

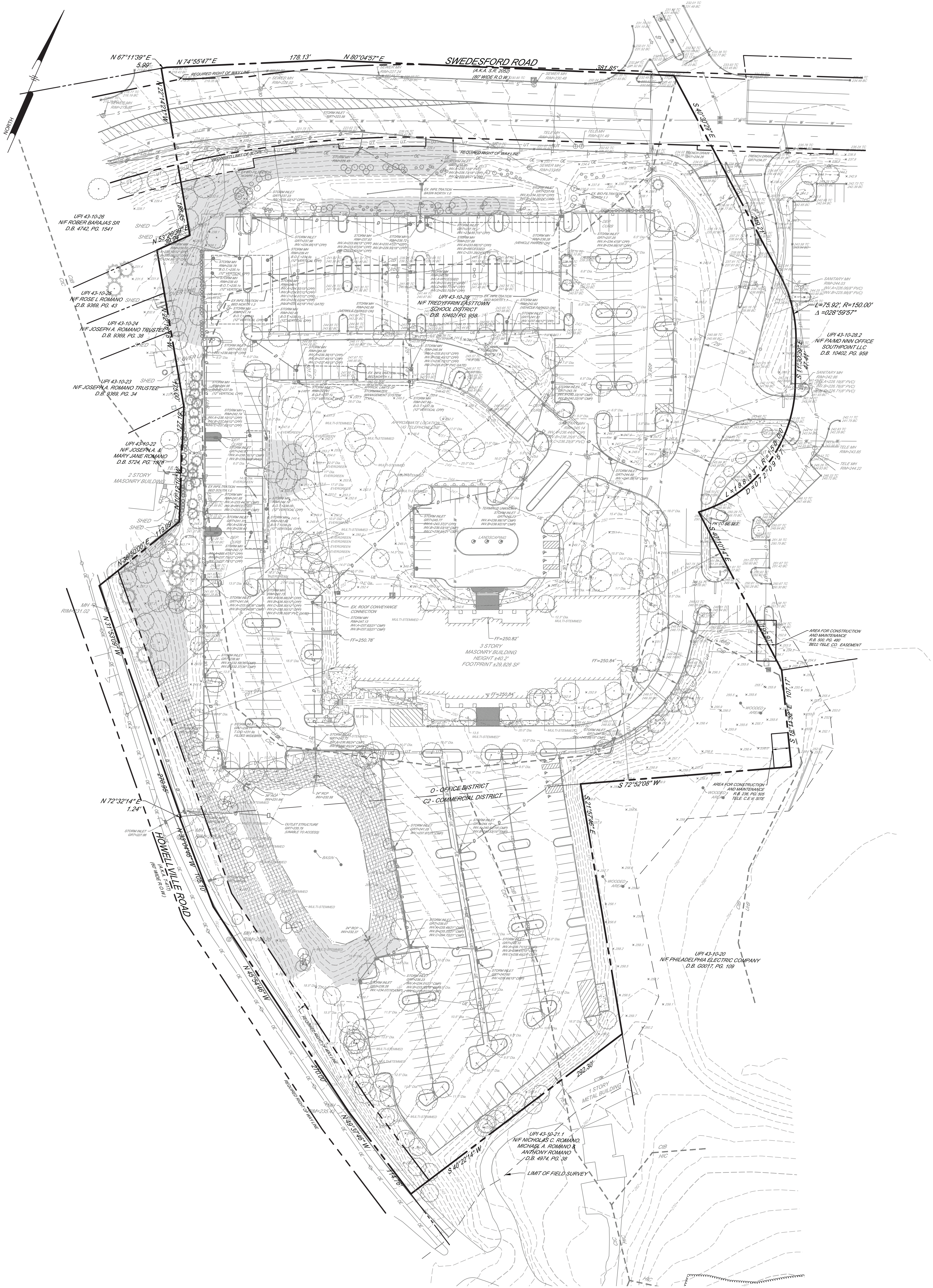








NOT FOR  
CONSTRUCTION



SLOPE LEGEND

[Symbol]	STEEP SLOPES (15%-25%)
[Symbol]	VERY STEEP SLOPES (25%+)
[Symbol]	WOODLANDS ON SLOPES > 15%
[Symbol]	WOODLANDS ON SLOPES < 15%

