Rev (Sep23) - Copyright © 2023



- REFLECTED CEILING PLAN GENERAL NOTES**
1. THE CONTRACTOR SHALL PROVIDE AND INSTALL CEILING SYSTEMS AND CONSTRUCTION AS DESIGNATED ON THE REFLECTED CEILING PLANS OF THESE DRAWINGS AND NOTES.
 2. COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEMS, ETC. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS.
 3. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, AND FIXTURE LAMPS AS REQUIRED.
 4. LIGHT FIXTURES, EXIT SIGNS, SPRINKLERS, AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN THE CENTER OF INDIVIDUAL CEILING TILES, U.O.N.
 5. CEILINGS IN CLOSETS AND STORAGE AREAS SHALL BE OF THE SAME HEIGHTS AND CONSTRUCTION AS THAT OF ADJOINING SPACES, U.O.N.
 6. NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, STRUCTURES, HVAC, AND/OR EXISTING CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING GRID AND ACTUAL FIELD CONDITION ARE TO BE CLARIFIED WITH ARCHITECT PRIOR TO FRAMING.
 7. INSTALL LIGHT FIXTURES WITH PROTECTIVE FILM OR SIM. COVER OVER LOUVER, LENS, BAFFLE, ETC. TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. LAMPS SHALL BE NEW AT PROJECT COMPLETION.
 8. ARCHITECTURAL DRAWINGS DETERMINE LOCATION OF ALL FIXTURES AND TAKE PRECEDENCE OVER ALL OTHERS, U.O.N.

KEYED NOTES - REFLECTED CEILING PLANS

#	DESCRIPTION
01	REATTACH EXISTING MECHANICAL EQUIPMENT TO NEW STEEL BEAM
02	MECHANICAL EQUIPMENT. COORDINATE WITH MECHANICAL DRAWINGS
03	LIGHTING. SEE ELECTRICAL DRAWINGS FOR MORE INFO
04	PLUMBING PIPING. SEE MECHANICAL DRAWINGS.
05	STRUCTURAL FRAMING. SEE STRUCTURAL DRAWINGS
06	ROOF DRAIN. COORDINATE PLACEMENT WITH STRUCTURAL DRAWINGS. VIF.

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer



Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal



Project Manager: BM
Project Architect: CP

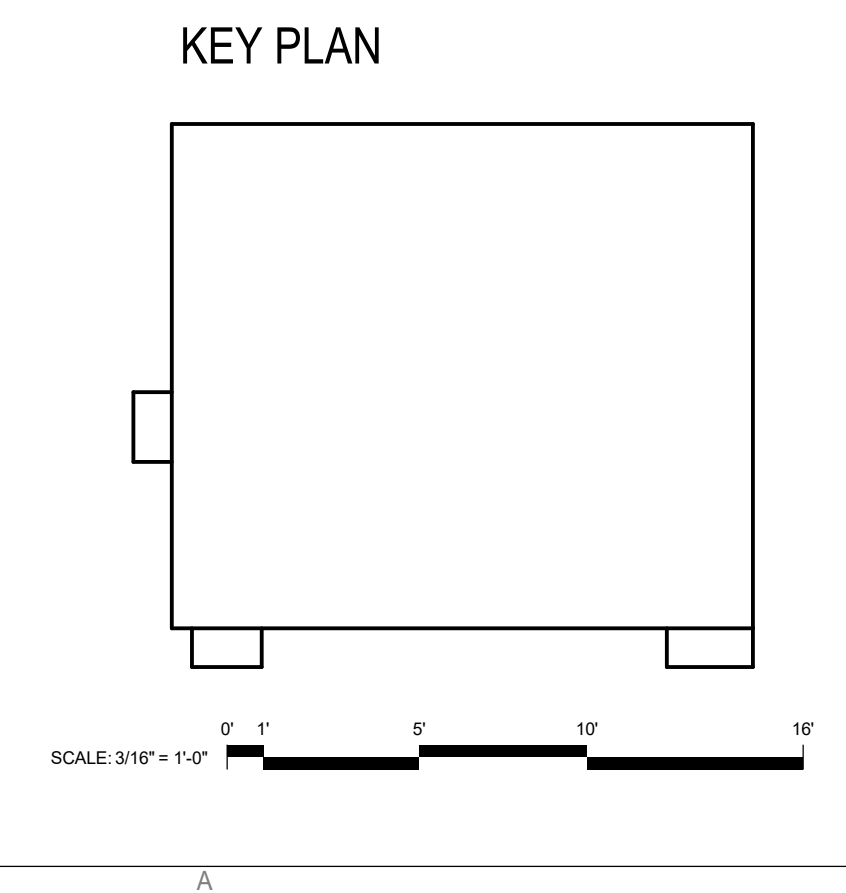
Drawn: Author
Checked: Checker

Client:
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project:
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title:
**OVERALL REFLECTED
CEILING PLAN - SECOND
FLOOR**

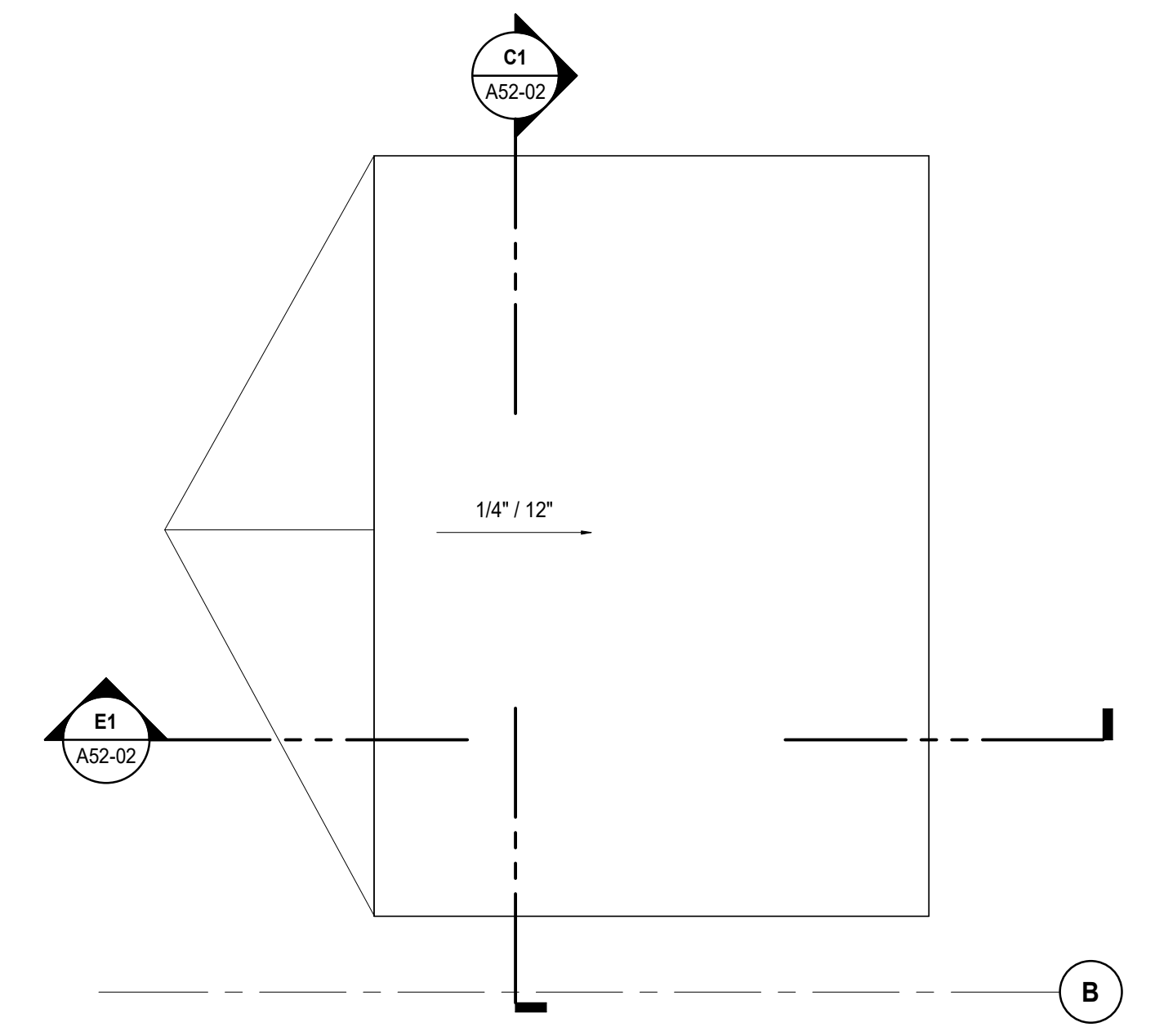
Project No.: IN2325-0323
Drawing No.: **A30-02**



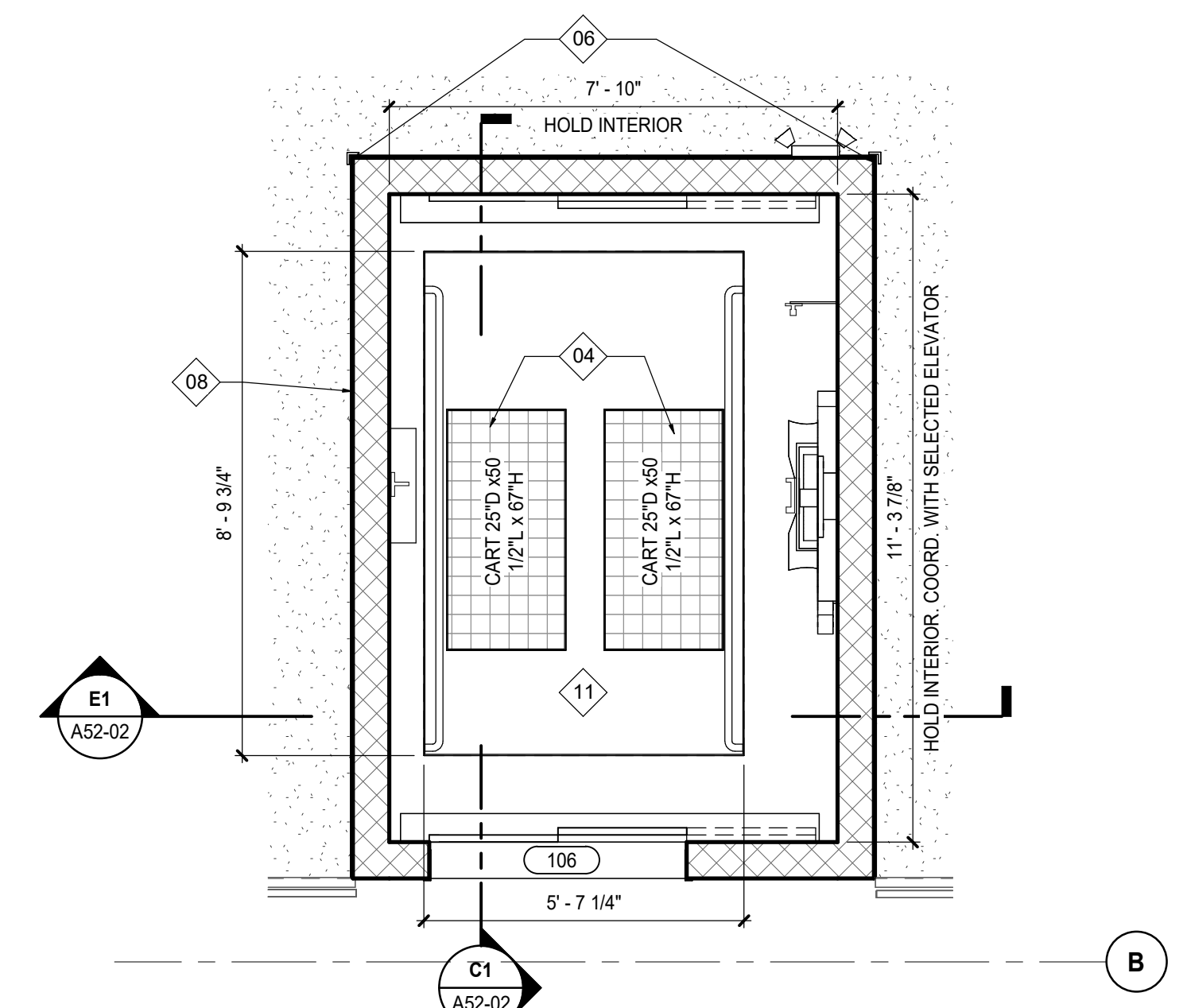
E1 OVERALL REFLECTED CEILING PLAN - SECOND FLOOR
SCALE: 3/16" = 1'-0"

DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

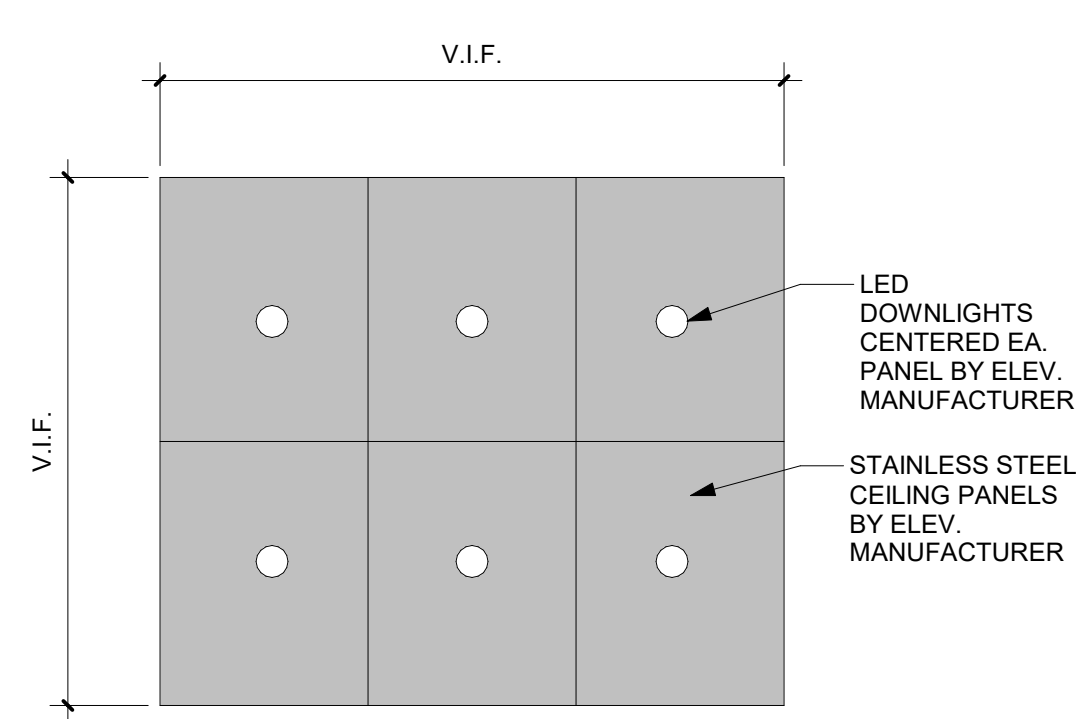
#	KEYED NOTES - ELEVATOR
TAG	DESCRIPTION
01	SERVICE ELEVATOR BOB: KONE MONOSPACE 500 DX, 5000LBS CAPACITY
02	NEW ELEVATOR SUMP PIT AND GRATE. REFER TO ELEV MANUF SPECIFICATIONS FOR ADD'L INFO
03	NEW ELEVATOR PIT LADDER. SEE ELEV MANUF. SPECIFICATIONS
04	CARTS SHOWN FOR REFERENCE. NOT IN CONTRACT
05	PROVIDE DEFLECTION TRACK AT TOP OF PARTITION TO ACCOMMODATE 1/2" MOVEMENT
06	PROVIDE 48" HIGH, HEAVY DUTY, INDUSTRIAL-GRADE HIGH-DENSITY POLYETHYLENE CORNER GUARD. BOB: DURABLE CORP
07	PROVIDE SILICONE SEALANT. BOB: SIKA
08	PAINT FIRST AND SECOND FLOORS SHAFT WALL PERIMETER FACES FROM FLOOR TO BOTTOM OF STRUCTURE ABOVE WITH ONE COAT PREPARE BLOCK FILLER AND TWO TOP COATS PROMAR 200 INTERIOR WATERBASED ACRYLIC ALKYD PAINT
09	PAINT CONTROL CLOSET WALL FACES WITH TWO COATS PROMAR 200 INTERIOR WATERBASED ACRYLIC ALKYD PAINT
10	6" VINYL WALL BASE AT PERIMETER CONTROL CLOSET WALL FACES. BOB: TARKETT, COLOR: TBD
11	REFER TO MANUFACTURER SPECIFICATIONS FOR CAR DIMENSIONS
12	EMERGENCY WALL PACK. REFER TO ELECTRICAL DRAWINGS
13	EXTENT OF NEW CONCRETE FLOOR BELOW. REFER TO ARCH SECTION DETAIL B1/A52-03
14	NEW ELEVATOR PIT LADDER. SEE ELEV MANUF. SPECIFICATIONS
15	NEW VINYL WALL BASE AT SHAFT PERIMETER AT EACH FLOOR. BOB: TARKETT
16	ELEVATOR CAR RAILINGS. COLOR: BRUSHED STAINLESS STEEL



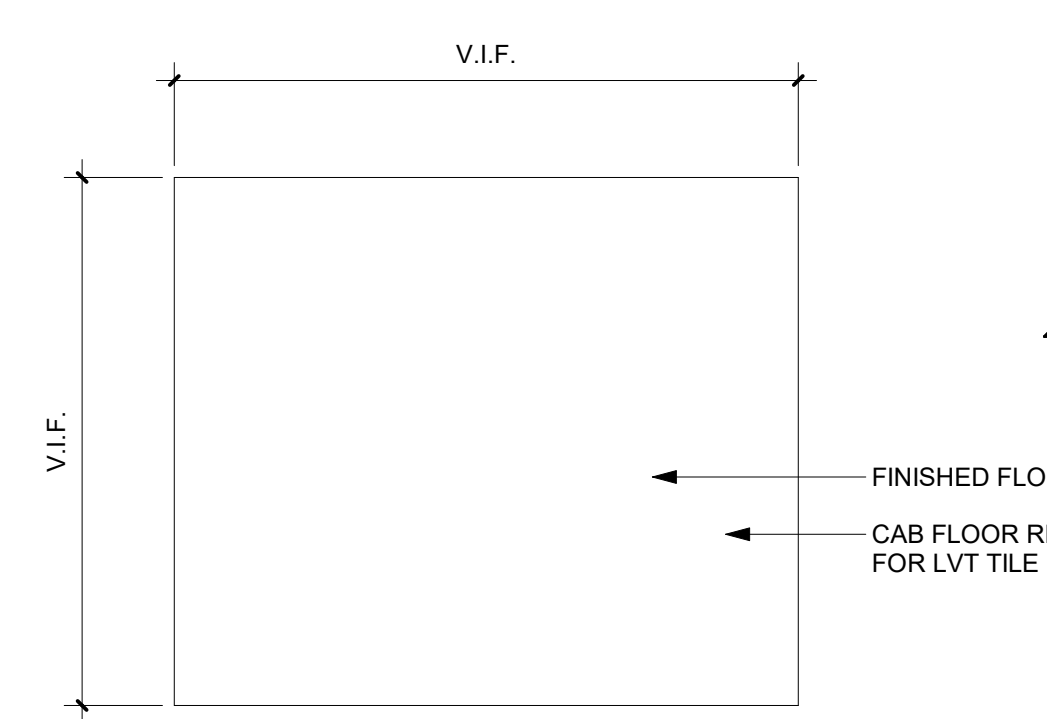
E4 ENLARGED ELEVATOR PLAN - ROOF
SCALE: 3/8\"/>



