

1  
**ADDENDA**

PART 1 - GENERAL

**1.1.1 ADDENDUM**

**A. Addendum No. 01**

**1.1.2 PROJECT INFORMATION**

- A. Project Name: **Public Works Garage and Salt Shed**
- B. Owner: **City of Chester**
- C. Owner Project Number: **2025-010**
- D. Architect: **CED Architecture, Inc.**
- E. Architect Project Number:
- F. Date of Addendum: **05/27/2025**

**1.1.3 NOTICE TO BIDDERS**

- A. This Addendum is issued **to all PennBid registered vendors** pursuant to the **Instructions to Bidders and Conditions of the Contract**. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.

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- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate Acknowledgment field with their PennBid submission.

- C. The date for receipt of bids is **unchanged by this Addendum** at same time and location.

- 1. Bid Date: 06/26/2025.

**1.1.4 ATTACHMENTS**

- A. This Addendum includes the following attached Documents and Specification Sections:

1. Document: Addendum No1 letter, dated May 27, 2025 as issued electronically on PennBid.
  2. Specifications: None at this time
- B. This Addendum includes the following attached sheets:
1. General Sheet: N/A
  2. Civil: N/A
  3. Structural Sheet: N/A
  4. Architectural: N/A
  5. Fire-Protection Sheet: N/A
  6. Plumbing Sheet: N/A
  7. Mechanical Sheet: N/A
  8. Electrical Sheet: N/A

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#### **1.2.1 ADDENDUM**

##### **A. Addendum No. 02**

#### **1.2.2 PROJECT INFORMATION**

- A. Project Name: **Public Works Garage and Salt Shed**
- B. Owner: **City of Chester**
- C. Owner Project Number: **2025-010**
- D. Architect: **CED Architecture, Inc.**
- E. Architect Project Number:
- F. Date of Addendum: **06/02/2025**

#### **1.2.3 NOTICE TO BIDDERS**

- A. This Addendum is issued **to all PennBid registered vendors** pursuant to the **Instructions to Bidders and Conditions of the Contract**. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.

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- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate

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Acknowledgment field with their PennBid submission.

C. The date for receipt of bids is **unchanged by this Addendum** at same time and location.

1. Bid Date: 06/26/2025.

#### 1.2.4 ATTACHMENTS

A. This Addendum includes the following attached Documents and Specification Sections:

1. Documents: N/A
2. Specifications:
  - a. Section 000110 Table of Contents, dated 06/02/2025, (Reissued).
  - b. Section 000115 List of Drawings Sheets, dated 06/02/2025, (Reissued).
  - c. Section 011000 Summary, dated 06/02/2025, (Reissued).
  - d. Section 012300 Alternates & Units Prices, dated 06/02/2025, (Reissued).
  - e. Section 015100 Temporary Utilities, dated 06/02/2025, (Reissued).
  - f. Section 084523 Fiberglass Sandwich-Panel Assemblies dated 06/02/25, (Reissued).
  - g. Section 105129 Phenolic Lockers dated 06/02/2025, (New).
  - h. Section 107300 Cantilevered Carports dated 06/02/2025, (New).
  - i. Section 133133 Framed Fabric Structures dated 06/02/2025, (New).
  - j. Section 263213.13 Diesel Emergency Engine Generators, dated 06/02/2025, (Reissued).
  - k. Section 263600 Transfer Switches, dated 06/02/2025, (Reissued).

B. This Addendum includes the following attached sheets:

1. General Sheet: N/A
2. Civil Highway Occupancy Permit Plans:
  - a. Sheet 1of6 Cover Sheet, dated 3/21/25, (New).
  - b. Sheet 2of6 General Notes, dated 3/21/25, (New).
  - c. Sheet 3of6 General Notes, dated 3/21/25, (New).
  - d. Sheet 4of6 Maintenance & Protection of Traffic, dated 3/21/25, (New).
  - e. Sheet 5of6 Maintenance & Protection of Traffic, dated 3/21/25, (New).
  - f. Sheet 6of6 Construction Plans, dated 3/21/25, (New).
3. Structural Sheet: N/A
4. Architectural:
  - a. Sheet A304 – Wall Sections - Garage, dated 06/02/2025, (Reissued).
  - b. Sheet A401 – Restroom/Locker Plans, Elevations & Details, dated 06/02/2025, (Reissued).

5. Fire-Protection Sheet: **N/A**
6. Plumbing Sheet:
  - a. Sheet P000 – Plumbing Symbols, Abbreviations, Legends & General Notes dated 06/02/2025, (Reissued).
  - b. Sheet P100 – Underground Plumbing plan dated 06/02/2025, (Reissued).
  - c. Sheet P101 – Plumbing Floor Plan dated 06/02/2025, (Reissued).
  - d. Sheet P102 – Natural Gas Piping Floor Plan dated 06/02/2025, (Reissued).
  - e. Sheet P103 – Salt Shed Plumbing Plan dated 06/02/2025, (Reissued).
  - f. Sheet P401 – Enlarged Plumbing Plans dated 06/02/2025, (Reissued).
  - g. Sheet P501 – Plumbing Details dated 06/02/2025, (Reissued).
  - h. Sheet P600 – Plumbing Schedules dated 06/02/2025, (Reissued).
  - i. Sheet P901 – Sanitary Waste & Vent Pipping Riser Diagrams dated 06/02/2025 (Reissued)
  - j. Sheet P902 – Domestic Water Pipping & Natural Gas Pipping Riser Diagrams dated 06/02/2025 (Reissued)
7. Mechanical Sheet: **N/A**
8. Electrical Sheet:
  - a. Sheet E101 Power Plan, Dated 06/02/2025, (Reissued)
  - b. Sheet E601 Diagrams, Dated 06/02/2025, (Reissued)
  - c. Sheet E801 Schedules, Dated 06/02/2025, (Reissued)

#### 1.2.5 REVISIONS TO DIVISION 00 PROCUREMENT REQUIREMENTS AND CONTRACTING REQUIREMENTS

##### A. Specification Section **000110 Table of Contents, (Reissued)**

- △ 3
1. Sections have been added to and omitted from the table of contents.
 

- a. Section 009113 Addenda has been added
    - b. Section 105113 Metal Lockers has been omitted.
    - c. Section 105129 Phenolic Lockers has been added
    - d. Section 107300 Cantilevered Carports has been added

##### B. Specification Section **000115 List of Drawing Sheets, (Reissued)**

1. Section 02a Civil Highway Occupancy Plans have been added.

#### 1.2.6 REVISIONS TO DIVISION 01 GENERAL REQUIREMENTS

##### A. Specification Section **011000 Summary, (Reissued).**



1. The below revisions correlate with Addendum No1.
    - a. Paragraph 1.1 Project Information: Item E has been updated to remove the Construction Manager (CM) from Contract 1. The CM shall be awarded under a separate contract.
    - b. Since the General Prime contractor is no longer the acting CM, the answer for PennBid RFI #13 shall be revised to the following: “Thank you for your inquiry. The Construction Manager shall be responsible to work with each prime contractor and the Owner to determine a Logistics Plan that works for everyone.”
  2. Paragraph 1.1 Project Information: Item D has been updated to revise a typo in the Architect’s Project number.
  3. The below revisions correlate with PennBid RFI response #15
    - a. Paragraph 1.3 Work By Owner: Item B Generator & Automatic Transfer Switch has been updated to reference Alternate#8.
  4. The below revisions correlate with PennBid RFI response #25
    - a. Paragraph 1.3 Work By Owner: Item L Commercial Grade Electrical Vehicle Charging Stations has been added to indicate equipment procurement by owner and installation by contractor.
- B. Specification Section **012300 Alternates and Unit Prices, (Reissued).**
1. The below revisions correlate with PennBid RFI response #25
    - a. Paragraph 3.1 Schedule of Alternates: Alternate #3 has been revised to indicate new work scope for the EV charging Stations which will be procured by the owner and installed by the Electrical Prime Contractor.
  2. The below revisions correlate with PennBid RFI response #15
    - a. Paragraph 3.1 Schedule of Alternates: Alternate #8 has been added for procurement options for the Generator and Automatic Transfer switch.
- C. Specification Section **015100 Temporary Utilities, (Reissued).**
1. The below revisions correlate with PennBid RFI response #23
    - a. Paragraph 1.6 Temporary Electricity: Note A has been revised to indicate the appropriate utility company.

1.2.7 REVISIONS TO DIVISION 08 OPENINGS

A. Specification Section **084523 Fiberglass Sandwich-Panel Assemblies, (Reissued).**

1. The below revisions correlate with PennBid RFI response #10
  - a. Paragraph 1.5 Performance requirements: Items A & B have been revised to indicate wind load and deflection limit parameters.

1.2.8 REVISIONS TO DIVISION 10 SPECIALTIES

A. Specification Section **105113 Metal Lockers, (Omitted)**

1. The below revisions correlate with PennBid RFI response #9.
  - a. Entire section has been omitted and replaced with section 105129 Phenolic Lockers

B. Specification Section **105129 Phenolic Lockers, (New)**

1. The below revisions correlate with PennBid RFI response #9.
  - a. Entire section was not included in the original bid package and has been added in lieu of section 105113 Metal Lockers.

C. Specification Section **107300 Cantilevered Carports, (New).**

1. Entire section was not included in the original bid package and has been added for clarifications

1.2.9 REVISIONS TO DIVISION 13 SPECIAL CONSTRUCTION

A. Specification Section **133133 Framed Fabric Structures, (New).**

1. This revisions aligns with PennBid RFI responses #4, #8, #31.
  - a. Entire section was not included in the original bid package and has been added for clarifications

1.2.10 REVISIONS TO DIVISIONS 26 SPECIFICATION SECTIONS

A. Specification Section **263213.13 Diesel Emergency Engine Generators, (Reissued).**

1. Paragraph 2.1 Manufacture: The service load size has been revised to reference one

- line diagram.
- 2. Paragraph 2.3 Engine Generator Assembly Description: The service load size has been revised to reference one line diagram.

B. Specification Section **263600 Transfer Switches, dated 06/02/2025, (Reissued).**

- 1. Paragraph 2.1 Manufacture: The service load size has been revised to reference one line diagram.

1.2.11 REVISIONS TO DRAWING SHEETS

A. Sheet **A304 Wall Sections - Garage (Reissued).**

- 1. The below revisions correlate with PennBid RFI response #19
  - a. **Drawing #1/A304:** Wall Section has been revised to indicate additional support for the Horizontal wall panels.

B. Sheet **A401 Restroom/Locker Plans, Elevations & Details (Reissued).**

- 1. The below revisions correlate with PennBid RFI response #7.
  - a. **Drawings #2/A401, #4/A401, #6/A401, #7/A401, #8/A401, #9/A401, #10/A401, #12/A401:** Interior elevations have been revised to indicate floor mounted toilet partitions in lieu of ceiling mounted toilet partitions.
  - b. **General notes:** Notes have been revised for construction clarifications.

C. Sheet **P000 Plumbing Symbols, Abbreviations, Legends & General Notes (Reissued).**

- 1. The below revisions correlate with PennBid RFI response #56.
  - a. The entire drawing has been updated for clarity purposes

D. Sheet **P100 Underground Plumbing Plan (Reissued).**

- 1. The below revisions correlate with PennBid RFI response #56.
  - a. **Title Block, General Notes and Keynotes:** Drawing has been updated for clarity purposes

E. Sheet **P101 Plumbing Floor Plan (Reissued).**

- 1. **Plan #1/P101:** Revised domestic water supply connections to GWH-1
- 2. The below revisions correlate with PennBid RFI response #56.
  - a. **Title Block, General Notes and Keynotes:** Drawing has been updated for

clarity purposes

F. Sheet **P102 Natural Gas Piping Floor Plan (Reissued).**

1. **Plan #1/P102:** Revised natural gas supply connections to GWH-1
2. The below revisions correlate with PennBid RFI response #56.
  - a. **Title Block, General Notes and Keynotes:** Drawing has been updated for clarity purposes

G. Sheet **P103 Salt Shed Plumbing Floor Plan (Reissued).**

1. The below revisions correlate with PennBid RFI response #56.
  - a. **Title Block, General Notes and Keynotes:** Drawing has been updated for clarity purposes

H. Sheet **P401 Enlarged Plumbing Plan (Reissued).**

1. The below revisions correlate with PennBid RFI response #56.
  - a. **Title Block, General Notes and Keynotes:** Drawing has been updated for clarity purposes

I. Sheet **P501 Plumbing Details (Reissued).**

1. The below revisions correlate with PennBid RFI response #56.
  - a. The entire drawing has been updated for clarity purposes

J. Sheet **P600 Plumbing Schedules (Reissued).**

1. The below revisions correlate with PennBid RFI response #56.
  - a. **Schedules, Title Block, General Notes and Keynotes:** Drawing has been updated for clarity purposes

K. Sheet **P901 Sanitary Waste & Vent Pipping Riser Diagrams (Reissued).**

1. The below revisions correlate with PennBid RFI response #56.
  - a. **Title Block, General Notes:** Drawing has been updated for clarity purposes

L. Sheet **P902 Domestic Water Pipping & Natural Gas Pipping Riser Diagrams (Reissued).**

1. **Plan #1/P501:** Revised domestic water supply and Natural gas supply connections

- to GWH-1
2. The below revisions correlate with PennBid RFI response #56.
- a. **Title Block, General Notes:** Drawing has been updated for clarity purposes
- M. Sheet **E101 Power Plan (Reissued).**
1. The below revisions correlate with PennBid RFI response #34.
- a. **Drawing #1/E101:** Power placeholder added for owner provided signage.  
b. **Power Keynotes:** Keynote #22 added to identify signage power work scope.
- N. Sheet **E601 Diagrams (Reissued).**
1. The below revisions correlate with PennBid RFI response #47
- a. **Drawing #1/E601:** One line Diagram revised to indicate conduit and cable line sets to/from ATS-E.
- O. Sheet **E801 Schedules (Reissued).**
1. The below revisions correlate with PennBid RFI response #34
- a. **Branch Panel RP4:** Power requirements added for owner provided signage.

