



THE NEW ELEMENTARY SCHOOL
1200 W. SWEDES FORD ROAD
BERWYN, PA 19312

2025-03-28 BID ISSUE

03/27/2025 12:52 PM
HECKENDORN SHILES ARCHITECTS reserves the right to make changes to the design and construction of the project without notice. The design is preliminary and subject to change. The design is not to be used for construction without the approval of the architect. The design is not to be used for construction without the approval of the architect. The design is not to be used for construction without the approval of the architect.



CLIENT
Tredyffrin/Easttown School District
940 West Valley Road, Ste 1700
Wayne, PA 19087
610-240-1900



ARCHITECTURAL
Heckendorn Shiles Architects
347 East Conestoga Road
Wayne, PA 19087
610-994-3500



STRUCTURAL ENGINEER
A.W. Lookup Corporation
500 Fayette Street, Suite 100
Conshohocken, PA 19428
610-825-2600



MEPP ENGINEER
Schiller & Hersh Associates
636 W. Shoppack Pike #200
Blue Bell, PA 19422
215-886-8947



SITE/CIVIL ENGINEER
Pennoni Associates, Inc.
158 W. Gay Street, Suite 300
West Chester, PA 19382
610-429-8907



FOOD SERVICE
Corsi Associates
1001 Baltimore Pike, Suite 308
Springfield, PA 19064
610-541-0822



ACOUSTICS
Metropolitan Acoustics LLC
1628 John F. Kennedy Blvd #1902
Philadelphia, PA 19103
215-248-4352














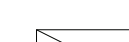




IT NETWORK / CCTV
TERANET CONSULTING SERVICES
2 Coldwater Place
Newtown, PA 18940
267-719-3307

SCHEDULE OF ALTERNATES	
ALTERNATE #	DESCRIPTION
1	<p><u>Insulating Glass Unit (IGU) replacement at existing storefront ribbon windows.</u></p> <p>The Bidder shall state the adjustment in price to the Base Bid to replace the Insulating Glazing Units at all ground, second, and third floor existing exterior glazing with the latest IGU configuration below in lieu of the specified IGUs. Refer to following specifications for additional information.</p> <p>The basis IGU configuration for this alternate: Remove bird-scle each option from glass types GLS-1, GLS-5, GLS-7 and GLS-8.</p>
2	<p><u>New glass film at existing to remain windows.</u></p> <p>The Bidder shall state the adjustment in price to the Base Bid to keep the existing IGUs intact and provide UV film (GF-2) on the #4 surface of all existing to remain exterior storefront windows in lieu of the base bid IGU replacement scope.</p>
3	<p><u>New glass bird-scle film at existing to remain windows.</u></p> <p>The Bidder shall state the adjustment in price to the Base Bid to keep the existing IGUs intact and provide glass film as described below in lieu of the base bid IGU replacement scope.</p> <p>Glass film configuration for this alternate: Bird-scle film (GF-1) on the #1 surface and UV film (GF-2) on the #4 surface of all existing to remain exterior storefront glass.</p>
4	<p><u>Existing Roof replacement.</u></p> <p>The Bidder shall state the adjustment in price to the Base Bid to provide a full roof and insulation replacement at the existing main roof. Provide new EPDM roof with 30 year warranty as noted on ASD.</p>
5	<p><u>Window Shades:</u></p> <p>The Bidder shall state the adjustment in price to the Base Bid to install Venlux Roller shades with Tab Mount Clutch System and Shade Fabric- Venlux UV Screen 300D-3% as shown on the construction documents with no substitution.</p>
6	<p><u>Structural Fill at Addition:</u></p> <p>The Bidder shall state the adjustment in price to the Base Bid to provide engineered structural fill or ZA modified stone in lieu of using onsite materials for fill required below the bottom of slab subgrade stone for the entire new building addition pad and up to 5' outside the new building addition's exterior wall line.</p>
7	<p><u>Soil:</u></p> <p>The Bidder shall state the adjustment in price to the Base Bid to install soil in lieu of grass seed at the playing field and baseball field as shown on the construction documents.</p>
8	<p><u>Generator:</u></p> <p>The Bidder shall state the adjustment in price to the Base Bid to provide a 500KW diesel generator. Refer to electrical drawings and specifications for generator and support infrastructure descriptions. Include all sitework, landscaping, and preparations for the installation of the 500KW generator.</p>

	CEILING HEIGHT
	CEILING TYPE
	SUSPENSION GRID & 2 X 2' LAT-IN ACOUSTIC CEILING TILE
	SUSPENSION GRID & 2 X 4' LAT-IN ACOUSTIC CEILING TILE
	GWB SOFFIT OR CEILING
	2X2 SURFACE LIGHT FIXTURE
	2X4 SURFACE LIGHT FIXTURE
	1X4 SURFACE LIGHT FIXTURE
	4' SURFACE MOUNT LINEAR LIGHT FIXTURE
	SURFACE MOUNTED
	RECESSED DOWNLIGHT
	2X2 RECESSED LIGHT FIXTURE
	SALVAGED 2X2 RECESSED LIGHT FIXTURE
	2X4 RECESSED LIGHT FIXTURE
	SALVAGED 2X4 RECESSED LIGHT FIXTURE
	1X4 RECESSED LIGHT FIXTURE
	SALVAGED 1X4 RECESSED LIGHT FIXTURE
	TRACK LIGHTING FIXTURE
	WALL SCONCE
	PENDANT MOUNTED LINEAR
	WALL MOUNTED EMERGENCY LIGHTING
	SUPPLY AIR DIFFUSER
	DIRECTIONAL SUPPLY AIR DIFFUSER
	LINEAR SLOT DIFFUSER
	RETURN AIR DIFFUSER
	EXIT SIGN - WALL MOUNTED ILLUMINATED SINGLE & DOUBLE FACE DIRECTIONAL ARROWS AS INDICATED
	EXIT SIGN - CEILING MOUNTED ILLUMINATED SINGLE & DOUBLE FACE DIRECTIONAL ARROWS AS INDICATED
	START OF CONSTRUCTION/CEILING WORK POINT

	ROOM IDENTIFICATION
	DOOR IDENTIFICATION
	DETAIL MARK
	ENLARGED PLAN
	MULTIPLE ELEVATION REFERENCE
	ELEVATION REFERENCE
	SECTION REFERENCE
	WORKING POINT OR DATUM
	PARTITION TYPE
	COLUMN GRID
	NORTH ARROW
	SPOT ELEVATION TAG
	FINISH TAG
	PLUMBING FIXTURE TAG
	EQUIPMENT TAG
	FINISH FLOOR ELEVATION TAG
	WINDOW TAG
	EXISTING CONSTRUCTION
	DEMOLISH/ REMOVE CONSTRUCTION
	NEW CONSTRUCTION
	BUILT-IN CASEWORK
	SOFFIT, OPEN ABOVE
	REMOVE DOOR, FRAME, & HARDWARE
	TRENCHING / SAW CUTTING DEMOLITION
	TRENCHING / SAW CUT INFILL
	FEC (FIRE EXTINGUISHER CABINET)
	FE (FIRE EXTINGUISHER - WALL MOUNTED)
	AED (AED CABINET)

MATERIALS LEGEND (VIEWED IN SECTION)

	EARTH, UNDISTURBED		PLYWOOD
	EARTH, COMPACTED FILL		PARTICLE BOARD
	CRUSHED ROCK GRAVEL		SOLID SURFACE
	CONCRETE, CAST STONE (SECTION OR ELEVATION)		STONE (MARBLE/GRANITE)
	CONCRETE MASONRY		WOOD BLOCKING OR SILL
	BRICK		WOOD FRAMING, CONTINUOUS
	RIGID INSULATION		STEEL
	PLASTER OR GYPSUM BOARD (SECTION OR ELEVATION)		
	SOLID WOOD (SECTION OR ELEVATION)		

ACOUSTIC	ACST
ACOUSTIC TILE	ACT
ADJACENT	ADJ
ADJUSTABLE	ADJST
ARCHITECT	ARCH
ARCHITECTURAL	ARCH
BOARD	BD
BOTTOM OF	B.O. (BOT. OF)
BUILDING	BLDG
CABINET	CAB
CARPET	CFT
CEILING	CLG
CEILING JOIST	C.J.
CENTER LINE	CL OR C
CLEAR	CLR
COLD WATER	CW
COLUMN	COL
CONCRETE	CONC
CONCRETE MASONRY UNIT	CMU
CONSTRUCTION	CONSTR
CONTINUOUS	CONT
CORR. REIC	CUT
DEATH	DEMO
DIAMETER	DIA
DIMENSIONS	DM
DOWN	DN
DRAWING	DWG
EACH	EAC
ELECTRIC	ELEC
ELECTRIC WATER COOLER	EW
EQUIPMENT	EQA
ESTIMATE	EST
EXISTING	EXIST
EXPOSED TO STRUCTURE	ITS
FEET, FOOT	OR FT
FINISH	FIN
FINISH FLOOR	F.F.
FIRE EXTINGUISHER	F.E.
FIRE EXTINGUISHER CABINET	F.E.C.
FIRE RESISTANT	F.R.
FLUORESCENT	FLUOR
FURNITURE	FURN
GALVANNE	GA
GENERAL CONTRACTOR	GC
GLASS	GL
GYP-SUM WALL BOARD	GWB
HAIRWARE	HW
HEIGHT	HT OR HGT
HOLLOW CORE WOOD	HCW
HOLLOW METAL	HMA
HICKORY-DOWN SHILES ARCHITECTS	HMA
HORIZONTAL	HORIZ
HOT WATER	HW
INCH	OR IN
INSULATION	INSUL
INTERIOR	INT
JUNCTION BOX	J.O.B.
LAVATORY	LAV
MANUFACTURER	MFR
MACHINE OPENING	MO
MAXIMUM	MAX
MECHANICAL	MCH
METAL	MET
MINIMUM	MIN
MISCELLANEOUS	MISC
MOUNTING	MTG
NOMINAL	NOM
NOT IN CONTRACT	NIC
NOT TO SCALE	NTS
OPPOSITE	OPP
PAINT, PAINTED	PT, PTD
PARTIALLY LAMINATE	PLAM
PLANT	PLNT
QUANTITY	QTY
QUARRY TILE	QT
RADIUS	R
REFERENCE	REF
REINFORCE	REFR
REQUIRED	REQD
REVISION (REVISED)	REV(D)
RISERS	RS
ROOM	ROOM
ROUGH OPENING	RO
RAIN WATER CONDUCTOR	RWC
SHOWER	SH
SOLID CORE	SC
SINGLE CAROL ROOM	SCR
SPECIFICATIONS	SPEC'S
SQUARE FEET	SF OR SQ. FT.
SQUARE INCHES	SQ. IN.
STAINLESS STEEL	S.S.
STANDARD	STD
STORAGE	STG
STUCCO	STL
SUSPENDED	SUSP
SYSTEM	SYST
TELEPHONE	TEL
TOP OF	T.O.P.
TYPICAL	TYP
UNLESS NOTED OTHERWISE	UNO
WALL ENGINEERS	WE
VERIFY IN THE FIELD	VERIF
VERTICAL	VERT
VINYL COMPOSITION TILE	VCT
VINYL WALLCOVERING	VWC
WATER CLOSET	WC
WEIGHT	WT
WIDTH	W
WITH	WTH
WITHOUT	W/O
WOOD	WD
WORK POINT	WP
YARD	YD

THESE DRAWINGS ARE MEANT TO OUTLINE A GENERAL SCHEME OF DEMOLITION FOR THE CONTRACTOR. THE SPECIFIC AREAS, ITEMS, DETAILS, AND THE GENERAL SEQUENCE OF THE WORK ARE TO BE DETERMINED. THE INTENT IS THAT ALL DEMOLITION REQUIRED TO PROPERLY CONSTRUCT THE NEW STRUCTURE BE REALIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION WORK AND SHALL INSURE THAT THE EXISTING BUILDING RETAINS STRUCTURAL INTEGRITY AND REMAINS WATER AND WEATHER-TIGHT DURING THE DEMOLITION AND RECONSTRUCTION PHASES OF THE WORK.

2. CONTRACTOR MUST REVIEW NEW WORK INCLUDED IN A SERIES DRAWINGS AND COORDINATE DEMOLITION WORK WITH NEW WORK.

3. CONTRACTOR MUST COORDINATE ALL ARCHITECTURAL DEMOLITION WITH STRUCTURAL DEMOLITION WORK AS SHOWN ON S'S SERIES DRAWINGS. AS SHOWN ON M, P, T, PP, S'S SERIES DRAWINGS, THE PRIMA CONTRACTORS WILL BE RESPONSIBLE FOR THE CONTIGUOUS INTERIOR UTILITIES DEMOLITION INCLUDING BUT NOT LIMITED TO THE WATER & ELECTRICAL DEMOLITION.

4. CONTRACTOR MUST COORDINATE ALL ARCHITECTURAL DEMOLITION WITH STRUCTURAL DEMOLITION WORK AS SHOWN ON S'S SERIES DRAWINGS.

5. CONTRACTOR MUST COORDINATE ALL ARCHITECTURAL DEMOLITION W/ SITE / CIVIL DEMOLITION WORK AS SHOWN ON SITE / CIVIL DRAWINGS.

6. CONTRACTOR MUST COORDINATE COURSE OF DEMOLITION WORK WITH OVERALL CONSTRUCTION SCHEDULE.

7. CONTRACTOR COORDINATE ALL DEMOLITION WORK WITH EXIST. STRUCTURE TO BE REMOVED. THE CONTRACTOR CONTRACTOR IS RESPONSIBLE THAT IS DAMAGED BY DEMOLITION SHALL BE REPAIRED REPLACED TO MATCH THE EXIST. CONDITION. SEE SPECIFICATIONS FOR CLARIFICATION OF RESPONSIBILITY.

8. GENERAL CONTRACTOR IS RESPONSIBLE TO PATCH/REPAIR ALL FINISH SURFACES AFFECTED BY DEMOLITION WORK. SEE THE GENERAL CONTRACTOR SPECIFICATIONS FOR CLARIFICATION OF RESPONSIBILITY.

9. GENERAL CONTRACTOR SHALL COORDINATE, PRIOR TO ANY DEMOLITION, WHAT MATERIALS OR ITEMS OF EQUIPMENT ARE TO BE RETAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES ACCORDING TO ALL APPLICABLE CODES.

10. CARE SHOULD BE TAKEN TO AVOID DISTURBING ANY SYSTEMS WHICH ARE TO REMAIN PRIOR TO THE DEMOLITION OF THE STRUCTURE. GENERAL CONTRACTOR MUST COORDINATE W/ ELECTRICAL CONTRACTOR WHICH WILL BE RESPONSIBLE FOR THE ELECTRICAL DEMOLITION.

11. GENERAL CONTRACTOR MUST CAREFULLY COORDINATE DEMOLITION OF EXTERIOR WALLS WITH THE INTENT OF THE NEW CONSTRUCTION. ALL FOOTINGS AND STRUCTURAL MEMBERS SHALL REMAIN INTACT, UNLESS OTHERWISE INDICATED. CONTRACTOR TO COORDINATE W/ STRUCTURAL DWGS.

12. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION:

13. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING OR BRACING OF STRUCTURE PRIOR TO AND DURING DEMOLITION AND NEW CONSTRUCTION.

14. WHERE WALLS ARE INDICATED TO BE REMOVED, CONTRACTOR MUST FIELD VERIFY IF THE WALLS ARE STRUCTURAL BEARING WALLS. IF IT IS DETERMINED THAT THE WALLS WILL BE REMOVED, THE CONTRACTOR CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SUPPORT AT AREAS WHERE WALLS ARE TO BE REMOVED. IF THE CONTRACTOR CONTRACTOR DETERMINE IF THE WALLS ARE BEARING, THE CONTRACTOR MUST CONTACT THE PROJECT ARCHITECTURAL ENGINEER FOR CLARIFICATION PRIOR TO ANY EXISTING WORK.

15. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY CHANGING MATERIAL TO REMAIN THAT IS DAMAGED DURING SELECTIVE DEMOLITION INCLUDING BUT NOT LIMITED TO THE WATER & ELECTRICAL DEMOLITION.