- NOTES:
1. THE EXISTING CONDITIONS OF THE SITE IS AN OFFICE BUILDING WITH ASSOCIATED PARKING AREAS, DRIVE ISLES, AND STORMWATER MANAGEMENT FACILITIES. AS THE SITE WAS DEVELOPED, MAN MADE STEEP SLOPES WERE CREATED AS A RESULT.
  2. THE EXISTING VEGETATIVE COVER CONSISTS OF MOWED LAWN AREAS, FREE STANDING TREES WITHIN THE PARKING LOT LANDSCAPE, ISLANDS, AND A MIXTURE OF DECIDUOUS AND EVERGREEN TREES AROUND THE PERIPHERY OF THE PROPERTY. MOST LIKELY INSTALLED DURING THE CONSTRUCTION OF THE OFFICE BUILDING AND PARKING AREAS.
  3. THE UNDERLYING BEDROCK WITHIN THE SITE CONSISTS OF THE CONESTOGA FORMATION.
  4. AN EXISTING STORMWATER DETENTION BASIN EXISTS ON SITE.
  5. PER THE NATIONAL WETLAND INVENTORY MAPS PREPARED BY THE UNITED STATES FISH AND WILDLIFE SERVICE, NO WETLANDS EXIST ON SITE.
  6. NO FLOODPLAINS EXIST ON SITE.

STEEP SLOPE CALCULATIONS

	EXISTING	DISTURBED
STEEP SLOPES (15-25%)	37,901 SF (0.87AC)	8,711 SF (0.20 AC)
VERY STEEP SLOPES (25%+)	20,362 SF (0.47AC)	12,553 SF (0.29 AC)

SOIL TABLE

SYMBOL	NAME	HYDROLOGIC GROUP	SLOPES	HYDRIC	DEPTH TO		LIMITATIONS	RESOLUTION NOTES
					WATER TABLE (IN)	BEDROCK (IN)		
CIB	CONESTOGA SILT LOAM	B	3-8%	NO	>80	60-99	MODERATE	SOMEWHAT LIMITED
CIC	CONESTOGA SILT LOAM	B	8-15%	NO	>80	60-99	MODERATE	VERY LIMITED
HIC	HOLLINGER SILT LOAM	B	8-15%	NO	>80	60-99	MODERATE	VERY LIMITED
UB	URBAN LAND	-	0-8%	NO	-	-	NONE	NOT RATED

GEOLOGY NOTE:  
STATE: PENNSYLVANIA  
NAME: CONESTOGA FORMATION  
GEOLOGIC AGE: ORDOVICIAN AND CAMBRIAN  
ORIGINAL MAP LABEL: CC  
PRIMARY ROCK TYPE: LIMESTONE  
SECONDARY ROCK TYPE: SHALE  
CONGLOMERATIC LIMESTONE, PHYLLITE

ISSUE HISTORY

A	DATE	ISSUED FOR
	2025-03-28	BID ISSUE







NET LOT AREA CALCULATIONS		
	EXISTING (SF)	EXISTING (AC)
GROSS LOT AREA	664,541	15.26
STEEP SLOPES (15%-25%)	37,901	0.87
VERY STEEP SLOPES (25% +)	20,362	0.47
FLOOD HAZARD DISTRICT AREAS	0	0
WETLANDS	0	0
PORTIONS OF TRACT LESS THAN 50' WIDE	0	0
ALLEYS, LANES, STREETS, RAILROAD, OR UTILITY LINE EASEMENTS / R.O.W.	63,247	1.45
OTHER AREAS OWNED AND/OR USED IN COMMON WITH THE OWNERS OF OTHER LOTS	0	0
NET LOT AREA	543,031	12.47