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### 1.3.1 ADDENDUM

#### A. Addendum No. 03

### 1.3.2 PROJECT INFORMATION

- A. Project Name: **Public Works Garage and Salt Shed**
- B. Owner: **City of Chester**
- C. Owner Project Number: **2025-010**
- D. Architect: **CED Architecture, Inc.**
- E. Architect Project Number:
- F. Date of Addendum: **06/03/2025**

### 1.3.3 NOTICE TO BIDDERS

- A. This Addendum is issued **to all PennBid registered vendors** pursuant to the **Instructions to Bidders and Conditions of the Contract**. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.

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- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate Acknowledgment field with their PennBid submission.

- C. The date for receipt of bids is **unchanged by this Addendum** at same time and location.

1. Bid Date: 06/26/2025.

### 1.3.4 ATTACHMENTS

- A. This Addendum includes the following attached Documents and Specification Sections:

1. Document: Addendum No.3 letter with links for Pre-Bid meeting video/audio prepared by Greg Shaffer Officer of Procurement, dated June 3, 2025 as issued electronically on PennBid.
2. Specifications: None at this time

- B. This Addendum includes the following attached sheets:

1. General Sheet: N/A
2. Civil: N/A
3. Structural Sheet: N/A
4. Architectural: N/A
5. Fire-Protection Sheet: N/A
6. Plumbing Sheet: N/A
7. Mechanical Sheet: N/A
8. Electrical Sheet: N/A

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### 1.4.1 ADDENDUM

- A. **Addendum No. 04**

### 1.4.2 PROJECT INFORMATION

- A. Project Name: **Public Works Garage and Salt Shed**

- B. Owner: **City of Chester**
- C. Owner Project Number: **2025-010**
- D. Architect: **CED Architecture, Inc.**
- E. Architect Project Number:
- F. Date of Addendum: **06/05/2025**

#### 1.4.3 NOTICE TO BIDDERS

- A. This Addendum is issued **to all PennBid registered vendors** pursuant to the **Instructions to Bidders and Conditions of the Contract**. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.

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- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate Acknowledgment field with their PennBid submission.
- C. The date for receipt of bids is **unchanged by this Addendum** at same time and location.
  - 1. Bid Date: 06/26/2025.

#### 1.4.4 ATTACHMENTS

- A. This Addendum includes the following attached Documents and Specification Sections:
  - 1. Documents: Phase II Environmental Site Assessment, as prepared by Colliers Engineering and Design, inc. Dated April, 2025
  - 2. Specifications:
    - b. Section 230923 Direct Digital Control (DDC) System for HVAC, dated 06/05/2025, (Reissued).
- B. This Addendum includes the following attached sheets:
  - 1. General Sheet: N/A
  - 2. Civil:
    - a. Sheet 3.0 Site Plan, dated 6/05/25, (Reissued).
    - b. Sheet 4.0 Grading Plan, dated 6/05/25, (Reissued).
    - c. Sheet 5.0 Utilities Plan, dated 6/05/25, (Reissued).
    - d. Sheet 5.1 Profiles, dated 6/05/25, (Reissued).

- e. Sheet 6.0 Soil Erosion & Sediment Control Plan, dated 6/05/25, (Reissued).
- f. Sheet 6.1 Soil Erosion & Sediment Control Details, dated 6/05/25, (Reissued).
- g. Sheet 6.2 Soil Erosion & Sediment Control Details, dated 6/05/25, (Reissued).
- h. Sheet 8.1 Landscape Details, dated 6/05/25, (Reissued).
- i. Sheet 10.3 Fence Construction Details, dated 6/05/25, (Reissued).
- j. Sheet 11.0 PCSM Plan, dated 6/05/25, (Reissued).
- k. Sheet 15.0 PCSM Notes, dated 6/05/25, (Reissued).

- 3. Structural Sheet: **N/A**
- 4. Architectural: **N/A**
- 5. Fire-Protection Sheet: **N/A**
- 6. Plumbing Sheet: **N/A**
- 7. Mechanical Sheet: **N/A**
- 8. Electrical Sheet: **N/A**

#### 1.4.5 REVISIONS TO DIVISION 00 PROCUREMENT REQUIREMENTS AND CONTRACTING REQUIREMENTS

##### A. Specification Section **009113 Addenda, (Reissued)**

- 1. Sections have been revised to include Addendum No.03 & Addendum No.04

#### 1.4.6 REVISIONS TO DIVISIONS 23 SPECIFICATION SECTIONS

##### A. Specification Section **230923 Direct Digital Control (DDC) System for HVAC, (Reissued).**

- 1. The below revisions correlate with PennBid RFI response #60
  - a. Paragraph 1.3 Approved Control Systems: Item A has been revised to include Scheider Electrical Controls as an approved vendor.
  - b. Paragraph 2.2 Communication: Item A has been revised to indicate new work scope criteria.

#### 1.4.7 REVISIONS TO DRAWING SHEETS

##### A. Sheet **3.0 Site Plan (Reissued).**

- 1. The below revisions correlate with PennBid RFI response #52
  - a. **Drawing #1/3.0:** Fence enclosure height revised.



2. The below revisions correlate with PennBid RFI response #65 & #66
    - a. **PA Act 2 Remediation Notes:** Paragraphs have been added ahead of numerical notes to indicate Pre-Acquisition Due Diligence, SPLP Value for Manganese and Remediation Measures.
    - b. **PA Act 2 Remediation Notes:** Numerical notes have been revised to comply with DEP comments.
  3. The below revisions correlate with PennBid RFI response #51
    - a. **Notes:** Note added to indicate pedestrian gate work scope
- B. Sheet **4.0 Grading Plan (Reissued).**
1. The below revisions correlate with PennBid RFI response #65 & #66
    - a. **PA Act 2 Remediation Notes:** Paragraphs have been added ahead of numerical notes to indicate Pre-Acquisition Due Diligence, SPLP Value for Manganese and Remediation Measures.
    - b. **PA Act 2 Remediation Notes:** Numerical notes have been revised to comply with DEP comments.
- C. Sheet **5.0 Utilities Plan (Reissued).**
1. **Plan #1/5.0:** Note added to comply with DEP comments regarding work scope with the Sewer Authority.
  2. **Act 2 Remediation Notes:** Notes have been revised to comply with DEP comments.
- D. Sheet **5.1 Profiles (Reissued).**
1. The below revisions correlate with PennBid RFI response #40
    - a. **Profile Drawing S1-UGB #1:** HDPE pipe size has been revised to 6”.
    - b. **Profile Drawing S12-UGB #1:** HDPE pipe size has been revised to 6”.
- E. Sheet **6.0 Soil Erosion & Sediment Control Plan (Reissued).**
1. **Act 2 Remediation Notes:** Notes added to sheet to comply with DEP comments.
- F. Sheet **6.1 Soil Erosion & Sediment Control Details (Reissued).**
1. **Standard Construction Detail #3-16 (ABACT) Pumped Water Filter Bag:** Note has been revised to add scope to comply with DEP comments.
- G. Sheet **6.2 Soil Erosion & Sediment Control Details (Reissued).**

1. **Standard Construction Detail #4-17 (ABACT) Stone and Concrete Block Inlet Protection – Type C inlet:** Note has been revised to add scope to comply with DEP comments.
2. **Standard Construction Detail #4-18 (ABACT) Stone and Concrete Block Inlet Protection – Type M inlet:** Note has been revised to add scope to comply with DEP comments.
3. **Storm Sewer flow to surface waters map:** Map added to comply with DEP comments.
4. **Sheet Landscape Specification Notes:** Copy revised notes from Sheet 11.0 to comply with DEP comments. Reference Section notes 1.2.7(K)(2)(a-i) in this addend for additional information.

H. Sheet **8.1 Landscape Details (Reissued).**

1. **Evergreen Tree Planting Detail:** Notes have been added to identify additional scope to comply with DEP comments.
2. **Ground Cover/Perennial Planting Detail:** Notes have been added to identify additional scope to comply with DEP comments.
3. **Ornamental Grass Planting Detail:** Notes have been added to identify additional scope to comply with DEP comments.
4. **Multi-Leader Tree Planting Detail:** Notes have been added to identify additional scope to comply with DEP comments.
5. **Deciduous Tree Planting Detail:** Notes have been added to identify additional scope to comply with DEP comments.

I. Sheet **10.3 Fence Construction Details (Reissued).**

1. The below revisions correlate with PennBid RFI response #2 & #52
  - a. **6' High Ornamental Aluminum Fence:**
    - 1) Detail title has been renamed to 6ft in lieu of 9ft
    - 2) Standard Height has been revised to 6ft high in lieu of 9ft high.
  - b. **6' High Ornamental Aluminum Man Gate:**
    - 1) Detail title has been renamed to 6ft in lieu of 9ft
    - 2) Standard Height has been revised to 6ft high in lieu of 9ft high.
2. The below revisions correlate with PennBid RFI responses #45, #51, #63 & #64
  - a. **Galvanized Steel Chain Link Fence (Security) Detail:** Note #1 has been revised to indicate the correct mesh size, wire gauge thickness and finish
  - b. **Chain Link Fence Single Gate Detail:** Note #1 has been revised to indicate the correct mesh size, wire gauge thickness and finish
  - c. **8' Chain Link Fence Rolling Gate:**

- 1) Title has been revised to 8ft high in lieu of 9ft high
- 2) Note has been revised to indicate the correct mesh size, wire gauge thickness and finish

J. Sheet **11.0 PCSM Plans (Reissued).**

1. **Act 2 Remediation Notes:** Notes added to sheet to comply with DEP comments.

K. Sheet **15.0 PCSM Notes (Reissued).**

1. **Storm Sewer flow to surface waters map:** Map added to comply with DEP comments.
2. **Sheet Landscape Specification Notes:** Revise and add notes for landscape work scope to comply with DEP Comments
  - a. **Material Notes:** Scope notes added to comply with DEP comments
  - b. **Sequence Notes:** Scope notes added to comply with DEP comments
  - c. **Stabilization Notes:** Scope notes added to comply with DEP comments
  - d. **Recommended Mulching Specifications:** Scope notes added to comply with DEP comments
  - e. **NPDES Permit Notes:** Scope notes added to comply with DEP comments
  - f. **Permanent seed Mixture:** Add notes A & B
  - g. **Environmental Due Diligence:** Scope notes added to comply with DEP comments
  - h. **E&S Planning and Design – Section 102.4(B)(4):** Scope notes added to comply with DEP comments
  - i. **Measures Provided to Minimize Thermal Impacts:** Scope notes added to comply with DEP comments.

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**1.5.1 ADDENDUM**

**A. Addendum No. 05**

**1.5.2 PROJECT INFORMATION**

- A. Project Name: **Public Works Garage and Salt Shed**
- B. Owner: **City of Chester**
- C. Owner Project Number: **2025-010**
- D. Architect: **CED Architecture, Inc.**

- E. Architect Project Number:
- F. Date of Addendum: **06/12/2025**

#### 1.5.3 NOTICE TO BIDDERS

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- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate Acknowledgment field with their PennBid submission.
- C. The date for receipt of bids is **unchanged by this Addendum** at same time and location.
1. Bid Date: 06/26/2025.