CONSTRUCTION GENERAL NOTES

1. ALL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH SPECIFICATIONS IN DETERMINING THE FULL PROJECT SCOPE.

2. REFER TO MEPFF DWGS FOR MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION WORK.

3. REFER TO STRUCTURAL DWGS FOR STRUCTURAL WORK.

4. REFER TO SITE / CIVIL DWGS FOR SITE / CIVIL WORK.

5. DO NOT SCALE DIMENSIONS. WRITTEN DIMENSIONS GOVERN. PARTITION DIMENSIONS SHOWN ON S-SERIES DRAWINGS. PARTITION DIMENSIONS SHOWN ON M-SERIES DRAWINGS. PARTITION DIMENSIONS SHOWN ON P-SERIES DRAWINGS. PARTITION DIMENSIONS SHOWN ON PP-SERIES DRAWINGS. PARTITION DIMENSIONS SHOWN ON T-SERIES DRAWINGS. PARTITION DIMENSIONS SHOWN ON S-SERIES DRAWINGS. PARTITION DIMENSIONS SHOWN ON M-SERIES DRAWINGS. PARTITION DIMENSIONS SHOWN ON P-SERIES DRAWINGS. PARTITION DIMENSIONS SHOWN ON PP-SERIES DRAWINGS. PARTITION DIMENSIONS SHOWN ON T-SERIES DRAWINGS.

6. DIMENSIONS MARKED "CLEAR" OR "CLIP" SHALL BE MAINTAINED AND SHALL ALLOW FOR THE DIMENSIONS SHOWN ON THE DRAWINGS. PARTITION DIMENSIONS SHALL NOT AVOID DIMENSIONS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT.

7. DIMENSIONS SHOWN AS "XIP" SHALL BE VERIFIED BY THE CONTRACTOR IN CONJUNCTION WITH THE ARCHITECT. PARTITION DIMENSIONS SHOWN AS "XIP" SHALL BE VERIFIED BY THE CONTRACTOR IN CONJUNCTION WITH THE ARCHITECT. PARTITION DIMENSIONS SHOWN AS "XIP" SHALL BE VERIFIED BY THE CONTRACTOR IN CONJUNCTION WITH THE ARCHITECT. PARTITION DIMENSIONS SHOWN AS "XIP" SHALL BE VERIFIED BY THE CONTRACTOR IN CONJUNCTION WITH THE ARCHITECT.

8. PARTITION CONSTRUCTION SHALL COME ONCE ONLY AFTER THE ARCHITECT HAS REVENUED LAYOUT.

9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOINT CONDITIONS PRIOR TO STARTING WORK AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCY OR DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK.

10. ALL BUILDING DEPARTMENT PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.

11. PROVIDE PORTABLE FIRE EXTINGUISHERS IN COMPLIANCE WITH APPLICABLE CODE SECTION 906.

12. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

SCOPE OF WORK AND CONTRACT GENERAL DESCRIPTION

CONTRACTOR DEFINITIONS:

1. General Contractor (GC): General Contractor responsible for performing all public bid work on the building and, also, excluding the items defined as owner's vendor or other prime contractor responsibilities.
2. Mechanical Contractor (MC): Mechanical Contractor responsible for performing all public bid mechanical work on the building, excluding the items defined as owner's vendor or other prime contractor responsibilities.
3. Electrical Contractor (EC): Electrical Contractor responsible for performing all public bid electrical work on the building, excluding the items defined as owner's vendor or other prime contractor responsibilities.
4. Plumbing Contractor (PC): Plumbing Contractor responsible for performing all public bid plumbing and the protection work on the building, excluding the items defined as owner's vendor or other prime contractors.
5. Playground Equipment Vendor (PEV): Owner's vendor hired through Cooperative Purchasing Program responsible for providing and installing all Playground Surface Equipment.
6. Solar Photovoltaic Panel Vendor (SPV): Owner's vendor hired through Cooperative Purchasing Program responsible for providing and installing Solar Panel Equipment. Refer to electrical drawings for detailed description.
7. Athletic Equipment Vendor (AEV): Owner's vendor hired through Cooperative Purchasing Program responsible for providing and installing all interior and exterior athletic equipment.
8. IT Telecom Vendor (ITV): Owner's vendor hired through Cooperative Purchasing Program responsible for providing and installing all IT/Telecom equipment.
9. Audio Visual Vendor (AVV): Owner's vendor hired through Cooperative Purchasing Program responsible for providing and installing all Audio Visual equipment.
10. Security/Intrusion Vendor (SIV): Owner's vendor hired through Cooperative Purchasing Program responsible for providing and installing security/intrusion equipment as noted.
11. Security Camera Vendor (SCV): Owner's vendor hired through Cooperative Purchasing Program responsible for providing and installing security cameras as noted.
12. Access Control Vendor (ACV): Owner's vendor hired through Cooperative Purchasing Program responsible for providing and installing access control equipment as noted.
13. Furniture Vendor (FV): Owner's vendor hired through Cooperative Purchasing Program responsible for providing and installing all Furniture.
14. Outside Plant (OSP) Contractor: Owner's vendor under separate contract responsible for providing and installing all outside area fiber-optic network cables and terminated at the building MDF Room.

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A004	HORIZONTAL CONTROL PLAN	X	
A005	PHASING REFERENCE PLAN	X	
2. ARCHITECTURAL DEVIATION			
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A0101A	EXISTING CONDITIONS & DEMOLITION PLAN FIRST FLOOR - SECTION A	X	
A0101B	EXISTING CONDITIONS & DEMOLITION PLAN FIRST FLOOR - SECTION B	X	
A0102A	EXISTING CONDITIONS & DEMOLITION PLAN SECOND FLOOR - SECTION A	X	
A0102B	EXISTING CONDITIONS & DEMOLITION PLAN SECOND FLOOR - SECTION B	X	
A0103A	EXISTING CONDITIONS & DEMOLITION PLAN THIRD FLOOR - SECTION A	X	
A0103B	EXISTING CONDITIONS & DEMOLITION PLAN THIRD FLOOR - SECTION B	X	
A0104A	EXISTING CONDITIONS & DEMOLITION ROOF PLAN - SECTION A	X	
A0104B	EXISTING CONDITIONS & DEMOLITION ROOF PLAN - SECTION B	X	
A0110	EXISTING CONDITIONS & DEMOLITION ROOF FINISH PLAN - SECTION A	X	
A0111A	EXISTING CONDITIONS & DEMOLITION ROOF FIRST FLOOR - SECTION A	X	
A0111B	EXISTING CONDITIONS & DEMOLITION ROOF FIRST FLOOR - SECTION B	X	
A0112A	EXISTING CONDITIONS & DEMOLITION ROOF SECOND FLOOR - SECTION A	X	
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A0113B	EXISTING CONDITIONS & DEMOLITION ROOF THIRD FLOOR - SECTION B	X	
A0120	EXISTING CONDITIONS & DEMOLITION ELEVATIONS	X	
3. ARCHITECTURAL			
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A1010A	NEW CONSTRUCTION FIRST FLOOR PLAN - SECTION A	X	
A1010B	NEW CONSTRUCTION FIRST FLOOR PLAN - SECTION B	X	
A1020A	NEW CONSTRUCTION SECOND FLOOR PLAN - SECTION A	X	
A1020B	NEW CONSTRUCTION SECOND FLOOR PLAN - SECTION B	X	
A1030A	NEW CONSTRUCTION THIRD FLOOR PLAN - SECTION A	X	
A1030B	NEW CONSTRUCTION THIRD FLOOR PLAN - SECTION B	X	
A1040A	NEW CONSTRUCTION ROOF PLAN - SECTION A	X	
A1040B	NEW CONSTRUCTION ROOF PLAN - SECTION B	X	
A110	NEW CONSTRUCTION OVERALL EFFECTED CEILING PLANS	X	
A1110A	NEW CONSTRUCTION EFFECTED CEILING PLAN - FIRST FLOOR - SECTION A	X	
A1110B	NEW CONSTRUCTION EFFECTED CEILING PLAN - FIRST FLOOR - SECTION B	X	
A1120A	NEW CONSTRUCTION REFLECTED CEILING PLAN - SECOND FLOOR - SECTION A	X	
A1120B	NEW CONSTRUCTION REFLECTED CEILING PLAN - SECOND FLOOR - SECTION B	X	
A1130A	NEW CONSTRUCTION REFLECTED CEILING PLAN - THIRD FLOOR - SECTION A	X	
A1130B	NEW CONSTRUCTION REFLECTED CEILING PLAN - THIRD FLOOR - SECTION B	X	
A120	NEW CONSTRUCTION OVERALL FINISH PLANS	X	
A1210A	NEW CONSTRUCTION FIRST FLOOR FINISH PLAN - SECTION A	X	
A1210B	NEW CONSTRUCTION FIRST FLOOR FINISH PLAN - SECTION B	X	
A1220A	NEW CONSTRUCTION SECOND FLOOR FINISH PLAN - SECTION A	X	
A1220B	NEW CONSTRUCTION SECOND FLOOR FINISH PLAN - SECTION B	X	
A1230A	NEW CONSTRUCTION THIRD FLOOR FINISH PLAN - SECTION A	X	
A1230B	NEW CONSTRUCTION THIRD FLOOR FINISH PLAN - SECTION B	X	
A140	NEW CONSTRUCTION GYMNASIUM STRIPING PLAN	X	
A141	SLAB EDGE PLAN - FIRST FLOOR	X	
A142	SLAB EDGE PLAN - SECOND FLOOR	X	
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A200	NEW CONSTRUCTION ELEVATIONS	X	
A201	NEW CONSTRUCTION ENLARGED ELEVATIONS	X	
A202	NEW CONSTRUCTION ENLARGED ELEVATIONS	X	
A203	NEW CONSTRUCTION SECTIONS	X	
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A311	WALL SECTIONS	X	
A312	WALL SECTIONS	X	
A313	WALL SECTIONS	X	
A400	CANOPY PLANS, HEIGHTS AND TYP ELEVATIONS	X	
A401	ENARGED PLANS & ELEVATIONS - GYMNASIUM	X	
A402	ENARGED PLANS & ELEVATIONS - STAGE, GYM OFFICE, STAGE RAMP	X	
A403	ENARGED PLANS & ELEVATIONS - NORTH LOBBY, NORTH VESTIBULE, CENTER LOBBY	X	
A404	ENARGED PLANS & ELEVATIONS - NORTH LOBBY, NORTH VESTIBULE, CENTER LOBBY	X	
A405	ENARGED PLANS & ELEVATIONS - MAIN OFFICE, NURSE, GUIDANCE, CONFERENCE, FACULTY DINING	X	
A406	ENARGED PLANS & ELEVATIONS - CAFETERIA AND KITCHEN	X	
A407	ENARGED PLANS & ELEVATIONS - SINGLY CLASSROOMS, SINGLE USER RESTROOMS, SGA	X	
A408	ENARGED PLANS & ELEVATIONS - TYP FIRST FLOOR CLASSROOMS	X	
A409	ENARGED PLANS & ELEVATIONS - TYP SECOND THROU FLOOR CLASSROOMS	X	
A410	ENARGED PLANS & ELEVATIONS - TYP SGA & TACHER PREP	X	
A411	ENARGED PLANS & ELEVATIONS - SPECIALTY CLASSROOMS - ART, SCIENCE CLASSROOMS	X	
A412	ENARGED PLANS & ELEVATIONS - SPECIALTY CLASSROOMS - LIBRARY	X	
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A415	ENARGED PLANS & ELEVATIONS - STAIR S2 & ELEVATOR	X	
A500	CEILING	X	
A501	DETAILS - CASEWORK	X	
A502	DETAILS - CASEWORK	X	
A503	DETAILS - GREETER DESK, MISC. CASEWORK	X	
A504	DETAILS - FINISHES	X	
A505	DETAILS - STAGE AND STAIR DETAILS	X	
A506	DETAILS - OPERABLE PARTITIONS	X	
A507	DETAILS - FIRE AND SECURITY DOORS	X	
A508	DETAILS - ROOF	X	
A509	DETAILS - ROOF	X	
A510	DETAILS - ROOF	X	
A511	DETAILS - EXTERIOR WALL & WINDOWS	X	
A512	DETAILS - EXTERIOR WALL & WINDOWS	X	
A513	DETAILS - COLUMN ENCLOSURES	X	
A514	DETAILS - COLUMN ENCLOSURES	X	
A515	DETAILS - COLUMN ENCLOSURES	X	
A516	DETAILS - EXPANSION JOINT, WALL, PENETRATIONS & REPAIRS	X	
A517	DETAILS - BUILDING AND FREESTANDING SIGNS, BOARDS	X	
A600	SCHEDULES AND DIAGRAMS - PARTITIONS	X	
A601	SCHEDULES AND DIAGRAMS - DOORS AND FRAMES	X	
A602	SCHEDULES AND DIAGRAMS - INTERIOR STOREFRONT	X	
A603	SCHEDULES AND DIAGRAMS - WINDOWS, ACCESSORIS AND EQUIPMENT	X	
A700	ADAPTED TECHNOLOGIES AND BASEBALL FIELD	X	
A701	PLAYGROUNDS	X	
4. FOODSERVICE			
FS-1.0	FOODSERVICE EQUIPMENT PLAN AND SCHEDULE	X	
FS-1.1	FOODSERVICE ELECTRICAL PLAN AND SCHEDULE	X	
FS-1.2	FOODSERVICE PLUMBING PLAN AND SCHEDULE	X	
FS-2.0	FOODSERVICE EXHAUST HOOD DETAILS	X	
FS-2.1	FOODSERVICE EXHAUST HOOD DETAILS	X	
FS-3.0	WALK-IN DETAILS	X	
5. STRUCTURAL			
S100	OVERALL FOUNDATION AND FRAMING PLANS	X	
S1010A	FOUNDATION PLAN - SECTION A	X	
S1010B	FOUNDATION PLAN - SECTION B	X	
S1020A	2ND FLOOR FRAMING PLAN - SECTION A	X	
S1020B	2ND FLOOR FRAMING PLAN - SECTION B	X	
S1030A	3RD FLOOR FRAMING PLAN - SECTION A	X	
S1030B	3RD FLOOR FRAMING PLAN - SECTION B	X	
S1040A	ROOF FRAMING PLAN - SECTION A	X	
S1040B	ROOF FRAMING PLAN - SECTION B	X	
S201	GENERAL NOTES	X	
S202	TYPICAL DETAILS	X	
S203	TYPICAL DETAILS	X	
S204	SECTIONS AND DETAILS	X	
S205	SECTIONS AND DETAILS	X	
S206	SECTIONS AND DETAILS	X	

