

ADDENDUM NO. 2

GYMNASIUM AND OFFICE HVAC RENOVATIONS AT The Gauntlett Center 20 Media Line Road Newtown Square PA 19073

FOR

**MARPLE NEWTOWN SCHOOL DISTRICT
Administration Center
40 Media Line Road
Newtown Square, PA 19073**

February 12, 2026



BONNETT MEDICA ASSOCIATES INCORPORATED
ARCHITECTS • PLANNERS • ENGINEERS • PROJECT MANAGERS

1242 WEST CHESTER PIKE • UPPER FLOOR, SUITE 11
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ADDENDUM NO. 2

DATE: February 12, 2026

OWNER: Marple Newtown School District
40 Media Line Road
Newtown Square, Pennsylvania 19073

PROJECT: Gymnasium and Office HVAC Renovations
At the Gauntlett Center

ARCHITECT &
ENGINEER: Bonnett Medica Associates Incorporated
1242 West Chester Pike, Suite 11, Upper Floor
West Chester, PA 19382
610-368-6678

This addendum is issued to inform Bidders of certain changes, deletions and additions which have been made to Contract Documents and which shall be included in the Contract and shall supersede anything called for previously.

Bidder shall be held to furnish all materials, labor and supervision required to execute Work described herein.

The applicable provisions of Contract Documents shall govern all Work described herein, unless specifically noted otherwise.

I. GENERAL NOTES

- A. **REMINDER: The Bid Opening is scheduled for Thursday, February 19, 2026, at 2:00 PM at the Marple Newtown School District Administration Center.**
- B. CLARIFICATION: General Instructions to Bidders, Paragraph 11.A.c, the maintenance bond shall cover one year after the date of acceptance of the work by the School District.
- C. CLARIFICATION: Existing roofing system is a Firestone TPO roof as stated in 075050 Roof Patching and Repairs.
- D. CLARIFICATION: The existing roof is under warranty and is addressed under 010450 Cutting and Patching, Paragraph 1.5.
- E. CLARIFICATION: Roofing work associated with condensing units C-1 and C-2 and associated rails and curbs shall be provided by the Mechanical Contractor as part of their Base Bid.

II. PROJECT MANUAL

- A. DELETE Section 024119 Selective Structure Demolition and ADD Section 024119 Selective Structure Demolition (8 pages) attached hereto.
 - 1. Revision to Paragraph 1.10 Warranty.

III. DRAWINGS

- A. DELETE Drawing S-1 (E) ROOF FRAMING PLAN – (N) RTU SUPPORT FRAMING and ADD Drawing S-1 (E) ROOF FRAMING PLAN – (N) RTU SUPPORT FRAMING attached hereto.

Note: The scope exiting structural modifications associated with CU-1 and CU-2 shall be provided by the Mechanical Contractor.

- B. DELETE Drawing S-2 SECTIONS, DETAILS & NOTES and ADD Drawing S-2 SECTIONS, DETAILS & NOTES attached hereto.

Note: The scope exiting structural modifications associated with CU-1 and CU-2 shall be provided by the Mechanical Contractor.

End of Addendum No. 2.

SECTION 024119 - SELECTIVE STRUCTURE DEMOLITION

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General, Special and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

A. Section Includes:

1. Demolition and removal of selected portions of building or structure.
2. Demolition and removal of selected site elements.
3. Salvage of existing items to be reused or recycled.

B. Related Requirements:

1. Division 01 Section "Summary" for restrictions on the use of the premises, Owner-occupancy requirements, and phasing requirements.
2. Division 01 Section "Execution" for cutting and patching procedures.

1.3 DEFINITIONS

- A. Remove: Detach items from existing construction and legally dispose of them off-site unless indicated to be removed and salvaged or removed and reinstalled.
- B. Remove and Salvage: Carefully detach from existing construction, in a manner to prevent damage, and deliver to Owner as directed.
- C. Remove and Reinstall: Detach items from existing construction, prepare for reuse, and reinstall where indicated.
- D. Existing to Remain: Existing items of construction that are not to be permanently removed and that are not otherwise indicated to be removed, removed and salvaged, or removed and reinstalled.

1.4 MATERIALS OWNERSHIP

- A. Unless otherwise indicated, demolition waste becomes property of Contractor.

