

**NOT FOR
CONSTRUCTION**

THE NEW ELEMENTARY SCHOOL FINAL LAND DEVELOPMENT PLANS

TREDYFFRIN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

AUGUST 8, 2024

REVISED MARCH 28, 2025

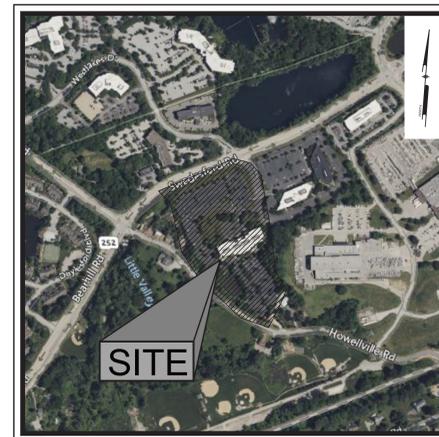
PREPARED FOR:

OWNER/DEVELOPER

TREDYFFRIN EASTTOWN SCHOOL DISTRICT

940 WEST VALLEY ROAD, SUITE 1700

WAYNE, PENNSYLVANIA 19087



LOCATION MAP

Scale: 1" = 500'

PREPARED BY:

PENNONI ASSOCIATES INC.



158 W Gay Street, Suite 300
West Chester, PA 19380
T 610.429.8907
F 610.429.8918

PROPERTY OWNER
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CHESTER
ON THE DAY OF _____, 20____, BEFORE ME, NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED TO BE THE OWNER OR EQUITABLE OWNER, OR THE _____ OF A CORPORATION THAT IS THE OWNER OR EQUITABLE OWNER, OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT AS SUCH HE/SHE EXECUTED THE FOREGOING PLAN, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THE SAID OWNER DESIRES THE FOREGOING PLAN BE DULY RECORDED.

NOTARY PUBLIC: _____
MY COMMISSION EXPIRES: _____

TREDYFFRIN TOWNSHIP
THIS IS TO CERTIFY THAT THE PLANNING COMMISSION OF TREDYFFRIN TOWNSHIP HAS APPROVED THIS PLAN FOR _____ ON THE _____ DAY OF _____, 20____, FOR RECORDING AT THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY, WEST CHESTER, PENNSYLVANIA. OFFERS OF DEDICATION HAVE BEEN ACCEPTED/REJECTED, BONDS, FUNDS OR SECURITIES IN ESCROW HAVE BEEN FILED WITH THE TOWNSHIP AND ACCEPTED TO COVER ALL IMPROVEMENTS SHOWN ON THE PLAN AND REQUIRED UNDER THE SUBDIVISION/LAND DEVELOPMENT AGREEMENT APPROVED THE _____ DAY OF _____, 20____.

PLANNING COMMISSION SIGNED THIS _____ DAY OF _____, 20____.
CHAIRMAN _____
MEMBER _____
TOWNSHIP ENGINEER _____
ATTEST: _____
MANAGER _____

CHESTER COUNTY PLANNING COMMISSION
REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION ON THE DAY _____ DAY OF _____, 20____.

SECRETARY _____

RECORDER OF DEEDS
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ ON THE _____ DAY OF _____, 20____.

RECORDER OF DEEDS _____

CERTIFICATE OF DESIGN
I, _____, HEREBY DECLARE THAT I AM A PROFESSIONAL ENGINEER, THAT THE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, SUBDIVISION, BUILDING, SANITATION, AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS EXCEPT AS NOTED.

DATE _____, 2025 PROFESSIONAL ENGINEER _____ PA LICENSE NO. _____

SURVEYOR'S CERTIFICATE, BOUNDARY & TOPOGRAPHY
THIS IS TO CERTIFY THAT THIS PLAN REPRESENTS A FIELD SURVEY BY ME OR UNDER MY SUPERVISION, THAT ALL PROPERTY CORNERS ARE SET AS SHOWN HEREON, THAT ALL GEOMETRIC AND GEODETIC DETAILS AS SHOWN ARE CORRECT, AND THAT ALL LOTS OR TRACTS HAVE A BOUNDARY CLOSURE ERROR OF 1:10,000 OR BETTER.

DATE _____, 2025 PROFESSIONAL ENGINEER _____ PA LICENSE NO. _____

STEEP SLOPE CERTIFICATION
I, _____, HAVE REVIEWED HISTORICAL DATA AND CERTIFY THAT THE SLOPES IN EXCESS OF 15% ARE MAN MADE.

DATE _____, 2025 PROFESSIONAL ENGINEER _____ PA LICENSE NO. _____

CERTIFICATE OF DESIGN
I, _____, HEREBY DECLARE THAT I AM A PROFESSIONAL ENGINEER, THAT THE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, SUBDIVISION, BUILDING, SANITATION, AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS EXCEPT AS NOTED.

DATE _____, 2025 PROFESSIONAL ENGINEER _____ PA LICENSE NO. _____



CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S): 20242070577

SHEET LIST TABLE		
PAGE	SHEET NUMBER	SHEET TITLE
1	CS0001	COVER SHEET
2	CS0002	GENERAL NOTES
3	CS0201	NATURAL FEATURES AND CONSERVATION PLAN
4	CS0501	DEMOLITION PLANS
5	CS1001	SITE PLAN
6	CS1501	GRADING PLAN
7	CS1502	GRADING DETAILS
8	CS1503	GRADING DETAILS
9	CS1701	UTILITY PLAN
10	CS2001	LANDSCAPING PLAN
11	CS2201	LIGHTING PLAN
12	CS4001	STORM PROFILES
13	CS4002	STORM PROFILES
14	CS6001	SITE DETAILS
15	CS6002	SITE DETAILS
16	CS6021	STORM DETAILS
17	CS6041	SANITARY AND WATER DETAILS
18	CS6061	LANDSCAPING DETAILS
19	CS8001	EROSION AND SEDIMENTATION CONTROL PLAN - PHASE A
20	CS8002	EROSION AND SEDIMENTATION CONTROL PLAN - PHASE B
21	CS8501	EROSION AND SEDIMENTATION CONTROL NOTES
22	CS8502	EROSION AND SEDIMENTATION CONTROL DETAILS
23	CS8503	EROSION AND SEDIMENTATION CONTROL DETAILS
24	CS9001	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
25	CS9501	POST CONSTRUCTION STORMWATER MANAGEMENT NOTES
26	CS9502	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
27	CS9503	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
28	CS9504	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
29	CS9801	TRUCK-BUS MOVEMENT

ISSUE HISTORY

A	DATE	ISSUED FOR
	2025-03-28	BID ISSUE

SHEET TITLE
SITE CIVIL

COVER SHEET

DRAWING NUMBER

CS0001

PROJECT TEAM

CLIENT
Tredyffrin/Easttown School District
940 West Valley Road, Suite 1700
Wayne, PA 19087
(610) 240-1900

ARCHITECTURAL
Heckendorn Shiles Architects
347 East Conestoga Road
Wayne, PA 19087
610-994-3500

STRUCTURAL ENGINEER
A.W. Lookup Corporation
500 Fayette Street, Suite 100
Conshohocken, PA 19428
610-825-2600