**TE NEW
ELEMENTARY
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HSA PROJECT # :23-037

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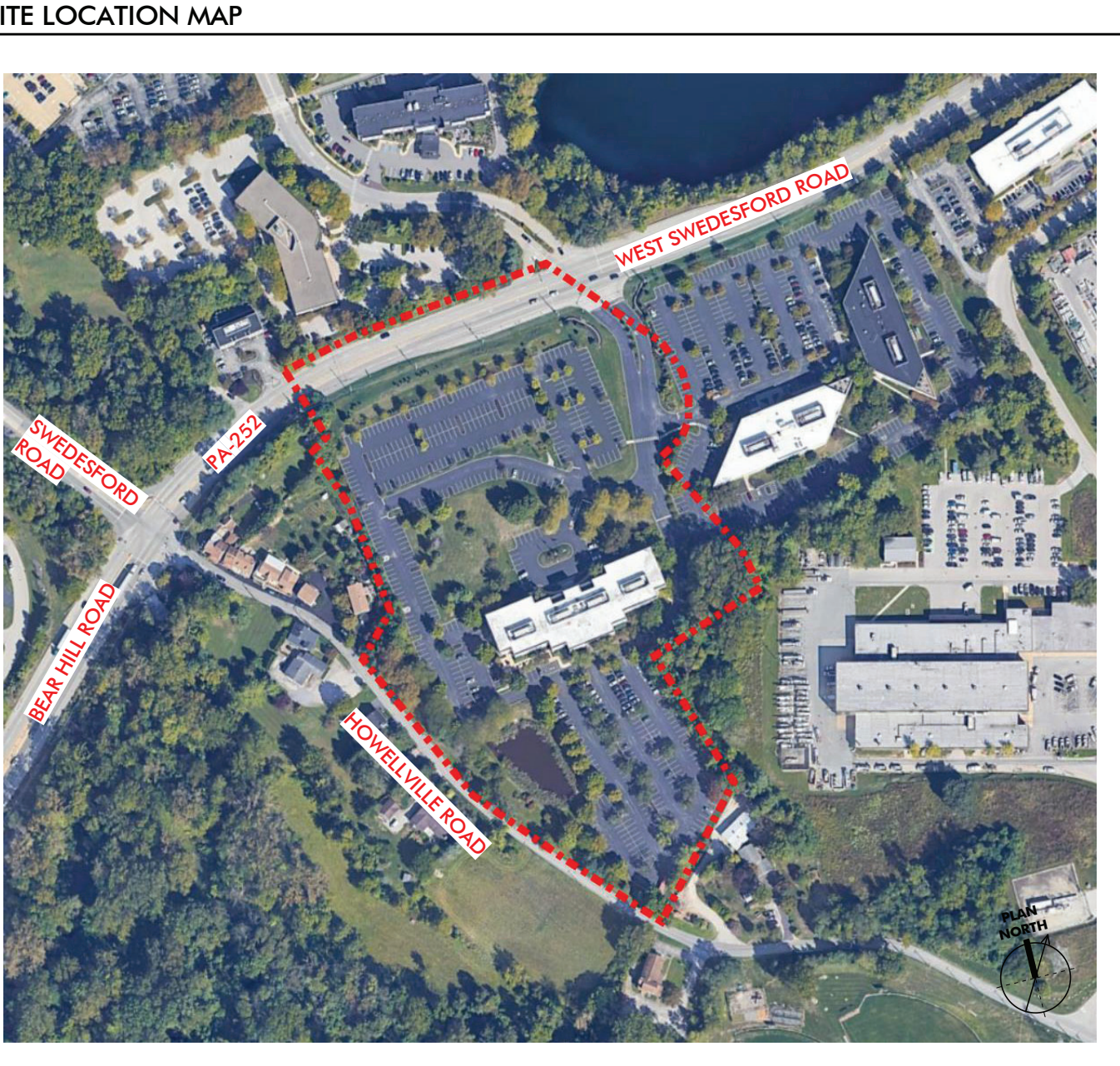
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DATE	ISSUED FOR
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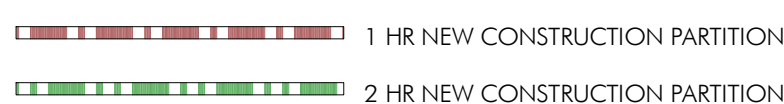
**ABBREVIATIONS,
GENERAL NOTES,
DRAWING LIST**

A001

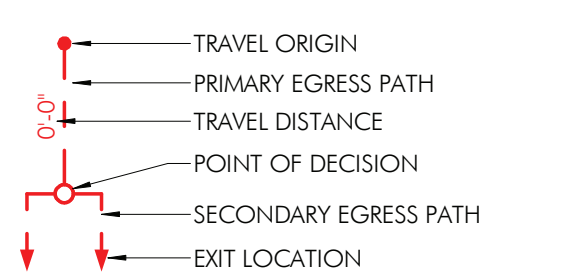
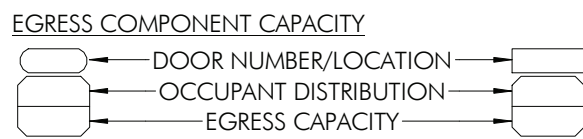
CODE ABSTRACT



FIRE BARRIER



OCCUPANCY AND EGRESS



OCCUPANCY LEGEND














FUNCTION OF SPACE

OCCUPANT LOAD FACTOR

CALCULATED OCCUPANT LOAD

AREA (NET OR GROSS)

FUNCTION OF SPACE LEGEND

	ACCESSORY, MVE
	ACCESSORY, STORAGE
	ASSEMBLY, CONCENTRATED
	ASSEMBLY, STANDING
	ASSEMBLY, UNCONCENTRATED
	BUSINESS AREAS
	EDUCATIONAL, CLASSROOM AREA
	EDUCATIONAL, LIBRARY READING
	EDUCATIONAL, LIBRARY STACKS
	EDUCATIONAL, VOCATIONAL
	KITCHENS, COMMERCIAL
	STAGE
	STORAGE, S-1



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HSA PROJECT # :23-037



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CODE ABSTRACT

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A002



KEY PLAN



ISSUE HISTORY

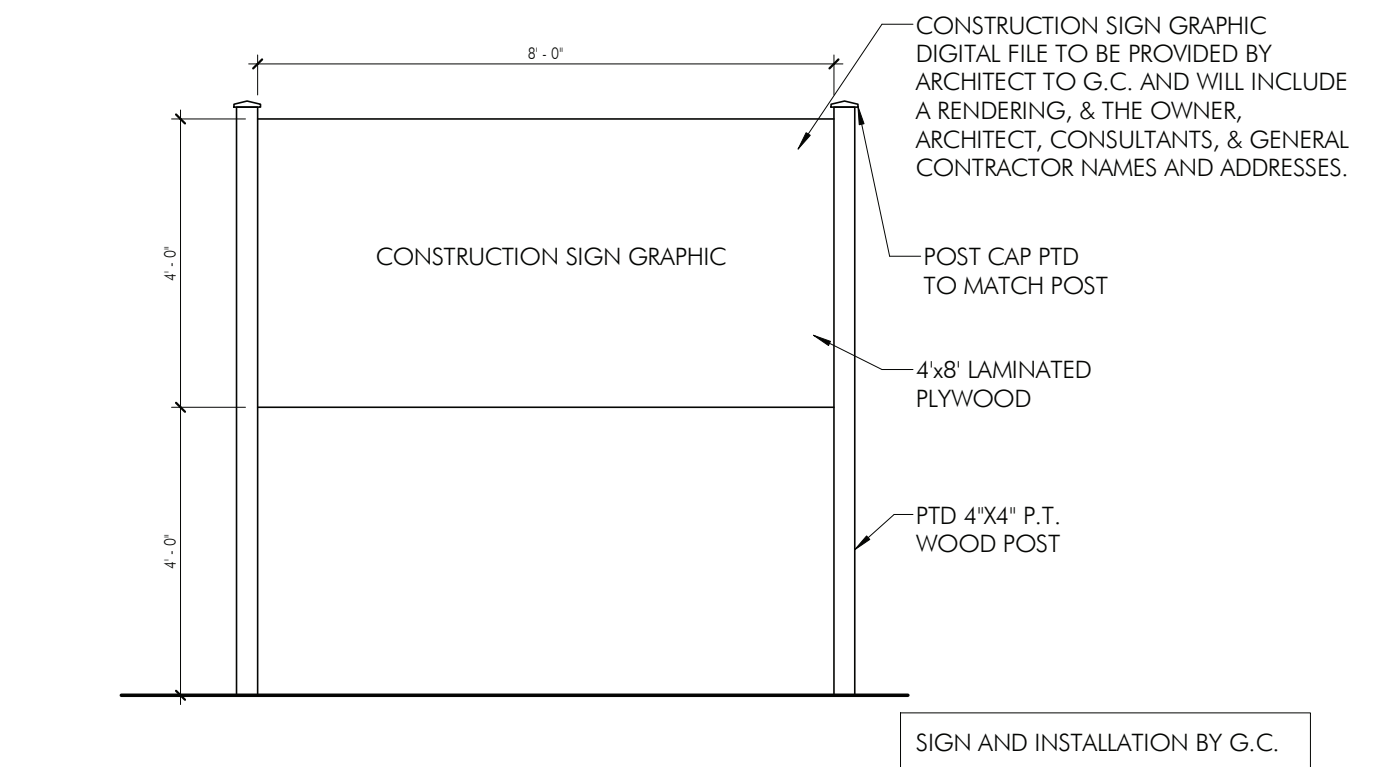
Δ	DATE	ISSUED FOR
	2025-03-28	BID ISSUE

SHEET TITLE
HORIZONTAL CONTROL
PLAN

DRAWING NUMBER:

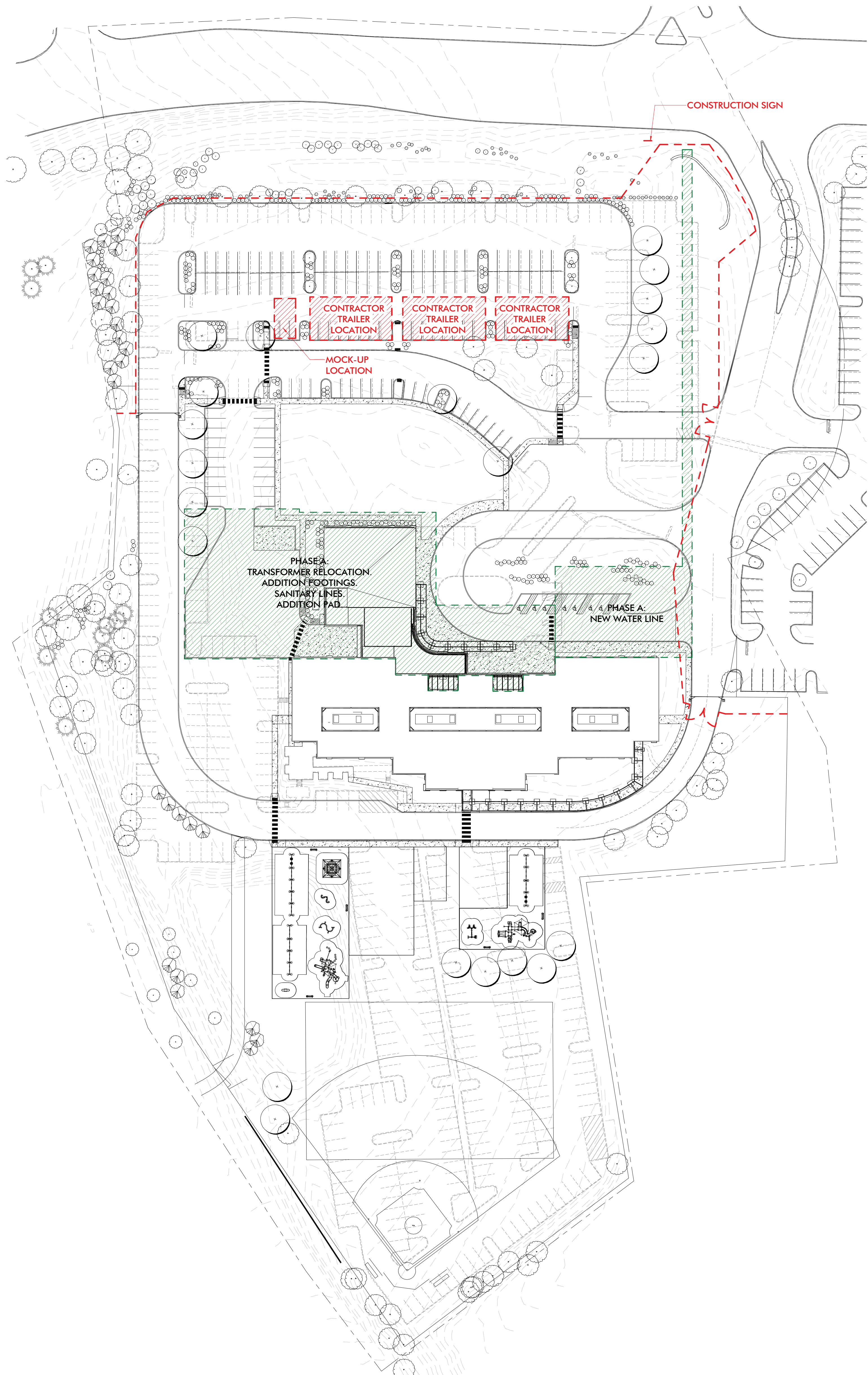
A004.

1 HORIZONTAL CONTROL PLAN
A004 1" = 10'-0"



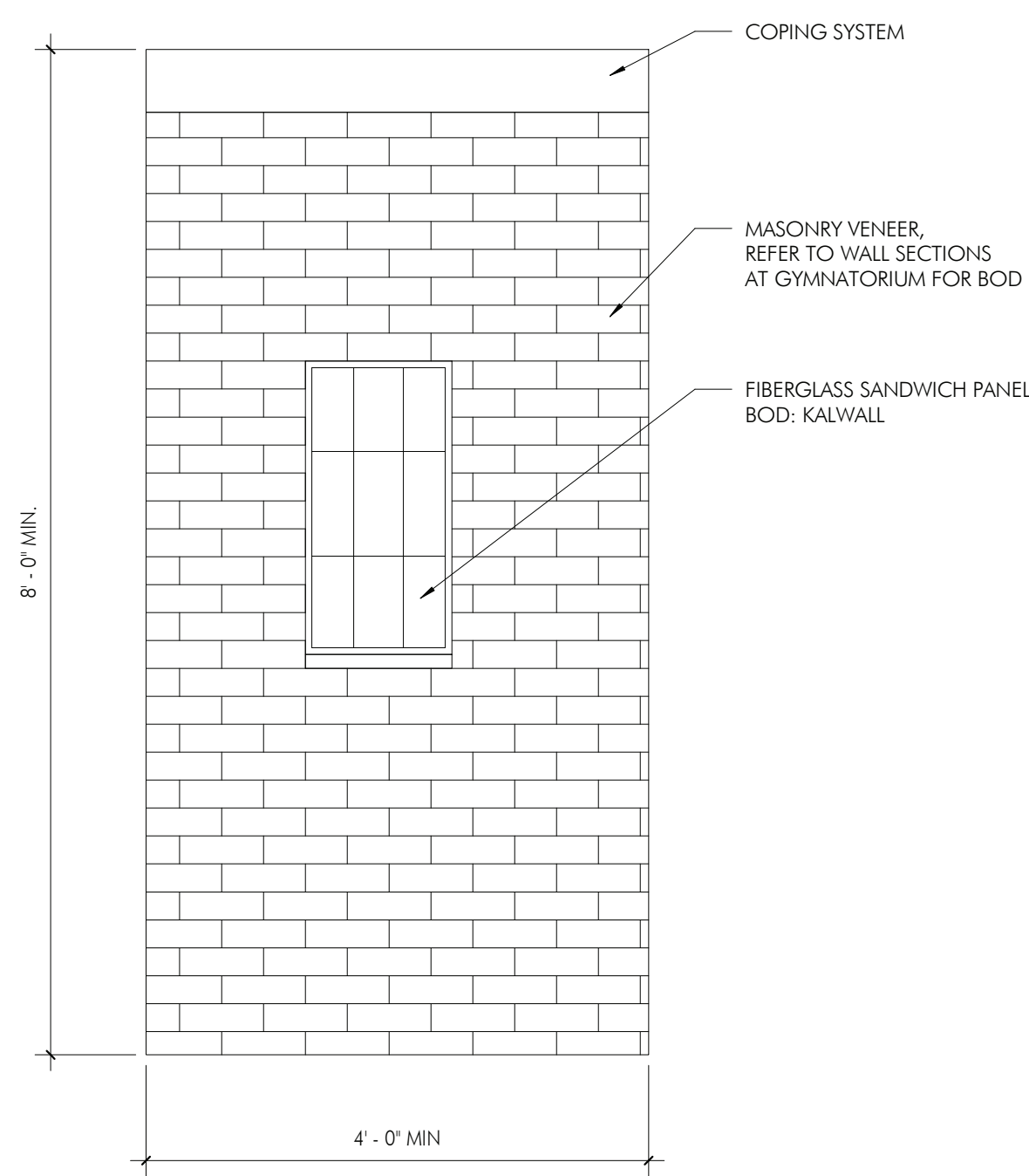
CONSTRUCTION SIGN ELEVATION

3/8" = 1'-0"