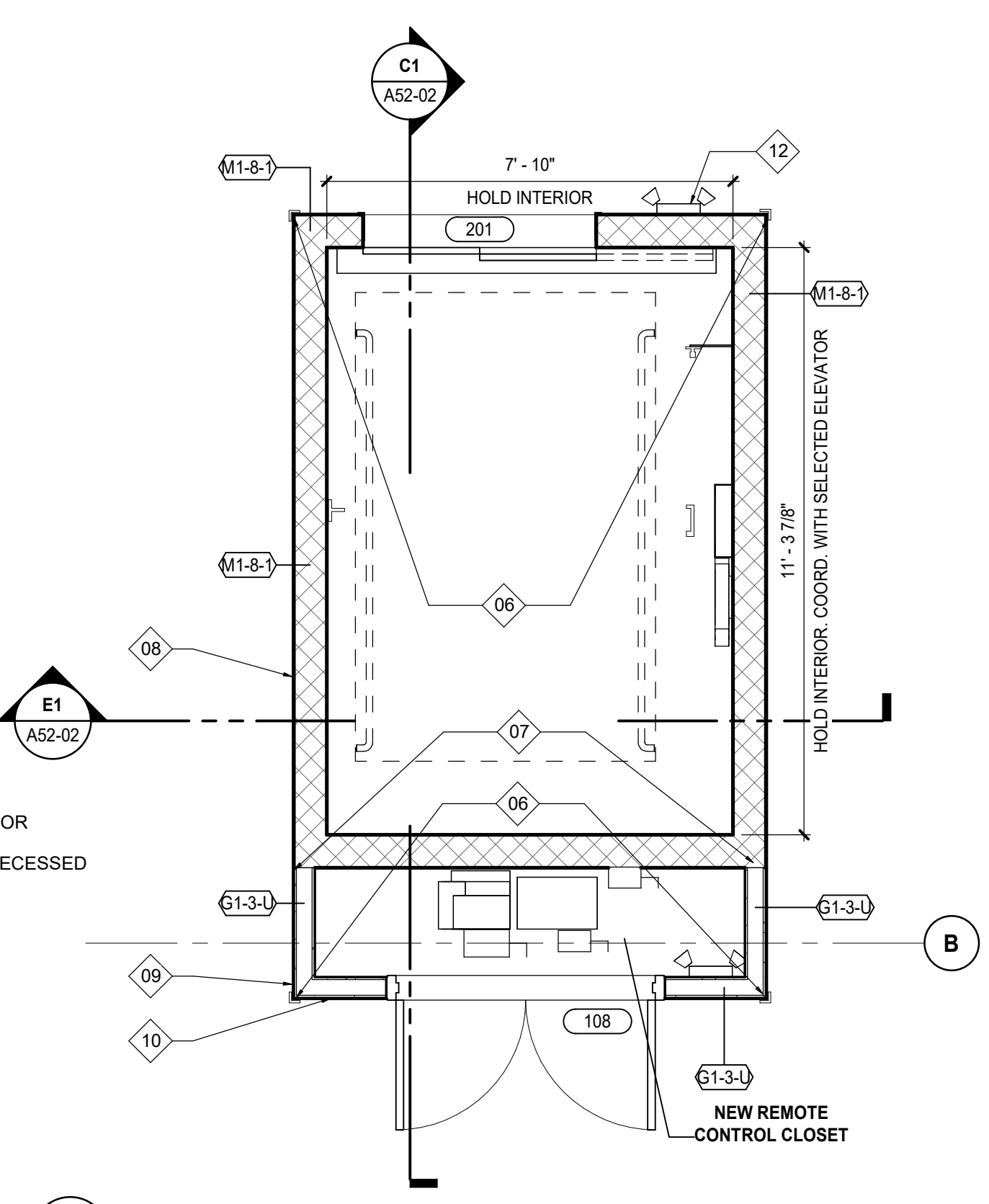
C3 ENLARGED ELEVATOR PLAN - INTERMEDIATE FLOOR
SCALE: 3/8\"/>



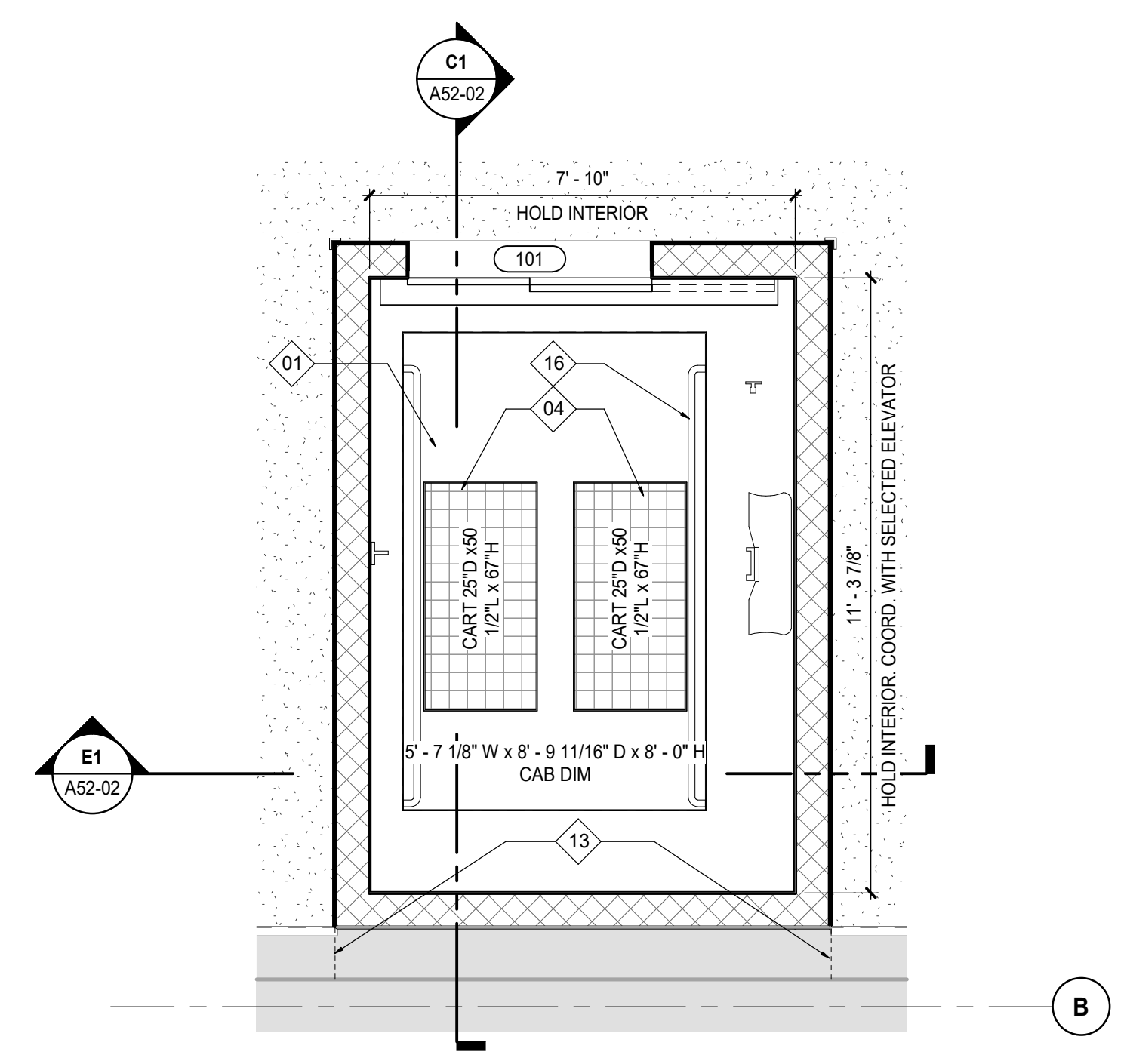
E2 ELEVATOR - CAB CEILING PLAN
SCALE: 1/2\"/>



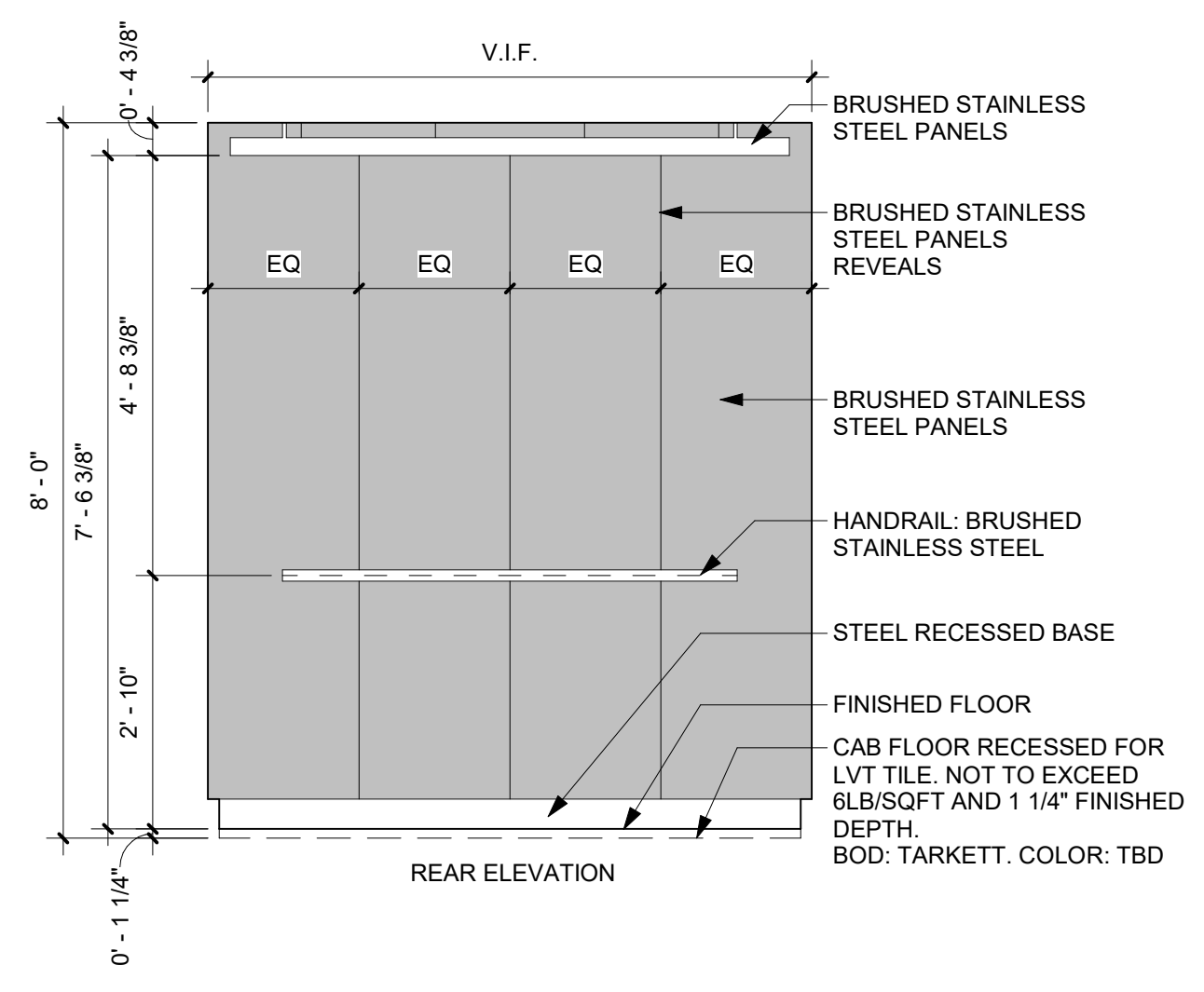
D2 ELEVATOR - CAB FLOOR PLAN
SCALE: 1/2\"/>