#### 1.5.4 ATTACHMENTS

- A. This Addendum includes the following attached Documents and Specification Sections:
1. Documents: N/A
2. Specifications:
- a. Section 000110 Table of Contents, dated 06/12/2025, (Reissued).
  - b. Section 009113 Addenda, dated 06/12/2025. (Reissued)
  - c. Section 026000 Contaminated Site Material Removal & Soil Capping, dated 06/12/2025, (Reissued).
  - d. Section 034800 Precast Concrete Wall Caps, dated 06/12/2025, (New)
  - e. Section 089119 Fixed Louvers, dated 06/12/2025, (New).
  - f. Section 093013 Ceramic Tile, Dated 06/12/2025, (Reissued).
  - g. Section 102800 Toilet, Bath and Laundry Accessories, (Reissued).
  - h. Section 144500 Heavy Duty Vehicle Lifts, Dated 06/12/2025, (Reissued).
- B. This Addendum includes the following attached sheets:
1. General Sheet: N/A
2. Civil: N/A
3. Structural Sheet: N/A
4. Architectural:
- a. Sheet A503: Exterior Details, dated 6/12/2025 (Reissued)

5. Fire-Protection Sheet: N/A
6. Plumbing Sheet: N/A
7. Mechanical Sheet: N/A
8. Electrical Sheet: N/A

#### 1.5.5 REVISIONS TO DIVISION 00 PROCUREMENT REQUIREMENTS AND CONTRACTING REQUIREMENTS

##### A. Specification Section **000110 Table of Contents, (Reissued)**

1. The below revisions correlate with PennBid RFI response #79.
  - a. Section 089119 Fixed Louvers has been added to provide the required work scope for procuring and installing fixed louvers.
2. The below revisions correlate with PennBid RFI response #82
  - a. Section 034800 Precast Concrete Wall Caps has been added to provide the required work scope for procuring and installing the caps at the trash enclosure
3. Section 080671 has been revised to provide the correct spelling for “Door”
4. Section 312500 & Section 312513 have been revised to provide the correct spelling for “Erosion”

##### B. Specification Section **009113 Addenda, (Reissued)**

1. Paragraph 1.1.3 has been revised to reference the “Acknowledgment field with their PennBid submission” in lieu of the “Bid Form.”
2. Paragraph 1.2.3 has been revised to reference the “Acknowledgment field with their PennBid submission” in lieu of the “Bid Form.”
3. Paragraph 1.2.5(A)(1), Items (a,b,c&d) have been added for clarification
4. Paragraph 1.3.3 has been revised to reference the “Acknowledgment field with their PennBid submission” in lieu of the “Bid Form.”
5. Paragraph 1.4.3 has been revised to reference the “Acknowledgment field with their PennBid submission” in lieu of the “Bid Form.”
6. Paragraphs 1.5.1 through 1.5.12 have been added to include Addendum No.05

#### 1.5.6 REVISIONS TO DIVISION 02 EXISTING CONDITIONS

##### A. Specification Section **026000 Contaminated Site Material Removal & Soil Capping, (Reissued)**

1. The “Draft” watermark has been removed from the document. No other revisions

have been made to this specification section.

#### 1.5.7 REVISIONS TO DIVISION 03 CONCRETE

##### A. Specification Section **034800 Precast Concrete Wall Caps, (New)**

1. The below revisions correlate with PennBid RFI response #82
  - a. Section 034800 Precast Concrete Wall Caps has been added to provide the required work scope for procuring and installing wall caps at the trash enclosure.

#### 1.5.8 REVISIONS TO DIVISION 08 OPENINGS

##### A. Specification Section **089119 Fixed Louvers, (New)**

1. The below revisions correlate with PennBid RFI response #79
  - a. Section 089119 Fixed Louvers has been added to provide the required work scope for procuring and installing fixed louvers.

#### 1.5.9 REVISIONS TO DIVISION 09 FINISHES

##### A. Specification Section **093013 Ceramic Tile, (Reissued)**

1. The below revisions correlate with PennBid RFI response #70
  - a. Paragraph 3.8 Interior Ceramic Tile Schedule, Item A(1) has been Omitted.
  - b. Paragraph 3.8 Interior Ceramic Tile Schedule, Item A(2) has been revised to remove the reference to "Shower 315."
  - c. Paragraph 3.8 Interior Ceramic Tile Schedule, Item B has been Omitted in its entirety.
  - d. Paragraph 3.8 Interior Ceramic Tile Schedule, Item B has been Omitted in its entirety.
  - e. Paragraph 3.8 Interior Ceramic Tile Schedule, Item C(2) has been Omitted.
  - f. Paragraph 3.8 Interior Ceramic Tile Schedule, Item D has been Omitted in its entirety.

#### 1.5.10 REVISIONS TO DIVISION 10 SPECILATIES

##### A. Specification Section **102800 Toilet, Bath and Laundry Accessories, (Reissued)**

1. The below revisions correlate with PennBid RFI response #75

- a. Paragraph 1.2 Summary, Item A(3) has been Omitted.
- b. Paragraph 2.2 Washroom Accessories, Item C has been revised to coordinate with drawings for a “Combo Paper Towel Dispenser and Waste Receptacle.”
- c. Paragraph 2.2 Washroom Accessories, Item C(7) has been added to reference the basis of design on the drawings.
- d. Paragraph 2.2 Washroom Accessories, Item H “High Speed Warm Air Dryer” has been Omitted

#### 1.5.11 REVISIONS TO DIVISION 14 CONVEYING EQUIPMENT

##### A. Specification Section **144500 Heavy Duty Vehicle Lifts, (Reissued)**

- 1. The below revisions correlate with PennBid RFI response #58 & #73
  - a. Paragraph 1.1 Section Includes, Item A(1) & A(2) have been omitted
  - b. Paragraph 1.1 Section Includes, Item A(3) has been added to indicate the Heavy Duty Twin Post Vehicle Lift for this project.
  - c. Paragraph 1.5 References, Item B has been revised to include ANSI/ALI ALCTV Standards for vehicle lifts.
  - d. Paragraph 1.5 References, Item D has been added to indicate that any substitutions offered must be a model that has been in production for a minimum of 5 years
  - e. Paragraph 1.7 Warranty, Item A has been revised to indicate the basis of design warranty duration of 25 years.
  - f. Paragraph 1.7 Warranty, Items B, C, D & E have been added to reflect the Basis of design warranty parameters per component
  - g. Paragraph 2.1 Manufacturers, Item A has been revised to indicate Mohawk Lifts, Model TP-30 and manufacturers contact info for the Basis of Design.
  - h. Paragraph 2.2 MODULAR INGROUND AXLE ENGAGING LIFTS, 3 POST has been omitted in its entirety.
  - i. Paragraph 2.3 75,000 LB PARALLELOGRAM DRIVE ON FLUSH MOUNTED LIFT has been omitted in its entirety.
  - j. Paragraph 2.4 30,000LB HEAVY DUTY TWIN POST VEHICLE LIFT has been added in its entirety.

#### 1.5.12 REVISIONS TO DRAWING SHEETS

##### A. Sheet **A503 Exterior Details (Reissued).**

- 1. The below revision correlates with PennBid RFI response #74
  - a. **Drawing #2/A503:** “INSULATION AT PILE CAPS” has been Omitted.

##### B. Sheet **A506 Interior Details (Omitted).**

1. The below revision correlates with PennBid RFI response #78

a. **Drawing A506:** "INTERIOR DETAILS" has been Omitted.

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#### 1.6.1 ADDENDUM

##### A. Addendum No. 06

#### 1.6.2 PROJECT INFORMATION

- A. Project Name: **Public Works Garage and Salt Shed**
- B. Owner: **City of Chester**
- C. Owner Project Number: **2025-010**
- D. Architect: **CED Architecture, Inc.**
- E. Architect Project Number:
- F. Date of Addendum: **06/16/2025**

#### 1.6.3 NOTICE TO BIDDERS

- A. This Addendum is issued **to all PennBid registered vendors** pursuant to the **Instructions to Bidders and Conditions of the Contract**. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate Acknowledgment field with their PennBid submission.
- C. The date for receipt of bids is **unchanged by this Addendum** at same time and location.
  - 1. Bid Date: 06/26/2025.

#### 1.6.4 ATTACHMENTS

- A. This Addendum includes the following attached Documents and Specification Sections:
  - 1. Document: N/A



2. Specifications:

- a. Section 009113 Addenda, dated 06/16/2025 (Reissued)
- b. Section 012300 Alternates & Unit Prices, dated 6/16/2025 (Reissued)
- c. Section 072600 Vapor Retarders, Dated 6/16/2025 (Reissued)

B. This Addendum includes the following attached sheets:

1. General Sheet: N/A
2. Civil:
  - a. Sheet 3.0 Site Plan, dated 06/16/2025 (Reissued)
3. Structural Sheet: N/A
4. Architectural:
  - a. Sheet G002 Egress & Life Safety Plans, dated 6/16/2025 (Reissued)
  - b. Sheet A001 Architectural Site Plan, dated 06/16/2025 (Reissued)
  - c. Sheet A002 Site Plan Detail, dated 06/16/2025 (Reissued)
  - d. Sheet A504 Exterior Details, dated 06/16/2025 (Reissued)
  - e. Sheet A106 Overall Floor Finish Plan, dated 6/16/2025 (Reissued).
  - f. Sheet A107 Floor Finish Plan – Enlarged Garage & Enlarged Office, dated 6/6/2025 (Reissued).
5. Fire-Protection Sheet: N/A
6. Plumbing Sheet: N/A
7. Mechanical Sheet: N/A
8. Electrical Sheet: N/A

1.6.5 REVISIONS TO DIVISION 00 PROCUREMENT REQUIREMENTS AND CONTRACTING REQUIREMENTS

A. Specification Section **009113 Addenda, (Reissued)**

1. Paragraph 1.5.4, Section B(4)(a) has been revised to indicate the latest date for the revised drawing.
2. Paragraphs 1.6.1 through 1.6.8 have been added to include Addendum No.06
3. Paragraphs 1.7.1 through 1.7.4 have been added to include Addendum No.07

1.6.6 REVISIONS TO DIVISION 01 GENERAL REQUIREMENTS

A. Specification Section **012300 Alternates and Unit Prices, (Reissued).**

1. Paragraph 3.1 Schedule of Alternates: Alternate #9 has been added for procurement options for the Garage Door apron pavement.

#### 1.6.7 REVISIONS TO DIVISION 07 THERMAL AND MOISTURE PROTECTION

##### A. Specification Section **072600 Vapor Retarders, (Reissued).**

1. The below revision correlates with PennBid RFI response #100
  - a. Paragraph 2.4 Polyimide Film Vapor Retarders: Section has been added in its entirety to indicate the material for covering mineral wool insulation at the top of CMU walls at the building perimeter.

#### 1.6.8 REVISIONS TO DRAWING SHEETS

##### A. Sheet **G002 Egress & Life Safety Plans (Reissued).**

1. The below revision correlates with PennBid RFI response #109
  - a. **Drawing #1/G002:** "LIFE SAFETY PLAN" has been revised to show the location of interior tactile signage.
  - b. **Keyed Notes:** Keynotes #4 & #5 have been added to indicate additional work scope for interior signage.
  - c. **Interior Signage Schedule - "G":** Schedule has been added to identify interior signage types.
  - d. **Interior Signage Details:** Details #4, #5, #6 & #6 have been added to indicate signage graphic and installation requirements.

##### B. Sheet **3.0 Site Plan (Reissued)**

1. The below revision correlates with PennBid RFI response #108
  - a. Plan #1/3.0 Site Plan: The extent of a concrete pavement area and notes have been added to indicate potential additional work scope in accordance with Alternate #9.

##### C. Sheet **A001 Architectural Site Plan (Reissued).**

1. The below revision correlates with PennBid RFI response #99
  - a. **Keynotes:** Keynote #13 has been revised to indicate an expansion filler joint at perimeter of salt shed walls.
2. The below revision correlates with PennBid RFI response #108
  - a. **Plan #1/A001: Architectural Site Plan:** The extent of a concrete apron pavement area and keynote tag #26 have been added to indicate potential additional work scope in accordance with Alternate #9.

- b. **Keynotes:** Keynote #26 has been added to indicate potential additional work scope in accordance with Alternate #9.

D. Sheet **A002 Site Plan Details (Reissued).**

- 1. The below revision correlates with PennBid RFI response #50
  - a. **Detail #1/A002 Typical Bollard Detail:** Height of the typical bollard has been revised to 4'-0" above grade in lieu of 5'-0"
- 2. The below revision correlates with PennBid RFI response #82
  - a. **Detail #5/A002 Trash Enclosure Elevation:** Detail has been revised to indicate 2-1/2" cap height with smooth edges in lieu of 2" height with splitface edges.
- 3. The below revision correlates with PennBid RFI response #114
  - a. **Detail #7/A002 Equipment Pad Detail:** Detail has been added to indicate reinforcement requirements for the concrete equipment pad.

E. Sheet **A106 Overall Floor Finish Plan (Reissued).**

- 1. The below revision correlates with PennBid RFI response #96 & #97
  - a. **Finish Hatch Legend:** Concrete Finish material revised to Exposed Concrete flooring with clear sealer, in lieu of epoxy flooring
  - b. **Finish Schedule:** Base finish EB1 has been Omitted

F. Sheet **A107 Floor Finish Plan – Enlarged Garage & Enlarged Office (Reissued).**

- 1. The below revision correlates with PennBid RFI response #96 & #97
  - a. **Finish Hatch Legend:** Concrete Finish material revised to Exposed Concrete flooring with clear sealer, in lieu of epoxy flooring
  - b. **Finish Schedule:** Base finish EB1 has been Omitted

G. Sheet **A504 Exterior Details (Reissued).**

- 1. The below revision correlates with PennBid RFI response #108
  - a. **Detail #6/A504:**
    - 1) The detail name has been revised for clarification purposes.