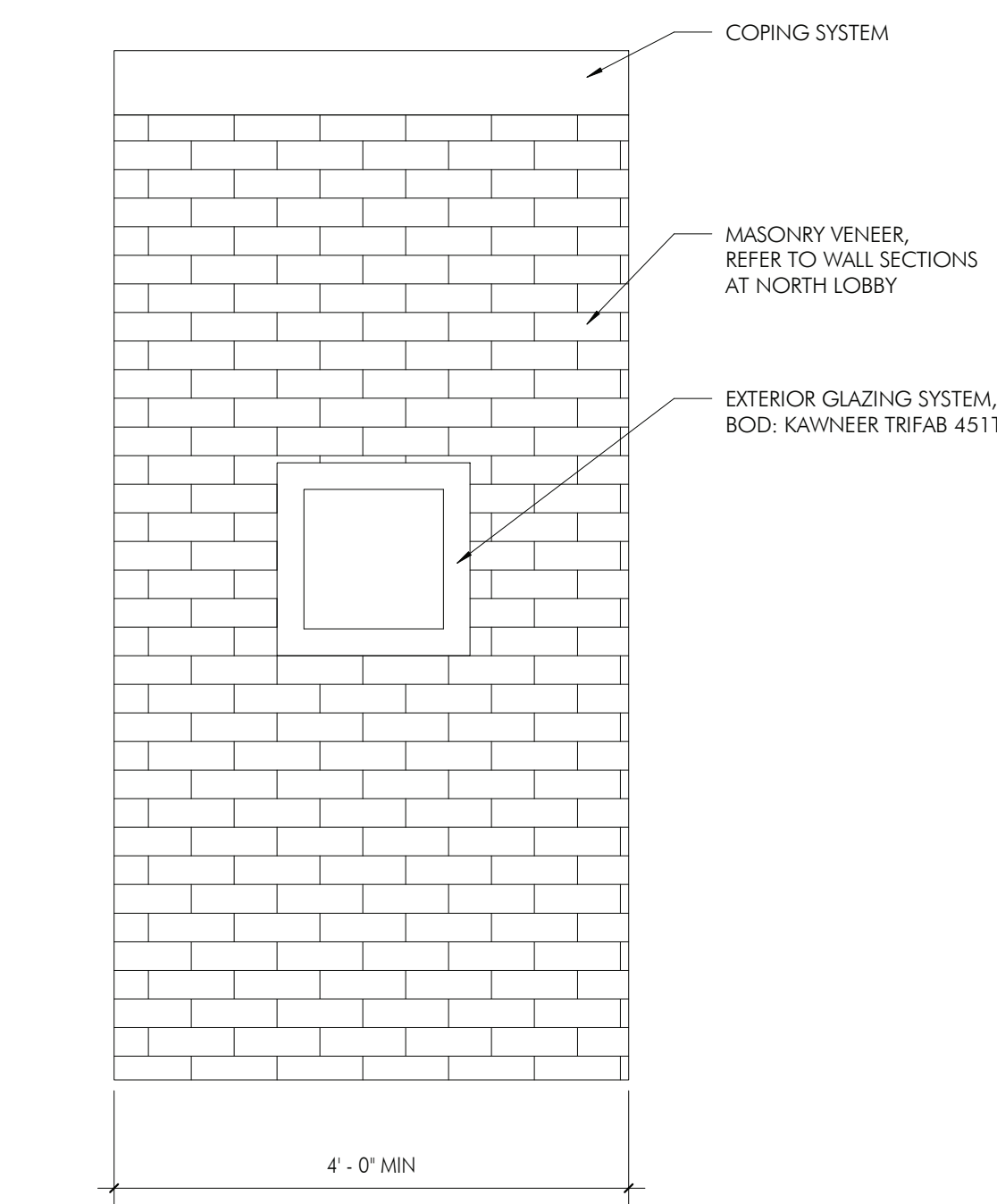


NOTE: GC TO CONSTRUCT (B) SEPARATE MOCKUP WALLS TO DEMONSTRATE TYPICAL WALL CONSTRUCTION. APPROVAL OF MOCKUPS DOES NOT CONSTITUTE APPROVAL OF DEVIATIONS FROM THE CONTRACT DOCUMENTS CONTAINED IN MOCKUPS UNLESS SUCH DEVIATIONS ARE SPECIFICALLY APPROVED BY ARCHITECT IN WRITING.

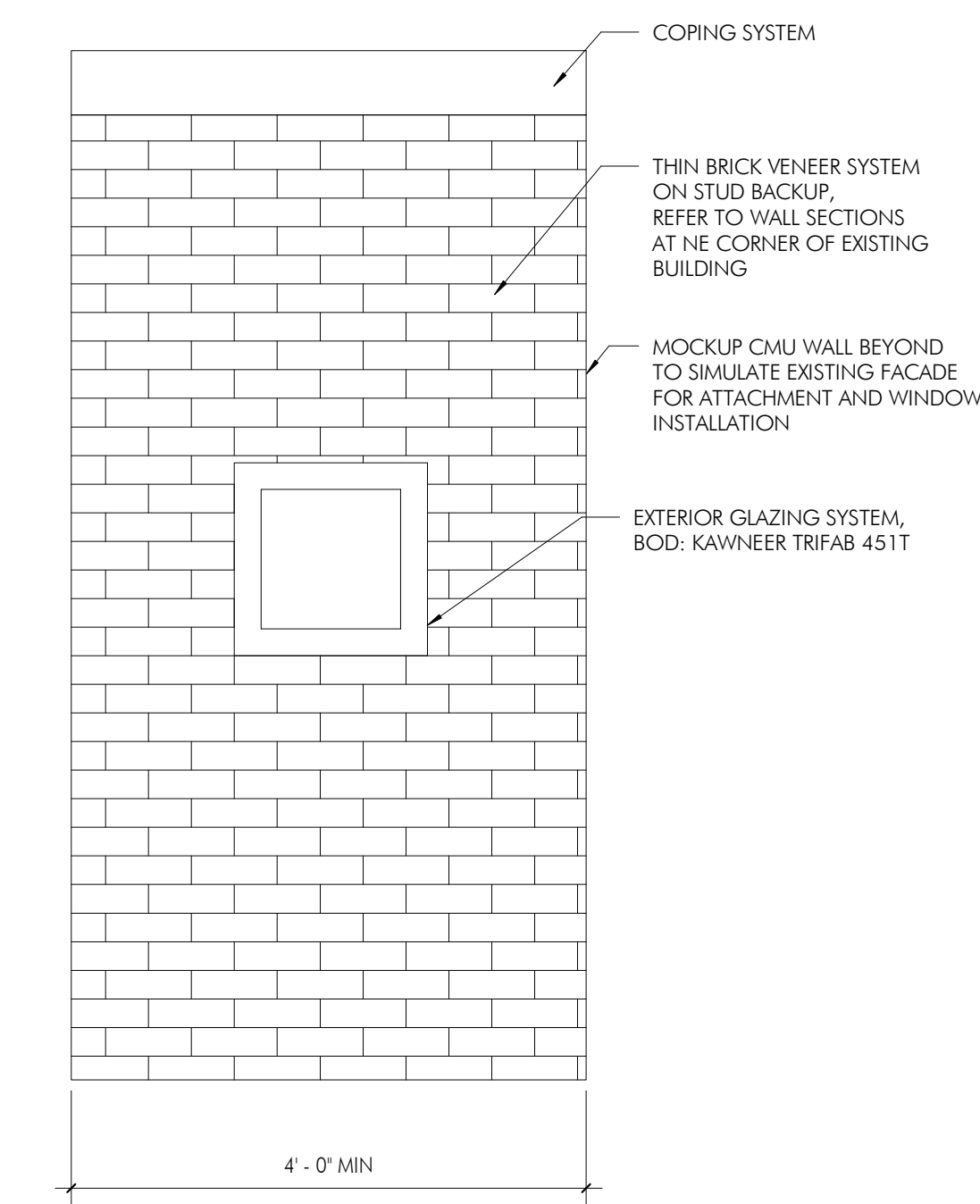
MOCK UP WALL "A" - MODULAR BRICK VENEER/CMU BACKUP
EAST FACING



MOCK UP WALL "B" - MODULAR BRICK VENEER/METAL STUD BACKUP
WEST FACING



MOCK UP WALL "C" - THIN BRICK VENEER/METAL STUD BACKUP
NORTH FACING



CONSTRUCTION PHASING PLAN

1/8" = 1'-0"

SHEET NOTES

1. REFER TO SHEET A001 FOR ADDITIONAL NOTES.
2. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
3. REFER TO MERRIP DRAWINGS FOR ADDITIONAL INFORMATION.
4. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
5. SITE FENCING AND SITE UTILITY DESCRIPTIONS SHOWN AS PHASING REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR DESCRIPTION OF SITE LOGISTICS AND ADDITIONAL INFORMATION.
6. PHASE A:
 - A. TRANSFORMER GRADING AND RELOCATION WILL BE PHASE A OF CONSTRUCTION TO PROVIDE POWER TO THE BUILDING FOR THE FULL CONSTRUCTION PHASE. THE REUSE OF THE TRANSFORMER WILL BE DEPENDENT ON PECO.
 - B. REGRADE AT NEW LOADING AREA.
 - C. INSTALL NEW CONDUIT TO NEW TRANSFORMER LOCATION.
 - D. INSTALL NEW TRANSFORMER VAULT.
 - E. REMOVE AND STORE EXISTING TRANSFORMER FOR REINSTALLATION OR DEMOLISH TBD BY PECO. DEMOLISH CARBING, OUTAGE PERIOD A FEW WEEKS.
 - F. CONNECT NEW CONDUITS TO EXISTING, RUN NEW CABLING, INSTALL TRANSFORMER.
 - G. INSTALL NEW WATER SERVICE LINE AND METER PIT PER CIVIL DRAWINGS.
 - H. INSTALL NEW FOUNDATIONS FOR BUILDING ADDITION.
 - I. INSTALL NEW BELOW SLAB SANITARY LINES PER PLUMBING DRAWINGS.
 - J. INSTALL NEW CONCRETE SLABS PER STRUCTURAL AND ARCHITECTURAL PLANS AT ADDITION.
 - K. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION REGARDING PHASE A WORK.
7. PHASE B:
 - A. THE REMAINDER OF THE CONSTRUCTION PROJECT TO BE COMPLETED.
 - B. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION REGARDING PHASE B WORK.

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HSA PROJECT # :23-037

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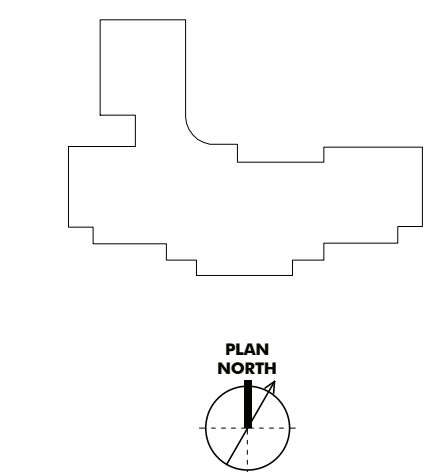
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ISSUE HISTORY

A. DATE ISSUED FOR
2025-03-28 3RD ISSUE

SHEET TITLE

PHASING REFERENCE
PLAN

DRAWING NUMBER

A005



LEGEND

— — — SECTOR DESIGNATION

ISSUE HISTORY		
Δ	DATE	ISSUED FOR
	2025-03-28	BID ISSUE

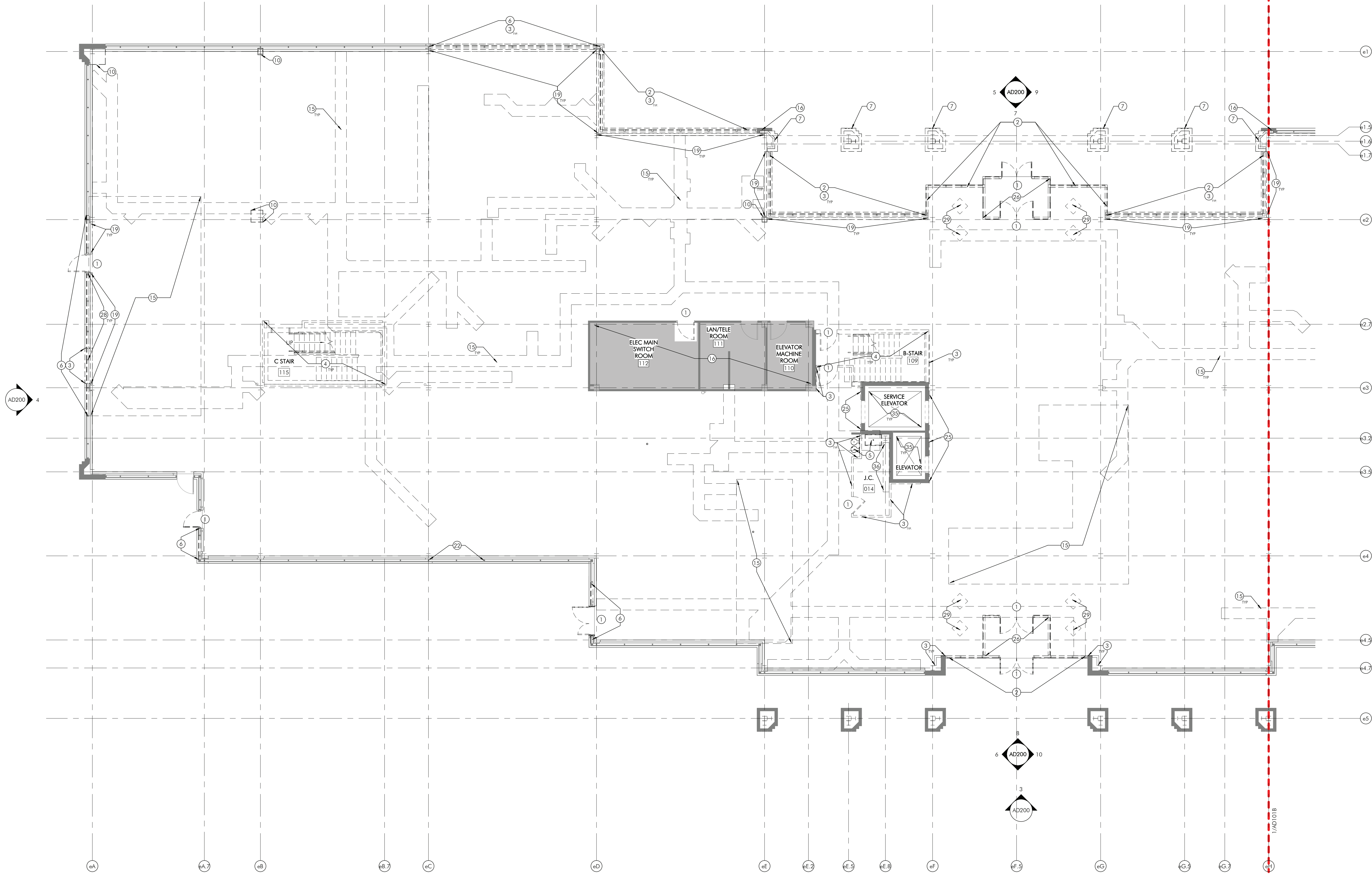
**EXISTING CONDITIONS
& DEMOLITION
OVERALL PLANS**

DRAWING NUMBER

AD100

02/27/2025 12:27:46 PM
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1
AD101A
EXISTING CONDITIONS & DEMOLITION PLAN FIRST FLOOR - SECTOR A
1/8" = 1'-0"



- SHEET NOTES**
1. REFER TO SHEET A001 FOR ADDITIONAL DEMOLITION NOTES.
 2. REFER TO MEPP DRAWINGS FOR ADDITIONAL INFORMATION.
 3. AS REQUIRED, ANY DISRUPTED FIREPROOFING OF ALL BUILDING STRUCTURAL MEMBERS WALLS, FLOORS AND CEILING, SHALL BE SUPPLEMENTED AFTER DEMOLITION, IN ACCORDANCE WITH ALL CURRENTLY APPLICABLE CODES, REGULATION AND ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.
 4. REMOVE ALL NON-LOAD BEARING INTERIOR PARTITIONS AS DEPICTED ON ARCH DEMOLITION DINGS. EXISTING 'OUT OF SCOPE' PARTITIONS TO REMAIN AS DEPICTED ON ARCH DEMOLITION DRAWINGS.
 5. PROTECT ALL EXISTING EXTERIOR ENVELOPE CONSTRUCTION INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS, GLAZING, AND WALLS FROM DAMAGE.
 6. ALL EXISTING IGJB TO BE REACHED AND PREPARED FOR REPLACEMENT, EXISTING FRAMING SYSTEM TO REMAIN.
 7. REPLACE BATT INSULATION WHERE REMOVED OR DAMAGED AT ALL EXTERIOR LOW PARTITIONS AROUND PERIMETER OF EXISTING BUILDING.
 8. REMOVE EXISTING INTERIOR WALL SIGNAGE AND PREP REMAINING WALLS FOR NEW FINISH.
 9. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 10. GC TO PERFORM THERMAL SCAN OF EXISTING ROOF ASSEMBLY TO IDENTIFY AREAS OF SATURATED INSULATION FOR REMOVAL AND REPLACEMENT.
 11. ALL ENVELOPE PENETRATIONS TO BE COMPLETED BY GC, REFER TO SPECIFICATIONS.