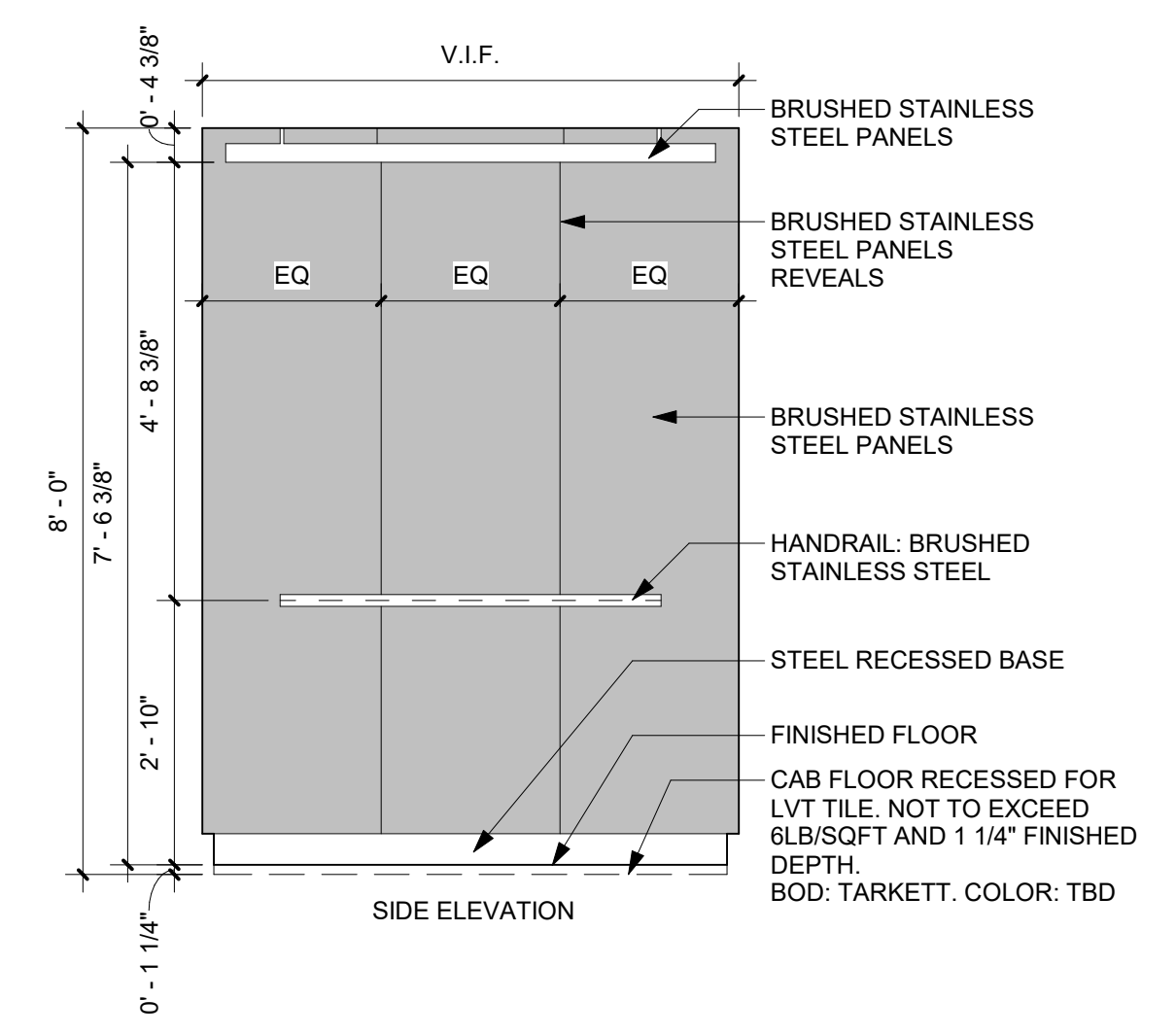
C2 ENLARGED ELEVATOR PLAN - SECOND FLOOR
SCALE: 3/8\"/>



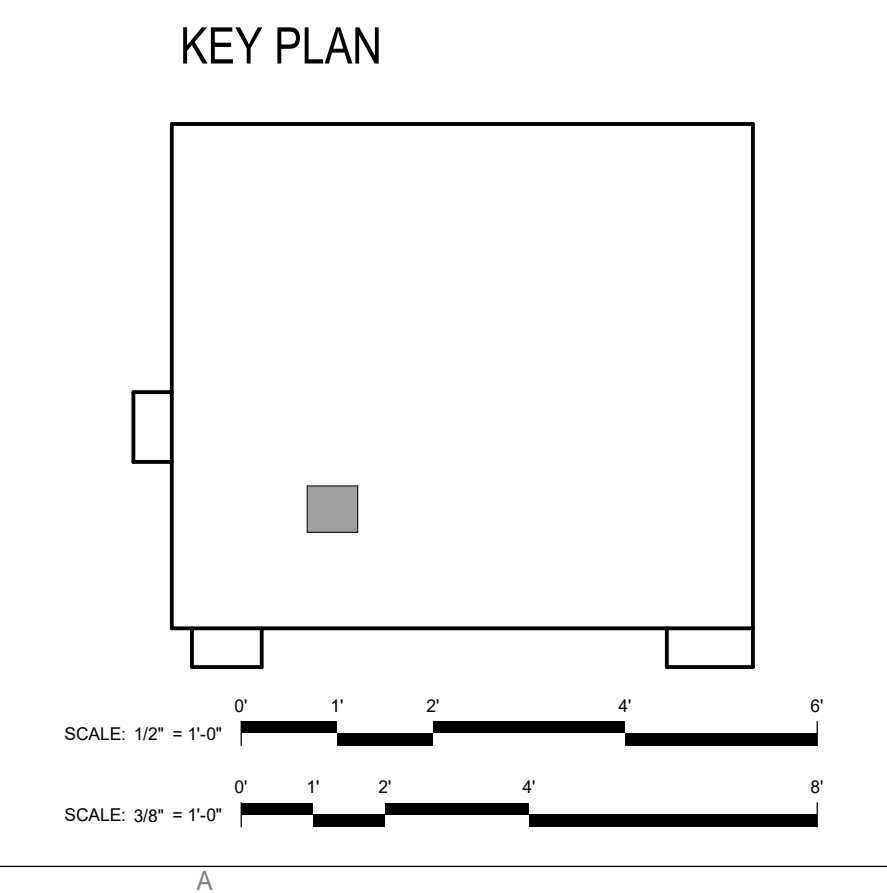
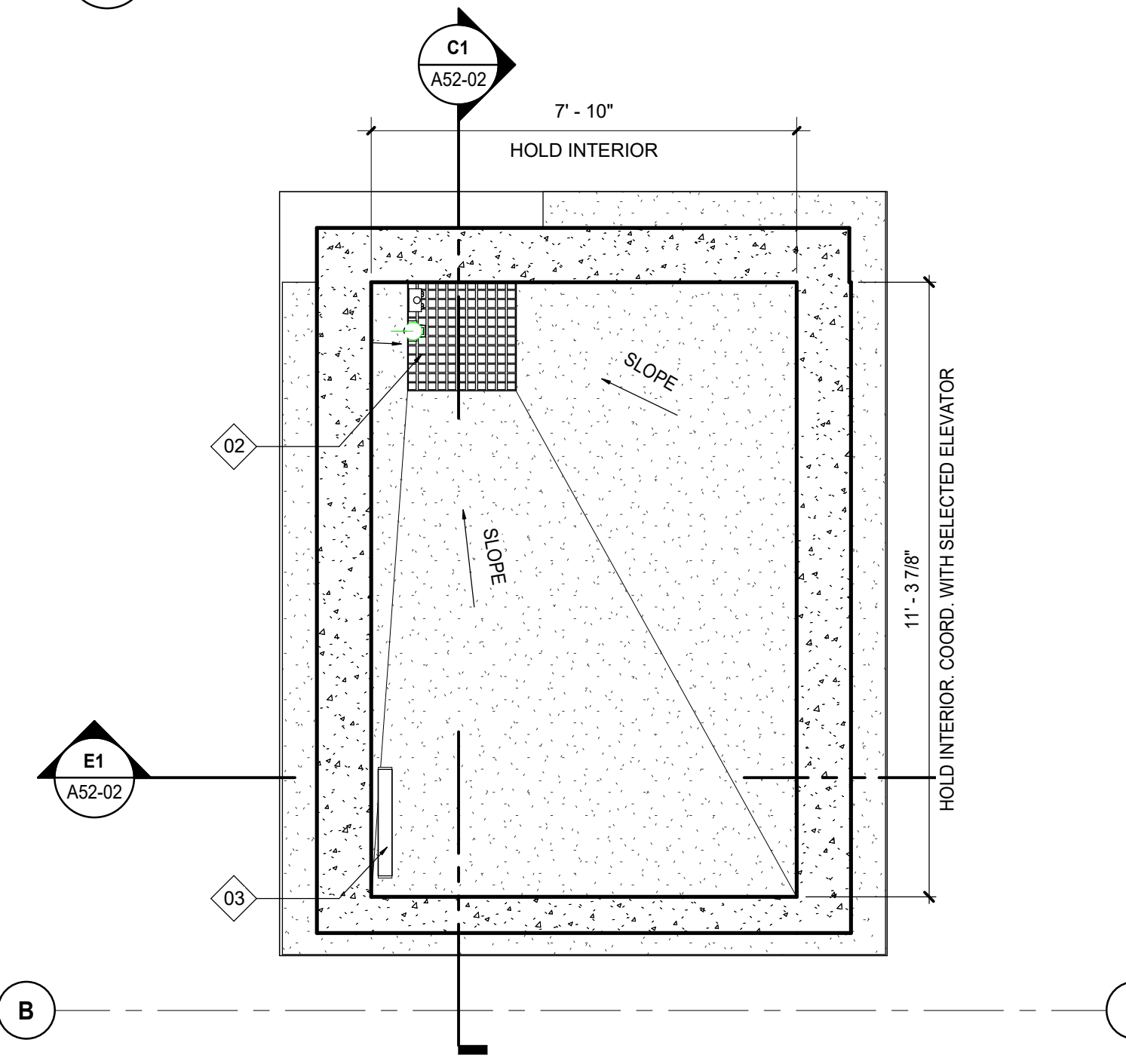
B2 ENLARGED ELEVATOR PLAN - FIRST FLOOR
SCALE: 3/8\"/>



E1 ELEVATOR - CAB ELEVATIONS
SCALE: 1/2\"/>



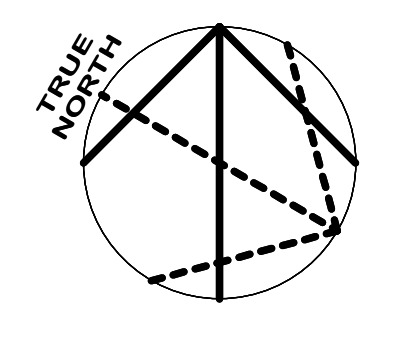
B1 ENLARGED PLAN - ELEVATOR PIT
SCALE: 3/8\"/>



DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A

This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



Design Team	
Architecture:	NORR
Structural:	NORR
Mechanical:	NORR
Electrical:	NORR