1.5 PREINSTALLATION MEETINGS

- A. Pre-demolition Conference: Conduct conference at Project Site.

1. Inspect and discuss condition of construction to be selectively demolished.
2. Review structural load limitations of existing structure.
3. Review and finalize selective demolition schedule and verify availability of materials, demolition personnel, equipment, and facilities needed to make progress and avoid delays.
4. Review requirements of work performed by other trades that rely on substrates exposed by selective demolition operations.
5. Review areas where existing construction is to remain and requires protection.

1.6 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For refrigerant recovery technician.
- B. Proposed Protection Measures: Submit report, including drawings, that indicates the measures proposed for protecting individuals and property, for environmental protection, for dust control and, for noise control. Indicate proposed locations and construction of barriers.
- C. Schedule of Selective Demolition Activities: Indicate the following:
 1. Detailed sequence of selective demolition and removal work, with starting and ending dates for each activity. Ensure Owner's on-site operations are uninterrupted.
 2. Interruption of utility services. Indicate how long utility services will be interrupted.
 3. Coordination for shutoff, capping, and continuation of utility services.
 4. Use of elevator and stairs.
 5. Coordination of Owner's continuing occupancy of portions of existing building and of Owner's partial occupancy of completed Work.
- D. Inventory: Submit a list of items to be removed and salvaged and deliver to Owner prior to start of demolition.
- E. Pre-demolition Photographs or Video: Submit before Work begins.
- F. Statement of Refrigerant Recovery: Signed by refrigerant recovery technician responsible for recovering refrigerant, stating that all refrigerant that was present was recovered and that recovery was performed according to EPA regulations. Include name and address of technician and date refrigerant was recovered.
- G. Warranties: Documentation indicated that existing warranties are still in effect after completion of selective demolition.
- H. Engineered Shoring Design: Signed and sealed drawings and calculations showing temporary shoring required.

1.7 CLOSEOUT SUBMITTALS

- A. Inventory: Submit a list of items that have been removed and salvaged.
- B. Landfill Records: Indicate receipt and acceptance of hazardous wastes by a landfill facility licensed to accept hazardous wastes.

1.8 QUALITY ASSURANCE

- A. Refrigerant Recovery Technician Qualifications: Certified by an EPA-approved certification program.

1.9 FIELD CONDITIONS

- A. Owner will occupy portions of building immediately adjacent to selective demolition area. Conduct selective demolition so Owner's operations will not be disrupted.
- B. Conditions existing at time of inspection for bidding purpose will be maintained by Owner as far as practical.
 - 1. Before selective demolition, Owner will remove the following items:
 - a. Loose furniture and equipment.
 - b. Educational and administrative supplies and materials
 - c. Stored materials.
- C. Notify Architect of discrepancies between existing conditions and Drawings before proceeding with selective demolition.
- D. Hazardous Materials: It is expected that hazardous materials will be abated by the abatement contractor.
 - 1. Hazardous materials will be removed by the Owner's abatement contractor before start of the phased demolition Work.
 - 2. Care should be taken during demolition in the event Asbestos Containing Building Materials (ACBM) is found that was not accessible during recent 3 Year Re-Inspections to include: VAT/VCT mastic under tile, unit ventilators, ACBM pipe fittings above ceilings/behind walls, in closets and in boiler rooms. Intrusive or destructive investigative techniques were not performed at the Site to access and to observe inaccessible or concealed areas that may contain suspect ACBM that were hidden or obstructed from normal view.
 - 3. In accordance with federal and state regulations, the materials may be present in the inaccessible area(s) listed above must be assumed as ACBM until access is provided and by additional sampling and laboratory analysis of such materials. If suspect ACBM is found, WORK WILL STOP IMMEDIATELY and the Owner will be notified who will contact the AHERA Designated Person for direction.
- E. Storage or sale of removed items or materials on-site is not permitted.
- F. Utility Service: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
 - 1. Maintain fire-protection facilities in service during selective demolition operations.