TREDYFFRIN TOWNSHIP ZONING ORDINANCE (IO OVERLAY)			
GROSS TRACT AREA: 664,541 SF; 15.26 AC - NET LOT AREA: 543,031 SF (12.47 AC)			
DIMENSIONAL REQUIREMENTS	PERMITTED/REQUIRED	EXISTING	PROPOSED
LOT AREA (MIN.)	10 AC	543,031 SF (12.47 AC)	543,031 SF (12.47 AC)
LOT WIDTH (MIN.)	400 FEET	593 FEET	593 FEET
STREET YARD (MIN.)	200 FEET	200 FEET	200 FEET
YARD ABUTTING NONRESIDENTIAL (MIN.)	50 FEET	50 FEET	50 FEET
YARD ABUTTING RESIDENTIAL OR DISTRICT USE	100 FEET	>100 FEET	>100 FEET
YARD ABUTTING STREET R.O.W. (MIN.)	65 FEET, PARKING 50 FEET	65, 50 FEET	65, 50 FEET
SEPARATION BETWEEN STRUCTURES (MIN.)	60 FEET	>60 FEET	>60 FEET
BUILDING COVERAGE (MAX.)	30%	29, 626 SF (5.49%)	40,301 SF (7.42%)
IMPERVIOUS COVERAGE (MAX.)	30%	310,361 SF (57.15%)	263,931 SF (48.60%)
BUILDING HEIGHT (MAX.)	42-45 FEET	<42-45 FEET	<42-45 FEET
PARKING - ELEMENTARY SCHOOL	2 SPACES PER CLASSROOM ARE REQUIRED. 30 CLASSROOMS ARE PROPOSED = 60 SPACES REQUIRED.	621	143
PARKING - GYMNASIUM/AUDITORIUM	1 SPACE PER 4 SEATS ARE REQUIRED. 300 SEATS PROPOSED = 75 SPACES REQUIRED.	621	143
PARKING - BUSES	5 LOADING / UNLOADING SPACES REQUIRED	0	5

SIGN TABLE:			
SYMBOL	SIGN CHARACTERISTICS	PENNDOT #	SIZE
A	STOP	R1-1	30"x30"
B	PEDESTRIAN CROSSING / DOWNWARD POINTED ARROW FLAGPLQUE	S11-1 / W116-7P	30"x30" / 24"x12"
C	RESERVED PARKING	R7-B	12"x18"
D	VAN ACCESSIBLE	R7-8P	12"x8"
E	DO NOT ENTER	RS-1	30"x30"
F	HORIZONTAL LEFT ONE-WAY	RS-1L	36"x12"
G	HORIZONTAL RIGHT ONE-WAY	RS-1R	36"x12"
H	VISITOR PARKING	N/A	12"x18"
I	STAFF PARKING	N/A	12"x18"
J	PARENT DROP-OFF ENTER HERE (WRIGHT ARROW)	N/A	18"x24"
K	BUS DROP-OFF	N/A	18"x24"
M	SPEED LIMIT 13	N/A	12"x18"

CONDITIONAL USE GRANTED OCTOBER 21, 2024

§208-4.3. WHEN AUTHORIZED AS A CONDITIONAL USE, LAND, A BUILDING OR A GROUP OF BUILDINGS MAY BE USED OR OCCUPIED FOR ANY OF THE FOLLOWING PURPOSES: ELEMENTARY, SECONDARY, AND POST SECONDARY SCHOOLS.