Seal

NORR

NORR
One Penn Center
1517 JFK Blvd, Suite 1600
Philadelphia, PA 19103
nor.com

Project Manager	Drawn
BM	Author
Project Architect	Checked
CP	Checker

Client
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

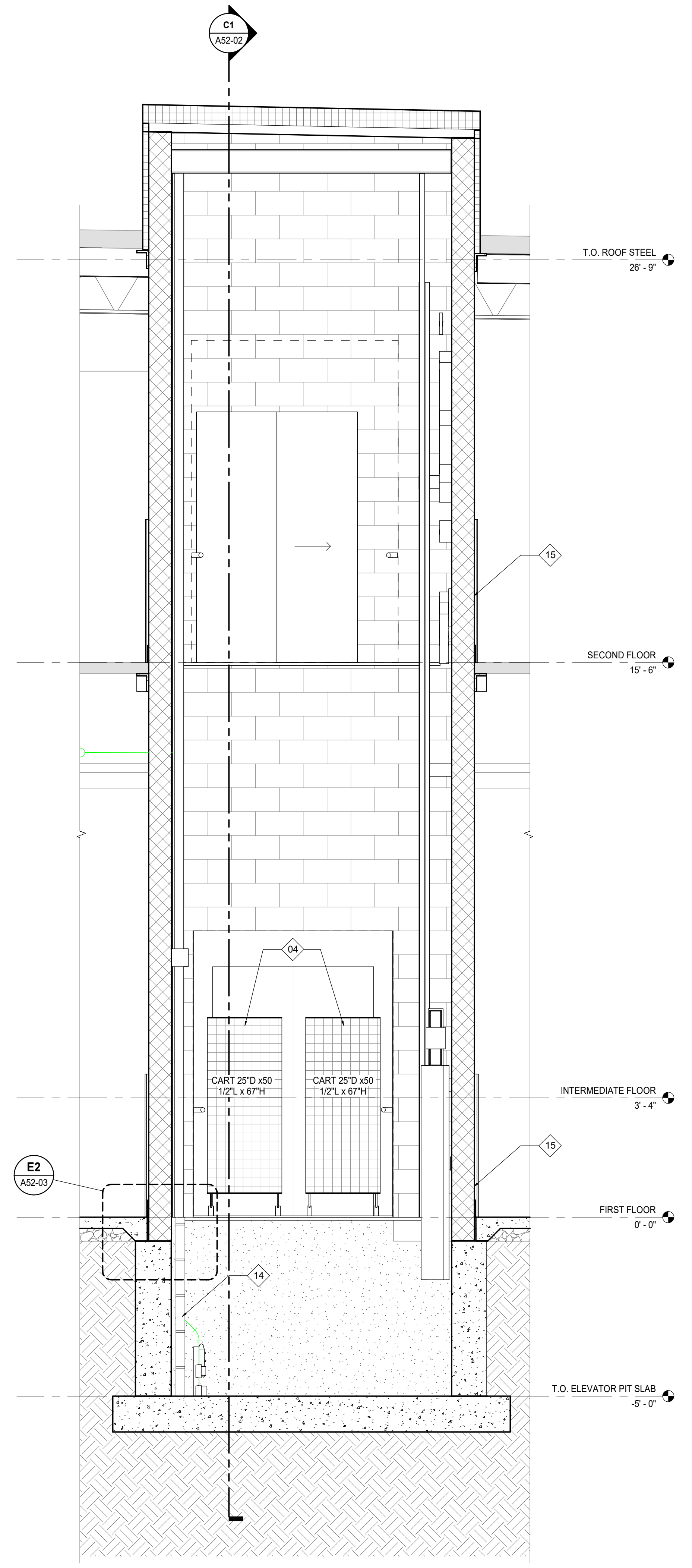
Project
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title
**VERTICAL
TRANSPORTATION PLANS
AND ELEVATIONS**

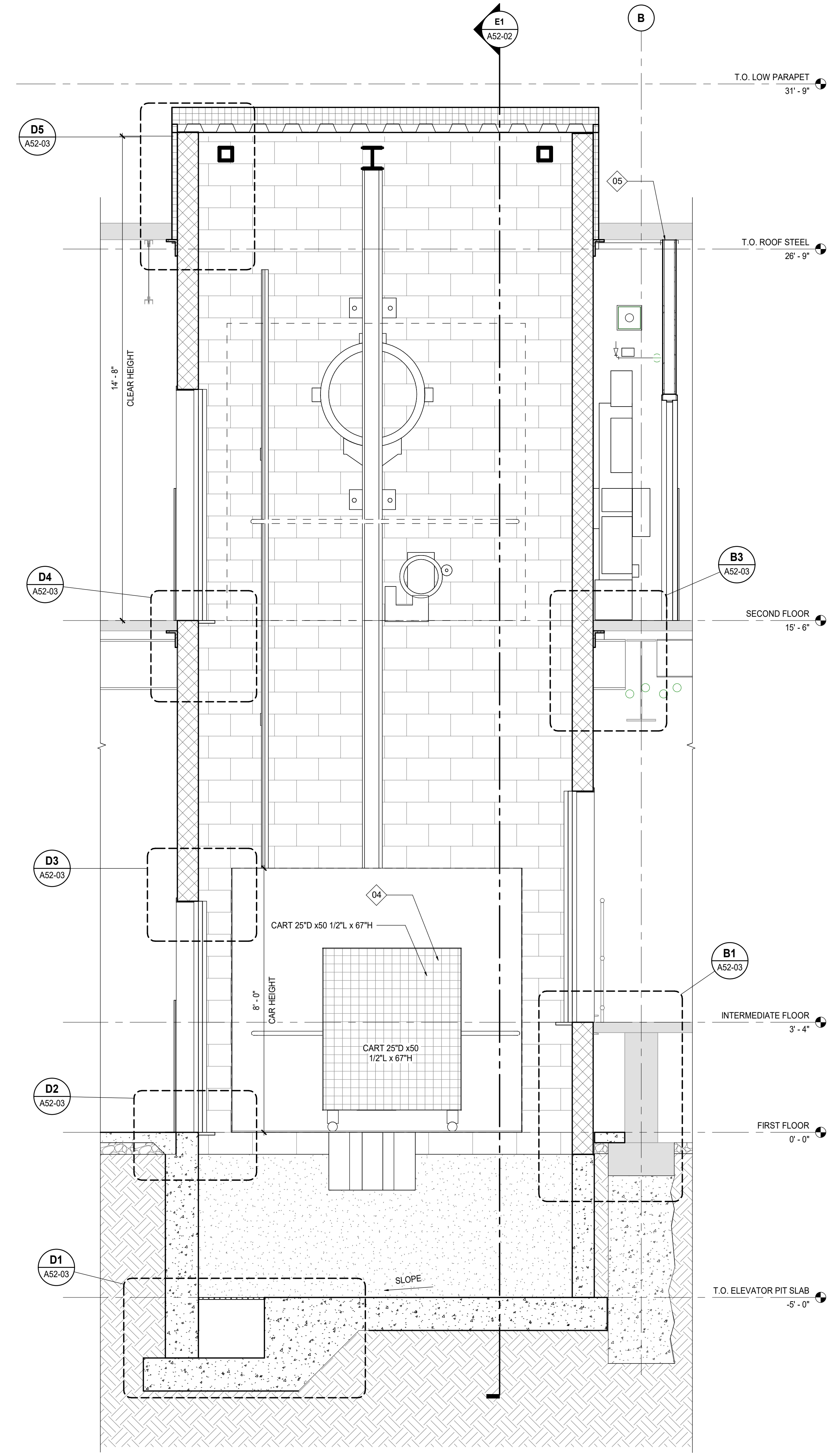
Project No.	IN2325-0323
Drawing No.	A52-01

KEYED NOTES - ELEVATOR	
TAG	DESCRIPTION
01	SERVICE ELEVATOR BOD: KONE MONOSPACE 500 DX, 5000LBS CAPACITY
02	NEW ELEVATOR SUMP PIT AND GRATE: REFER TO ELEV MANUF. SPECIFICATIONS FOR ADD'L INFO
03	NEW ELEVATOR PIT LADDER: SEE ELEV MANUF. SPECIFICATIONS
04	CARTS SHOWN FOR REFERENCE. NOT IN CONTRACT
05	PROVIDE DEFLECTION TRACK AT TOP OF PARTITION TO ACCOMMODATE 1/2" MOVEMENT
06	PROVIDE 48" HIGH, HEAVY DUTY, INDUSTRIAL-GRADE HIGH-DENSITY POLYETHYLENE CORNER GUARD: BOD: DURABLE CORP
07	PROVIDE SILICONE SEALANT: BOD: SIKA
08	PAINT FIRST AND SECOND FLOORS SHAFT WALL PERIMETER: FACES FROM FLOOR TO BOTTOM OF STRUCTURE ABOVE: WITH ONE COAT PREPRITE BLOCK FILLER AND TWO TOP COATS PROMAR 200 INTERIOR WATERBASED ACRYLIC ALKYD PAINT
09	PAINT CONTROL CLOSET WALL FACES WITH TWO COATS PROMAR 200 INTERIOR WATERBASED ACRYLIC ALKYD PAINT
10	6" VINYL WALL BASE AT PERIMETER CONTROL CLOSET WALL FACES: BOD: TARKETT, COLOR: TBD
11	REFER TO MANUFACTURER SPECIFICATIONS FOR CAR DIMENSIONS
12	EMERGENCY WALLPACK: REFER TO ELECTRICAL DRAWINGS
13	EXTENT OF NEW CONCRETE FLOOR BELOW: REFER TO ARCH SECTION DETAIL B1/A52-03
14	NEW ELEVATOR PIT LADDER: SEE ELEV MANUF. SPECIFICATIONS
15	NEW VINYL WALL BASE AT SHAFT PERIMETER AT EACH FLOOR: BOD: TARKETT
16	ELEVATOR CAR RAILINGS: COLOR: BRUSHED STAINLESS STEEL

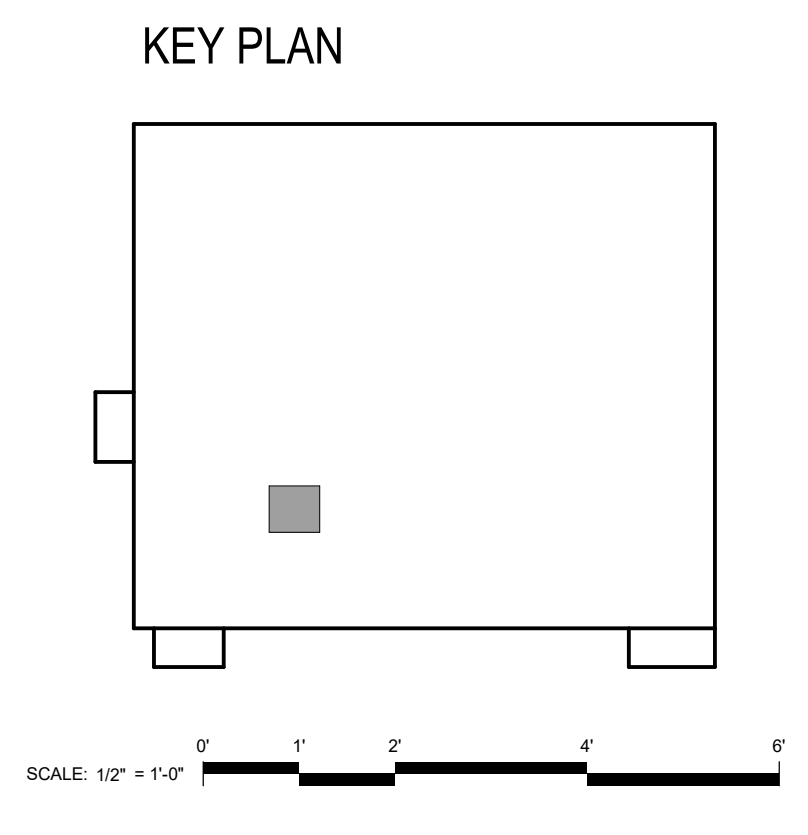
DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A