MEPPF ENGINEER
Schiller and Hersh Associates, Inc.
636 Skippack Pike, Suite 200
Blue Bell, PA 19422
(215) 866-9947

SITE / CIVIL
Pennoni Associates, Inc
158 W Gay Street, Suite 300
West Chester, PA 19380
(610) 429-8907

FOOD SERVICE
Cori Associates
1001 Baltimore Pike, Suite 308
Springfield, PA 19064
610-541-822

**NOT FOR
CONSTRUCTION**

GENERAL NOTES:

- SITE ADDRESS: 1200 W. SWEDESFORD ROAD
BERWYN, PENNSYLVANIA 19312
OWNER/APPLICANT: TREDYFFRIN EASTTOWN SCHOOL DISTRICT
180 WEST VALLEY ROAD, SUITE 1700
WAYNE, PENNSYLVANIA 19087
ENGINEER: PENNONI ASSOCIATES INC.
158 W GAY STREET SUITE 300
WEST CHESTER, PA 19382
- THE PURPOSE OF THIS PLAN IS TO CONVERT AN EXISTING OFFICE BUILDING AND ASSOCIATED PARKING TO AN ELEMENTARY SCHOOL WITH ASSOCIATED PLAYING FIELDS.
- MUNICIPAL ZONING INFORMATION:**
THIS SITE IS LOCATED IN THE FOLLOWING ZONES IN THE TOWNSHIP OF TREDYFFRIN:
O - OFFICE
C2 - COMMERCIAL
IO - INSTITUTIONAL OVERLAY
FOR COMPLETE ZONING INFORMATION PLEASE REFER TO THE ZONING CODE OF THE TOWNSHIP OF TREDYFFRIN AS CURRENTLY AMENDED.
- FLOOD ZONE INFORMATION:**
BY GRAPHIC PLOTTING ONLY, BASED UPON THE FLOOD INSURANCE RATE MAP, PANEL NO. 165, COMMUNITY MAP NO. 402501652 WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2017, THE SITE IS LOCATED IN THE FOLLOWING AREA:
ZONE X AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN
NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THE DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- UNLESS SPECIFICALLY STATED OR SHOWN HEREON TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:
A. RIGHTS OR INTERESTS OF THE UNITED STATES OF AMERICA OR COMMONWEALTH OF PENNSYLVANIA, OVER LANDS NOW FORMERLY FLOWED BY TIDEWATER, BUT NO LONGER VISIBLE OR PHYSICALLY EVIDENT, OR LANDS CONTAINING ANY ANIMAL, MARINE, OR BOTANICAL SPECIES REGULATED BY OR UNDER THE JURISDICTION OF ANY FEDERAL, STATE, OR LOCAL AGENCY.
B. BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
C. ANY SUBSURFACE OR SUBTERRANEAN CONDITION, EASEMENTS OR RIGHTS, INCLUDING, BUT NOT LIMITED TO MINERAL OR MINING RIGHTS, OR THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MANMADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SITE.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
- THE CONTRACTOR SHALL VERIFY LOCATIONS AND DIMENSIONS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
- REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, ASSIGNED SERIAL NUMBER 262401263 IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 121 OF 2008 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW" (800-242-1778).
- IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 187 OF 1996, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1778) A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION.
- THE SITE IS TO BE SERVED BY PUBLIC SEWER AND WATER SERVICE.
- ALL RADI SHOWN ARE 5 FT UNLESS OTHERWISE SPECIFIED.
- THE PROJECT SITE BOUNDARY IS LOCATED WITHIN THE LOWER SCHUYLKILL RIVER WATERSHED AND THE RECEIVING STREAM IS TRIBUTARY 0696 TO LITTLE VALLEY CREEK, WHICH IS CLASSIFIED AS EXCEPTIONAL VALUE, MIGRATORY FISHES (EVMF) BY TITLE 25, CHAPTER 63 OF THE PENNSYLVANIA CODE.
- A PRE-CONSTRUCTION MEETING SET UP WITH THE TOWNSHIP WILL BE REQUIRED BEFORE ANY CONSTRUCTION COMMENCES.

GENERAL UTILITY NOTES:

- IN ACCORDANCE WITH PA ACT 287 (1974), AS AMENDED, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1778) A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS. HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION. REFER TO THIS SHEET FOR AVAILABLE UTILITY COMPANY LIST.
- CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
- THE LOCATION OF THE EXISTING OVERHEAD UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM FIELD OBSERVATION.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING, PAVING, AND COMPACTED SUB-GRADE.
- IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE CAN BE INSTALLED AND TRENCH BACKFILLED BY THE END OF EACH WORK DAY.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

WATER NOTES:

- EXISTING WATER LINES WITHIN THE PROJECT AREA ARE PRIVATE LINES. PROPOSED CHANGES TO WATER LINES ARE TO BE COORDINATED WITH THE ENGINEER IN ORDER TO CONTINUE TO PROVIDE SERVICE TO CAMPUS SYSTEMS.
- WATER LINE CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER AS TO MINIMIZE LOSS OF SERVICE TO ANY OTHER CAMPUS SYSTEMS. CONTRACTOR SHALL COORDINATE WITH ENGINEER, DEPENDING UPON THE NATURE OF THE LOSS OF SERVICE, IT MAY BE REQUIRED THAT WORK BE COMPLETED IN THE EVENING AFTER NORMAL BUSINESS. ALL VALVES NEEDED FOR SHUT-DOWN SHALL BE COORDINATED WITH ENGINEER.
- A MINIMUM VERTICAL CLEARANCE OF EIGHTEEN (18) INCHES BETWEEN ANY UTILITY AND THE WATER MAIN AND OTHER SUBTERRANEAN STRUCTURES SHALL BE MAINTAINED.
- WATER MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, DOUBLE CEMENT LINED AND TAR COATED WITH PUSH-ON JOINTS, CLASS 52.
- ALL FITTINGS SHALL BE DUCTILE IRON CLASS 350 ANSI A21.10 OR ANSI A21.53. EPOXY COATED MECHANICAL OR PUSH-ON JOINTS. NOTE: FITTINGS NOT FURNISHED WITH AN EPOXY COATING CAN BE FURNISHED WITH A DOUBLE CEMENT LINING AND TAR COATING.
- THE WATER LINES WITHIN THE PROJECT AREA ARE PRIVATE. WATER LINE REVISIONS SHOULD BE COORDINATED WITH THE UTILITY SYSTEM.