- 2) Column grid line removed for clarification purposes
- 3) Dimension for apron width revised to 4'-0" in lieu of 5'-0"

4

#### 1.7.1 ADDENDUM

##### A. Addendum No. 07

#### 1.7.2 PROJECT INFORMATION

- A. Project Name: **Public Works Garage and Salt Shed**
- B. Owner: **City of Chester**
- C. Owner Project Number: **2025-010**
- D. Architect: **CED Architecture, Inc.**
- E. Architect Project Number:
- F. Date of Addendum: **06/16/2025**

#### 1.7.3 NOTICE TO BIDDERS

- A. This Addendum is issued **to all PennBid registered vendors** pursuant to the **Instructions to Bidders and Conditions of the Contract**. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate Acknowledgment field with their PennBid submission.
- C. The date for receipt of bids is **unchanged by this Addendum** at same time and location.
  1. Bid Date: 06/26/2025.

#### 1.7.4 ATTACHMENTS

- D. This Addendum includes the following attached Documents and Specification Sections:
  1. Document: Addendum No7 letter with RFI response tabulation and clarifications,

dated June 16, 2025 as issued electronically on PennBid.

2. Specifications: None at this time

E. This Addendum includes the following attached sheets:

1. General Sheet: N/A
2. Civil: N/A
3. Structural Sheet: N/A
4. Architectural: N/A
5. Fire-Protection Sheet: N/A
6. Plumbing Sheet: N/A
7. Mechanical Sheet: N/A
8. Electrical Sheet: N/A

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

**END OF DOCUMENT 009113**

## **ALTERNATE AND UNIT PRICES**

### **PART 1 - GENERAL**

#### **1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

#### **1.2 SUMMARY**

- A. This Section includes administrative and procedural requirements for alternates and unit prices

#### **1.3 DEFINITIONS**

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  - 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.
- B. Unit price is an amount incorporated in the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased.
  - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of the unit price.
- C. Notification: Immediately following award of the Contract, the Construction Manager shall notify each prime contractor, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- D. Execute accepted alternates under the same conditions as other work of the Contract.
- E. Schedule: A Schedule of Alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.
- F. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.

#### 1.4 PROCEDURES FOR UNIT PRICES

- A. Unit prices include all necessary material, labor, equipment, services and incidentals, plus cost for the delivery, installation, insurance, overhead and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurements and payment for unit prices are specified in those Sections. Quantities indicated in the documents in the Bid Form are for bidding and contract purposes only. Quantities and measurements of actual Work will determine the payment amount. Payment will not be made on the following: Products wasted or disposed of in a manner that is not acceptable; Products determined as unacceptable before or after placement; Products not completely unloaded from the transporting vehicle; Products placed beyond the lines and levels of the required work; Products remaining on hand after the completion of the Work, Loading, hauling, and disposing of rejected products.
- C. Owner/Construction Manager reserve the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit prices: A schedule of unit prices is included in part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

#### PART 2 - PRODUCTS (Not Used)

#### PART 3 – EXECUTION

##### 3.1 SCHEDULE OF ALTERNATES

A. Alternate No. 1: Salt Shed Structure and Prefab Roof system.

Basis of Design: The base contract shall NOT include the cost for procurement and installation of the Salt Shed in its entirety, including footings, foundations, protective bollards, and all other associates, plumbing & electrical components. Paving, as indicated on the civil drawings, shall cover the area of the salt shed and shall be consistent with adjacent grades. Extend the concrete curb along the area that would make up the south and west walls of the salt shed.

Alternate: Provide the cost to construct the salt shed as shown on the drawings in its entirety, including but not limited to foundations with associated earthwork and site work, Concrete walls, protective bollards, prefab membrane roof structure, finishes, lighting and plumbing hose bib as indicated on contract drawings. Omit the extended

concrete curb along the area that would make up the south and west walls of the salt shed.

B. Alternate No. 1A: Salt Shed Structure, Excluding Prefab Roof System.

Basis of Design: The base contract shall NOT include the cost for procurement and installation of the Salt Shed in its entirety, including footings, foundations and all other associates, plumbing & electrical components. Paving, as indicated on the civil drawings, shall cover the area of the salt shed and shall be consistent with adjacent grades. Extend the concrete curb along the area that would make up the south and west walls of the salt shed.

Alternate: Provide the cost to construct the salt shed walls, foundations and footings, with associated earthwork and site work, concrete finishes and striping, lighting and plumbing hose bib as indicated on contract drawings. Omit the extended concrete curb along the area that would make up the south and west walls of the salt shed. Omit the procurement and installation of the prefabricated fabric membrane roof system.

C. Alternate No. 2: Parking Canopy.

Basis of Design: The base contract shall NOT include the cost for procurement and installation of the Parking Canopy in its entirety, including footings, foundations and all other associated electrical components. Paving, as indicated on the civil drawings, shall cover the area of the parking canopy and shall be consistent with adjacent grades. Provide parking space striping as shown on drawings.

Alternate: Provide the cost to construct the Parking Canopy as shown on the contract drawings in its entirety, including but not limited to foundations and footings, concrete piers, prefabricated roof structure, finishes and associated electrical components for lighting systems.

D. Alternate No. 2A: Parking Canopy Footings & Foundations.

Basis of Design: The base contract shall NOT include the cost for procurement and installation of the Parking Canopy in its entirety, including footings, foundations and all other associated electrical components. Paving, as indicated on the civil drawings, shall cover the area of the parking canopy and shall be consistent with adjacent grades. Provide parking space striping as shown on drawings.

Alternate: Provide the cost to construct the Parking Canopy footings and foundations as shown on the contract drawings, including concrete piers, finishes and associated electrical components for lighting systems. Omit the prefabricated steel parking canopy structure.

1

E. Alternate No. 3: Commercial EV Charging Stations.

Basis of Design: Omit all work associated with the EV Charging stations, as indicated in the drawings including but not limited to purchase and installation of the electrical power supply, breakers and disconnects, conduits and feeders, trenching, back filling, cutting and patching and adjacent protective bollards (2 at each unit).



1

Alternate: Provide the cost to install the owner provided commercial grade electrical vehicle (EV) charging stations in their entirety, as shown on the contract drawings including but not limited to purchase and installation of electrical power supply, breakers and disconnects, conduits and feeders, trenching, back filling, cutting and patching and adjacent protective bollards (2 at each unit). All work must be completed in compliance with the EPA grant by 5/30/2026, provided by the owner, within the timeframe indicated in the grant requirements.

F. Alternate No. 4: Sealed Concrete In Breakroom & Locker Rooms.

Basis of Design: Provide and install tile and laminate flooring as indicated on the contract drawings in the Men's Locker room, Women's Locker rooms and Break room respectively.

Alternate: Provide the deduct cost to omit the tile and/or laminate flooring, prep and underlayment in the locker rooms and breakroom and seal the concrete slab in these rooms with Conc-1 as the final finish (3 coats). Omit extension kits required to set floor drains level with applied flooring systems.

G. Alternate No. 5: Eliminate HVLS Fans (Big Ass Fans).

Basis of Design: Provide and install HVLS fans and all associated utilities and support structure as indicated on the contract drawings.

Alternate: Provide the deduct cost to omit the HVLS fans only. The associated electrical utilities and structural support components are to remain as part of the base bid and shall be constructed with or without the procurement and installation of the fans.

H. Alternate No. 6: Radiant Heaters and Heat Trace.

Basis of Design: Provide and install Unit Heaters as indicated on the contract drawings. Provide all electrical, structural and mechanical components necessary for a complete installation of the unit heaters. (Do not include cost for procurement and installation of radiant heaters, heat trace, electrical, support from bent frames, plumbing, and mechanical components necessary for radiant and heat trace systems).

Alternate: Provide the cost to omit the unit heaters and all associated electrical, plumbing and mechanical components and structural support from main frame and in lieu of unit heaters, procure and install radiant heaters and heat trace as shown on the contract drawings with all electrical, structural and mechanical components necessary for a complete installation.

I. Alternate No 7: Heavy Duty Vehicle Lift.

Basis of design: Contractors to provide and install Vehicle Lift and make all final connections per trade as indicated in contract drawings and specifications. Contractors to provide all accessory elements required for fully functional equipment system including but not limited to concrete footings, power and final connections, compressed air and final connections.

Alternate: Contractors to provide deduct cost to omit procurement and installation of the Heavy Duty Vehicle Lift Equipment. Contractors shall still provide all accessory elements required for a fully functional equipment system including but not limited to concrete footings, power, compressed air. Owner to provide and install the heavy duty vehicle lift equipment and make final connections through co-operative vender.

1

J. Alternate No 8: Generator and Automatic Transfer Switch.

Basis of design: The owner will procure the Generator and Automatic transfer switch though a cooperative procurement method. Contractors shall include in their bid the cost to receive, handle and set & install the generator and automatic transfer switch to provide a fully functional emergency power system.

Alternate: Contractors shall include in this alternate the cost to procure the generator and automatic transfer switch, including but not limited to all fees, taxes & delivery expenses in lieu of procurement by the owner.

4

K. Alternate No 9: Concrete Apron at Garage Doors.

Basis of design: The General contractor shall include in their bids the cost for installing heavy duty asphalt up to the garage door opening

Alternate: Contractors shall include in this alternate the cost to omit a portion of heavy duty asphalt paving and install a reinforce concrete apron with turndown edge as indicated on plan #1/A001 and detail #6/A504.

3.2 SCHEDULE OF UNIT PRICES

- A. Unit Price No. 1: Removal of potential unforeseen building foundation. The General Contractor shall provide the Contract Unit Price per cubic yard for removal and disposal of any existing concrete footings, stone or masonry foundations unforeseen on the surface.
- B. Unit Price No. 2: Trench Rock. The General Contractor shall provide the Contract Unit Price per cubic yard for rock excavation by ram hammer
- C. Unit Price No. 3: Disposal of Contaminated Soils with high levels of Manganese. Removal of the soils and stock piling is to be as indicated in the contract documents. The General Contractor shall provide the Contract Unit Price per cubic yard for disposing of contaminated soils as identified in section "026000 CONTAMINATED SITE MATERIAL REMOVAL & SOIL CAPPING." Contractor shall coordinate with Colliers Engineering and Design's environmental soils team for threshold requirements on site to determine what/if soils need to be disposed.
- D. Unit Price No. 4: Replacement of Contaminated Soils. It is assumed that the amount of removal and disposal of contaminated soils may differ from the amount of replacement fill needed in areas where new construction occurs. The General Contractor shall provide

the Contract Unit Price per cubic yard for replacing contaminated soils with #2 crusher run stone structural fill materials.

- E. Unit Price No. 5: Unsuitable Soils Removal and Replacement with Stone. The General Contractor shall provide the Contract Unit Price per cubic yard for removing and disposing of unsuitable soils as determined by the geotechnical engineer on site during excavation, and replaced with #2 crusher run stone structural fill materials
- F. Unit Price No. 6: Installation of Underground Conduit for EV stations. The Electrical Contractor shall provide the Contract Unit Price per linear foot for trenching, installation of (2) 2-1/2" conduits with pull strings for the EV Charging Stations and back filling as required by the contract documents. Reference electrical specifications for allowable conduit type.

**END OF SECTION 012300**

## **VAPOR RETARDERS**

### **PART 1 - GENERAL**

#### **1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### **1.2 SUMMARY**

- A. Section Includes:
  - 1. Polyethylene vapor retarders.
  - 2. Fire-retardant, reinforced-polyethylene vapor retarders.
- B. Related Requirements:
  - 1. Section 033000 "Cast-in-Place Concrete" for under-slab vapor retarders.

#### **1.3 ACTION SUBMITTALS**

- A. Product Data: For each type of product.

#### **1.4 INFORMATIONAL SUBMITTALS**

- A. Product Test Reports: For each product, for tests performed by a qualified testing agency.

### **PART 2 - PRODUCTS**

#### **2.1 POLYETHYLENE VAPOR RETARDERS**

- A. Polyethylene Vapor Retarders: ASTM D 4397, 10-mil- thick sheet, with maximum permeance rating of 0.1 perm.
- B. Under-slab Polyolefin Vapor Retarders: ASTM E1745, 15-mil- thick puncture-resistant sheet, with maximum permeance rating of 0.01 perm. Basis of design: StegoWrap.