A CONDITIONAL USE WAS GRANTED TO REPURPOSE THE EXISTING OFFICE BUILDING AS A KINDERGARTEN AND ELEMENTARY SCHOOL WITH THE FOLLOWING CONDITIONS:

- AS AGREED TO BY THE APPLICANT DURING THE HEARING, THE APPLICANT SHALL ADJUST THE SIGNAL TIMING OF THE TRAFFIC SIGNAL LOCATED AT THE SWEDESFORD ROAD ENTRANCE OF THE PROPERTY IF DETERMINED NECESSARY BY A TRAFFIC STUDY DURING LAND DEVELOPMENT.
- THE APPLICANT SHALL COMPLY WITH THE PROVISIONS OF THE TREDYFFRIN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
- THE APPLICANT SHALL COMPLY WITH THE PROVISIONS OF THE TREDYFFRIN TOWNSHIP LANDSCAPE ORDINANCE.
- THE APPLICANT AND THE USE AND DEVELOPMENT OF THE PROPERTY SHALL COMPLY WITH THE REPRESENTATIONS AND COMMITMENTS MADE IN THE TESTIMONY AND EXHIBITS PRESENTED AT THE HEARING AND SUBMITTED TO THE BOARD.
- THE APPLICANT AND THE USE AND DEVELOPMENT OF THE PROPERTY SHALL COMPLY IN ALL RESPECTS WITH ALL ORDINANCES AND REGULATIONS OF TREDYFFRIN TOWNSHIP AND WITH ALL APPLICABLE PROVISIONS OF ANY STATUTE, ORDINANCES, OR REGULATION OF ANY MUNICIPAL OR GOVERNMENTAL ENTITY HAVING JURISDICTION OVER THE PROPERTY OR THE USE THEREON.

VARIANCES GRANTED JUNE 24, 2024 (APPROX #19-24)

§208-46 C (1). BUILDING AND IMPERVIOUS COVERAGE - COVERAGE REQUIREMENT. THE BUILDING COVERAGE AND IMPERVIOUS COVERAGE REQUIREMENTS SHALL COMPLY WITH THAT PERMITTED FOR THE UNDERLYING ZONING DISTRICT; PROVIDED, HOWEVER, THAT NO MORE THAN 30% OF THE LOT AREA MAY BE OCCUPIED BY IMPERVIOUS SURFACE.

- A VARIANCE WAS GRANTED TO ALLOW THE SITE TO EXCEED THE 30% MAXIMUM COVERAGE BY APPROXIMATELY 30%.

§208-46 D (5). ALL PARKING AND SERVICE AREAS SHALL BE LOCATED A MINIMUM OF 50 FEET FROM THE STREET RIGHT-OF-WAY OR OTHER PROPERTY LINE AND SUBJECT TO THE STANDARDS PRESCRIBED IN §208-103. NOTWITHSTANDING THOSE REQUIREMENTS, NO SERVICE AREA MAY ADJUT A RESIDENTIAL USE OR DISTRICT UNLESS COMPLETELY ENCLOSED BY SOLID FENCES, WALLS, BUILDINGS, OR A COMBINATION THEREOF, THE PURPOSE OF WHICH IS TO BUFFER NOISE.

- A VARIANCE WAS GRANTED TO ALLOW THE EXISTING NON-COMFORMITY (AS TO PARKING AND SERVICES AREAS) TO REMAIN WITHIN THE REQUIRED 50 FOOT SETBACK.

§208-46 F. BUFFER. ALONG EACH PROPERTY LINE WHICH DIRECTLY ADJUTS A RESIDENTIAL DISTRICT OR USE, A BUFFER AREA NOT LESS THAN 25 FEET IN WIDTH SHALL BE PROVIDED.

- A VARIANCE WAS GRANTED FOR A 22 FOOT BUFFER ALONG THE PROPERTY LINE OR, IN THE ALTERNATIVE, TO ALLOW THE EXISTING NON-COMFORMITY TO REMAIN.

§208-119 C. FENCES, WALLS AND SECURITY GATES. IN ALL DISTRICTS, AN OPEN OR SOLID FENCE OR WALL OF NOT MORE THAN FOUR FEET IN HEIGHT MAY BE ERRECTED WITHIN THE REQUIRED FRONT, SIDE OR REAR YARDS.

- A VARIANCE WAS GRANTED TO INSTALL A SIX-FOOT FENCE WHERE A FOUR FOOT FENCE IS PERMITTED.