- SHEET KEYNOTES**
- 1 DEMOLISH DOOR(S) AND FRAME.
 - 2 DEMOLISH EXISTING EXTERIOR GLASS CURTAIN WALL(S).
 - 3 DEMOLISH PARTITION.
 - 4 DEMOLISH STAIRS, GUARDRAILS, AND CMU STAIR WALLS.
 - 5 REMOVE PLUMBING FIXTURE(S).
 - 6 REMOVE PORTION OF EXISTING RIBBON WINDOW (IGUS), GLAZING SEALS, AND FRAMING.
 - 7 DEMOLISH PRECAST PANEL ASSEMBLIES AT EXTERIOR COLUMNS, REFER TO STRUCTURAL DRAWINGS FOR COLUMN DEMOLITION.
 - 8 REMOVE CASEWORK.
 - 9 REMOVE TOILET PARTITIONS.
 - 10 REMOVE GYB INTERIOR PARTITION AROUND STRUCTURAL COLUMN.
 - 11 BASE SCOPE: ROOF MEMBRANE TO REMAIN FOR RECOVER. PRIOR TO WORK START, GC TO PROVIDE MOISTURE TESTING OF EXISTING ROOF INSULATION TO DETERMINE SATURATED AREAS REQUIRING REPLACEMENT. PROVIDE ALLOWANCE FOR ADDITIONAL SQUARE FOOTAGE FOR REPLACEMENT DURING CONSTRUCTION. REFER TO ROOF ASSEMBLY & REPAIR DETAILS PER A500 SERIES.
 - ALTERNATE: REMOVE EXISTING BITUMEN ROOF MEMBRANE AND INSULATION DOWN TO DECK.
 - 12 REMOVE MECHANICAL ROOF SYSTEMS AND SUPPORTS. INFILL AND PATCH FOR FUTURE PHASE. REFERENCE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 13 EXISTING MECHANICAL SCREENS TO REMAIN.
 - 14 REMOVE EXISTING ROOF HATCH, CLIMB AND LADDER.
 - 15 REMOVE EXISTING SLAB AND BELOW SLAB MATERIAL AS REQUIRED FOR NEW FOOTING OR INFRASTRUCTURE. INSTALLATION. COORDINATE LOCATION AND EXTENTS OF TRENCHING WITH STRUCTURAL AND PLUMBING DRAWINGS.
 - 16 EXISTING TO REMAIN.
 - 17 REMOVE PORTION OF EXISTING FLOOR PLATE. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
 - 18 REMOVE INTERIOR WINDOW.
 - 19 REMOVE FRAMING AND INSULATION AT LOW PARTITIONS(S).
 - 20 REMOVE PORTION OF INTERIOR PARTITION AS REQUIRED FOR NEW ELECTRICAL EQUIPMENT CLEARANCE. COORDINATE WITH E.C.
 - 21 REMOVE METAL DECORATIVE PANELING ON INTERIOR WALL. PATCH AND REPAIR GYB.
 - 22 REMOVE EXISTING INTERIOR WINDOW FILM.
 - 23 REPAIR CONTROL JOINT AT PRECAST WINDOW WALL LOWER PARTITION. REFER TO DETAIL ON SHEET A516 FOR ADDITIONAL INFORMATION.
 - 24 REMOVE PORTION OF EXISTING RIBBON WINDOW (IGUS) AND GLAZING SEALS. PREPARE OPENINGS FOR NEW SPANDREL GLASS.
 - 25 REMOVE GYB, BASE & FURRING AT ELEVATORS. PROTECT ALL ELEVATOR EQUIPMENT FROM DAMAGE. REINSTALL ELEVATOR EQUIPMENT IN NEW GYB.
 - 26 DEMOLISH INTERIOR GLASS STOREFRONT VESTIBULE.
 - 27 REMOVE EXISTING APPLIED VERTICAL MULLION AT EXISTING VERTICAL RIBBON WINDOW MULLION.
 - 28 REMOVE WINDOW SHADES AT RIBBON WINDOWS(S).
 - 29 EXISTING PLANTER RITS TO BE INFILLED, REFER TO NEW CONSTRUCTION DRAWINGS.
 - 30 REMOVE EXISTING FLOOR FINISH, SURROUNDING WALL BASE AND/OR WALL FINISHES. PREPARE FOR NEW FINISH.
 - 31 REMOVE EXISTING WALL BASED DISPENSERS AND MIRRORS.
 - 32 REMOVE EXTERIOR OVERHEAD DOOR CANOPY. REFERENCE A2000 DRAWINGS FOR ADDITIONAL INFORMATION.
 - 33 REMOVE EXISTING EXHAUST AND ROOF DRAIN EQUIPMENT. INFILL AND PATCH FOR FUTURE PHASE.
 - 34 AREA OF EXISTING ROOF ASSEMBLY TO BE DEMOLISHED FOR NEW ROOF ACCESS STAIR.
 - 35 REMOVE INTERIOR FLOORING AND INTERIOR WALL FINISH PANELS FROM INTERIOR ELEVATOR CAB(S). PREPARE FOR FUTURE PHASE. ELEVATOR EQUIPMENT TO REMAIN.
 - 36 REMOVE WALL SHELVEING. PATCH AND REPAIR HOLES FOR FUTURE PHASE.
 - 37 REMOVE VERTICAL GLAZING MULLION FOR FUTURE PHASE.
 - 38 REMOVE GYB AT PLUMBING WALLS IN RESTROOMS. KEEP STUD FRAMING AND INSULATION.

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HSA PROJECT # :23-037
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KEYPLAN

LEGEND

--- SECTOR DESIGNATION

ISSUE HISTORY

A	DATE	ISSUED FOR
1	2025-03-28	2ND ISSUE

SHEET TITLE
EXISTING CONDITIONS & DEMOLITION PLAN FIRST FLOOR - SECTOR A
DRAWING NUMBER
AD101A

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1. REFER TO **SHEET A001** FOR ADDITIONAL DEMOLITION NOTES.
2. REFER TO PREP DRAWINGS FOR ADDITIONAL INFORMATION.

AS REQUIRED, ARE DISPERSED THROUGHOUT OF ALL INTERIOR WALLS, FLOORS AND CEILING, SHALL BE SUPPLEMENTED AFTER DEMOLITION, IN ORDER TO MAINTAIN ALL REQUIRED MINIMUM APPLICABLE CODES, REGULATION AND ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.
3. REMOVE ALL LOAD BEARING INTERIOR PARTITIONS AND ALL EXISTING INTERIOR WALLS, FLOORS AND CEILING "OUT OF SCOPE" PARTITIONS TO REMAIN AS DETECTED ON EXISTING DRAWINGS.
4. PROTECT ALL EXISTING EXTERIOR ENVELOPE CONSTRUCTION INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS, GLAZINGS, AND, WALLS FROM DAMAGE.
5. ALL EXISTING TOUGHS TO BE REMOVED AND PREPARED FOR REPLACEMENT, EXISTING FRAMING SYSTEM TO REMAIN.
6. REPLACE BATT INSULATION WHERE REMOVED OR EXPOSED INTERIOR WALL PARTITIONS AROUND PERIMETER OF EXISTING BUILD.
7. REMOVE EXISTING INTERIOR WALL SIGNAGE AND PREP REMAINING WALLS FOR NEW FINISH.
8. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. GC TO IDENTIFY THERMAL SCAN OF EXISTING ROOF ASSEMBLY TO DETERMINE AREAS OF SATURATED INSULATOR FOR REMOVAL AND REPLACEMENT.
10. ALL ENVELOPE PENETRATIONS TO BE COMPLETED BY GC.

- ① DISLOUSE DOORS) AND FRAME.
- ② DISLOUSE EXISTING EXTERIOR GLASS CURTAIN WALLS).
- ③ DISLOUSE PORTICO.
- ④ DISLOUSE STAIRS, GUARDRAILS, AND CLOU STAIR WALLS.
- ⑤ REMOVE PUMING FIXTURES).
- ⑥ REMOVE PORTION OF EXISTING BROWN WINDOW IGUS), GLAZING SLABS, AND FRAMINGS).
- ⑦ DISLOUSE PRECAST PANEL ASSEMBLIES AT EXTERIOR COLUMNS. REFER TO STRUCTURAL DRAWINGS FOR CONNECTION.
- ⑧ REMOVE CASWORK).
- ⑨ REMOVE TOLTO PORTICIONS.
- ⑩ REMOVE GYM HALL PORTICION INTERIOR ABOVE STRUCTURAL COLUMN.

⑪ **BASE COURSE:** ROOF MEMBRANE TO REMAIN FOR INSULATION. PRIOR TO WORK START, GC TO PROVIDE INITIALS TESTING OF EXISTING ROOF INSULATION TO DETERMINE AREAS REQUIRING REPLACEMENT. PROVIDE ALLOWANCE FOR ADDITIONAL SPACING FOR REPAIRMENT SURFACE CONSTRUCTION. REFER TO ROOF ASSEMBLY & REPAIR DETAILS PER ASDO SERIES.

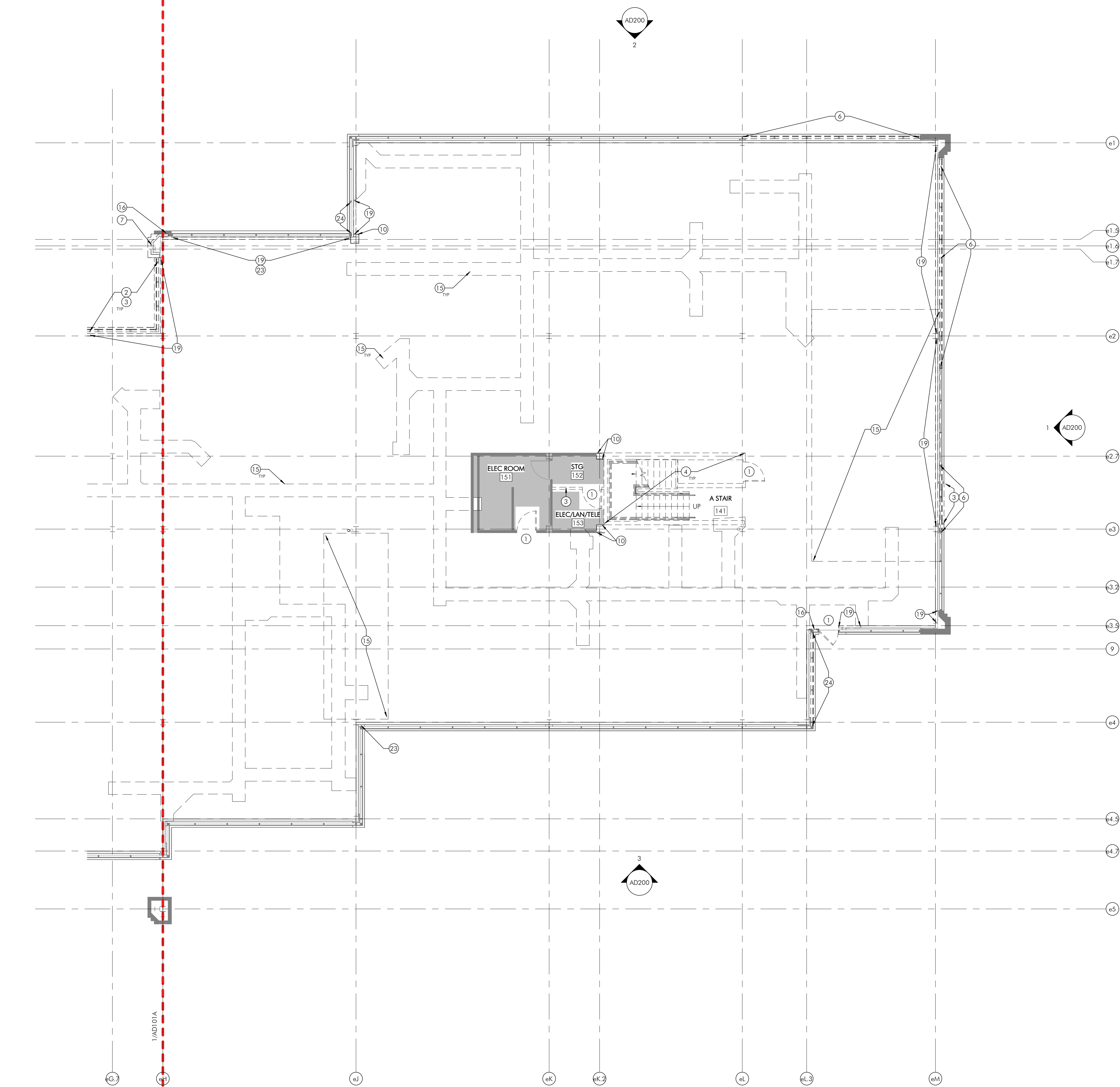
⑫ **ALTERNATE:** REMOVE EXISTING BITUMEN ROOF MEMBRANE AND INSULATION DOWN TO DECK.