## 2.2 FIRE-RETARDANT, REINFORCED-POLYETHYLENE VAPOR RETARDERS

- A. Fire-Retardant, Reinforced-Polyethylene Vapor Retarders: Sheet with outer layers of polyethylene film laminated to an inner reinforcing layer consisting of either nonwoven grid of nylon cord or polyester scrim and weighing not less than 20 lb/1000 sq. ft., with maximum permeance rating of 0.1 perm.
1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to the following:
    - a. Raven Industries, Inc; Dura-Skrim 10FR
  2. Surface-Burning Characteristics: Maximum flame-spread and smoke-developed indexes of 75 and 200, respectively, per ASTM E 84.
  3. Location: For use in plenum boxes.

## 2.3 ACCESSORIES

- A. Vapor-Retarder Tape: Pressure-sensitive tape of type recommended by vapor-retarder manufacturer for sealing joints and penetrations in vapor retarder.
- B. Adhesive for Vapor Retarders: Product recommended by vapor-retarder manufacturer and has demonstrated capability to bond vapor retarders securely to substrates indicated.

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## 2.4 POLYIMIDE FILM VAPOR RETARDERS

- A. Sheet Retarder: Certaineed MemBrain, (OR EQUAL) The SMART Vapor Retarder. Polyimide film vapor retarder for use with unfaced, vapor permeable glass fiber and mineral wool insulation in wall and ceiling cavities. Material has a permeance of 1 perm or less when tested to ASTM E 86, dry cup method and increases to greater than 10 perms using the wet cup method.
1. Water Vapor Permeance:
    - a. ASTM E 86, dry cup method: 1.0 perms (57ng/Pa\*s\*m2).
    - b. ASTM E 86, wet cup method: 10.0 perms (1144ng/Pa\*s\*m2).
  2. Fire Hazard Classification: ASTM E 84:
    - a. Maximum Flame Spread Index; 25
    - b. Maximum Smoke Developed Index; 450

## PART 3 - EXECUTION

### 3.1 INSTALLATION OF VAPOR RETARDERS

- A. Clean substrates of substances that are harmful to vapor retarders, including removing projections capable of puncturing vapor retarders.
- B. Place vapor retarders on side of construction indicated on Drawings.
- C. Extend vapor retarders to extremities of areas to protect from vapor transmission. Secure vapor retarders in place with adhesives, vapor retarder fasteners, or other anchorage system as recommended by manufacturer. Extend vapor retarders to cover miscellaneous voids in insulated substrates, including those filled with loose-fiber insulation.
- D. Seal vertical joints in vapor retarders over framing by lapping no fewer than two studs and sealing with vapor-retarder tape according to vapor-retarder manufacturer's written instructions. Locate all joints over framing members or other solid substrates.
- E. Seal joints caused by pipes, conduits, electrical boxes, and similar items penetrating vapor retarders with vapor-retarder tape to create an airtight seal between penetrating objects and vapor retarders.
- F. Repair tears or punctures in vapor retarders immediately before concealment by other work. Cover with vapor-retarder tape or another layer of vapor retarders.

### 3.2 PROTECTION

- A. Protect vapor retarders from damage until concealed by permanent construction.

**END OF SECTION 072600**





### SITE DATA CHART

DRAWN	CHECKED BY	DATE	REV
LPD	GEB	07/27/2024	1
LPD		08/26/2024	2
LPD		09/03/2024	3
LPD		10/01/2024	4
			5
			6
			7
			8
			9
			10
			11
			12

## Gabrielle Buchter

PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: PP095502  
 COLLIER'S ENGINEERING & DESIGN, INC.

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# PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

FOR

# CITY OF CHESTER

**PROJECT TYPE:**  
PUBLIC WORKS FACILITIES

**LOCATION:**  
**2ND ST. & PENNELL ST.  
CITY OF CHESTER, PA 19013**

**PHILADELPHIA**  
 2 Penn Center, Suite 700  
 1500 Rm Boulevard  
 Philadelphia, PA, 19102  
 Phone: 215.861.9021  
COLLIERS ENGINEERING & DESIGN HAS DONE BUSINESS AS MOORE CONSULTING

SCALE: AS SHOWN	DATE: 10/11/2024	DRAWN BY: LPD	CHECKED BY: GEB
PROJECT NUMBER: CODC0004		DRAWING NAME: C-LANT	

SHEET TITLE

## SITE PLAN

SHEET NUMBER

30

<p>CONSTRUCTION FENCE TO BE INSTALLED AT THE DISCRETION OF THE CONSTRUCTION MANAGER. THE CONSTRUCTION FENCE MUST BE INSTALLED TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC PATTERNS AT ALL TIMES THROUGHOUT CONSTRUCTION.</p> <p>ALL EXISTING FEATURES WITHIN LIMIT OF DISTURBANCE TO BE REMOVED UNLESS OTHERWISE NOTED. STREET LIGHTS, AND UTILITY MAINS SHALL REMAIN INCLUDING, BUT NOT LIMITED TO STORM SEWERS, SANITARY SEWERS, ELECTRIC, TELEPHONE, AND GAS INCLUDING ASSOCIATED MANHOLES, INLETS, AND VALVES, ETC.</p> <p>ALL STREET SIGNS WITHIN THE LIMIT OF WORK TO BE PROTECTED AND RE-INSTALLED.</p> <p>THE PEDESTRIAN GATES SHOULD BE ON A SPRING HINGE WITH LATCH. PEDESTRIAN GATES SHALL HAVE AUTOMATIC GATE LOCKS WITH KEYED OVERRIDE AND FREE EXITING FROM THE INSIDE.</p>	<p>RIGHT OF WAY LINE</p> <p>PROPERTY LINE</p> <p>EDGE OF PAVEMENT</p> <p>CURB LINE</p> <p>DEPRESSED CURB</p> <p>CHAIN FENCE</p> <p>ELECTRICAL MANHOLE</p> <p>WATER MANHOLE</p> <p>TELEPHONE MANHOLE</p> <p>SANITARY MANHOLE</p> <p>TREE</p> <p>ROADWAY SIGNS</p> <p>YARD DRAIN</p> <p>STORM MANHOLE</p> <p>ROOF DRAIN</p>	<p>UTILITY POLE</p> <p>GUY WIRE</p> <p>FIRE HYDRANT</p> <p>WATER VALVE</p> <p>GAS VALVE</p> <p>SANITARY CLEANOUT</p> <p>STORM INLET TYPE 'C'</p> <p>STORM INLET TYPE 'M'</p> <p>PAVEMENT DIRECTION ARROW</p> <p>BUILDING</p> <p>BUILDING OVERHANG</p> <p>LAWN</p> <p>CONCRETE</p> <p>HEAVY DUTY ASPHALT</p>
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NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



1. APPLICABLE CODES:

A. WORK SHALL CONFORM TO FEDERAL, STATE AND LOCAL CODES AS INTERPRETED BY THE AUTHORITY HAVING JURISDICTION.

B. CONSTRUCTION SHALL CONFORM TO CURRENT EDITIONS OF THE PENNSYLVANIA STATE UNIFORM FIRE PREVENTION AND ENFORCEMENT CODE (THE "UNIFORM CODE") AND THE 2018 INTERNATIONAL BUILDING CODE (IBC) WITH ALL SUPPLEMENTS, ADDENDUMS, AMENDMENTS AND ADOPTIONS, AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (28 CFR PART 36, SUBPART F), 2009 INTERNATIONAL SCHEDULING AND SEQUENCING SYSTEMS AND METHODS (ISSMBS) A117-1(2009), AS WELL AS WITH OTHER LOCAL, STATE AND FEDERAL CODES AND REGULATIONS APPLICABLE TO THIS PROJECT.

C. THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK ARCHITECTURE LAW ARTICLE 14, SECTION 2209 AND APPLIES TO THESE DRAWINGS: "IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECT SUPERVISION OF A REGISTERED ARCHITECT TO ALTER AN ITEM IN ANY WAY." IF ANY ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERED ARCHITECT SHALL AFFIX HIS SEAL AND NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND DATE OF SUCH ALTERATION AND SPECIFY THE NATURE OF THE ALTERATION.

2. COMPLIANCE:

A. PROVIDE FIRE EXTINGUISHERS IN CONFORMANCE WITH THE FIRE CODE SECTION 906 AND COORDINATE WITH THE FIRE MARSHAL PRIOR TO INSTALLATION. DO NOT INSTALL FIRE EXTINGUISHERS UNTIL LOCATIONS HAVE BEEN REVIEWED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.

B. OBTAIN ALL REQUIRED PERMITS AND PAYMENT OF PERMIT AND APPLICATION FEES FOR THE WORK.

3. CERTIFICATIONS:

A. THE ARCHITECT'S CERTIFICATION IS ONLY FOR THE WORK SHOWN TO BE DONE. IT DOES NOT CONSTITUTE APPROVAL OF PRE-EXISTING CONDITIONS OR REVIEW OF THOSE CONDITIONS FOR CODE COMPLIANCE.

B. THE ARCHITECT'S CERTIFICATION IS FOR EXTINGUISHERS WITH THE BUILDING CODE OF PENNSYLVANIA STATE AND ITS VARIOUS REFERENCE STANDARDS, FOR PURPOSES OF OBTAINING A BUILDING PERMIT THROUGH THE AUTHORITY HAVING JURISDICTION AND TO CONVEY CONSTRUCTION REQUIREMENTS FOR THE PROJECT. CERTIFICATION DOES NOT GUARANTEE COMPLIANCE WITH OTHER CODES OR PERMITS.

1. THRESHOLDS TO BE BARRIER FREE COMPLIANT PER ALL APPLICABLE CODES.
2. PROVIDE TACTILE "EXIT" SIGNAGE.
3. PROVIDE TACTILE "EXIT" SIGNAGE WITH SYMBOL OF ACCESSIBILITY.
4. PROVIDE TACTILE RESTROOM SIGNAGE WITH SYMBOL OF ACCESSIBILITY. SEE 5/G002.
5. PROVIDE TACTILE ROOM SIGNAGE. SEE 4/G002.

Legend for fire alarm symbols and signs:

- CLEAR EXIT WIDTH AT DOOR
- MAXIMUM EGRESS CAPACITY AT DOOR [1000.1]
- ACTUAL EGRESS COUNT AT THIS DOOR
- COMMON PATH
- TRAVEL DISTANCE
- POINT OF DECISION/ COMMON PATH OF TRAVEL
- SIGN DIRECTION
- FACE OF SIGN
- FIRE EXTINGUISHER ON WALL BRACKET
- FIRE EXTINGUISHER CABINET
- AUTOMATED EXTERNAL DEFIBRILLATOR IN SURFACE MOUNTED WALL CABINET
- SERVICE SINK
- ADA ACCESSIBLE CLEAR FLOOR SPACE 30" (762MM) X 48" (1220MM) CLEAR AREA
- 1-HR RATED WALL
- 2-HR RATED WALL
- OCCUPANCY GROUP
- S.F.
- # OCCUPANTS