WAIVER GRANTED:

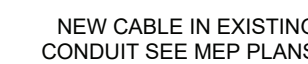
§181-522(2). A PARTIAL WAIVER FROM PARKING LOT LANDSCAPE REQUIREMENTS TO NOT PLANT THE REQUIRED SHADE TREES IN THE PROPOSED LOT ISLANDS DUE TO CONFLICT WITH A SUBSURFACE STORMWATER BASIN. THE APPLICANT WILL INSTEAD PLANT THE REQUIRED TREES ELSEWHERE ON THE PROPERTY.

0 50' 100'

NOT FOR CONSTRUCTION



NOT FOR  
CONSTRUCTION



**NOTE:**

1. ALL SPOT SHOTS PROVIDED ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.

0 50' 100'

**NOT FOR CONSTRUCTION**



NOT FOR  
CONSTRUCTION

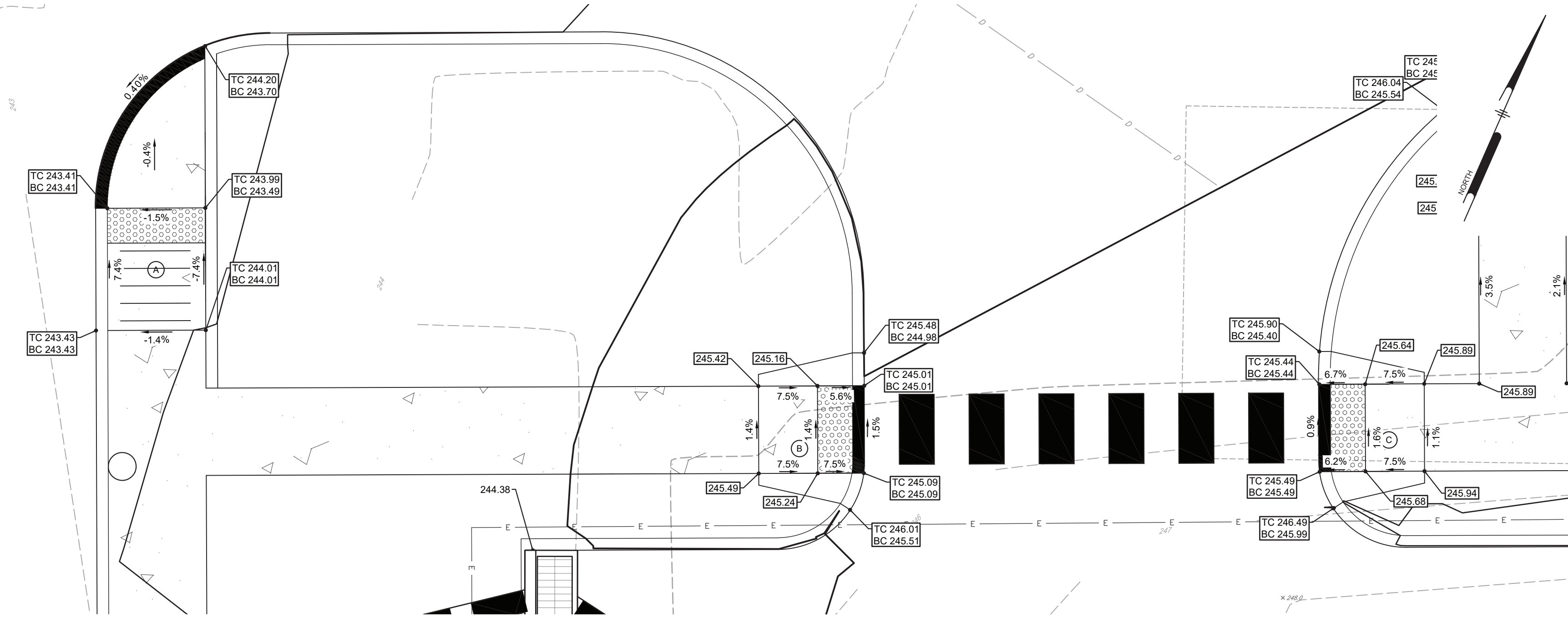
ISSUE HISTORY		
A	DATE	ISSUED FOR
	2025-03-28	BID ISSUE