E1
A52-02
ENLARGED ELEVATOR TRAVERSE SECTION
SCALE: 1/2" = 1'-0"



C1
A52-02
ENLARGED ELEVATOR LONGITUDINAL SECTION
SCALE: 1/2" = 1'-0"



This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Design Team

Architecture: NORR
Structural: NORR
Mechanical: NORR
Electrical: NORR

Seal

NORR

NORR
One Penn Center
1917 JFK Blvd, Suite 1600
Philadelphia, PA 19103
norr.com

Project Manager BM	Drawn Author
Project Architect CP	Checked Checker

Client

**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**

105 W 3RD ST, MEDIA, PA 19063

Project

**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**

403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title

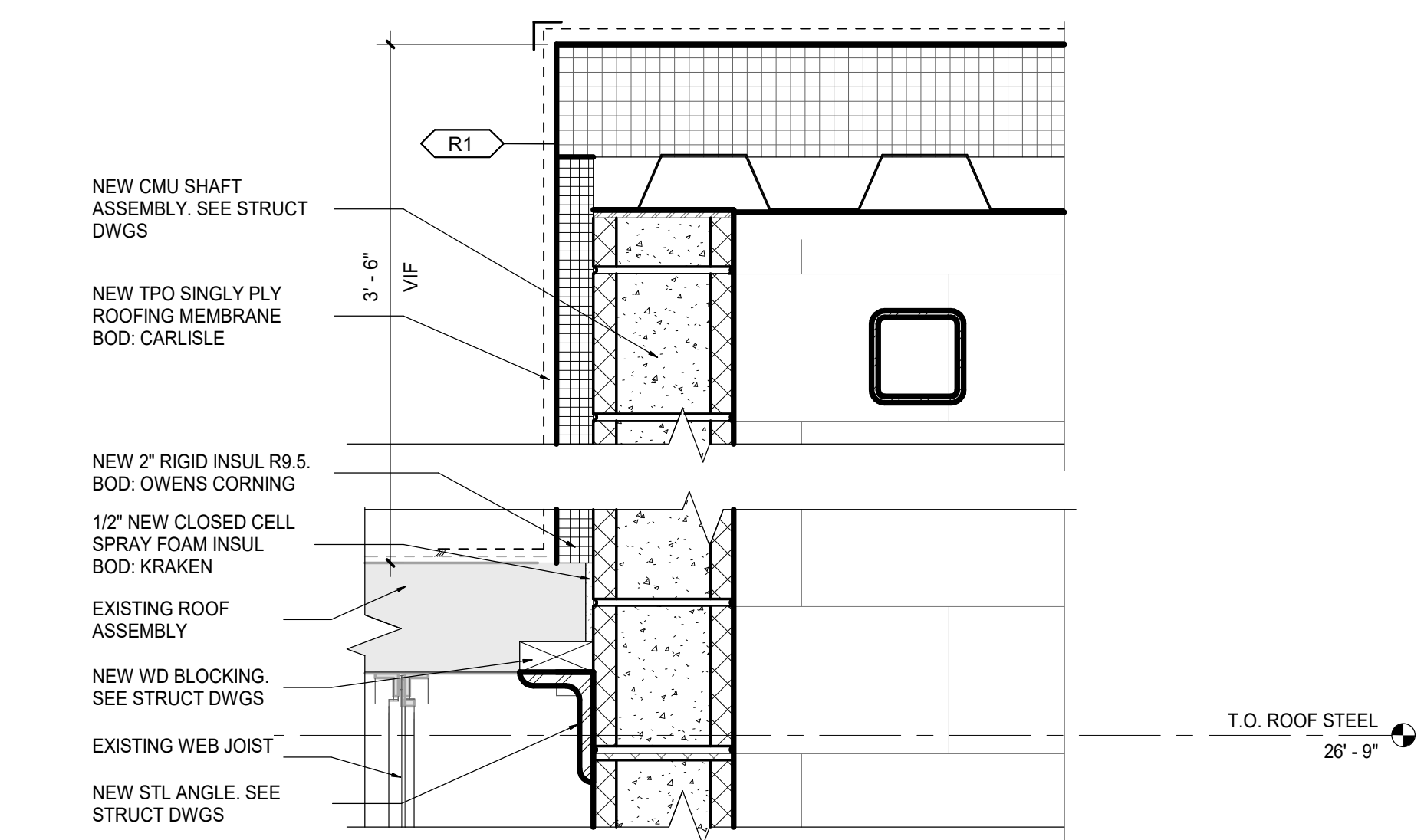
**VERTICAL
TRANSPORTATION
SECTIONS**

Project No.
IN2325-0323

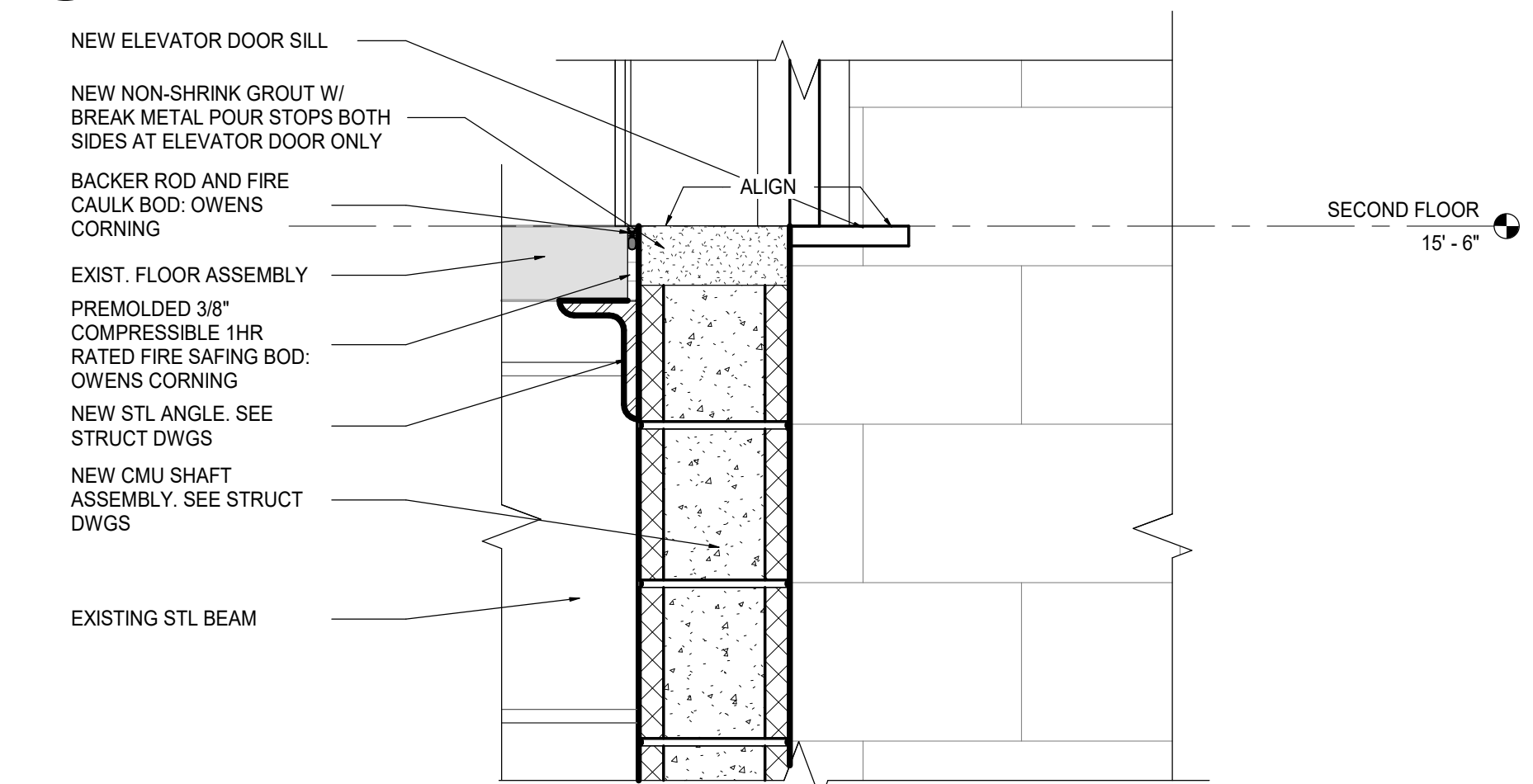
Drawing No.
A52-02

ARCH E Title Block - 2023 - Rev (Sep/23) - Copyright © 2023

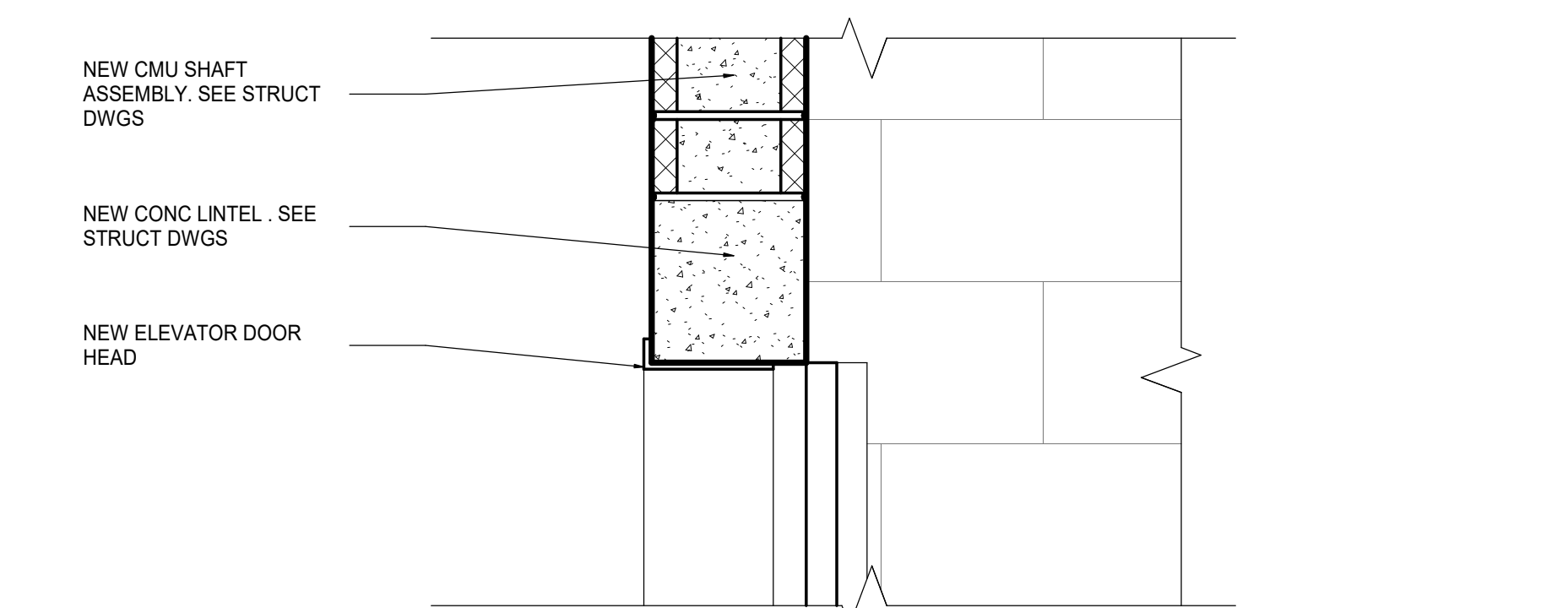
DATE	ISSUED FOR	REV
2026.03.04	BIDDING	A