1.10 WARRANTY

- A. Existing Warranties: Remove, replace, patch, and repair materials and surfaces cut or damaged during selective demolition, by methods and with materials so as not to void existing warranties. Existing warranties include but not limited to the following:
 - 1. Existing roof warranties
 - a. Firestone TPO roof.
- B. Notify warrantor on completion of selective demolition, and obtain documentation verifying that existing system has been inspected and warranty remains in effect. Submit documentation at Project closeout.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Regulatory Requirements: Comply with governing EPA notification regulations before beginning selective demolition. Comply with hauling and disposal regulations of authorities having jurisdiction.
- B. Standards: Comply with ANSI/ASSE A10.6 and NFPA 241.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Verify that utilities have been disconnected and capped before starting selective demolition operations.
- B. Review record documents of existing construction provided by Owner. Owner does not guarantee that existing conditions are same as those indicated in record documents.
- C. Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required.
- D. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Promptly submit a written report to Architect.
- E. Perform an engineering survey of condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structures during selective building demolition operations.
 - 1. Perform surveys as the Work progresses to detect hazards resulting from selective demolition activities.
 - 2. Steel Tendons: Locate tensioned steel tendons and include recommendations for de-tensioning.

- F. Survey of Existing Conditions: Record existing conditions by use of preconstruction photographs or preconstruction videotapes.
1. Comply with requirements specified in Division 01 Section "Photographic Documentation."
 2. Inventory and record the condition of items to be removed and salvaged. Provide photographs or video of conditions that might be misconstrued as damage caused by salvage operations.
 3. Before selective demolition or removal of existing building elements that will be reproduced or duplicated in final Work, make permanent record of measurements, materials, and construction details required to make exact reproduction.

3.2 UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

- A. Existing Services/Systems to Remain: Maintain services/systems indicated to remain and protect them against damage.
1. Comply with requirements for existing services/systems interruptions specified in Division 01 Section "Summary."
- B. Existing Services/Systems to Be Removed, Relocated, or Abandoned: Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.
1. School District will arrange to shut off indicated services/systems when requested by Contractor.
 2. Arrange to shut off indicated utilities with utility companies.
 3. If services/systems are required to be removed, relocated, or abandoned, provide temporary services/systems that bypass area of selective demolition and that maintain continuity of services/systems to other parts of building.
 4. Disconnect, demolish, and remove fire-suppression systems, plumbing, and HVAC systems, equipment, and components indicated to be removed.
 - a. Piping to Be Removed: Remove portion of piping indicated to be removed and cap or plug remaining piping with same or compatible piping material.
 - b. Piping to Be Abandoned in Place: Drain piping and cap or plug piping with same or compatible piping material.
 - c. Equipment to Be Removed: Disconnect and cap services and remove equipment.
 - d. Equipment to Be Removed and Reinstalled: Disconnect and cap services and remove, clean, and store equipment; when appropriate, reinstall, reconnect, and make equipment operational.
 - e. Equipment to Be Removed and Salvaged: Disconnect and cap services and remove equipment and deliver to Owner.
 - f. Ducts to Be Removed: Remove portion of ducts indicated to be removed and plug remaining ducts with same or compatible ductwork material.
 - g. Ducts to Be Abandoned in Place: Cap or plug ducts with same or compatible ductwork material.
- C. Refrigerant: Remove refrigerant from mechanical equipment to be selectively demolished according to 40 CFR 82 and regulations of authorities having jurisdiction.

3.3 PREPARATION

- A. Site Access and Temporary Controls: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.
 - 1. Comply with requirements for access and protection specified in Division 01 Section "Temporary Facilities and Controls."
- B. Temporary Facilities: Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain.
 - 1. Provide protection to ensure safe passage of people around selective demolition area and to and from occupied portions of building.
 - 2. Provide temporary weather protection, during interval between selective demolition of existing construction on exterior surfaces and new construction, to prevent water leakage and damage to structure and interior areas.
 - 3. Protect walls, ceilings, floors, and other existing finish work that are to remain or that are exposed during selective demolition operations.
 - 4. Cover and protect furniture, furnishings, and equipment that have not been removed.
 - 5. Comply with requirements for temporary enclosures, dust control, heating, and cooling specified in Division 01 Section "Temporary Facilities and Controls."
- C. Temporary Shoring: Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.
 - 1. Strengthen or add new supports when required during progress of selective demolition.
 - 2. Submit signed and sealed shoring design drawings and calculations.