SHEET TITLE  
SITE CIVIL

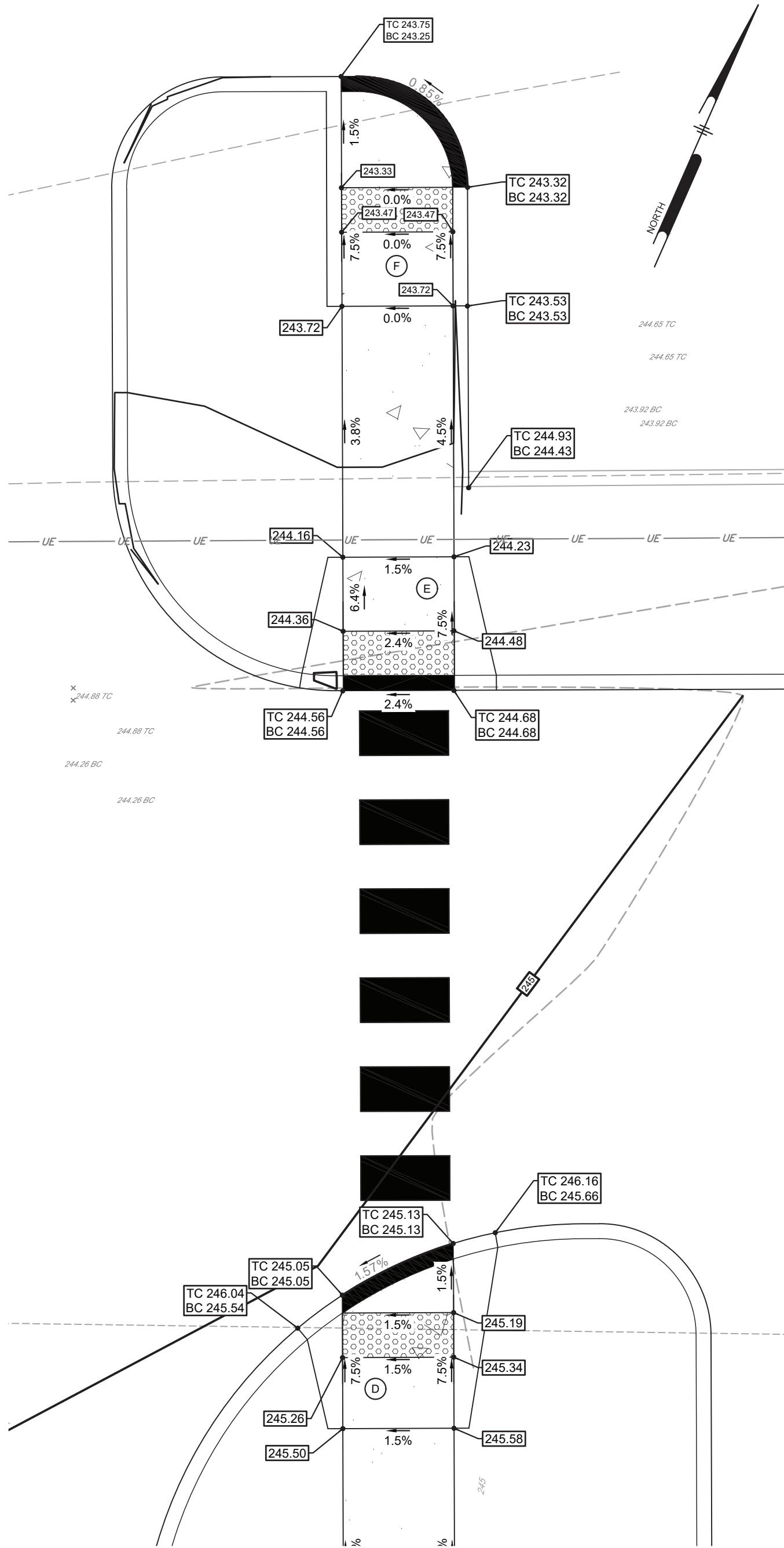
GRADING DETAILS

DRAWING NUMBER

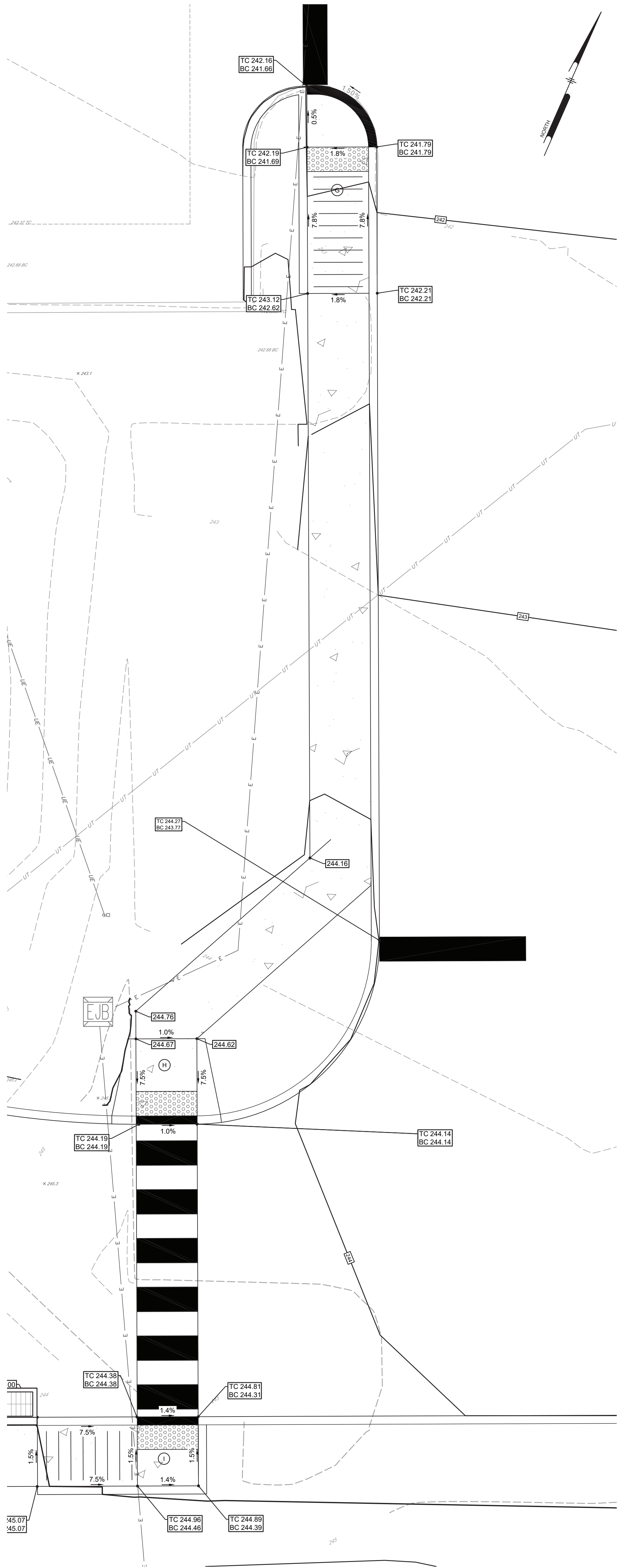
CS1502



ADA RAMPS A, B AND C DETAIL  
SCALE: 1" = 5'



ADA RAMPS D, E AND F DETAIL  
SCALE: 1" = 5'



ADA RAMPS G, H AND I DETAIL  
SCALE: 1" = 5'



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