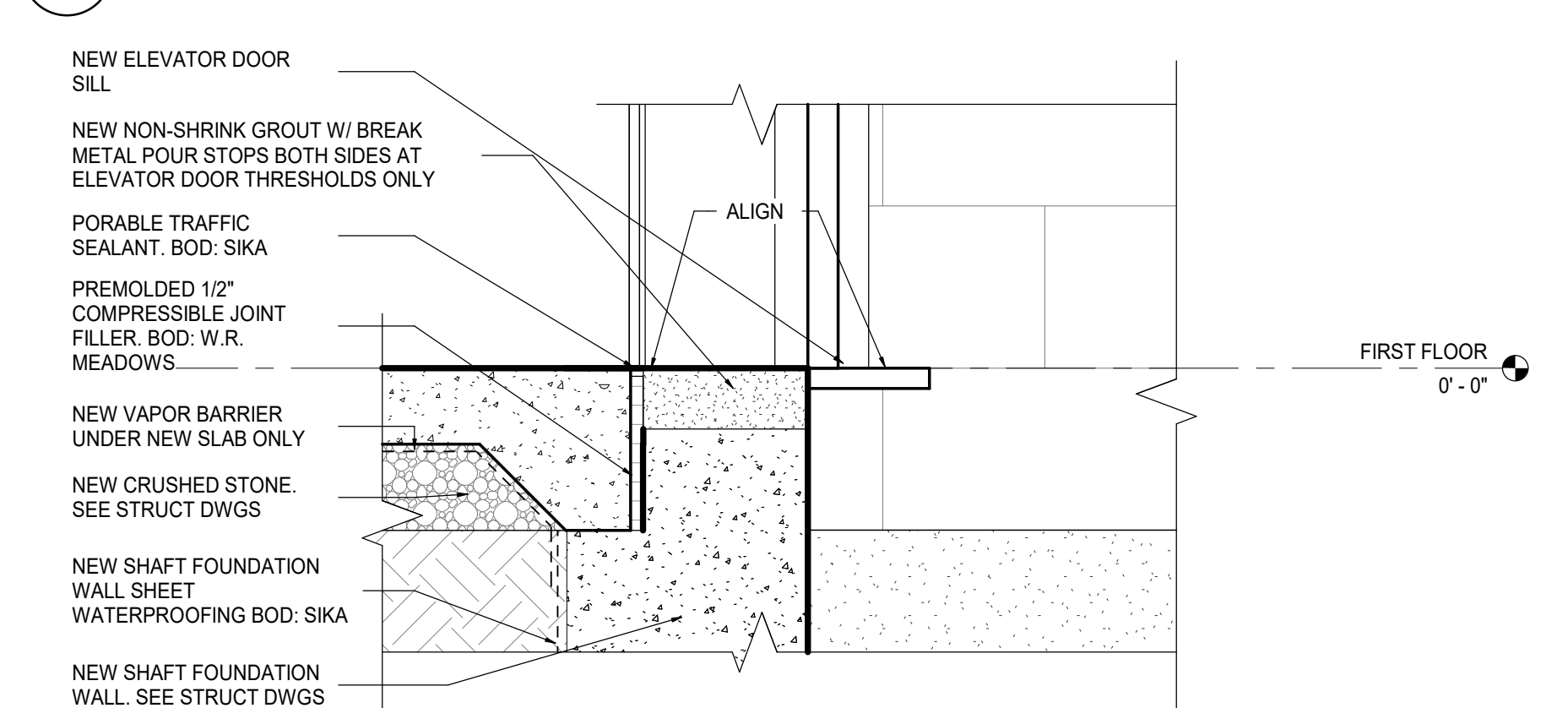
D5
AS2-03
ENLARGED SECTION DETAIL @ SHAFT/ROOF INTERSECTION
SCALE: 1 1/2" = 1'-0"



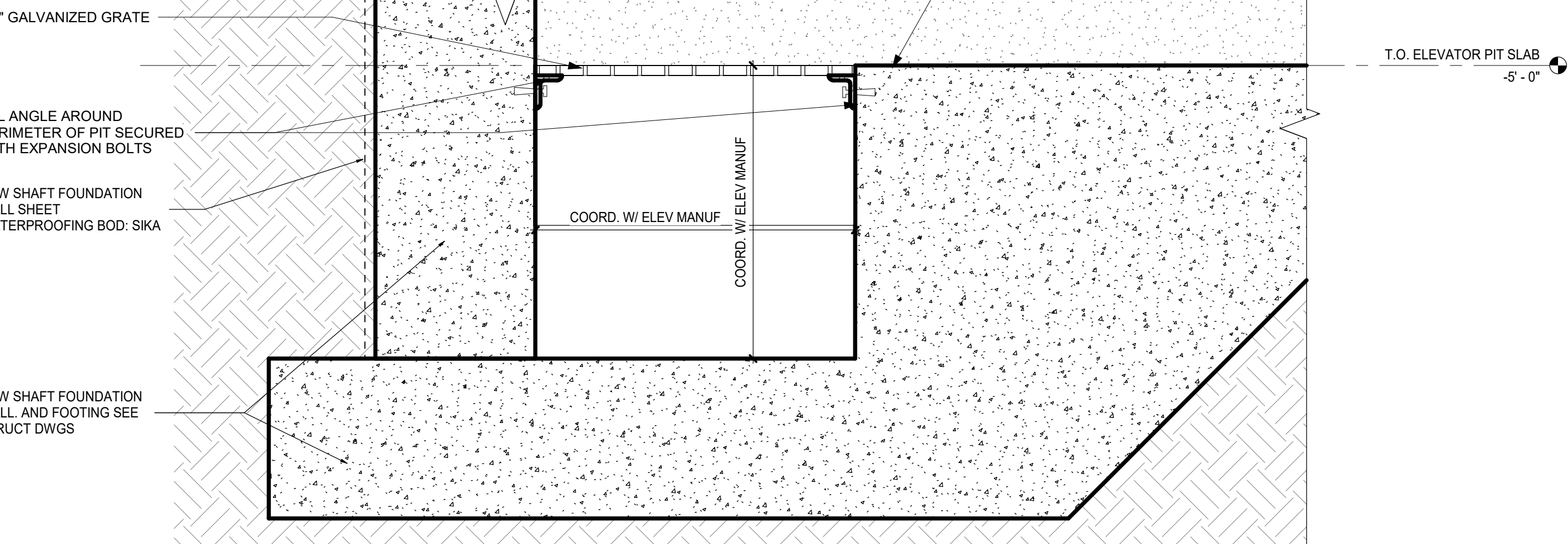
D4
AS2-03
ENLARGED SECTION DETAIL @ 2ND FLOOR ELEVATOR DOOR SILL
SCALE: 1 1/2" = 1'-0"



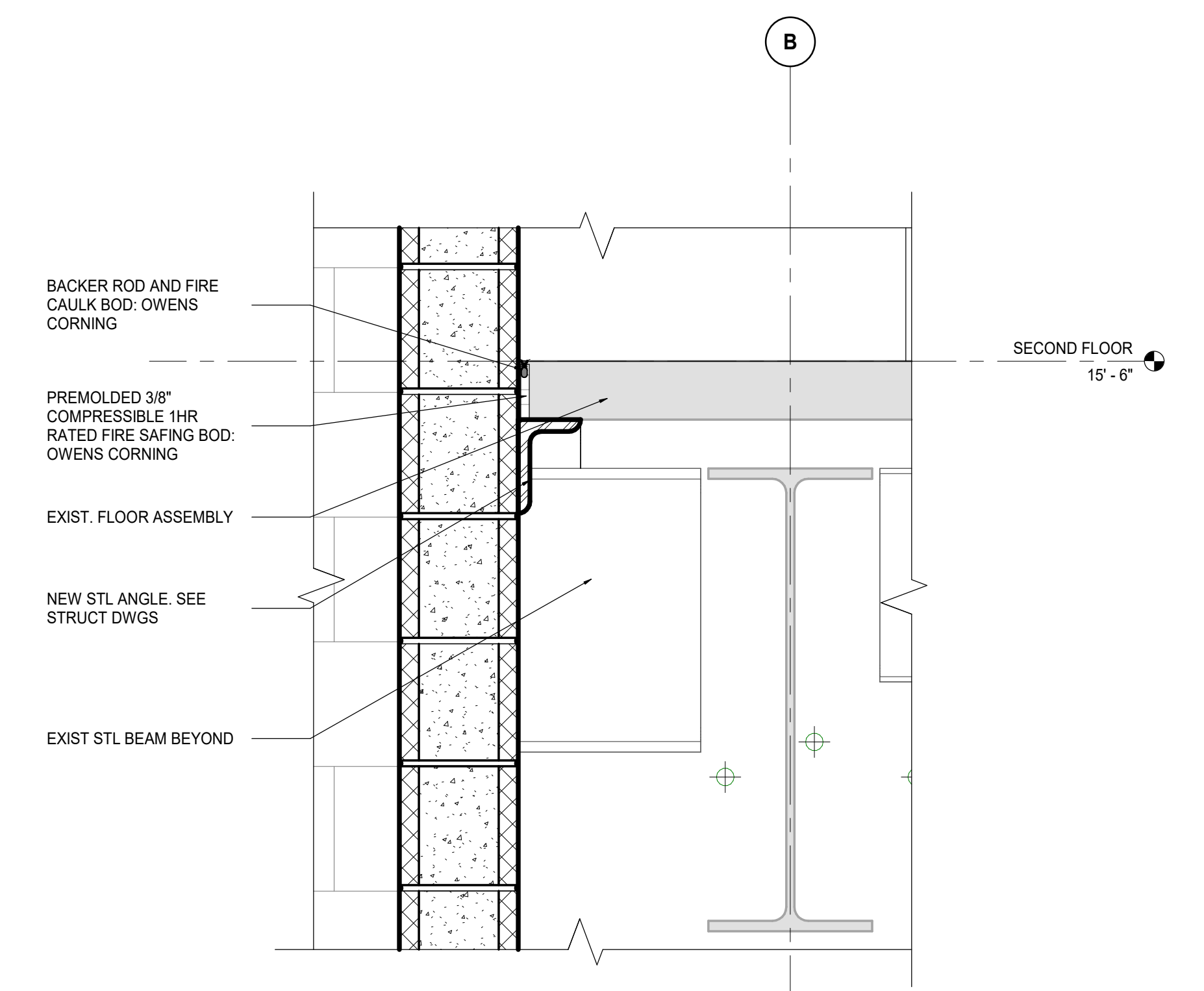
D3
AS2-03
TYPICAL ENLARGED SECTION DETAIL @ ELEVATOR DOOR HEAD
SCALE: 1 1/2" = 1'-0"