SANITARY SEWER NOTES:

- ALL SANITARY SEWER MANHOLES NOT LOCATED IN PAVED AREAS MUST BE EQUIPPED WITH WATER-TIGHT FRAMES AND COVERS TO PREVENT THE INFLOW OF SURFACE WATER INTO THE SANITARY SEWER.
- ALL SANITARY SEWER CONSTRUCTION MUST CONFORM TO THE TOWNSHIP'S STANDARDS AND SPECIFICATIONS (LATEST EDITION).
- CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT OF EXISTING SANITARY SEWER MAINS AND EXISTING LATERALS FOR CONNECTION TO EXISTING SEWER SYSTEMS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND CUT SHEETS FOR ALL SANITARY SEWER CONSTRUCTION FOR REVIEW AND APPROVAL BY THE TOWNSHIP PRIOR TO CONSTRUCTION.
- TYPICAL COVER OF THE SANITARY SEWER MAIN SHALL BE A MINIMUM OF FIVE FEET (5').
- THE SANITARY MAIN PIPE AND FITTINGS SHALL BE GASKETED SDR-26 SEWER PIPE.
- MANHOLE STRUCTURES SHALL CONFORM TO ASTM C-478 AND PENNDOT PUB. 408, TO SUPPORT HS20-44 LOADING.
- UNLESS OTHERWISE NOTED, SANITARY LATERALS SHALL CONSIST OF SIX (6") INCH DIAMETER SDR-26 SEWER PIPE AT A MINIMUM SLOPE OF 1/4" PER FOOT.
- THERE SHALL BE NO LATERAL CONNECTIONS INTO SANITARY SEWER MANHOLES.

DEMOLITION NOTES:

- DEMOLITION WILL BEGIN UPON RECEIPT OF ALL NECESSARY APPROVALS AND PERMITS FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE AREAS FOR BOTH VEHICULAR AND PEDESTRIAN TRAFFIC BE SAFE, CLEAN, AND ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM (1-800-242-1778) PER ACT 287, AS AMENDED, NOT LESS THAN THREE DAYS NOR MORE THAN TEN WORKING DAYS BEFORE COMMENCING WITH DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR UTILIZING APPLICABLE EROSION CONTROL MEASURES PRIOR TO AND DURING DEMOLITION. REFER TO EROSION AND SEDIMENTATION CONTROL PLANS, NOTES AND DETAILS FOR EROSION AND SEDIMENT CONTROL PROCEDURES.
- THE CONTRACTOR SHALL ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS THAT COULD ADVERSELY IMPACT WATER QUALITY. DEMOLITION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASTE WATER, SANITARY WASTES, ETC. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSE KEEPING, MATERIAL MANAGEMENT AND LITTER CONTROL, WHEREVER POSSIBLE. RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. DIRECT AIR PUMP DISCHARGES RESULTING FROM DEWATERING OPERATIONS TO A SUITABLE FILTERING DEVICE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN.
- SAFETY DEVICES (I.E. BARRICADES, WARNING TAPE, CHAIN LINK FENCING, ETC) SHALL BE USED DURING DEMOLITION PROCEDURE TO INSURE THE SAFETY OF THE SURROUNDING PUBLIC.
- THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY AND ALL DEBRIS THAT MAY FALL ON THE ROADWAY AND/OR MAY BE TRACKED ONTO THE ROADWAY.
- UTILITY REMOVAL/ABANDONMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING ADDITIONAL SPECIFICATIONS:
A. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS. HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
B. CONTRACTOR TO NOTIFY APPROPRIATE UTILITY COMPANY PRIOR REMOVAL/ABANDONMENT OF SUCH UTILITY.
C. REMOVAL/ABANDONMENT OF PRIVATE UTILITY COMPANY SERVICES TO BE IN ACCORDANCE WITH EACH RESPECTIVE UTILITY COMPANY STANDARD SPECIFICATIONS OR THE FOLLOWING PROCEDURE, WHICH EVER IS MORE RESTRICTIVE:
• ALL PIPES TO BE ABANDON SHALL BE EITHER EXCAVATED, REMOVED AND THE TRENCH BACKFILLED WITH COURSE AGGREGATE MATERIAL OR ALTERNATE MATERIAL APPROVED BY THE ENVIRONMENTAL ENGINEER OF RECORD OR THE PIPE SHALL BE COMPLETELY FILLED WITH FLOWABLE FILL/SAND AND THE ENDS SEALED WITH WATERTIGHT GROUT.
• ALL STRUCTURES TO BE ABANDONED IN PLACE SHALL HAVE AT MINIMUM THE FIRST 5 FEET BELOW PROPOSED GRADE REMOVED. THE REMAINING STRUCTURE SHALL BE COMPLETELY FILLED WITH FLOWABLE FILL, CAPPED WITH A WATERTIGHT CONCRETE COVER AND SEALED WITH WATERTIGHT GROUT. WHERE SITE GRADING NECESSITATES STRUCTURE REMOVAL, THE ASSOCIATED PIPES SHALL BE FILLED WITH FLOWABLE FILL AND THE ENDS SEALED WITH WATERTIGHT GROUT. THE CONTRACTOR SHALL FIELD VERIFY THE FLOW PATH OF ALL PIPES TO ENSURE THAT PLUGGING PIPES WILL NOT ADVERSELY AFFECT DRAINAGE ON ANY ADJACENT ROADWAY OR PROPERTY.
- REMOVAL AND DISPOSAL OF BITUMINOUS MATERIAL SHALL BE IN COMPLETED IN ACCORDANCE WITH DETAILS AND REGULATIONS OF THE TOWNSHIP PAEPF AND PENNDOT, AS APPLICABLE AND IS SUBJECT TO INSPECTION AND APPROVAL AS APPROPRIATE.

SOIL TABLE

SYMBOL	NAME	HYDROLOGIC GROUP	SLOPES	HYDRIC	DEPTH TO		LIMITATIONS		RESOLUTION NOTES
					WATER TABLE (IN)	BEDROCK (IN)	FROST ACTION	SMALL COMMERCIAL BUILDINGS	
CIB	CONESTOGA SILT LOAM	B	3-8%	NO	>80	69-99	MODERATE	SOMEWHAT LIMITED	#2 -#6 SEE RESOLUTION NOTES
CIC	CONESTOGA SILT LOAM	B	8-15%	NO	>80	69-99	MODERATE	VERY LIMITED	-
HIC	HOLLINGER SILT LOAM	B	8-15%	NO	>80	69-99	MODERATE	VERY LIMITED	-
UB	URBAN LAND	-	0-8%	NO	-	-	NONE	NOT RATED	#1 SEE RESOLUTION NOTES

GEOLOGY NOTE:

STATE PENNSYLVANIA
NAME: CONESTOGA FORMATION
GEOLOGIC AGE: OROGEOCLIN AND CAMBRIAN
ORIGINAL MAP LABEL: LOC
PRIMARY ROCK TYPE: LIMESTONE
SECONDARY ROCK TYPE: SHALE
CONGLOMERATIC LIMESTONE, PHYLLITE

GENERAL CONSTRUCTION AND GRADING NOTES:

- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS, AS APPLICABLE:
A. PENNDOT SPECIFICATION, PUB 408/2007 OR LATEST REVISION.
B. PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72, LATEST REVISED 9/19/08 OR LATEST REVISION.
C. PENNDOT HANDBOOK OF APPROVED SIGNS, PUB 236/2006 OR LATEST REVISION.
D. AMERICANS WITH DISABILITIES ACT OF JULY 1991 AS AMENDED.
E. THE OTHER PENNSYLVANIA STREAM LAW (26 P.S. SECTION 891.1 ET. SEQ.)
F. REGULATIONS OF PA CODE TITLE 25, CHAPTER 102.
G. TOWNSHIP STANDARDS AND SPECIFICATIONS (LATEST EDITION).
IN EVENT OF A CONFLICT AMONG THESE REQUIREMENTS AND/OR PLANS, THE MORE RESTRICTIVE REGULATION SHALL APPLY OR A CLARIFICATION SHALL BE OBTAINED FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING NOT BUT NOT LIMITED TO:
• EROSION AND SEDIMENTATION CONTROL PLAN
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY DISCOVER IN THE PLANS.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO BE UNACCEPTABLE.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
- TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., THAT MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA.
- HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM THE PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141.3-1)
- THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REPAIRING AS REQUIRED BY THE ENGINEER. EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE, NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