SECTOR DESIGNATION

DATE	ISSUED FOR
2025-03-28	BID ISSUE

EXISTING CONDITIONS & DEMOLITION PLAN FIRST FLOOR - SECTOR B

AD101B



1 EXISTING CONDITIONS & DEMOLITION PLAN FIRST FLOOR - SECTOR B
AD101B 1/8" = 1'-0"

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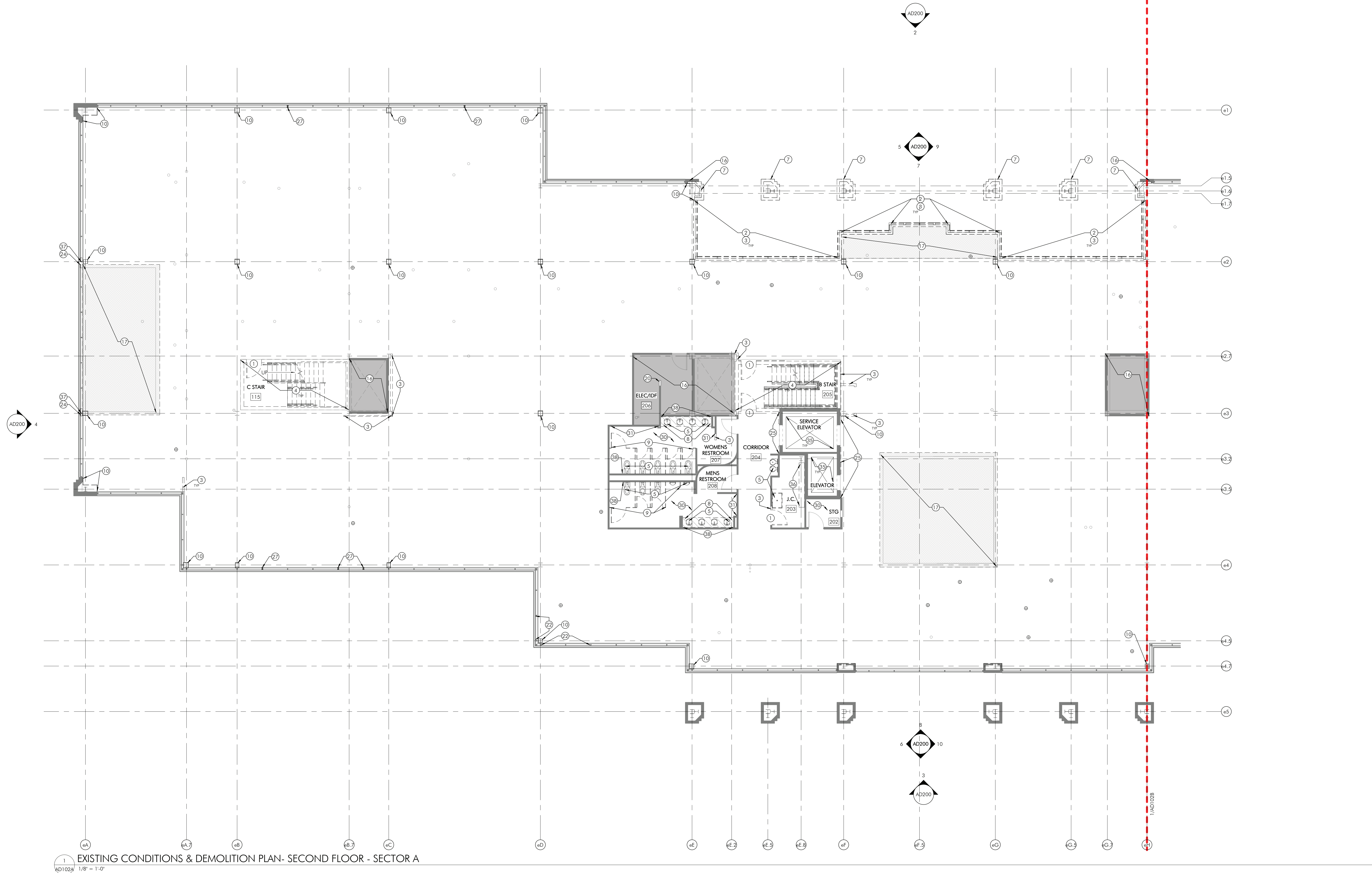
ACOUSTICS
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CONSTRUCTION

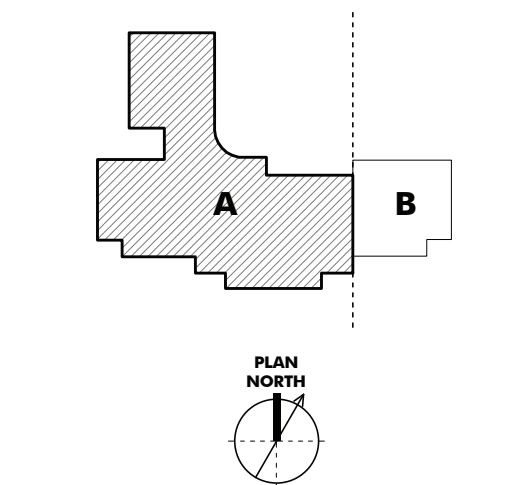
- SHEET NOTES**
1. REFER TO SHEET A001 FOR ADDITIONAL DEMOLITION NOTES.
 2. REFER TO MEPP DRAWINGS FOR ADDITIONAL INFORMATION.
 3. AS REQUIRED, ANY DISRUPTED FIREPROOFING OF ALL BUILDING STRUCTURAL MEMBERS WALLS, FLOORS AND CEILING, SHALL BE SUPPLEMENTED AFTER DEMOLITION, IN ACCORDANCE WITH ALL CURRENTLY APPLICABLE CODES, REGULATION AND ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.
 4. REMOVE ALL NON-LOAD BEARING INTERIOR PARTITIONS AS DEPICTED ON ARCH DEMOLITION DINGS. EXISTING 'OUT OF SCOPE' PARTITIONS TO REMAIN AS DEPICTED ON ARCH DEMOLITION DRAWINGS.
 5. PROTECT ALL EXISTING EXTERIOR ENVELOPE CONSTRUCTION INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS, GLAZING, AND WALLS FROM DAMAGE.
 6. ALL EXISTING IGU TO BE REMOVED AND PREPARED FOR REPLACEMENT, EXISTING FRAMING SYSTEM TO REMAIN.
 7. REPLACE BATT INSULATION WHERE REMOVED OR DAMAGED AT ALL EXTERIOR LOW PARTITIONS AROUND PERIMETER OF EXISTING BUILDING.
 8. REMOVE EXISTING INTERIOR WALL SIGNAGE AND PREP REMAINING WALLS FOR NEW FINISH.
 9. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 10. GC TO PERFORM THERMAL SCAN OF EXISTING ROOF ASSEMBLY TO IDENTIFY AREAS OF SATURATED INSULATION FOR REMOVAL AND REPLACEMENT.
 11. ALL ENVELOPE PENETRATIONS TO BE COMPLETED BY GC, REFER TO SPECIFICATIONS.

- SHEET KEYNOTES**
- 1 DEMOLISH DOOR(S) AND FRAME.
 - 2 DEMOLISH EXISTING EXTERIOR GLASS CURTAIN WALL(S).
 - 3 DEMOLISH PARTITION.
 - 4 DEMOLISH STAIRS, GUARDRAILS, AND CMU STAIR WALLS.
 - 5 REMOVE PLUMBING FIXTURE(S).
 - 6 REMOVE PORTION OF EXISTING RIBBON WINDOW (IGUS), GLAZING SEALS, AND FRAMING.
 - 7 DEMOLISH PRECAST PANEL ASSEMBLIES AT EXTERIOR COLUMNS, REFER TO STRUCTURAL DRAWINGS FOR COLUMN DEMOLITION.
 - 8 REMOVE CASEWORK.
 - 9 REMOVE TOILET PARTITIONS.
 - 10 REMOVE GWB INTERIOR PARTITION AROUND STRUCTURAL COLUMN.
 - 11 BASE SCOPE: ROOF MEMBRANE TO REMAIN FOR RECOVER. PRIOR TO WORK START, GC TO PROVIDE MOISTURE TESTING OF EXISTING ROOF INSULATION TO DETERMINE SATURATED AREAS REQUIRING REPLACEMENT. PROVIDE ALLOWANCE FOR ADDITIONAL SQUARE FOOTAGE FOR REPLACEMENT DURING CONSTRUCTION. REFER TO ROOF ASSEMBLY & REPAIR DETAILS PER A500 SERIES.
 - ALTERNATE: REMOVE EXISTING BITUMEN ROOF MEMBRANE AND INSULATION DOWN TO DECK.
 - 12 REMOVE MECHANICAL ROOF SYSTEMS AND SUPPORTS. INFILL AND PATCH FOR FUTURE PHASE. REFERENCE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 13 EXISTING MECHANICAL SCREENS TO REMAIN.
 - 14 REMOVE EXISTING ROOF HATCH, CLIMB AND LADDER.
 - 15 REMOVE EXISTING SLAB AND BELOW SLAB MATERIAL AS REQUIRED FOR NEW FOOTING OR INFRASTRUCTURE. INSTALLATION. COORDINATE LOCATION AND EXTENTS OF TRENCHING WITH STRUCTURAL AND PLUMBING DRAWINGS.
 - 16 EXISTING TO REMAIN.
 - 17 REMOVE PORTION OF EXISTING FLOOR PLATE, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
 - 18 REMOVE INTERIOR WINDOW.
 - 19 REMOVE FRAMING AND INSULATION AT LOW PARTITION(S).
 - 20 REMOVE PORTION OF INTERIOR PARTITION AS REQUIRED FOR NEW ELECTRICAL EQUIPMENT CLEARANCE. COORDINATE WITH E.C.
 - 21 REMOVE METAL DECORATIVE PANELING ON INTERIOR WALL. PATCH AND REPAIR GWB.
 - 22 REMOVE EXISTING INTERIOR WINDOW FILM.
 - 23 REPAIR CONTROL JOINT AT PRECAST MATERIAL AS REQUIRED FOR NEW FOOTING OR INFRASTRUCTURE. INSTALLATION. COORDINATE LOCATION AND EXTENTS OF TRENCHING WITH STRUCTURAL AND PLUMBING DRAWINGS.
 - 24 REMOVE PORTION OF EXISTING RIBBON WINDOW (IGUS) AND GLAZING SEALS. PREPARE OPENINGS FOR NEW SPANDREL GLASS.
 - 25 REMOVE GWB, BASE & FURRING AT ELEVATORS. PROTECT ALL ELEVATOR EQUIPMENT FROM DAMAGE. REINSTALL ELEVATOR EQUIPMENT IN NEW GWB.
 - 26 DEMOLISH INTERIOR GLASS STOREFRONT VESTIBULE.
 - 27 REMOVE EXISTING APPLIED VERTICAL MULLION AT EXISTING VERTICAL RIBBON WINDOW MULLION.
 - 28 REMOVE WINDOW SHADES AT RIBBON WINDOW(S).
 - 29 EXISTING PLANTER RITS TO BE INFILLED, REFER TO NEW CONSTRUCTION DRAWINGS.
 - 30 REMOVE EXISTING FLOOR FINISH, SURROUNDING WALL BASE AND/OR WALL FINISHES. PREPARE FOR NEW FINISH.
 - 31 REMOVE EXISTING WALL BASED DISPENSERS AND MIRRORS.
 - 32 REMOVE EXTERIOR OVERHEAD DOOR CANOPY. REFERENCE A2000 DRAWINGS FOR ADDITIONAL INFORMATION.
 - 33 REMOVE EXISTING EXHAUST AND ROOF DRAIN EQUIPMENT. INFILL AND PATCH FOR FUTURE PHASE.
 - 34 AREA OF EXISTING ROOF ASSEMBLY TO BE DEMOLISHED FOR NEW ROOF ACCESS STAIR.
 - 35 REMOVE INTERIOR FLOORING AND INTERIOR WALL FINISH PANELS FROM INTERIOR ELEVATOR CAB(S). PREPARE FOR FUTURE PHASE. ELEVATOR EQUIPMENT TO REMAIN.
 - 36 REMOVE WALL SHELVEING. PATCH AND REPAIR HOLES FOR FUTURE PHASE.
 - 37 REMOVE VERTICAL GLAZING MULLION FOR FUTURE PHASE.
 - 38 REMOVE GWB AT PLUMBING WALLS IN RESTROOMS. KEEP STUD FRAMING AND INSULATION.



1 EXISTING CONDITIONS & DEMOLITION PLAN- SECOND FLOOR - SECTOR A
A0102A 1/8" = 1'-0"

KEYPLAN



LEGEND

--- SECTOR DESIGNATION

ISSUE HISTORY

A	DATE	ISSUED FOR
1	2025-03-28	2ND ISSUE

SHEET TITLE
EXISTING CONDITIONS
& DEMOLITION PLAN
SECOND FLOOR -
SECTOR A

DRAWING NUMBER

AD102A

CLIENT
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Newtown, PA 18940
267-719-3307

**NOT FOR
CONSTRUCTION**

2. REFER TO SHEET A201 FOR ADDITIONAL DEMOLITION NOTES.
3. REFER TO MEPP DRAWINGS FOR ADDITIONAL INFORMATION.
4. AS REQUIRED, UNLOAD DISPERSED FLOORING OF ALL EXISTING INTERIOR WOODFLOOR WALLS, FLOORS AND CEILING, SHALL BE SUPPLEMENTED AFTER DEMOLITION. IN ADDITION, REMOVE ALL EXISTING INTERIOR FINISHES, COAT REGULATION AND ORNAMENTALS OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.
5. REMOVE ALL NON-LOAD BEARING INTERIOR PARTITIONS AND ALL EXISTING INTERIOR WALLS, FLOORS AND CEILING, EXISTING OUT OF SCOPED PARTITIONS TO REMAIN AS DETICED ON MEPP DRAWINGS.
6. PROTECT ALL EXISTING INTERIOR ENVELOPE CONSTRUCTION INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS, GLAZING, AND, WALLS FROM DAMAGE.
7. REMOVE ALL EXISTING GUTS TO BE REMOVED AND PREPARED FOR RECONSTRUCTION, EXISTING FRAMING SYSTEM TO REMAIN.
8. REMOVE EXISTING INTERIOR PARTITIONS AND PREP REPAIRS, EXISTING FRAMING SYSTEM TO REMAIN.
9. REMOVE EXISTING INTERIOR WALL SIGNAGE AND PREP REMAINING WALLS FOR NEW FINISH.
10. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
11. GC TO REFORM THE TYPICAL CASE OF EXISTING ROOF ASSEMBLY TO IDENTIFY AREAS OF SATURATED INSULATOR FOR REMOVAL AND REPLACEMENT.
12. ALL ENVELOPE REPAIRS SHALL BE COMPLETED BY GC.

- ① DEMOLISH DOORS) AND FRAME.
- ② DEMOLISH EXISTING EXTERIOR GLASS CURTAIN WALLS).
- ③ DEMOLISH PARTITION.
- ④ DEMOLISH STAIRS, GALLERIES, AND COMM STAIR WALLS.
- ⑤ REMOVE PLUMBING FIXTURES.
- ⑥ REMOVE PORTION OF EXISTING RIBBON WINDOW (IGUS), GLAZING SEALS, AND FRAMING.
- ⑦ DEMOLISH PRECAST PANEL ASSEMBLIES AT EXTERIOR COLUMNS. REFER TO STRUCTURAL DRAWINGS FOR CONNECTION.
- ⑧ REMOVE CASEWORK.
- ⑨ REMOVE TOILET PARTITIONS.
- ⑩ REMOVE GYM HALL PARTITION AREA UNTIL STRUCTURAL COLUMN.

⑪ BASE COURSE: ROOF MEMBRANE TO REMAIN FOR EXISTING. PRIOR TO WORK START, GC TO PROVIDE HYDROLOGIC TESTING OF EXISTING ROOF INSULATION TO IDENTIFY AREAS REQUIRING REPLACEMENT. PROVIDE ALLOWANCES FOR ADDITIONAL SURFACE FOOTAGE FOR REPLACEMENT DURING CONSTRUCTION. REFER TO ROOF ASSEMBLY & REPAIR DETAILS PER ASDO SERIES.