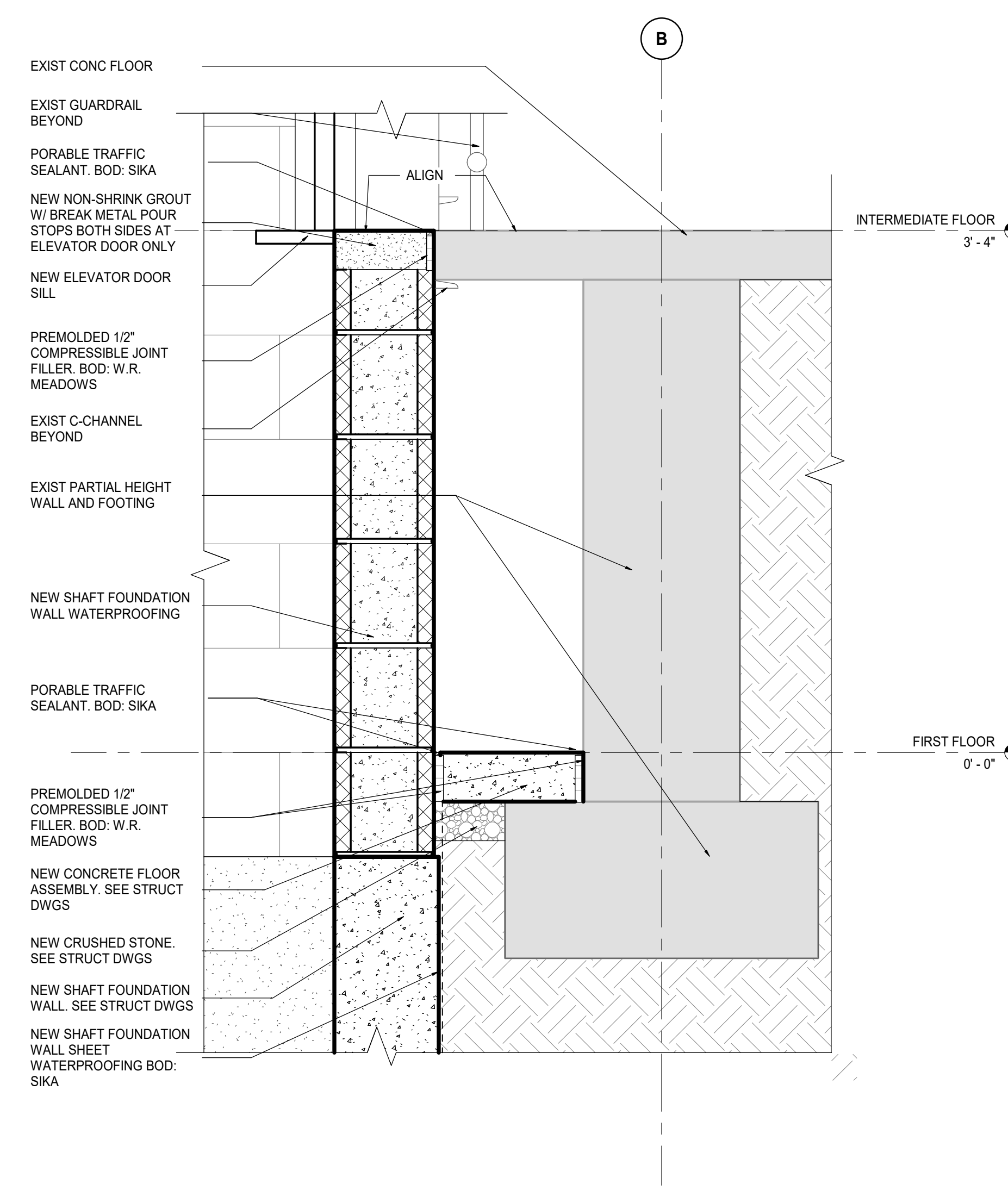
D2
AS2-03
ENLARGED SECTION DETAIL @ 1ST FLOOR ELEVATOR DOOR SILL
SCALE: 1 1/2" = 1'-0"



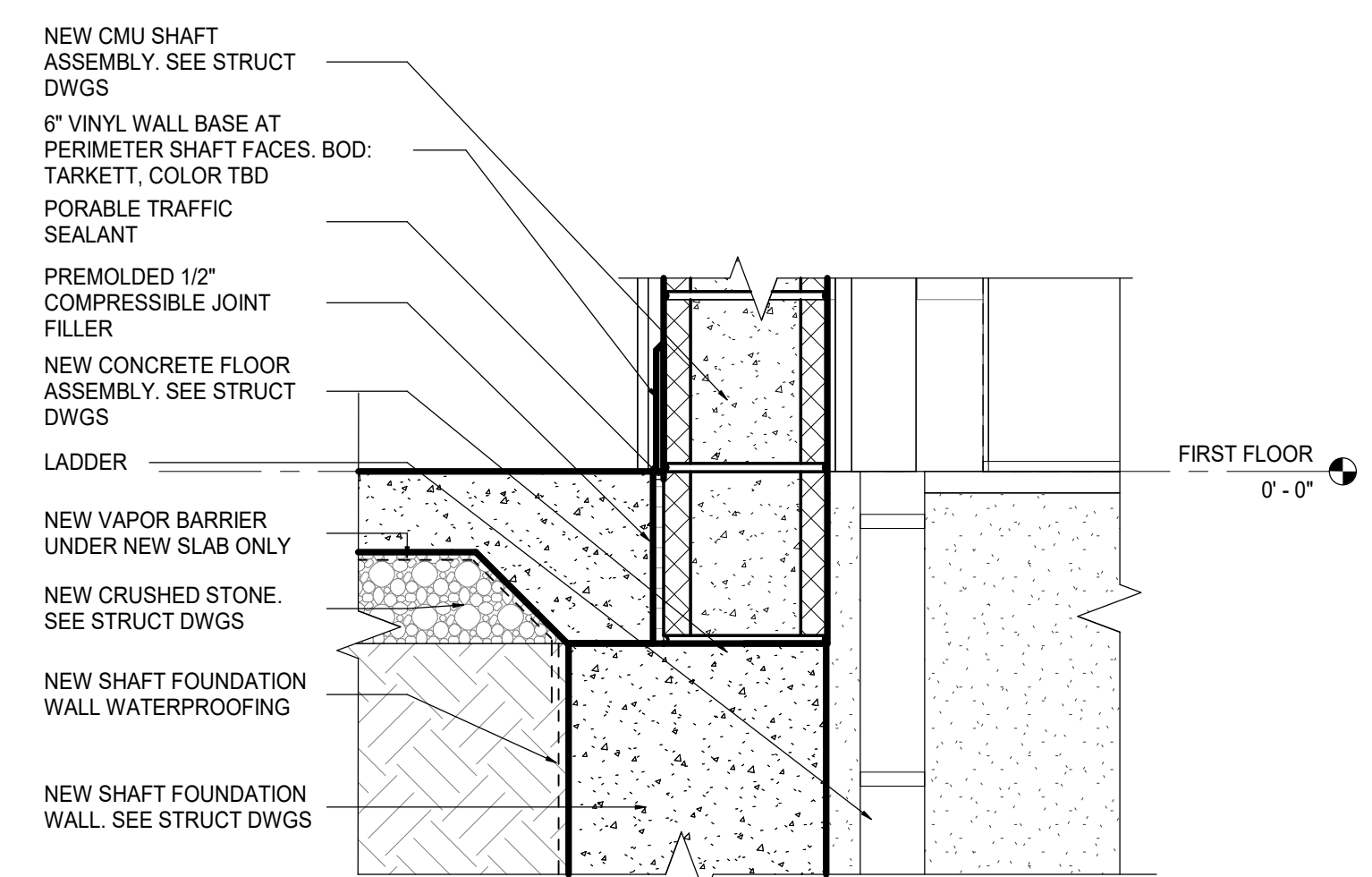
D1
AS2-03
ENLARGED SECTION DETAIL @ ELEVATOR SUMP PIT
SCALE: 1 1/2" = 1'-0"



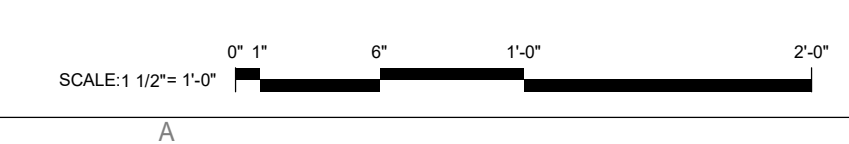
B3
AS2-03
ENLARGED SECTION DETAIL @ 2ND FLOOR SHAFT/EXISTING FLOOR INTERSECTION
SCALE: 1 1/2" = 1'-0"



B1
AS2-03
ENLARGED SECTION DETAIL @ INTERMEDIATE FLOOR ELEVATOR DOOR SILL
SCALE: 1 1/2" = 1'-0"



E2
AS2-03
ENLARGED SECTION DETAIL @ 1ST FLOOR SHAFT/FLOOR INTERSECTION
SCALE: 1 1/2" = 1'-0"




This drawing has been prepared solely for the use of COUNTY OF DELAWARE DEPARTMENT OF PUBLIC WORKS and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Design Team

Architecture:	NORR
Structural:	NORR
Mechanical:	NORR
Electrical:	NORR

Seal



NORR
One Penn Center
1917 JFK Blvd, Suite 1600
Philadelphia, PA 19103
norr.com

Project Manager	Draw
BM	Author
Project Architect	Checked
CP	Checker

Client
**COUNTY OF DELAWARE
DEPARTMENT OF PUBLIC
WORKS**
105 W 3RD ST, MEDIA, PA 19063

Project
**VOTING MACHINE
WAREHOUSE ELEVATOR
ADDITION**
403 EAST 24TH STREET, CHESTER, PA 19013

Drawing Title
**VERTICAL
TRANSPORTATION
DETAILS**

Project No.
IN2325-0323

Drawing No.
AS2-03