UTILITY TRENCH NOTES:

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF-CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPS BEFORE PIPE PLACEMENT AND TRENCH BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

PA ONE CALL UTILITIES LIST:

ALL DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 287, AS AMENDED, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION".
SERIAL NO: 20242075677

<p>COMPANY: CROWN CASTLE ADDRESS: 1500 CORPORATE DR GAINESBURG, PA 15317 CONTACT: FIBER DIG TEAM PERSONNEL EMAIL: FIBER.DIG@CROWNCASTLE.COM PHONE: 800-654-3110</p>	<p>COMPANY: LUMEN FORMERLY LEVEL 3 ADDRESS: 1025 ELDORADO BLVD BROOMFIELD, CO 80021 CONTACT: LUMEN OPERATOR PERSONNEL EMAIL: RELOCATIONS@LUMEN.COM PHONE: 877-365-6344 EXT. 3</p>
<p>COMPANY: AT&T ADDRESS: 1100 3RD AVE ALTOONA, PA 16602 CONTACT: PAT BUTTON EMAIL: P5456@ATT.COM PHONE: 814-321-6470</p>	<p>COMPANY: VERIZON BUSINESS FORMERLY MCI ADDRESS: 400 INTERNATIONAL PARKWAY RICHARDSON, TX 75081 CONTACT: DEAN BOYERS EMAIL: INVESTIGATIONS@VERIZON.COM PHONE: 469-886-4238</p>
<p>COMPANY: WINDSTREAM ENTERPRISE / WHOLESALE ADDRESS: 3005 N RODNEY PARKWAY RD LITTLE ROCK, AR 72212 CONTACT: GLEEC LOCATE DESK PERSONNEL EMAIL: GLEEC.LOCATE@WINDSTREAM.COM PHONE: 800-941-3430</p>	<p>COMPANY: ENERGY TRANSFER ADDRESS: 1300 MAIN ST HOUSTON, TX 77002 CONTACT: SAUL SHAW EMAIL: SAUL.SHAW@ENERGYTRANSFER.COM PHONE: 713-989-7342</p>
<p>COMPANY: AQUA PENNSYLVANIA ADDRESS: 762 LANCASTER AVE. BERWYN, PA 19310 CONTACT: THOMAS WADDOY EMAIL: TWADDOY@AQUAAMERICA.COM PHONE: 610-525-1400 EXT. 52105</p>	<p>COMPANY: TREDYFFRIN TOWNSHIP ADDRESS: 1100 DUPORTAL RD BERWYN, PA 19310 CONTACT: DARIN FITZGERALD EMAIL: DFITZGERALD@TREDYFFRIN.ORG PHONE: 610-408-3620</p>
<p>COMPANY: COMCAST ADDRESS: 1200 HADDONFIELD-BERLIN RD CHERRY HILL, NJ 08034 CONTACT: WYATT PARRISH EMAIL: WYATT_PARRISH@CABLE.COMCAST.COM PHONE: 484-368-4391</p>	<p>COMPANY: U S I C LOCATING SERVICES ADDRESS: 8045 N RIVER RD SUITE 300 INDIANAPOLIS, IN 46240 CONTACT: JEFFREY TRUMBOWER EMAIL: JEFFTRUMBOWER@USICLLC.COM PHONE: 317-810-8254</p>
<p>COMPANY: PECO AN EXELON COMPANY C/O USIC ADDRESS: 460 S HENDERSON ROAD SUITE B KING OF PRUSSIA, PA 19406 CONTACT: NIKKA SIMPINS EMAIL: NIKKASIMPINS@USICLLC.COM PHONE: 484-681-6720</p>	<p>COMPANY: VERIZON BUSINESS FORMERLY MCI ADDRESS: 7000 WESTON PKWY CARY, NC 27513 CONTACT: VICTOR WOOD EMAIL: VICTOR.S.WOOD@VERIZON.COM PHONE: 919-414-2762</p>

RESOLUTION NOTES:

- DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE SHOULD A HIGH GROUND WATER TABLE BE ENCOUNTERED DURING CONSTRUCTION, WATER WILL BE DRAINED AWAY FROM DISTURBED AREAS TO A WELL, VEGETATED AREA OR A PLACED COMPOST FILTER SOCK PRIOR TO BEING DISCHARGED OFF SITE. SATURATED SOILS THE REQUIRE COMPACTION WILL BE DRIED PRIOR TO BEING USED ON SITE.
- PIPING AREAS OF EMBANKMENTS WITH PIPES PASSING THROUGH THEM SHALL HAVE ANTI-SLEEP COLLARS INSTALLED TO PREVENT SLIDING. SLOPES ARE DESIGNED TO NOT EXCEED 2H:1V.
- CUT BANKS CANVES - ALMOST ALL PENNSYLVANIA SOILS ARE SUSCEPTIBLE TO CAVING OF CUT BANKS. CUT SLOPES WILL BE STABILIZED AS SOON AS POSSIBLE WITH SEED AND MULCH OR EROSION CONTROL BLANKETS TO PREVENT SLIDING. SLOPES ARE DESIGNED TO NOT EXCEED 2H:1V.
- CORROSIVE TO CONCRETE/STEEL PIPE: PIPES TO BE USED ON SITE SHALL BE HDPE OR COATED STEEL.
- POTENTIAL SINKHOLE: SHOULD A SINKHOLE BE ENCOUNTERED DURING CONSTRUCTION, REPAIR SHOULD BE DONE UNDER THE DIRECT OBSERVATION AND SUPERVISION OF A PROFESSIONAL GEOLOGIST OR LICENSED GEOTECHNICAL ENGINEER.
- LOW STRENGTH - MOST OF PENNSYLVANIA SOILS (70%) HAVE RELATIVELY LOW STRENGTH. PRECAUTIONS WILL BE TAKEN TO PREVENT SLOPE FAILURES DUE TO IMPROPER CONSTRUCTION PRACTICES. SOILS WILL BE EVALUATED DURING CONSTRUCTION TO DETERMINE WHETHER ADDITIONAL MEASURES WILL NEED TO BE TAKEN.