S-1

S-2

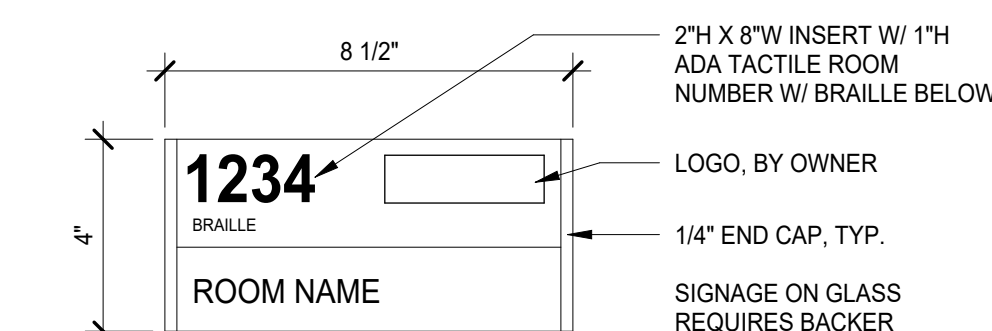
A

B

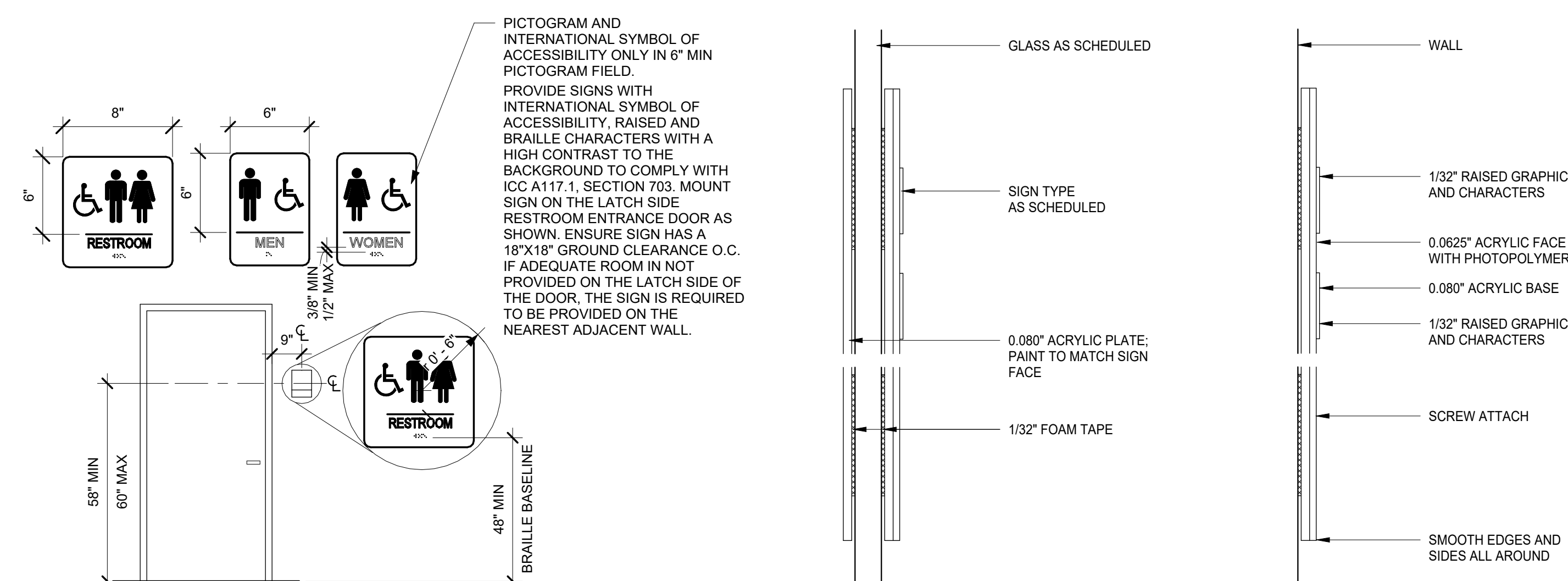
EGRESS PATH OF TRAVEL SCHEDULE		
EXIT ROUTE	TRAVEL DISTANCE	MEETS CODE
COMMON PATH A/B	81' - 5"	Yes
COMMON PATH C/D	63' - 7"	Yes
PATH A	142' - 2"	Yes
PATH B	185' - 11"	Yes
PATH C	80' - 5"	Yes
PATH D	118' - 7"	Yes

1. THE TOTAL TRAVEL DISTANCE INDIC. & PATH B INCLUDES COMMON PATH A/B
2. THE TOTAL TRAVEL DISTANCE INDIC. & PATH D INCLUDES COMMON PATH C/D

GRAPHICS AND ARTWORK SCHEDULE - "G"				
DESIGN ID	COUNT	DESCRIPTION	FURNISH / INSTALL	COMMENTS
GRAPHICS - OTHER				
G-01	1	RESTROOM SIGN MEN	GC/GC	
G-02	1	RESTROOM SIGN WOMEN	GC/GC	
G-03	16	ROOM SIGNAGE	GC/GC	CONFIRM EXACT ROOM NAMES WITH OWNER/ARCHITECT PRIOR TO PURCHASING AND INSTALLING
G-04	2	TACTILE EXIT SIGN W SYMBOL OF ACCESSIBILITY	GC/GC	
G-05	2	TACTILE EXIT SIGNAGE	GC/GC	



4 ROOM SIGN  
SCALE : 3" = 1'-0"

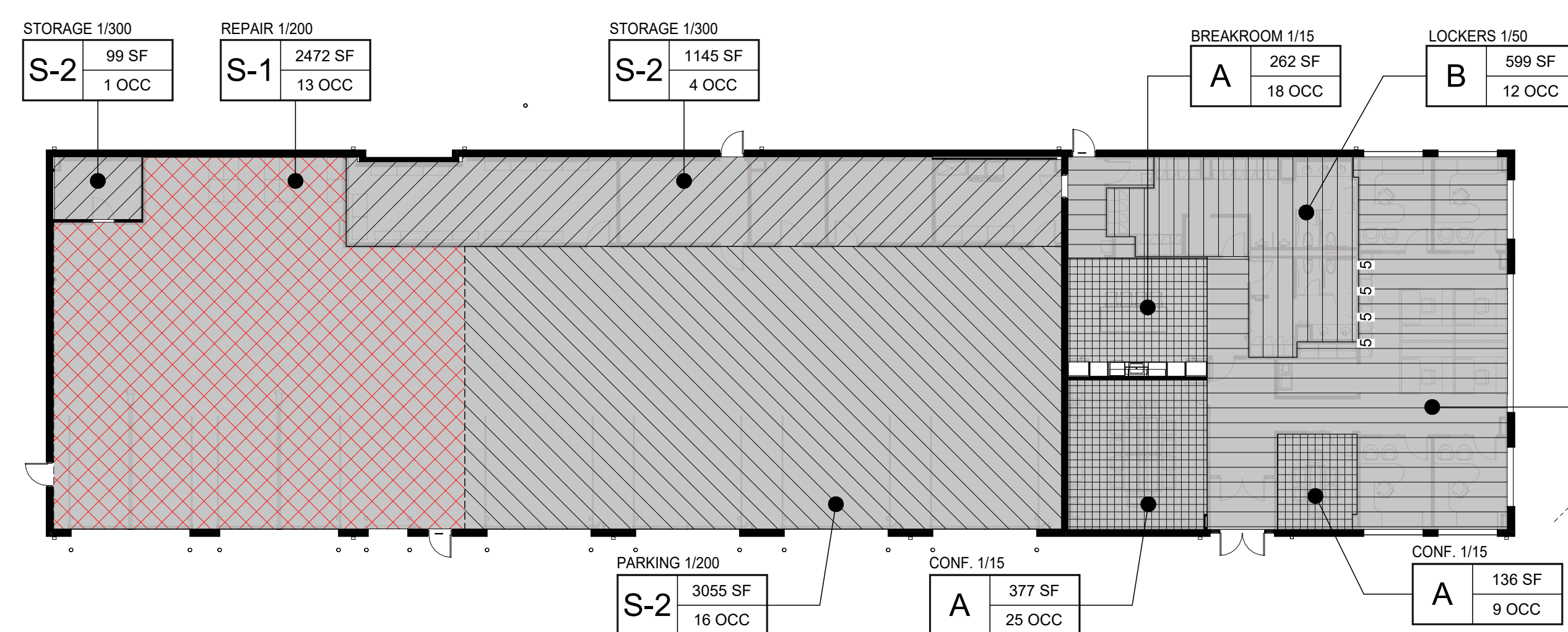


5 RESTROOM SIGNAGE  
SCALE : 1 1/2" = 1'-0"



7 SIGNAGE SECTION  
SCALE : 12" = 1'-0"

2 CODE COMPLIANCE DIAGRAM  
SCALE : 1/16" = 1'-0"



This architectural floor plan illustrates a building layout with various rooms and exits. The plan is oriented with a north arrow pointing towards the top-left. The layout includes the following rooms and areas:

- SPRINKLER 119**: Located in the top-left corner.
- STORAGE 118**: Located in the top-center.
- ELECTRICAL 117**: Located in the top-center.
- COMM. 116**: Located in the top-center.
- MECH. 115**: Located in the top-center.
- MUD ROOM 114**: Located in the top-center.
- JAN. CLOS. 106**: Located in the top-right.
- MEN'S LOCKER ROOM 105**: Located in the top-right.
- WOMEN'S LOCKER ROOM 104**: Located in the top-right.
- OFFICE 107**: Located in the top-right.
- OFFICE 108**: Located in the top-right.
- OFFICE 109**: Located in the top-right.
- OPEN OFFICE AREA 112**: Located in the middle-right.
- BREAK ROOM 103**: Located in the middle-right.
- COPY RM. 113**: Located in the middle-right.
- LOBBY 101**: Located in the bottom-right.
- VESTIBULE 109**: Located in the bottom-right.
- SMALL CONF. 111**: Located in the bottom-right.
- OFFICE 110**: Located in the bottom-right.
- OFFICE 109**: Located in the bottom-right.
- LARGE CONFERENCE ROOM 102**: Located in the bottom-left.
- MAINTENANCE/GARAGE 120**: Located in the bottom-center.

The plan also shows several exits and their travel distances:

- EXIT 1**: REQUIRED WIDTH: 78 OCC \* 2 = 15.6' PROVIDED CLEAR WIDTH: DOOR AT 68". EXIT 1 MAXIMUM TRAVEL DISTANCE: 93' - 7 1/2" (MAX: 300' WITH SPRINKLERS).
- EXIT 2**: REQUIRED WIDTH: 34 OCC \* 2 = 6.8' PROVIDED CLEAR WIDTH: DOOR AT 34". EXIT 2 MAXIMUM TRAVEL DISTANCE: 185' - 11" (MAX 300' WITH SPRINKLERS).
- EXIT 3**: REQUIRED WIDTH: 78 OCC \* 2 = 15.6' PROVIDED CLEAR WIDTH: DOOR AT 34". EXIT 3 MAXIMUM TRAVEL DISTANCE: 120' - 7 1/2" (MAX 300' WITH SPRINKLERS).
- EXIT 4**: REQUIRED WIDTH: 34 OCC \* 2 = 6.8' PROVIDED CLEAR WIDTH: DOOR AT 34". EXIT 4 MAXIMUM TRAVEL DISTANCE: 142' - 2" (MAX 300' WITH SPRINKLERS).
- EXIT 5**: REQUIRED WIDTH: 34 OCC \* 2 = 6.8' PROVIDED CLEAR WIDTH: DOOR AT 34". EXIT 5 MAXIMUM TRAVEL DISTANCE: 185' - 11" (MAX 300' WITH SPRINKLERS).

Other annotations include:

- 143' - 9" MAX DIAGONAL DISTANCE** and **1/3 DIAGONAL DISTANCE = 47' - 11"** for the MAINTENANCE/GARAGE area.
- 11" MAXIMUM DIAGONAL DISTANCE = 21' - 8"** for the OPEN OFFICE AREA.
- EXIT SEPERATION = 51' - 11 1/2"** between EXIT 2 and EXIT 4.
- COMMON PATH A/B** and **COMMON PATH C/D** are indicated.
- PATH A**, **PATH B**, **PATH C**, and **PATH D** are shown as dashed lines.
- SPRINKLER 119** is shown with a cloud symbol.
- EXIT 1** is shown with a cloud symbol.
- EXIT 2** is shown with a cloud symbol.
- EXIT 3** is shown with a cloud symbol.
- EXIT 4** is shown with a cloud symbol.
- EXIT 5** is shown with a cloud symbol.

1 LIFE SAFETY PLAN  
SCALE: 1/8" = 1'-0"

ISSUED FOR BID/PERMIT SET - INTENDED FOR CONSTRUCTION

PUBLIC WORKS  
FACILITY

PENNELL ST. & W  
2ND ST.  
CHESTER, PA 19013

**Colliers**

**Engineering  
& Design**

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	04/28/2025	KR/ESB	ESB
PROJECT NUMBER:	DRAWING NAME:		REVIEWED BY:
5000000000			ESB

SHEET TITLE:

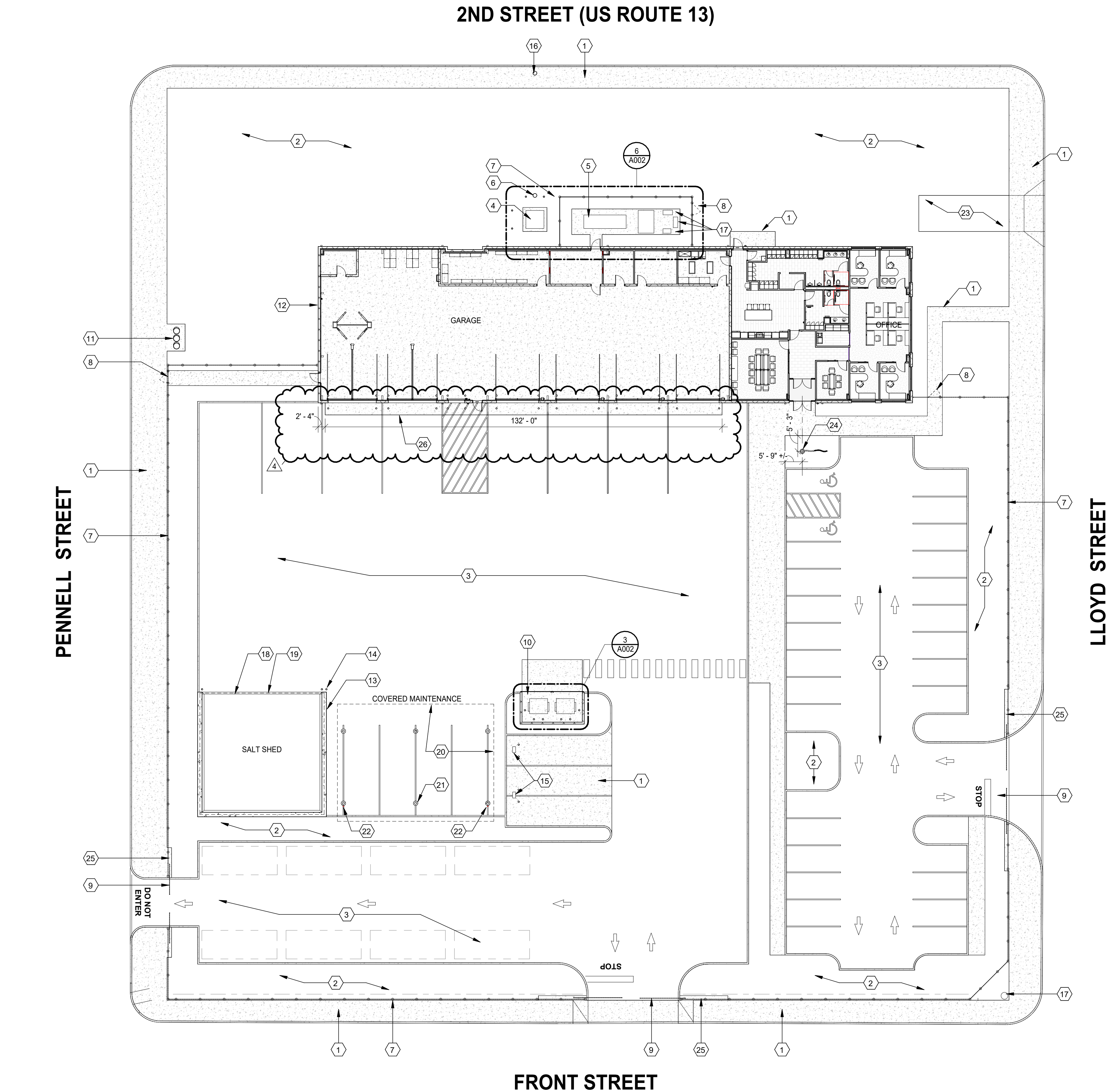
EGREES & LIFE SAFTEY PLANS

G002



- A. REF TO EXTERIOR ELEVATIONS ON SHEET A201 & A202 FOR BUILDING SIGNAGE LOCATION. REF TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- B. LANDSCAPING TO BE PROVIDED PER ZONING CODE AND SUSTAINABILITY REQUIREMENTS; REF TO CIVIL DRAWINGS
- C. GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- D. GENERAL CONTRACTOR TO VERIFY ALL EXISTING GRADE ELEVATIONS AND SITE CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- E. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- F. REF TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL WORK.
- G. SEE SHEET A202 FOR ARCHITECTURAL SITE DETAILS.
- H. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR FENCING, SHOWING POST AND GATE LOCATIONS, SECTIONS, FOOTINGS AND CONNECTION DETAILS

REINFORCED CONCRETE SIDEWALK OR PAVING, REFERENCE CIVIL DRAWINGS.  
 LANDSCAPING AREA, REFERENCE CIVIL DRAWINGS.  
 ASPHALT PAVING, REFERENCE CIVIL DRAWINGS.  
 TRANSFORMER ON REINFORCED CONCRETE PAD, CONFIRM PAD REQUIREMENTS BY UTILITY CO. PRIOR TO INSTALLATION.  
 BUS TRANSFORMER ON REINFORCED CONCRETE PAD, CONFIRM PAD REQUIREMENTS WITH MANUF. PRIOR TO INSTALLATION.  
 REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFO.  
 UTILITY UTILITY POLE, CONFIRM REQUIREMENTS BY UTILITY CO. SECURITY FENCE, REF. CIVIL DRAWINGS.  
 SECURITY SWING GATE, REF. CIVIL DRAWINGS.  
 SECURITY MANUAL ROLLING GATE, REF. CIVIL DRAWINGS.  
 TRASH ENCLOSURE, SEE DETAILS.  
 UNDERGROUND OIL INTERCEPTOR, REF. TO CIVIL AND PLUMBING DRAWINGS.  
 PRE-ENGINEERED METAL BUILDING (PEMB), REF. ARCH AND STRUCTURAL DRAWINGS.  
 CONCRETE PAVED DRIVEWAY, 12" SHED BASE, 12" SHED BASE, STRUCTURAL DRAWINGS. INSTALL 12" SHED ASPHALT IMPREGNATED FLEXIBLE FIBERGLASS EXPANSION JOINT FILLER WITH 1/2" DEEP SALT RESISTANT POLYURETHANE SEALANT. 12" SHED ASPHALT IMPREGNATED CONCRETE SALT SHED WALLS INTERIOR & EXTERIOR; ABBUTTING ASPHALT DRIVEWAY AND OTHER CONCRETE SURFACES.  
 CONCRETE PAVED, PAINTED STEEL BOLARE, CIVIL DRAWINGS.  
 CONCRETE PAVED, PAINTED STEEL BOLARE, ELECTRICAL DRAWINGS.  
 EXISTING UTILITY POLE, REF. CIVIL DRAWINGS.  
 HVAC EQUIPMENT ON REINFORCED CONCRETE PAD.  
 EXISTING ASPHALT PAVING, SEE SHEET TO PREVENT WASHOUT OF MATERIAL, SUPPLY, REF. CIVIL DRAWINGS.  
 APPROXIMATE OUTLINE OF PREFAB FABRIC ROOF WITH METAL FRAMING.  
 APPROXIMATE OUTLINE OF PREFAB PARKING CANOPY ABOVE, BASIS OF DESIGN IS TO BE BY ABSOLUTE STEEL.  
 CONCRETE POST, POST FOR PARKING CANOPY WITH CONCRETE PIER® 5'-0" A.F.F.  
 APPROX. POST LOCATIONS FOR PARKING CANOPY  
 CONCRETE CATCH OFF FOR FUEL DELIVERIES ONLY, REF. TO CIVIL FOR ADDITIONAL INFO.  
 COMMERCIAL GRADE, 30FT HIGH FLAG POLE AND FOUNDATION TO BE DESIGNED AND INSTALLED BY THE OWNER TO PROVIDE FOR FLAG, UNITED STATES FLAG STICK: TITAN SERIES, 6" BOLT DIAMETER WITH 0.156 WALL THICKNESS & SATIN FINISH OR APPROVED EQUIV.  
 PAVED ASPHALT DRIVEWAY, SEE SHEET TO PREVENT WASHOUT OF ASPHALT CONCRETE SIDEWALK AT BOTH SIDES OF GATE OPENING FOR EXISTING ASPHALT DRIVEWAY.  
 EXISTING ASPHALT DRIVEWAY, SEE SHEET TO PREVENT WASHOUT OF HEAVY DUTY ASPHALT PAVING AS PER CIVIL DRAWINGS. REFERENCE DETAIL #8/50/40 AND ALTERNATE #9 IN SPECIFICATION SECTION 012300 "ALTERNATES & UNIT PRICES" FOR CONCRETE APRON REQUIREMENTS.

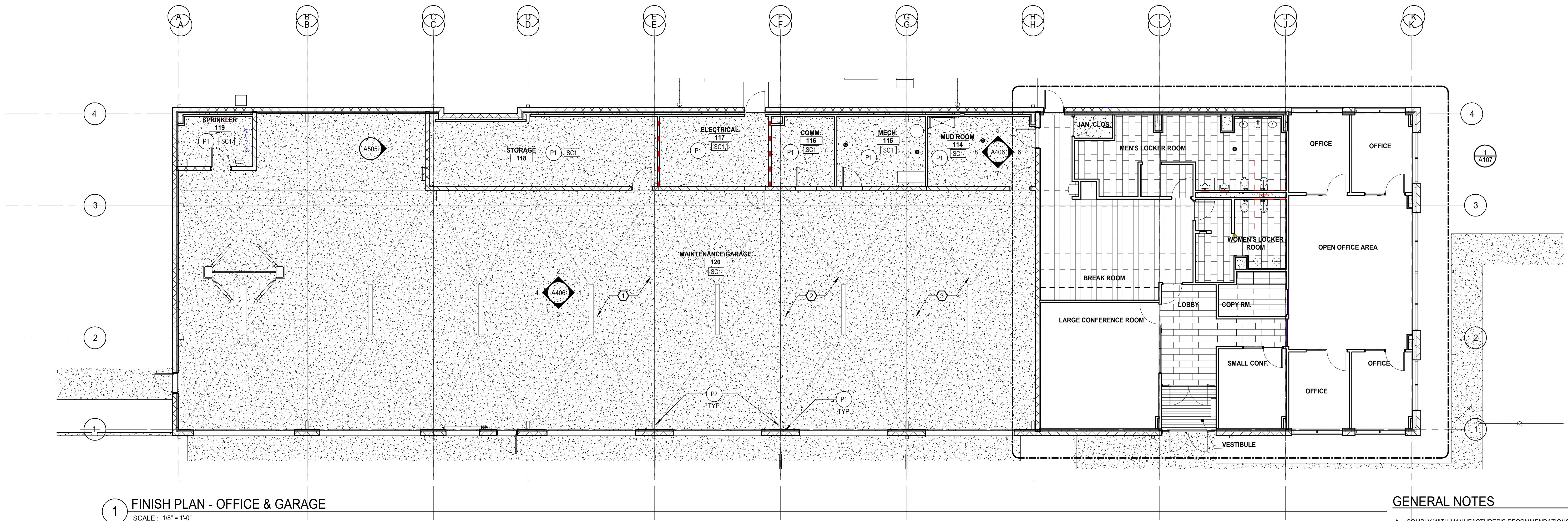


1 01 - FIRST FLOOR - ARCHITECTURAL SITE PLAN  
SCALE : 1" = 20'-0"









1 FINISH PLAN - OFFICE & GARAGE  
SCALE : 1/8" = 1'-0"

INTERIOR FINISH SCHEDULE					
TAG	DESCRIPTION	MANUFACTURER	STYLE / MODEL #	COLOR	COMMENTS
CEILING FINISHES					
ACT1	ACOUSTICAL CEILING TILE	ARMSTRONG	2'X2' OPTIMA TEGULAR FINE TEXTURE W/ SUPRAFINE 9/16"	WHITE	OFFICES, CONFERENCE ROOMS, MUD ROOM, STORAGE AREA
ACT2	ACOUSTICAL CEILING TILE	ARMSTRONG	2'X2' ULTIMA HEALTH ZONE AIRASSURE TEGULAR W/ SUPRAFINE 9/16"	WHITE	LOCKER ROOMS
ACT3	ACOUSTICAL CEILING TILE	ARMSTRONG	2' X 4' ULTIMA HEALTH ZONE AIRASSURE TEGULAR W/ SUPRAFINE 9/16"	WHITE	MUD ROOM
P3	PAINTED GYPSUM BOARD			WHITE	CEILING
WALLS					
P1	GENERAL PAINT	SHERWIN WILLIAMS	SW 6001	GRAYISH	GENERAL PAINT
P2	ACCENT PAINT	SHERWIN WILLIAMS	SW 6530	REVEL BLUE	SEE FINISH PLAN FOR LOCATIONS, STEEL IN GARAGE
BB1	CORK BOARD	KOROSEAL	WALL TALKERS TAC-WALL, 4'-0" ROLLED GOODS	STONE (04)	DIRECT GLUE, SEE FINISH PLAN FOR LOCATIONS
WC1	ACCENT WALL COVERING	KOROSEAL	FLEX DECORATIVE WALL PROTECTION	ZEN GARDEN ZGD1-07	SEE FINISH PLAN FOR LOCATIONS
CT1	CERAMIC WALL TILE	GARDEN STATE TILE	KAST, 4" x 12"	ARCTIC, MATTE PRESSED SKU#900350E	LOCKER ROOM WET WALL, INSTALL VERTICALLY
CT2	CERAMIC WALL TILE	GARDEN STATE TILE	KAST, 4" x 12"	NAVY, MATTE PRESSED SKU#900358E	LOCKER ROOM WET WALL, INSTALL VERTICALLY
WF1	WINDOW FILM	3M	FASARA	DUSTED CRYSTAL	OFFICE GLAZING
BASE					
RB1	RUBBER WALL BASE	JOHNSONITE	4-1/8" HIGH VINYL COVE BASE & STRAIGHT	CHARCOAL WG 20	WALL BASE THROUGHOUT
SB1	SCHLUTER BASE	SCHLUTER SYSTEMS	SCHLUTER - DILEX - AHKA 10MM	ALUMINUM	WALL BASE AT WET WALL IN LOCKER ROOM
PB1	PORCELAIN COVE BASE	GARDEN STATE TILE	TRIBECA 6" X 12" COVE BASE GSP1102719	TITANIUM MATTE	LOCKER ROOM
EB1	EPOXY BASE	SHERWIN WILLIAMS	RESULFOR DECO QUARTZ BC23	WINTER SKY	OMITTED
MILLWORK FINISHES					
PL1	PLASTIC LAMINATE	WILSONART	7939K-18	BLOND ECHO LINEARTY FINISH SCRATCH RESISTENT	ALL CABINETRY
PL2	PLASTIC LAMINATE	WILSONART	4942-38	CRISP LINEN FINE VELVET FINISH	COPY ROOM COUNTER
SS1	SOLID SURFACE	WILSONART	9224SS	GREY LACE MATTE FINISH	LOCKER ROOM VANITY COUNTER
SS2	SOLID SURFACE	WILSONART	9219GS	BROOKLYN CONCRETE MATTE FINISH	BREAK ROOM COUNTER
PCT1	PHENOLIC-CORE TOILET PARTITION	BRADLEY	PHENOLIC PRIVACY PARTITIONS, PHENOLIC CORE SERIES 600, CEILING HUNG, 72"	RAW CHESTNUT 7975	LOCKER ROOM PARTITION
FLOOR FINISHES					
SC1	SEALED CONCRETE FLOOR	PROSOCO	SINGLE STEP	CLEAR	GARAGE AND GARAGE ACCESSORY SPACES
FT1	PORCELAIN FLOOR TILE	GARDEN STATE TILE	TRIBECA 12" X 24" RECTIFIED GSP1102644SAM	TITANIUM, MATTE	FOYER, LOCKER ROOM
WOM	WALK OFF MAT	CSI - CONSTRUCTION SPECIALTIES	PEDIMAT - STANDARD, AA FINISH FLOOR, CLEAR INSERT, SLATE H.O. M, PET - G RAILS & ALUMINUM HINGED	CLEAR / SLATE	VESTIBULE
CPT1	CARPET PLANK	MOHAWK GROUP	DISTRESSED TWILL GT469 12" X 36" BRICK ASHLAR INSTALLATION	969 IRON	UNDER WORKSTATIONS
CPT2	CARPET PLANK	MOHAWK GROUP	MATERIAL NARRATIVES GT458	949 ASHEN	OFFICES, CONFERENCE ROOMS
LVT	LUXURY VINYL TILE	MOHAWK GROUP	LARGE & LOCAL CD128 9.25" X 59" PLANK ASHLAR INSTALLATION	955 JARRAD	BREAKROOM
GR	GROUT				
MISCELLANEOUS					
WD1	WOOD VENEER DOORS	MASONITE ARCHITECTURAL	CENDURA SERIES	CLEAR - WHITE MAPLE, PLAIN SLICED	OFFICE DOORS
WS1	WINDOW ROLLER SHADES	ROLLEASE ACMEIDA	FASCIA 3" SKYLINE LINKED SYSTEM MANUAL CHAIN CONTROL	FASCIA: BLACK SHADE CHARCOAL/DARK GREY	WALL MOUNTED WITH ALUMINUM TUBE