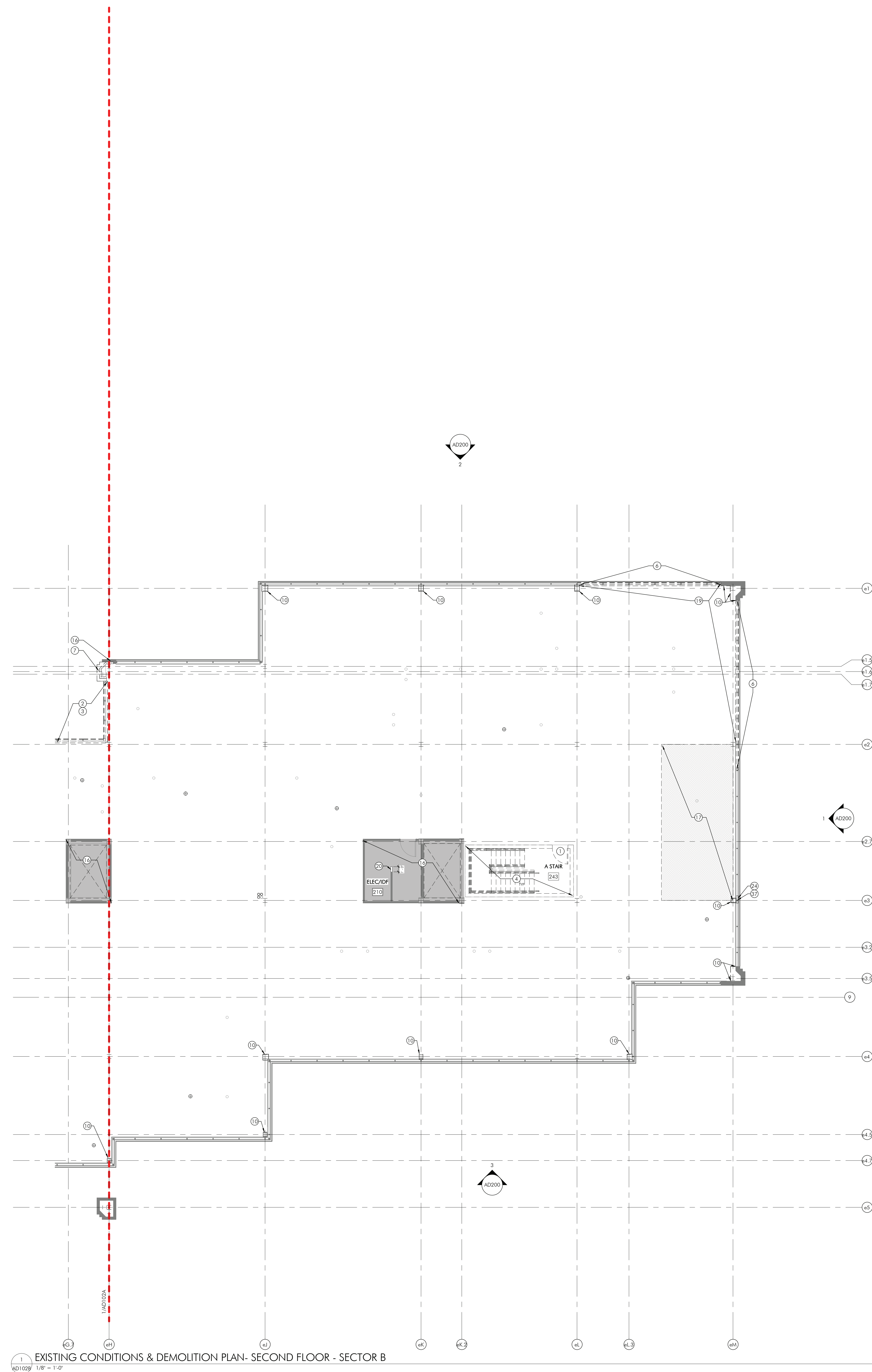
ALTERNATE: REMOVE EXISTING BATHROOM ROOF INSULATION. PROVIDE INSULATION DOWN TO EXISTING

SECTOR DESIGNATION

DATE	ISSUED FOR
2025-03-28	BID ISSUE

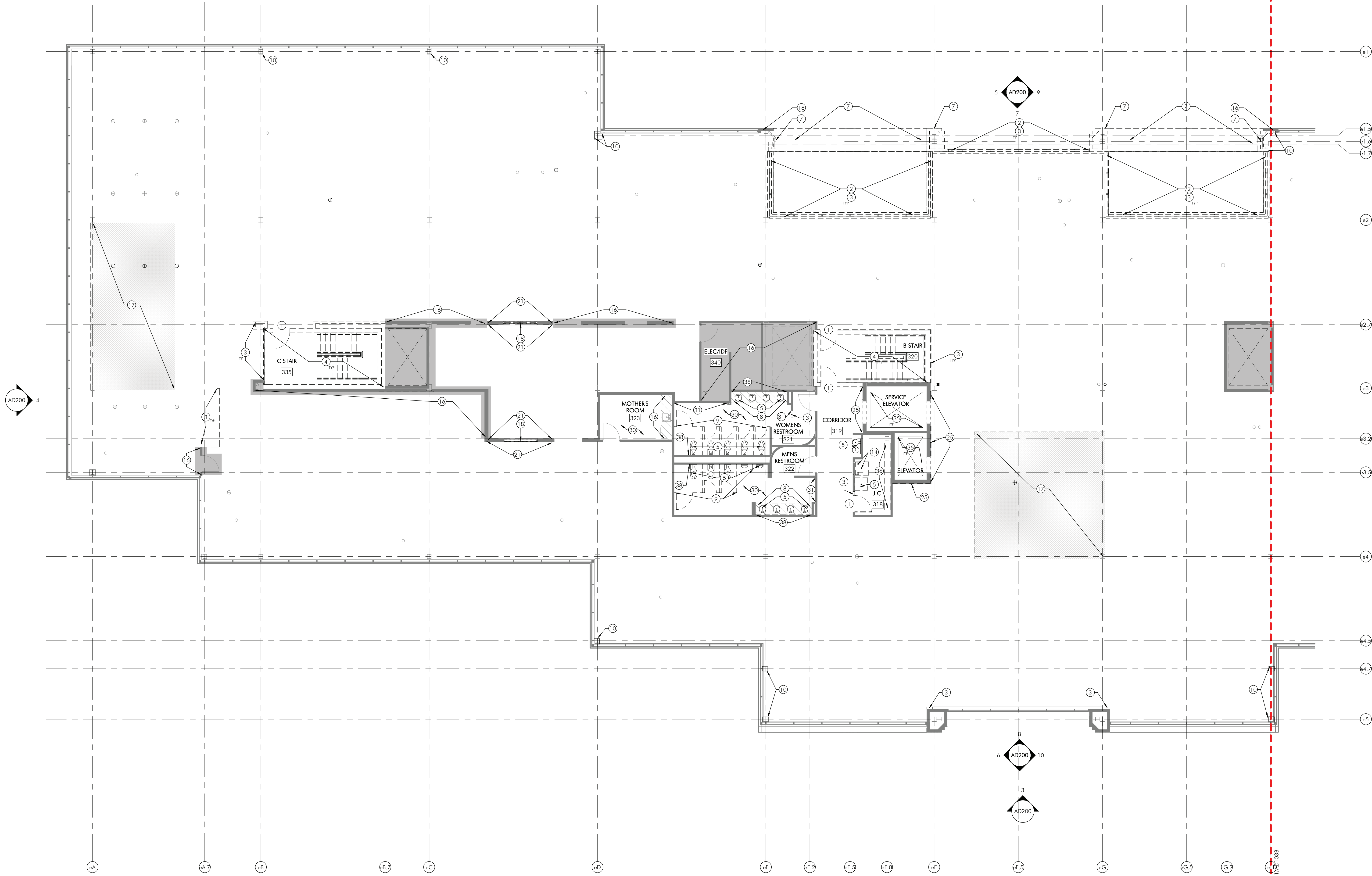
**EXISTING CONDITIONS
& DEMOLITION PLAN
SECOND FLOOR -
SECTOR B**

AD102B



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1
AD103A 1/8" = 1'-0"
EXISTING CONSTRUCTIONS & DEMOLITION PLAN THIRD FLOOR - SECTOR A



SHEET NOTES

1. REFER TO SHEET A001 FOR ADDITIONAL DEMOLITION NOTES.
2. REFER TO MEPP DRAWINGS FOR ADDITIONAL INFORMATION.
3. AS REQUIRED, ANY DISRUPTED FIREPROOFING OF ALL BUILDING STRUCTURAL MEMBERS WALLS, FLOORS AND CEILING, SHALL BE SUPPLEMENTED AFTER DEMOLITION, IN ACCORDANCE WITH ALL CURRENTLY APPLICABLE CODES, REGULATION AND ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.
4. REMOVE ALL NON-LOAD BEARING INTERIOR PARTITIONS AS DEPICTED ON ARCH DEMOLITION DINGS. EXISTING 'OUT OF SCOPE' PARTITIONS TO REMAIN AS DEPICTED ON ARCH DEMOLITION DRAWINGS.
5. PROTECT ALL EXISTING EXTERIOR ENVELOPE CONSTRUCTION INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS, GLAZING, AND WALLS FROM DAMAGE.
6. ALL EXISTING IGU TO BE REMOVED AND PREPARED FOR REPLACEMENT, EXISTING FRAMING SYSTEM TO REMAIN.
7. REPLACE BATT INSULATION WHERE REMOVED OR DAMAGED AT ALL EXTERIOR LOW PARTITIONS AROUND PERIMETER OF EXISTING BUILDING.
8. REMOVE EXISTING INTERIOR WALL SIGNAGE AND PREP REMAINING WALLS FOR NEW FINISH.
9. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. GC TO PERFORM THERMAL SCAN OF EXISTING ROOF ASSEMBLY TO IDENTIFY AREAS OF SATURATED INSULATION FOR REMOVAL AND REPLACEMENT.
11. ALL ENVELOPE PENETRATIONS TO BE COMPLETED BY GC, REFER TO SPECIFICATIONS.

SHEET KEYNOTES

- 1 DEMOLISH DOOR(S) AND FRAME.
- 2 DEMOLISH EXISTING EXTERIOR GLASS CURTAIN WALL(S).
- 3 DEMOLISH PARTITION.
- 4 DEMOLISH STAIRS, GUARDRAILS, AND CNU STAIR WALLS.
- 5 REMOVE PLUMBING FIXTURE(S).
- 6 REMOVE PORTION OF EXISTING RIBBON WINDOW (IGU), GLAZING SEALS, AND FRAMING.
- 7 DEMOLISH PRECAST PANEL ASSEMBLIES AT EXTERIOR COLUMNS, REFER TO STRUCTURAL DRAWINGS FOR COLUMN DEMOLITION.
- 8 REMOVE CASEWORK.
- 9 REMOVE TOILET PARTITIONS.
- 10 REMOVE GYB INTERIOR PARTITION AROUND STRUCTURAL COLUMN.
- 11 BASE SCOPE: ROOF MEMBRANE TO REMAIN FOR RECOVER. PRIOR TO WORK START, GC TO PROVIDE MOISTURE TESTING OF EXISTING ROOF INSULATION TO DETERMINE SATURATED AREAS REQUIRING REPLACEMENT. PROVIDE ALLOWANCE FOR ADDITIONAL SQUARE FOOTAGE FOR REPLACEMENT DURING CONSTRUCTION. REFER TO ROOF ASSEMBLY & REPAIR DETAILS PER A500 SERIES.
- ALTERNATE: REMOVE EXISTING BITUMEN ROOF MEMBRANE AND INSULATION DOWN TO DECK.
- 12 REMOVE MECHANICAL ROOF SYSTEMS AND SUPPORTS. INFILL AND PATCH FOR FUTURE PHASE. REFERENCE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 EXISTING MECHANICAL SCREENS TO REMAIN.
- 14 REMOVE EXISTING ROOF HATCH, CLIBS AND LADDER.
- 15 REMOVE EXISTING SLAB AND BELOW SLAB MATERIAL AS REQUIRED FOR NEW FOOTING OR INFRASTRUCTURE. INSTALLATION. COORDINATE LOCATION AND EXTENTS OF TRENCHING WITH STRUCTURAL AND PLUMBING DRAWINGS.
- 16 EXISTING TO REMAIN.
- 17 REMOVE PORTION OF EXISTING FLOOR PLATE. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
- 18 REMOVE INTERIOR WINDOW.
- 19 REMOVE FRAMING AND INSULATION AT LOW PARTITION(S).
- 20 REMOVE PORTION OF INTERIOR PARTITION AS REQUIRED FOR NEW ELECTRICAL EQUIPMENT CLEARANCE. COORDINATE WITH E.C.
- 21 REMOVE METAL DECORATIVE PANELING ON INTERIOR WALL. PATCH AND REPAIR GYB.
- 22 REMOVE EXISTING INTERIOR WINDOW FILM.
- 23 REPAIR CONTROL JOINT AT PRECAST BEAM MATERIAL AS REQUIRED FOR NEW FOOTING OR INFRASTRUCTURE. INSTALLATION. COORDINATE LOCATION AND EXTENTS OF TRENCHING WITH STRUCTURAL AND PLUMBING DRAWINGS.
- 24 REMOVE PORTION OF EXISTING RIBBON WINDOW (IGU) AND GLAZING SEALS. PREPARE OPENINGS FOR NEW SPANDREL GLASS.
- 25 REMOVE GYB, BASE & FURRING AT ELEVATORS. PROTECT ALL ELEVATOR EQUIPMENT FROM DAMAGE. REINSTALL ELEVATOR EQUIPMENT IN NEW GYB.
- 26 DEMOLISH INTERIOR GLASS STOREFRONT VESTIBULE.
- 27 REMOVE EXISTING APPLIED VERTICAL MULLION AT EXISTING VERTICAL RIBBON WINDOW MULLION.
- 28 REMOVE WINDOW SHADES AT RIBBON WINDOWS.
- 29 EXISTING PLANTER RITS TO BE INFILLED, REFER TO NEW CONSTRUCTION DRAWINGS.
- 30 REMOVE EXISTING FLOOR FINISH, SURROUNDING WALL BASE AND/OR WALL FINISHES. PREPARE FOR NEW FINISH.
- 31 REMOVE EXISTING WALL BASED DISPENSERS AND MIRRORS.
- 32 REMOVE EXTERIOR OVERHEAD DOOR CANOPY. REFERENCE A2000 DRAWINGS FOR ADDITIONAL INFORMATION.
- 33 REMOVE EXISTING EXHAUST AND ROOF DRAIN EQUIPMENT. INFILL AND PATCH FOR FUTURE PHASE.
- 34 AREA OF EXISTING ROOF ASSEMBLY TO BE DEMOLISHED FOR NEW ROOF ACCESS STAIR.
- 35 REMOVE INTERIOR FLOORING AND INTERIOR WALL FINISH PANELS FROM INTERIOR ELEVATOR CAB(S). PREPARE FOR FUTURE PHASE. ELEVATOR EQUIPMENT TO REMAIN.
- 36 REMOVE WALL SHELVEING. PATCH AND REPAIR HOLES FOR FUTURE PHASE.
- 37 REMOVE VERTICAL GLAZING MULLION FOR FUTURE PHASE.
- 38 REMOVE GYB AT PLUMBING WALLS IN RESTROOMS. KEEP STUD FRAMING AND INSULATION.

THE NEW ELEMENTARY SCHOOL

1200 W. SWEDSFORD ROAD
BERWYN, PA 19312

HSA PROJECT # :23-037

HSA
Heckendorn Shiles Architects

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FOOD SERVICE

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ACOUSTICS

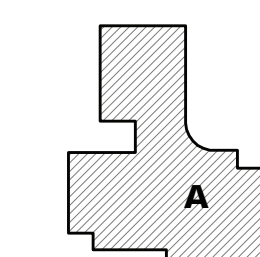
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215-248-4352

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CONSTRUCTION**

KEYPLAN



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--- SECTOR DESIGNATION

ISSUE HISTORY

A	DATE	ISSUED FOR
1	2025-03-28	2ND ISSUE

SHEET TITLE

**EXISTING CONDITIONS
& DEMOLITION PLAN
THIRD FLOOR - SECTOR
A**

DRAWING NUMBER

AD103A

CLIENT
Tredyffrin/Easttown School District
940 West Valley Road, Ste 1700
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267-719-3307