3.4 SELECTIVE DEMOLITION, GENERAL

- A. General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations and as follows:
 - 1. Proceed with selective demolition systematically, from higher to lower level. Complete selective demolition operations above each floor or tier before disturbing supporting members on the next lower level.
 - 2. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.
 - 3. Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.
 - 4. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden

space before starting flame-cutting operations. Maintain fire watch and portable fire-suppression devices during flame-cutting operations.

5. Maintain adequate ventilation when using cutting torches.
6. Remove decayed, vermin-infested, or otherwise dangerous or unsuitable materials and promptly dispose of off-site.
7. Remove structural framing members and lower to ground by method suitable to avoid free fall and to prevent ground impact or dust generation.
8. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
9. Dispose of demolished items and materials promptly. Comply with requirements in Division 01 Section "Construction Waste Management and Disposal."

B. Removed and Salvaged Items:

1. Clean salvaged items.
2. Pack or crate items after cleaning. Identify contents of containers.
3. Store items in a secure area until delivery to Owner.
4. Transport items to Owner's storage area designated by Owner.
5. Protect items from damage during transport and storage.

C. Removed and Reinstalled Items:

1. Clean and repair items to functional condition adequate for intended reuse.
2. Pack or crate items after cleaning and repairing. Identify contents of containers.
3. Protect items from damage during transport and storage.
4. Reinstall items in locations indicated. Comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated.

- D. Existing Items to Remain: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by Architect, items may be removed to a suitable, protected storage location during selective demolition and cleaned and reinstalled in their original locations after selective demolition operations are complete.

3.5 SELECTIVE DEMOLITION PROCEDURES FOR SPECIFIC MATERIALS

- A. Concrete: Demolish in sections. Cut concrete full depth at junctures with construction to remain and at regular intervals using power-driven saw, then remove concrete between saw cuts.
- B. Masonry: Demolish in small sections. Cut masonry at junctures with construction to remain, using power-driven saw, then remove masonry between saw cuts.
- C. Concrete Slabs-on-Grade: Saw-cut perimeter of area to be demolished, then break up and remove.
- D. Resilient Floor Coverings: Remove floor coverings and adhesive according to recommendations in RFCI's "Recommended Work Practices for the Removal of Resilient Floor Coverings."

- E. Roofing: Remove no more existing roofing than what can be covered in one day by new roofing and so that building interior remains watertight and weathertight. See Division 07, for new roofing requirements.

3.6 DISPOSAL OF DEMOLISHED MATERIALS

- A. General: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them in an EPA-approved landfill.
 - 1. Do not allow demolished materials to accumulate on-site.
 - 2. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
 - 3. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent.
 - 4. Comply with requirements specified in Division 01 Section "Construction Waste Management and Disposal."
- B. Burning: Do not burn demolished materials.
- C. Disposal: Transport demolished materials off Owner's property and legally dispose of them.

3.7 CLEANING

- A. Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.

END OF SECTION 024119

GENERAL NOTES

- DO NOT SCALE DRAWINGS TO ESTABLISH DIMENSIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

SEE ADDENDA FOR ADDITIONAL INFORMATION

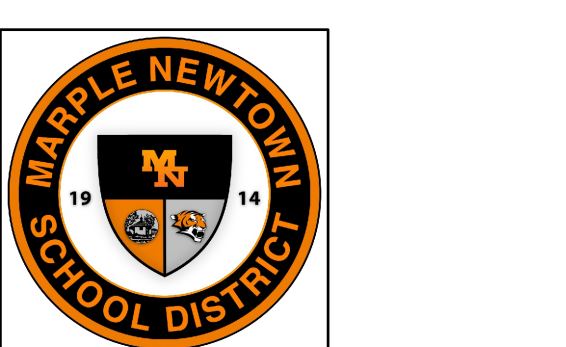
ADDENDUM 2	02/12/26
#	DESCRIPTION DATE
REVISION	

DATE:
FRANK C. THOMPSON PE050346E
MEMBER OF THE AMERICAN INSTITUTE OF ARCHITECTS

BMA
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1242 WEST CHESTER PIKE • SUITE 11
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CLIENT:



MARPLE NEWTOWN SCHOOL DISTRICT
40 MEDIA LINE ROAD
NEWTOWN SQUARE, PA 19073

PROJECT NAME:
GYMNASIUM AND OFFICE HVAC RENOVATIONS AT THE GAUNTLETT CENTER

20 MEDIA LINE ROAD
NEWTOWN SQUARE, PA 19073

DRAWING NAME:
(E) ROOF FRAMING PLAN - (N) RTU SUPPORT FRAMING

DATE:
01/30/2026

SCALE:
AS NOTED

DRAWN BY:
DB

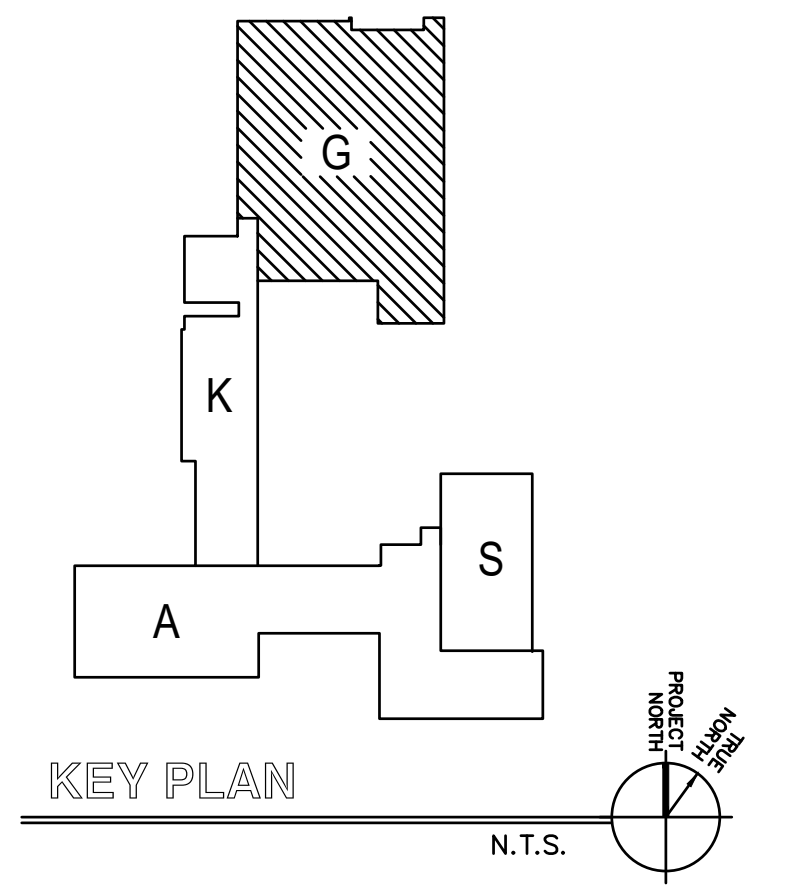
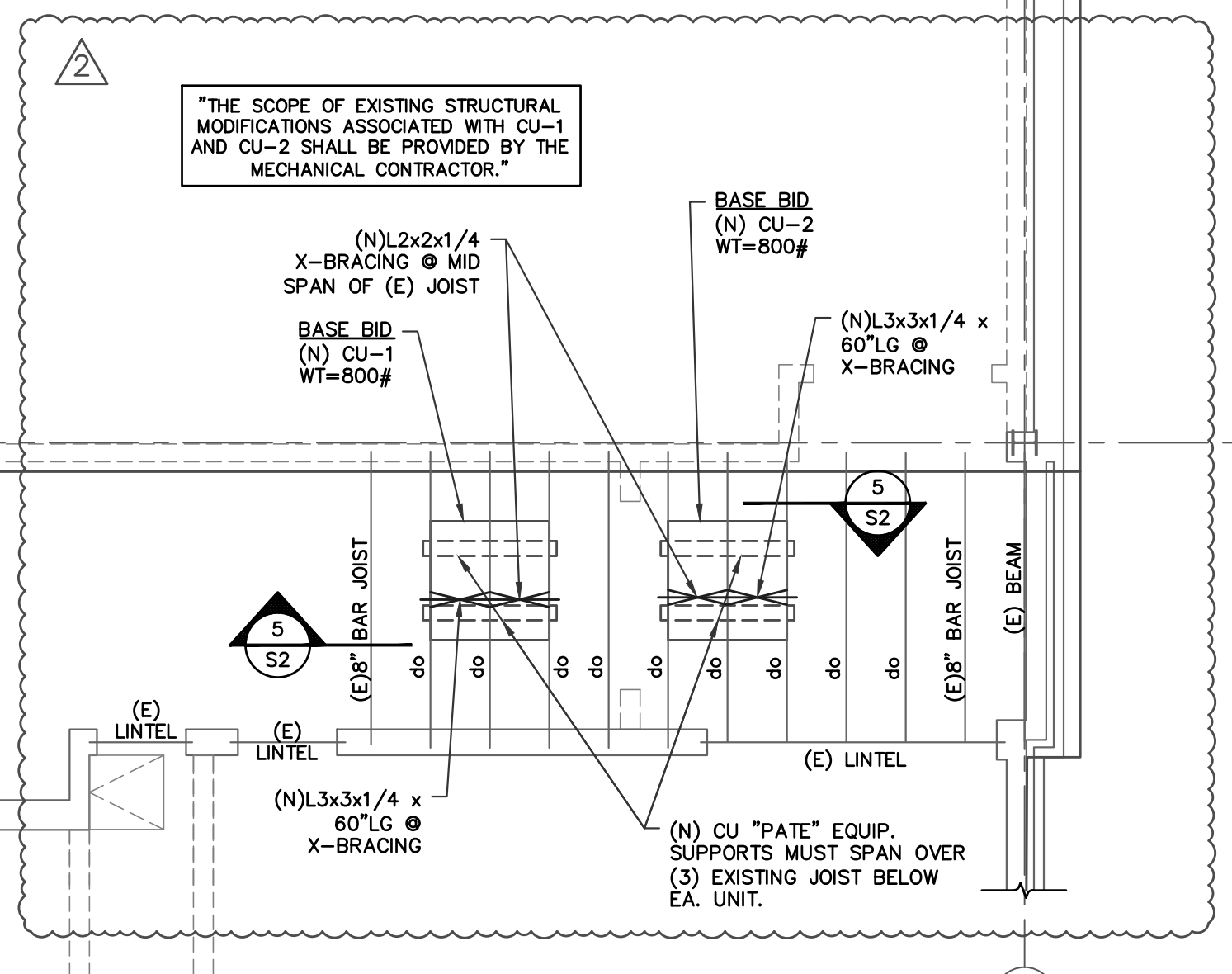
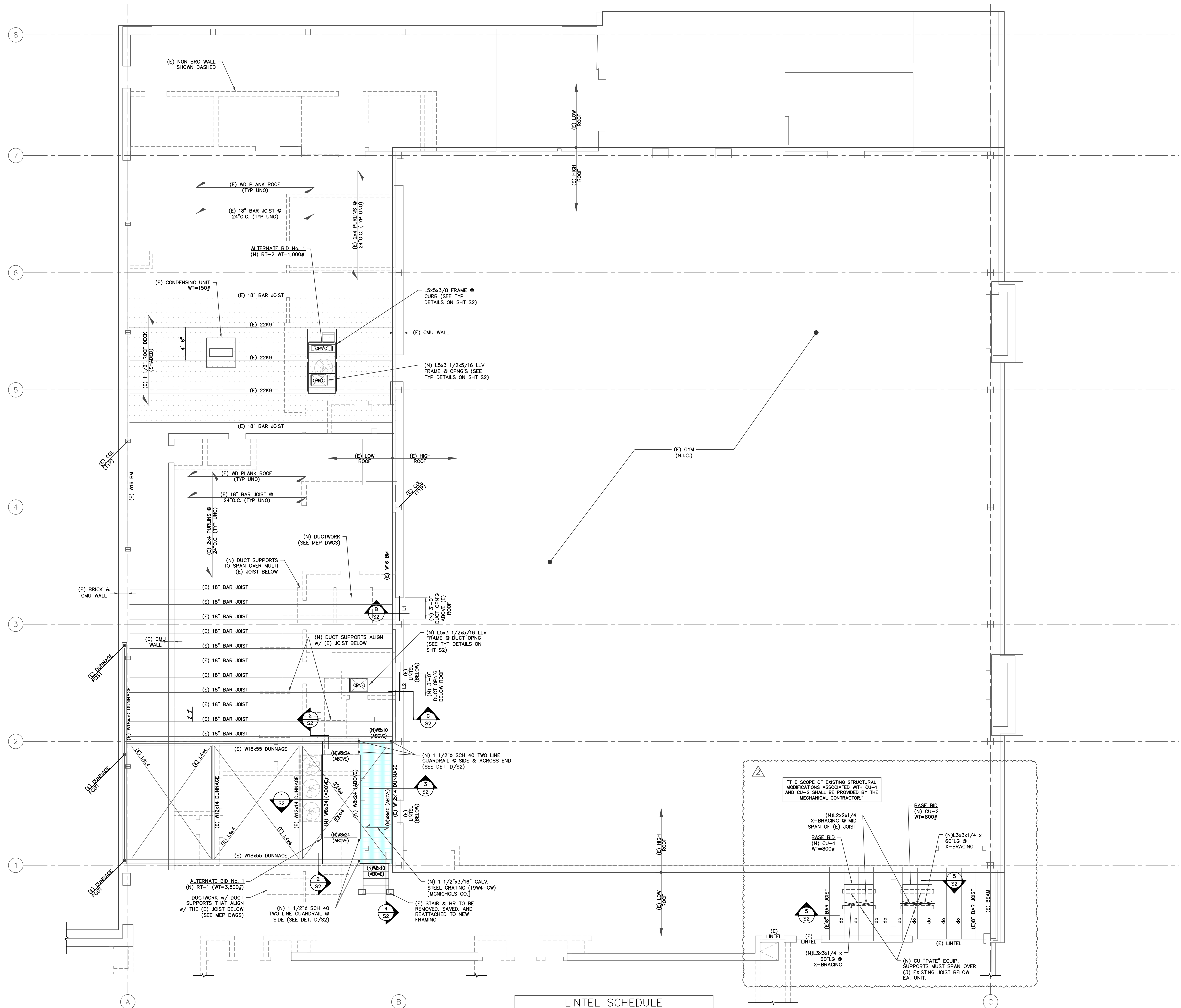
CHECKED BY:
FCT