LEGEND:

	PROPERTY LINE
	EX EASEMENT
	EX CURB
	EX EDGE OF PAVEMENT
	EX EDGE OF GRAVEL
	EX LANDSCAPING
	EX TREE ROW
	EX MINOR CONTOUR
	EX MAJOR CONTOUR
	EX STORM SEWER LINES
	EX UTILITY MANHOLE
	EX STORM SEWER INLET
	EX STORMWATER MANHOLE
	EX STORM DRAIN
	EX UNDERGROUND COMMUNICATION
	EX UTILITY POLE
	EX WATER LINES
	SOILS BOUNDARY LINES
	SOILS TEXT
	EXISTING ADJACENT PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING BUILDING
	EXISTING TUNNEL
	EXISTING EDGE OF SIDEWALK
	EXISTING EDGE OF PAVEMENT
	EXISTING GRAVEL PAVEMENT
	EXISTING CONCRETE PAVEMENT
	EXISTING WALL
	EXISTING HANDRAIL
	EXISTING PEDESTRIAN STREET LIGHT
	EXISTING WINDOW WELL
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SPOT ELEV.
	EXISTING BOTTOM OF CURB ELEV.
	EXISTING FENCE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING DOWNSPOUT
	EXISTING WATER LINE
	EXISTING UNDERGROUND NATURAL GAS LINE
	EXISTING UNDERGROUND STEAM LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND COMMUNICATION LI
	EXISTING UTILITY STRUCTURE
	EXISTING TREE
	PROPOSED CURB
	PROPOSED PARKING LOT LINE
	PROPOSED BUILDING AT GRADE
	PROPOSED BUILDING ABOVE GRADE
	PROPOSED DOOR
	PROPOSED PAVEMENT MILLING LIMIT
	PROPOSED MILL AND OVERLAY
	PROPOSED SIDEWALK
	PROPOSED CONCRETE PAD
	PROPOSED LANDSCAPED AREA
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED WALL
	PROPOSED PARKING STRIPING
	PROPOSED SIGN
	PROPOSED PEDESTRIAN STREET LIGHT
	PROPOSED STORM INLET
	PROPOSED STORM MANHOLE
	PROPOSED SANITARY MANHOLE
	PROPOSED ELECTRICAL MANHOLE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED 6' CHAIN LINK FENCE
	PROPOSED 6' BOARD ON BOARD FENCE

ISSUE HISTORY

#	DATE	ISSUED FOR
1	2025-03-28	BID ISSUE

SHEET TITLE

SITE CIVIL

GENERAL NOTES

DRAWING NUMBER

PROJECT TEAM

CLIENT
Tredyffrin/Easttown School District
940 West Valley Road, Suite 1700
Wayne, PA 19087
(610) 240-1900

ARCHITECTURAL
Heckendorn Shiles Architects
347 East Conestoga Road
Wayne, PA 19087
610-994-3500

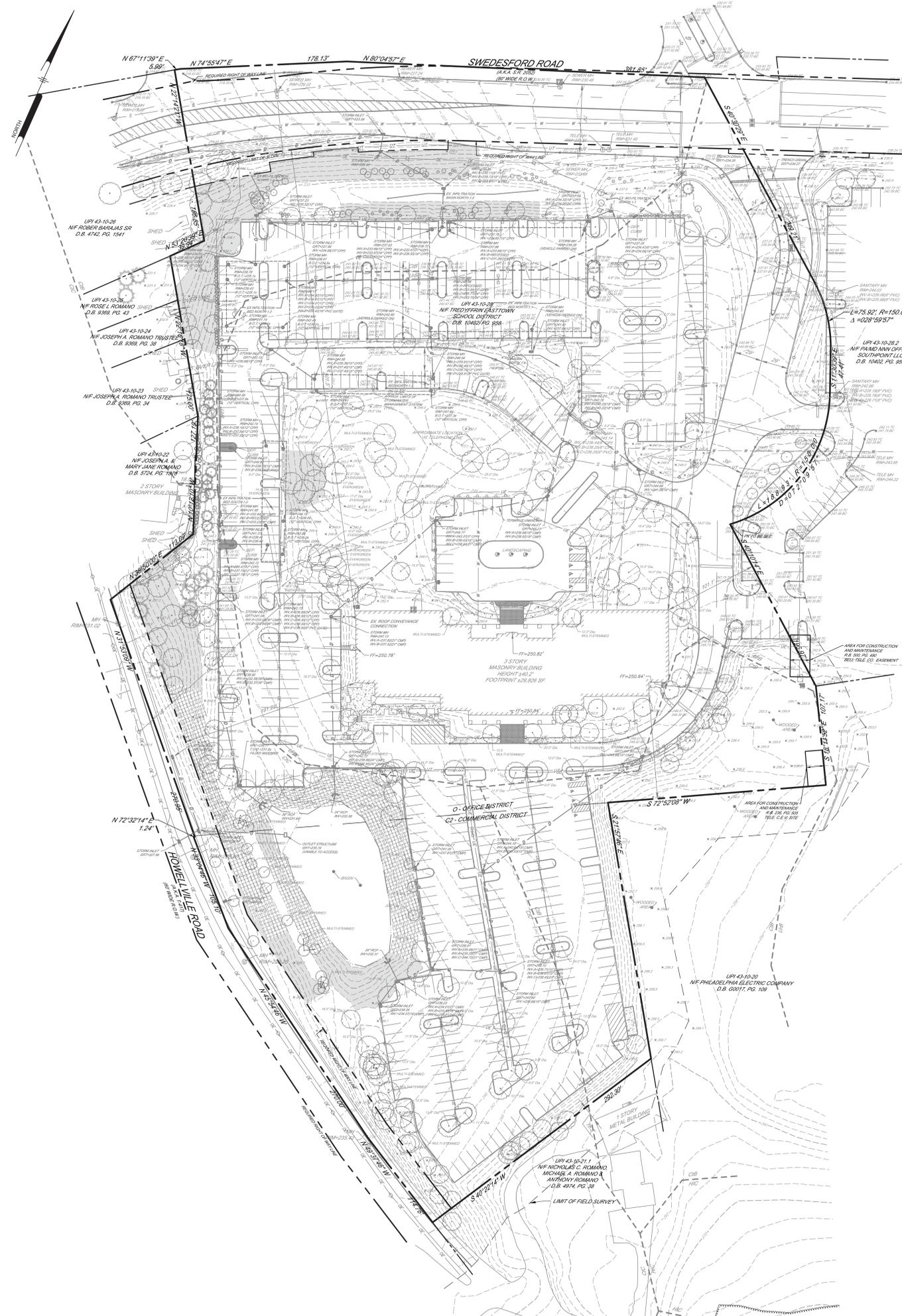
STRUCTURAL ENGINEER
A.W. Lookup Corporation
500 Fayette Street, Suite 100
Conshohocken, PA 19428
610-825-2600

MEPPP ENGINEER
Schiller and Hersh Associates, Inc.
636 Skippack Pike, Suite 200
Blue Bell, PA 19422
(215) 886-8947

SITE / CIVIL
Pennoni Associates, Inc
158 W Gay Street, Suite 300
West Chester, PA 19380
(610) 429-8907

FOOD SERVICE
Corsi Associates
1001 Baltimore Pike, Suite 308
Springfield, PA 19064
610-541-822