1. ALL PRODUCTS LISTED ABOVE ARE BASIS OF DESIGN AND MAY BE SUBSTITUTED WITH AN APPROVED EQUAL
1. ALL INTERIOR WALLS PAINTED P1, UNLESS OTHERWISE NOTED  
2. ALL EXPOSED STEEL FRAMING, PURLINS, AND CROSS BRACING IN GARAGE TO BE PAINTED P2  
3. EXPOSED STRUCTURE ABOVE PAINTED P1  
4. EXPOSED BENT FRAMING IN OFFICE TO BE PAINTED P1

ROOM FINISH SCHEDULE									
ROOM		FLOOR	BASE	WALL FINISH				CEILING FINISH	REMARKS
NUMBER	NAME			NORTH	EAST	SOUTH	WEST		
FIRST FLOOR									
100	VESTIBULE	WOM	RB1	P1	P1	P1	P1	ACT1	
101	LOBBY	FT1	RB1	P1	P1	P1	P1	ACT1	
102	LARGE CONFERENCE ROOM	CPT2	RB1	P1	P1	P1	WB1	ACT1	
103	BREAK ROOM	LVT	RB1	BB1/P1	P1	CT2/P1	P1	ACT1/P3	
104	WOMEN'S LOCKER ROOM	FT1	PB1/SB1	CT1/CT2/P1	CT1/CT2/P1	CT1/CT2/P1	P1	ACT2	
105	MEN'S LOCKER ROOM	FT1	PB1/SB1	CT1/CT2/P1	CT1/CT2/P1	CT1/CT2/P1	P1	ACT2	
106	JAN. CLOS.	SC1	RB1	P1	P1	P1	P1	P3	
107	OFFICE	CPT2	RB1	P1	P2	P1	P1	ACT1	WS1
108	OFFICE	CPT2	RB1	P1	P2	P1	P1	ACT1	WS1
109	OFFICE	CPT2	RB1	P1	P2	P1	P1	ACT1	WS1
110	SMALL CONF.	CPT2	RB1	P1	P2	P1	P1	ACT1	WS1
111	SMALL CONF.	CPT2	RB1	P1	WCI	P1	P1	ACT1	WS1
112	OPEN OFFICE AREA	CPT1	RB1	P1	P1	P1	P1	ACT1	WS1
113	COPY RM.	LVT	RB1	P1	P1	BB1/P1	P1	ACT1	
114	MUD ROOM	SC1	N/A	P1	P1	P1	P1	ACT3	
115	MECH.	SC1	N/A	P1	P1	P1	P1		
116	COMM.	SC1	N/A	P1	P1	P1	P1	P3	
117	ELECTRICAL	SC1	N/A	P1	P1	P1	P1	P3	
118	STORAGE	SC1	N/A	P1	P1	P1	P1		
119	SPRINKLER	SC1	N/A	P1	P1	P1	P1		
120	MAINTENANCE GARAGE	SC1	N/A	P1/P2	P1/P2	P1/P2	P1/P2	N/A	

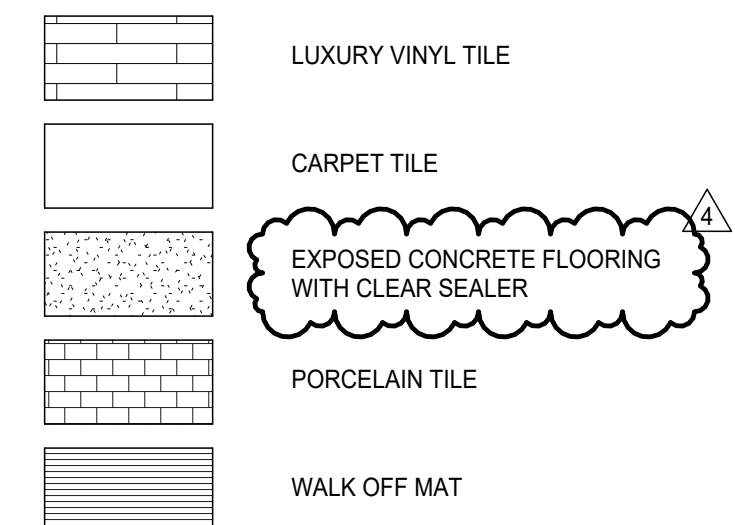
KEYNOTES

1. WOOD WINDOW SILLS TO BE PAINTED PT1  
2. ALL INTERIOR GWB WALLS PAINTED P1, UNLESS OTHERWISE NOTED  
3. ALL EXPOSED STEEL FRAMING, PURLINS, AND CROSS BRACING IN GARAGE TO BE PAINTED P2  
4. EXPOSED PREFINISHED ROOF DECK ABOVE

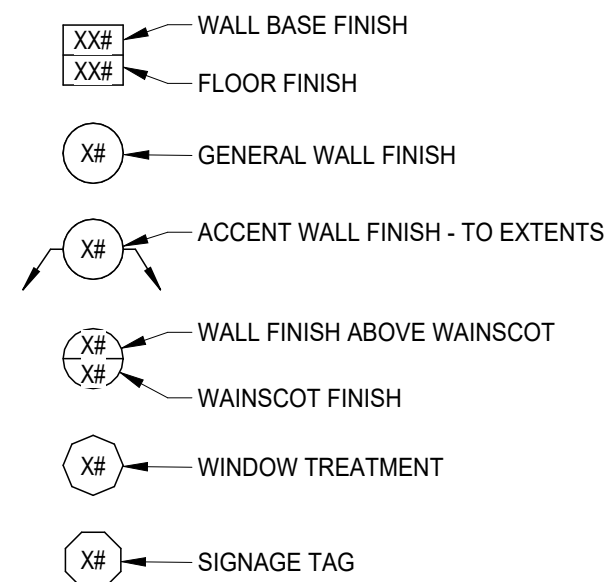
GENERAL NOTES

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- S. REFER TO ELEVATIONS FOR MILLWORK FINISHES.

FINISH HATCH LEGEND



FINISH SYMBOL LEGEND



ISSUED FOR BID/PERMIT SET - INTENDED FOR CONSTRUCTION

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REV DATE DESCRIPTION  
1 04/28/2025 REV PERMIT SET  
2 05/16/2025 ESB ADDendum No. 6

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed of the (state, commonwealth or district) of: under the laws License No. Expiration Date:

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SCALE: AS SHOWN DATE: 04/28/2025 DRAWN BY: KROJMESB CHECKED BY: ESB

PROJECT NUMBER: COCD00044 DRAWING NAME: REVIEWED BY: ESB

SHEET TITLE: OVERALL FLOOR FINISH PLAN

SHEET NUMBER: A106





ROOM FINISH SCHEDULE									
ROOM		FLOOR	BASE	WALL FINISH				CEILING FINISH	REMARKS
NR	NAME			NORTH	EAST	SOUTH	WEST		
R	VESTIBULE	WOM	RB1	P1	P1	P1	P1	ACT1	
	FT1	RB1	P1	P1	P1	P1	P1	ACT1	
	LARGE CONFERENCE ROOM	CP2T	RB1	P1	P1	P1	WC1	ACT1	
	BREAK ROOM	LVT	RB1	BB1P1	P2	CT2P1	P1	ACT1/P3	
	WOMEN'S LOCKER ROOM	FT1	PB1/SB1	CT1/CT2P1	CT1/CT2P1	CT1/CT2P1	P1	ACT2	
	MEN'S LOCKER ROOM	FT1	PB1/SB1	CT1/CT2P1	CT1/CT2P1	CT1/CT2P1	P1	ACT2	
	JAN. CLOS.	SC1	RB1	P1	P1	P1	P1	P3	
	OFFICE	CP2T	RB1	P1	P2	P1	P1	ACT1	WS1
	OFFICE	CP2T	RB1	P1	P2	P1	P1	ACT1	WS1
	OFFICE	CP2T	RB1	P1	P2	P1	P1	ACT1	WS1
	SMALL CONF.	LVT	RB1	P1	WC1	P1	P1	ACT1	WS1
	OPEN OFFICE AREA	CP2T	RB1	P1	P1	P1	P1		
	COPY RM.	LVT	RB1	P1	P1	BB1P1	P1	ACT1	
	MUD ROOM	SC1	N/A	P1	P1	P1	P1	ACT3	
	MECH.	SC1	N/A	P1	P1	P1	P1		
	COAM.	SC1	N/A	P1	P1	P1	P1	P3	
	ELECTRICAL	SC1	N/A	P1	P1	P1	P1	P3	
	STORAGE	SC1	N/A	P1	P1	P1	P1		
	SPRINKLER	SC1	N/A	P1	P1	P1	P1		
	MAINTENANCE/GARAGE	SC1	N/A	P1/P2	P1/P2	P1/P2	P1/P2	N/A	






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## KEYNOTES

- 1. WOOD WINDOW SILLS TO BE PAINTED PT1
- 2. ALL INTERIOR GWB WALLS PAINTED P1. UNLESS OTHERWISE NOTED
- 3. ALL EXPOSED STEEL FRAMING, PURLINS, AND CROSS BRACING IN GARAGE TO BE PAINTED P2
- 4. EXPOSED PREFINISHED ROOF DECK ABOVE

## FINISH SYMBOL LEGEND









	<p>LUXURY VINYL TILE</p>
	<p>CARPET TILE</p>
	<p>EXPOSED CONCRETE FLOORING WITH CLEAR SEALER</p>
	<p>PORCELAIN TILE</p>
	<p>WALK OFF MAT</p>

4

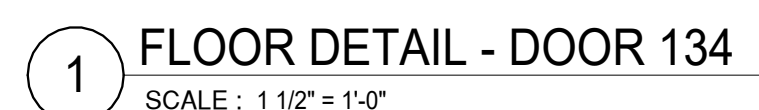
## FINISH SYMBOL LEGEND

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	<p>WALL BASE FINISH</p>
	<p>FLOOR FINISH</p>
	<p>GENERAL WALL FINISH</p>
	<p>ACCENT WALL FINISH - TO EXTENTS</p>
	<p>WALL FINISH ABOVE WAISTCOT</p>
	<p>WAINSCOT FINISH</p>
	<p>WINDOW TREATMENT</p>
	<p>SIGNAGE TAG</p>

[illegible]





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