PROJECT NUMBER:
25113.00

CADD FILE:
G:\DWG\MNSD Gauntlett Center\Drawings\13-48 - S1 - Roof Plan.dwg

DRAWING NUMBER:
S1

SHEET 1 OF 2



LINTEL SCHEDULE		
MARK	SIZE	SHAPE
L1	6"x8" & 4"x8" CMU LINTEL w/ #5 @ BTM & PT WD BLOCKING (SEE DET. B/S2)	[Symbol]
L2	(3)4"x8" CMU LINTEL w/ #5 @ BTM (SEE DET. C/S2)	[Symbol]

NOTES: 1. ALL LINTELS TO HAVE 8" MIN BRG. @ JAMBS
2. SEE DETAILS B/S2 & C/S2.

(E) ROOF FRAMING PLAN - (N) RTU SUPPORT
SCALE: 3/16" = 1' - 0"

- PROJECT NORTH
- GC TO VERIFY & COORDINATE ALL EXISTING CONDITIONS & DIMENSIONS BEFORE BEGINNING ANY WORK.
 - GC TO COORDINATE WITH ARCHITECTURAL & MEP DRAWINGS.
 - GC TO VERIFY ALL ON ROOF & AERIAL UTILITIES PRIOR TO STARTING WORK.
 - ALL NEW STRUCTURAL STEEL TO BE ASTM A992, Fy=50KSI AND TO BE HOT DIPPED GALVANIZED.
 - SEE SHEET S2 FOR TYPICAL DETAILS & NOTES.

DO NOT SCALE MANUALLY OR ELECTRONICALLY FROM THIS DWG.

CONTRACTOR NOTE:
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK, AND SHALL BE RESPONSIBLE FOR SAME.

THIS DRAWING MUST BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS

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BID SET: 01/30/2026
DO NOT SCALE MANUALLY OR ELECTRONICALLY FROM THIS DWG.