**NOT FOR
CONSTRUCTION**



SLOPE LEGEND

	STEEP SLOPES (15%-25%)
	VERY STEEP SLOPES (25%+)
	WOODLANDS ON SLOPES > 15%
	WOODLANDS ON SLOPES < 15%

- NOTES:**
1. THE EXISTING CONDITIONS OF THE SITE IS AN OFFICE BUILDING WITH ASSOCIATED PARKING AREAS, DRIVE ISLES, AND STORMWATER MANAGEMENT FACILITIES. AS THE SITE WAS DEVELOPED, MAN MADE STEEP SLOPES WERE CREATED AS A RESULT.
 2. THE EXISTING VEGETATIVE COVER CONSISTS OF MOWED LAWN AREAS, FREE STANDING TREES WITHIN THE PARKING LOT LANDSCAPE, ISLANDS, AND A MIXTURE OF DECIDUOUS AND EVERGREEN TREES AROUND THE PERIPHERY OF THE PROPERTY, MOST LIKELY INSTALLED DURING THE CONSTRUCTION OF THE OFFICE BUILDING AND PARKING AREAS.
 3. THE UNDERLYING BEDROCK WITHIN THE SITE CONSISTS OF THE CONESTOGA FORMATION.
 4. AN EXISTING STORMWATER DETENTION BASIN EXISTS ON SITE.
 5. PER THE NATIONAL WETLAND INVENTORY MAPS PREPARED BY THE UNITED STATES FISH AND WILDLIFE SERVICE, NO WETLANDS EXIST ON SITE.
 6. NO FLOODPLAINS EXIST ON SITE.

STEEP SLOPE CALCULATIONS

	EXISTING	DISTURBED
STEEP SLOPES (15-25%)	37,901 SF (0.87AC)	8,711 SF (0.20 AC)
VERY STEEP SLOPES (25%+)	20,362 SF (0.47AC)	12,553 SF (0.29 AC)

SOIL TABLE

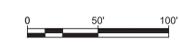
SYMBOL	NAME	HYDROLOGIC GROUP	SLOPES	HYDRIC	DEPTH TO		LIMITATIONS	RESOLUTION NOTES	
					WATER TABLE (IN)	BEDROCK (IN)			
CIB	CONESTOGA SILT LOAM	B	3-8%	NO	>80	60-99	MODERATE	SOMEWHAT LIMITED	#2 - #6 SEE RESOLUTION NOTES
CIC	CONESTOGA SILT LOAM	B	8-15%	NO	>80	60-99	MODERATE	VERY LIMITED	-
HIC	HOLLINGER SILT LOAM	B	8-15%	NO	>80	60-99	MODERATE	VERY LIMITED	-
UB	URBAN LAND	-	0-8%	NO	-	-	NONE	NOT RATED	#1 SEE RESOLUTION NOTES

GEOLOGY NOTE:
STATE: PENNSYLVANIA
NAME: CONESTOGA FORMATION
GEOLOGIC AGE: ORDOVICIAN AND CAMBRIAN
ORIGINAL MAP LABEL: C03
PRIMARY ROCK TYPE: LIMESTONE
SECONDARY ROCK TYPE: SHALE, CONGLOMERATE LIMESTONE, PHYLLITE

ISSUE HISTORY

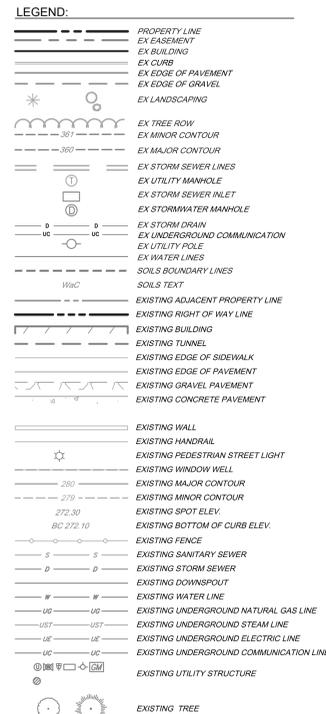
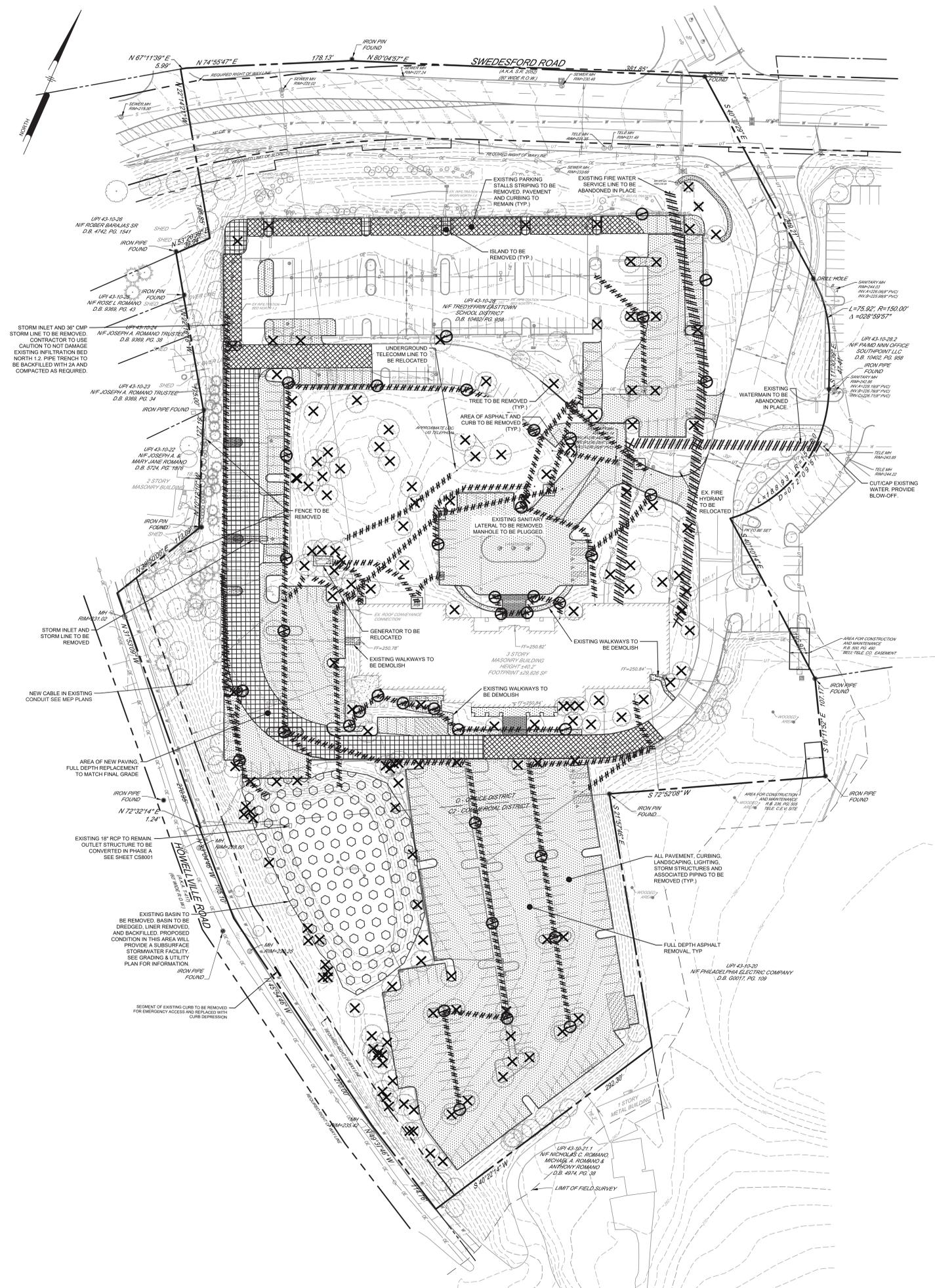
A	DATE	ISSUED FOR
1	2025-03-28	BID ISSUE

SHEET TITLE
SITE CIVIL
NATURAL
FEATURES AND
CONSERVATION
PLAN
DRAWING NUMBER



NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

ISSUE HISTORY

A	DATE	ISSUED FOR
	2025-03-28	BID ISSUE

SHEET TITLE
SITE CIVIL

DEMOLITION PLANS

DRAWING NUMBER
CS0501

NOT FOR CONSTRUCTION

NET LOT AREA CALCULATIONS

	EXISTING (SF)	EXISTING (AC)
GROSS LOT AREA	664,541	15.26
STEEP SLOPES (15%-25%)	37,901	0.87
VERY STEEP SLOPES (25% +)	20,362	0.47
FLOOD HAZARD DISTRICT AREAS	0	0
WETLANDS	0	0
PORTIONS OF TRACT LESS THAN 50' WIDE	0	0
ALLEYS, LANES, STREETS, RAILROAD, OR UTILITY LINE EASEMENTS / R.O.W.	63,247	1.45
OTHER AREAS OWNED AND/OR USED IN COMMON WITH THE OWNERS OF OTHER LOTS	0	0
NET LOT AREA	543,031	12.47

TREDYFFRIN TOWNSHIP ZONING ORDINANCE (IO OVERLAY)

DIMENSIONAL REQUIREMENTS	PERMITTED/REQUIRED	EXISTING	PROPOSED
GROSS TRACT AREA: 664,541 SF; 15.26 AC - NET LOT AREA: 543,031 SF (12.47 AC)			
LOT AREA (MIN.)	10 AC	543,031 SF (12.47 AC)	543,031 SF (12.47 AC)
LOT WIDTH (MIN.)	400 FEET	593 FEET	593 FEET
STREET YARD (MIN.)	200 FEET	200 FEET	200 FEET
YARD ABUTTING NONRESIDENTIAL (MIN.)	50 FEET	50 FEET	50 FEET
YARD ABUTTING RESIDENTIAL OR DISTRICT USE	100 FEET	>100 FEET	>100 FEET
YARD ABUTTING STREET R.O.W. (MIN.)	65 FEET, PARKING 50 FEET	65, 50 FEET	65, 50 FEET
SEPARATION BETWEEN STRUCTURES (MIN.)	60 FEET	>60 FEET	>60 FEET
BUILDING COVERAGE (MAX.)	30%	29, 626 SF (5.49%)	40,301 SF (7.42%)
IMPERVIOUS COVERAGE (MAX.)	30%	310,361 SF (57.15%)	263,931 SF (48.60%)
BUILDING HEIGHT (MAX.)	42-45 FEET	<42-45 FEET	<42-45 FEET
PARKING - ELEMENTARY SCHOOL	2 SPACES PER CLASSROOM ARE REQUIRED. 30 CLASSROOMS ARE PROPOSED = 60 SPACES REQUIRED	621	143
PARKING - GYMNASIUM/AUDITORIUM	1 SPACE PER 4 SEATS ARE REQUIRED. 300 SEATS PROPOSED = 75 SPACES REQUIRED	621	143
PARKING - BUSES	5 LOADING / UNLOADING SPACES REQUIRED	0	5

SIGN TABLE:

SYMBOL	SIGN CHARACTERISTICS	PENNDOT #	SIZE
A	STOP	R1-1	30"x30"
B	PEDESTRIAN CROSSING / DOWNWARD POINTED ARROW FLAGPOLE	S1-1 / W16-7P	30"x30" / 24"x12"
C	RESERVED PARKING	R7-8	12"x18"
D	VAN ACCESSIBLE	R7-8P	12"x8"
E	DO NOT ENTER	RS-1	30"x30"
F	HORIZONTAL LEFT ONE-WAY	R8-1L	38"x12"
G	HORIZONTAL RIGHT ONE-WAY	R8-1R	38"x12"
H	VISITOR PARKING	N/A	12"x18"
I	STAFF PARKING	N/A	12"x18"
J	PARENT DROP-OFF ENTER HERE (WRIGHT ARROW)	N/A	18"x24"
K	BUS DROP-OFF	N/A	18"x24"
L	SPEED LIMIT 13	N/A	12"x18"

CONDITIONAL USE GRANTED OCTOBER 21, 2024
 5208-43.D, WHEN AUTHORIZED AS A CONDITIONAL USE, LAND, A BUILDING OR A GROUP OF BUILDINGS MAY BE USED OR OCCUPIED FOR ANY OF THE FOLLOWING PURPOSES: ELEMENTARY, SECONDARY, AND POST SECONDARY SCHOOLS.
 A CONDITIONAL USE WAS GRANTED TO REPLURPOSE THE EXISTING OFFICE BUILDING AS A KINDERGARTEN AND ELEMENTARY SCHOOL WITH THE FOLLOWING CONDITIONS:
 1. AS AGREED TO BY THE APPLICANT DURING THE HEARING, THE APPLICANT SHALL ADJUST THE SIGNAL TIMING OF THE TRAFFIC SIGNAL LOCATED AT THE SWEDSFORD ROAD ENTRANCE OF THE PROPERTY IF DETERMINED NECESSARY BY A TRAFFIC STUDY DURING LAND DEVELOPMENT.
 2. THE APPLICANT SHALL COMPLY WITH THE PROVISIONS OF THE TREDYFFRIN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
 3. THE APPLICANT SHALL COMPLY WITH THE PROVISIONS OF THE TREDYFFRIN TOWNSHIP LANDSCAPE ORDINANCE.
 4. THE APPLICANT AND THE USE AND DEVELOPMENT OF THE PROPERTY SHALL COMPLY WITH THE REPRESENTATIONS AND COMMITMENTS MADE IN THE TESTIMONY AND EXHIBITS PRESENTED AT THE HEARING AND SUBMITTED TO THE BOARD.
 5. THE APPLICANT AND THE USE AND DEVELOPMENT OF THE PROPERTY SHALL COMPLY IN ALL RESPECTS WITH ALL ORDINANCES AND REGULATIONS OF TREDYFFRIN TOWNSHIP AND WITH ALL APPLICABLE PROVISIONS OF ANY STATUTE, ORDINANCES, OR REGULATION OF ANY MUNICIPAL OR GOVERNMENTAL ENTITY HAVING JURISDICTION OVER THE PROPERTY OR THE USE THEREON.

VARIANCES GRANTED JUNE 24, 2024 (APPROX. 419-24)
 5208-46 C (1) BUILDING AND IMPERVIOUS COVERAGE - COVERAGE REQUIREMENT: THE BUILDING COVERAGE AND IMPERVIOUS COVERAGE REQUIREMENTS SHALL COMPLY WITH THAT PERMITTED FOR THE UNDERLYING ZONING DISTRICT, PROVIDED, HOWEVER, THAT NO MORE THAN 50% OF THE LOT AREA MAY BE OCCUPIED BY IMPERVIOUS SURFACE.
 • A VARIANCE WAS GRANTED TO ALLOW THE SITE TO EXCEED THE 30% MAXIMUM COVERAGE BY APPROXIMATELY 30%.
 5208-46 D (5) ALL PARKING AND SERVICE AREAS SHALL BE LOCATED A MINIMUM OF 50 FEET FROM THE STREET RIGHT-OF-WAY OR OTHER PROPERTY LINE AND SUBJECT TO THE STANDARDS PRESCRIBED IN 5208-103. NOTWITHSTANDING THOSE REQUIREMENTS, NO SERVICE AREA MAY ABUT A RESIDENTIAL USE OR DISTRICT UNLESS COMPLETELY ENCLOSED BY SOLID FENCING, WALLS, BOLLARDS, OR A COMBINATION THEREOF, THE PURPOSE OF WHICH IS TO BUFFER NOISE.
 • A VARIANCE WAS GRANTED TO ALLOW THE EXISTING NON-COMFORMITY (AS TO PARKING AND SERVICE AREAS) TO REMAIN WITHIN THE REQUIRED 50 FOOT SETBACK.
 5208-46 F. BUFFER: ALONG EACH PROPERTY LINE WHICH DIRECTLY ABUTS A RESIDENTIAL DISTRICT OR USE, A BUFFER AREA NOT LESS THAN 25 FEET IN WIDTH SHALL BE PROVIDED.
 • A VARIANCE WAS GRANTED FOR A 22 FOOT BUFFER ALONG THE PROPERTY LINE OR, IN THE ALTERNATIVE, TO ALLOW THE EXISTING NON-COMFORMITY TO REMAIN.
 5208-119 C. FENCES, WALLS AND SECURITY GATES - IN ALL DISTRICTS, AN OPEN OR SOLID FENCE OR WALL OF NOT MORE THAN FOUR FEET IN HEIGHT MAY BE ERRECTED WITHIN THE REQUIRED FRONT, SIDE OR REAR YARDS.
 • A VARIANCE WAS GRANTED TO INSTALL A 50-FOOT FENCE WHERE A FOUR FOOT FENCE IS PERMITTED.

WAIVER GRANTED:
 5181-5202: A PARTIAL WAIVER FROM PARKING LOT LANDSCAPE REQUIREMENTS TO NOT PLANT THE REQUIRED SHADE TREES IN THE PROPOSED LOT SPACES DUE TO CONFLICT WITH A SUBSURFACE STORMWATER BASIN. THE APPLICANT WILL INSTEAD PLANT THE REQUIRED TREES ELSEWHERE ON THE PROPERTY.

ISSUE HISTORY

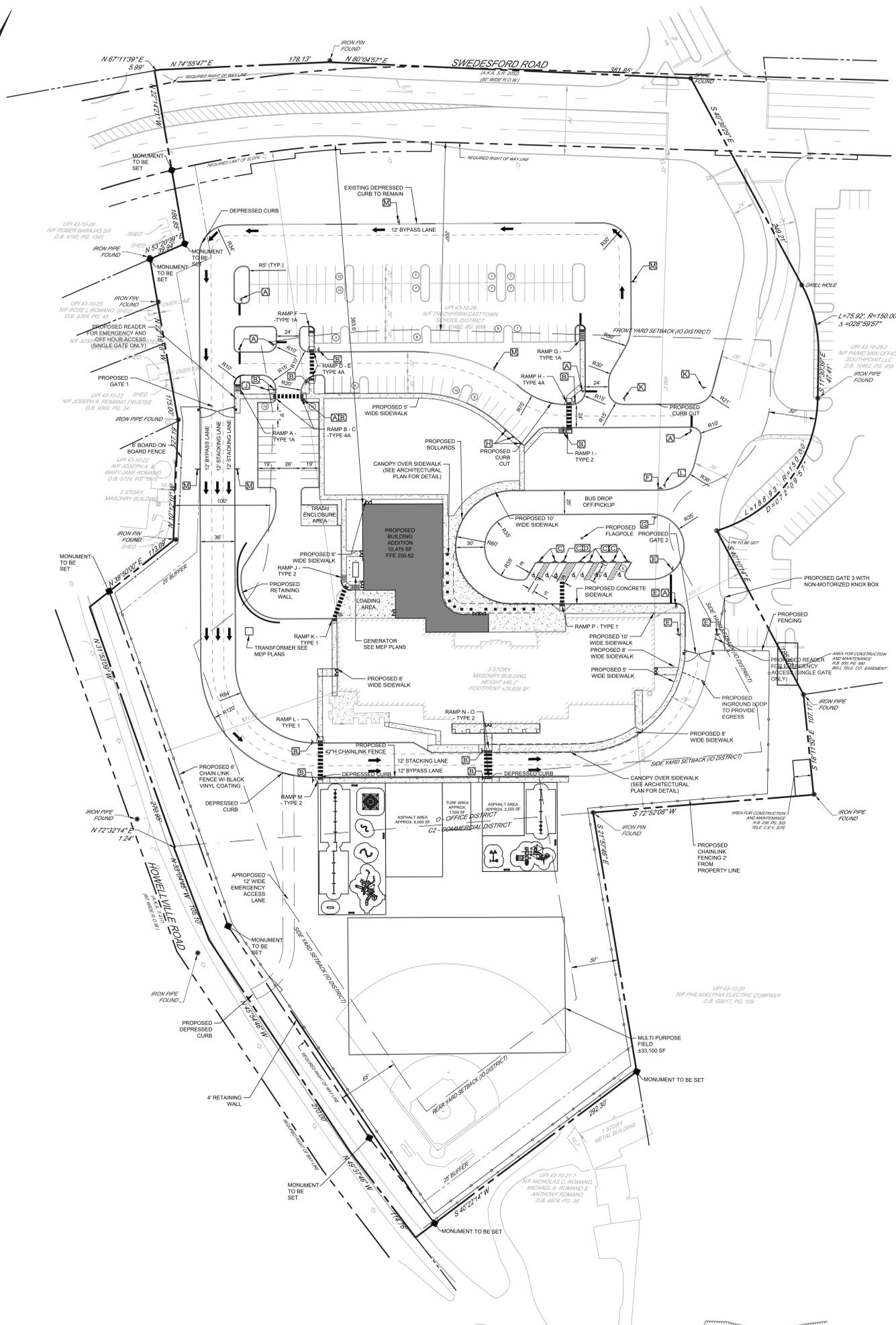
A	DATE	ISSUED FOR
	2025-03-28	BID ISSUE

SHEET TITLE
SITE CIVIL

SITE PLAN

DRAWING NUMBER
CS1001

NOT FOR CONSTRUCTION



PLOTTED: 20250328 10:28:11 AM BY: VADP/100 PROJECT STATUS: PROJECT TEAM: HECKENDORN SHILES ARCHITECTS, INC.