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CONSTRUCTION**

LEGEND

— — — SECTOR DESIGNATION

DATE	ISSUED FOR
2025-03-28	BID ISSUE

**EXISTING CONDITIONS
& DEMOLITION PLAN
THIRD FLOOR - SECTOR
B**

AD103B

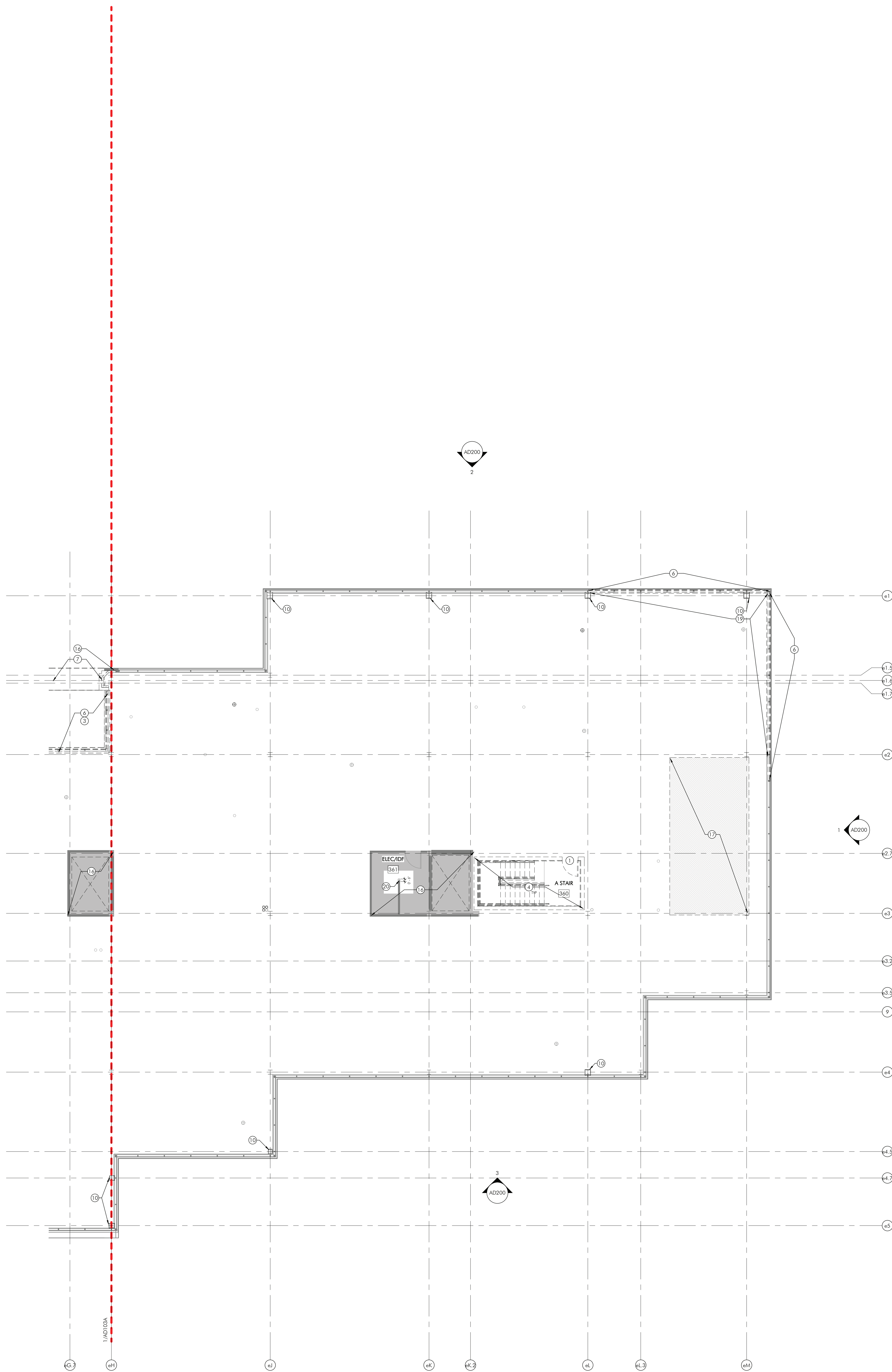
1. REFER TO **SHEET A201** FOR ADDITIONAL EVACUATION NOTES.
2. REFER TO **MEP DRAWINGS** FOR ADDITIONAL INFORMATION.

AS REQUIRED, ANY DISRUPTED FLOORING OF ALL EXISTING INTERIOR WOODWORK WALLS, FLOORS AND CEILING, SHALL BE SUPPLEMENTED AFTER DEMOLITION. ALL DISRUPTED FLOORING SHALL BE REPAIRABLE CODE COMPLIANT AND ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.
3. REMOVE ALL NON-LOAD BEARING INTERIOR PARTITIONS AND ALL EXISTING INTERIOR WALLS, EXISTING "OUT OF SCOPE" PARTITIONS TO REMAIN AS DETECTED ON THE EXISTING DRAWINGS.
5. PROTECT ALL EXISTING INTERIOR ENVELOPE CONSTRUCTION INCLUDING, BUT NOT LIMITED TO: DOORS, WINDOWS, GLAZING, AND WALLS FROM DAMAGE.
6. ALL EXISTING JOIST TO BE REMOVED AND PREPARED FOR REPLACEMENT, EXISTING FRAMING SYSTEM TO REMAIN.
7. REPLACE BATT INSULATION WHERE REMOVED OR EXISTING INTERIOR PARTITIONS ATTACHED ALONG PERIMETER OF EXISTING BUILDING.
8. REMOVE EXISTING INTERIOR WALL PARTITIONS AND PREP REMAINING WALLS FOR NEW FINISH.
9. REFER TO **STRUCTURAL DRAWINGS** FOR ADDITIONAL INFORMATION.
10. GC TO REFORM THE THICKNESS OF EXISTING ROOF ASSEMBLY TO IDENTIFY CAUSES OF SATURATED INSULATION FOR REMOVAL AND REPLACEMENT.
11. ALL ENVELOPE REPAIRS TO BE COMPLETED BY GC, INCLUDING REPAIRS TO:

- ① DEMOLISH DOORS AND FRAME.
- ② DEMOLISH EXISTING EXTERIOR GLASS CURTAIN WALLS).
- ③ DEMOLISH PARTITION.
- ④ DEMOLISH STAIRS, GALLERIES, AND CMU STAIR WALLS.
- ⑤ REMOVE PLUMBING OF FIXTURES.
- ⑥ REMOVE PORTION OF EXISTING RISER WINDOW (GLUS), GLAZING GLASS, AND FRAMING.
- ⑦ DEMOLISH PRECAST PANEL ASSEMBLIES AT EXTERIOR COLLARS, REFER TO STRUCTURAL DRAWINGS FOR DETAILING FOR REINFORCING CURBING CONSTRUCTION.
- ⑧ REMOVE CASEWORK.
- ⑨ REMOVE TOILET PARTITIONS.
- ⑩ REMOVE GYM INTERIOR PARTITION AROUND STRUCTURAL COLUMN.

NOTE: WORK STAIR: ROOF MEMBRANE TO REMAIN FOR REINFORCING. PRIOR TO WORK STAIR, GO TO PROVIDE BASE COURSE TESTING OF EXISTING ROOF INSULATION FOR REMOVED MATERIALS AS REQUIRING REPLACEMENT. PROVIDE ALLOWANCE FOR ADDITIONAL SLOPE FOOTING FOR REINFORCING CURBING CONSTRUCTION. REFER TO PCF ASSEMBLY & REPAIR DETAILS PER ASJO SERIES.

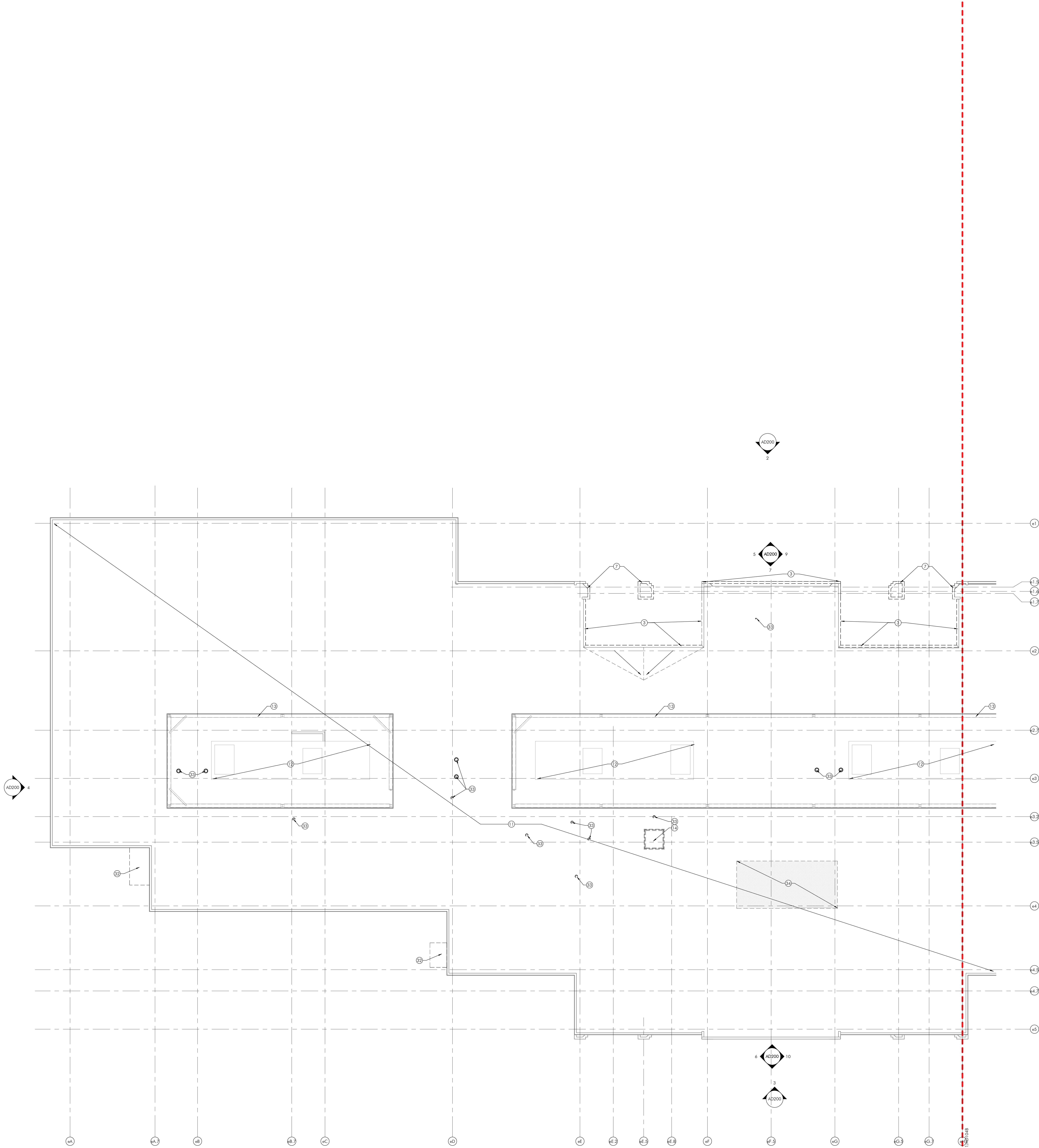
ALTERNATE: REMOVE EXISTING BELLWY ROOF MEMBRANE AND INSULATION DOWN TO DECK.



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1
AD104A
EXISTING CONDITIONS & DEMOLITION ROOF PLAN - SECTOR A
1/8" = 1'-0"



SHEET NOTES

1. REFER TO SHEET A001 FOR ADDITIONAL DEMOLITION NOTES.
2. REFER TO MEPP DRAWINGS FOR ADDITIONAL INFORMATION.
3. AS REQUIRED, ANY DISRUPTED FIREPROOFING OF ALL BUILDING STRUCTURAL MEMBERS (WALLS, FLOORS AND CEILING), SHALL BE SUPPLEMENTED AFTER DEMOLITION, IN ACCORDANCE WITH ALL CURRENTLY APPLICABLE CODES, REGULATION AND ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.
4. REMOVE ALL NON-LOAD BEARING INTERIOR PARTITIONS AS DEPICTED ON ARCH DEMOLITION DINGS. EXISTING 'OUT OF SCOPE' PARTITIONS TO REMAIN AS DEPICTED ON ARCH DEMOLITION DRAWINGS.
5. PROTECT ALL EXISTING EXTERIOR ENVELOPE CONSTRUCTION INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS, GLAZING, AND WALLS FROM DAMAGE.
6. ALL EXISTING IGU TO BE REACHED AND PREPARED FOR REPLACEMENT, EXISTING FRAMING SYSTEM TO REMAIN.
7. REPLACE BATT INSULATION WHERE REMOVED OR DAMAGED AT ALL EXTERIOR LOW PARTITIONS AROUND PERIMETER OF EXISTING BUILDING.
8. REMOVE EXISTING INTERIOR WALL SIGNAGE AND PREP REMAINING WALLS FOR NEW FINISH.
9. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. GC TO PERFORM THERMAL SCAN OF EXISTING ROOF ASSEMBLY TO IDENTIFY AREAS OF SATURATED INSULATION FOR REMOVAL AND REPLACEMENT.
11. ALL ENVELOPE PENETRATIONS TO BE COMPLETED BY GC, REFER TO SPECIFICATIONS.

SHEET KEYNOTES

- 1 DEMOLISH DOOR(S) AND FRAME.
- 2 DEMOLISH EXISTING EXTERIOR GLASS CURTAIN WALL(S).
- 3 DEMOLISH PARTITION.
- 4 DEMOLISH STAIRS, GUARDRAILS, AND CMU STAIR WALLS.
- 5 REMOVE PLUMBING FIXTURE(S).
- 6 DEMOLISH PRECAST PANEL ASSEMBLIES AT EXTERIOR COLUMNS, REFER TO STRUCTURAL DRAWINGS FOR COLUMN DEMOLITION.
- 7 REMOVE CASEWORK.
- 8 REMOVE TOILET PARTITIONS.
- 9 REMOVE GYB INTERIOR PARTITION AROUND STRUCTURAL COLUMN.
- 10 BASE SCOPE: ROOF MEMBRANE TO REMAIN FOR RECOVER. PRIOR TO WORK START, GC TO PROVIDE MOISTURE TESTING OF EXISTING ROOF INSULATION TO DETERMINE SATURATED AREAS REQUIRING REPLACEMENT. PROVIDE ALLOWANCE FOR ADDITIONAL SQUARE FOOTAGE FOR REPLACEMENT DURING CONSTRUCTION. REFER TO ROOF ASSEMBLY & REPAIR DETAILS PER A500 SERIES.
ALTERNATE: REMOVE EXISTING BITUMEN ROOF MEMBRANE AND INSULATION DOWN TO DECK.
- 12 REMOVE MECHANICAL ROOF SYSTEMS AND SUPPORTS. INFILL AND PATCH FOR FUTURE PHASE. REFERENCE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 EXISTING MECHANICAL SCREENS TO REMAIN.
- 14 REMOVE EXISTING ROOF HATCH, CLIMB AND LADDER.
- 15 REMOVE EXISTING SLAB AND BELOW SLAB MATERIAL AS REQUIRED FOR NEW FOOTING OR INFRASTRUCTURE. INSTALLATION, COORDINATE LOCATION AND EXTENTS OF TRENCHING WITH STRUCTURAL AND PLUMBING DRAWINGS.
- 16 EXISTING TO REMAIN.
- 17 REMOVE PORTION OF EXISTING FLOOR PLATE, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
- 18 REMOVE INTERIOR WINDOW.
- 19 REMOVE FRAMING AND INSULATION AT LOW PARTITION(S).
- 20 REMOVE PORTION OF INTERIOR PARTITION AS REQUIRED FOR NEW ELECTRICAL EQUIPMENT CLEARANCE. COORDINATE WITH E.C.
- 21 REMOVE METAL DECORATIVE PANELING ON INTERIOR WALL. PATCH AND REPAIR GYB.
- 22 REMOVE EXISTING INTERIOR WINDOW FILM.
- 23 REPAIR CONTROL JOINT AT PRECAST EXISTING WALL LOWER PARTITION. REFER TO DETAIL ON SHEET AS-16 FOR ADDITIONAL INFORMATION.
- 24 REMOVE PORTION OF EXISTING RIBBON WINDOW (IGU) AND GLAZING SEALS. PREPARE OPENINGS FOR NEW SPANDREL GLASS.
- 25 REMOVE GYB, BASE & FURRING AT ELEVATORS. PROTECT ALL ELEVATOR EQUIPMENT FROM DAMAGE. REINSTALL ELEVATOR EQUIPMENT IN NEW GYB.
- 26 DEMOLISH INTERIOR GLASS STOREFRONT VESTIBULE.
- 27 REMOVE EXISTING APPLIED VERTICAL MULLION AT EXISTING VERTICAL RIBBON WINDOW MULLION.
- 28 REMOVE WINDOW SHADES AT RIBBON WINDOWS.
- 29 EXISTING PLANTER RITS TO BE INFILLED, REFER TO NEW CONSTRUCTION DRAWINGS.
- 30 REMOVE EXISTING FLOOR FINISH, SURROUNDING WALL BASE AND/OR WALL FINISHES. PREPARE FOR NEW FINISH.
- 31 REMOVE EXISTING WALL BASED DISPENSERS AND MIRRORS.
- 32 REMOVE EXTERIOR OVERHEAD DOOR CANOPY. REFERENCE A2000 DRAWINGS FOR ADDITIONAL INFORMATION.
- 33 REMOVE EXISTING EXHAUST AND ROOF DRAIN EQUIPMENT. INFILL AND PATCH FOR FUTURE PHASE.
- 34 AREA OF EXISTING ROOF ASSEMBLY TO BE DEMOLISHED FOR NEW ROOF ACCESS STAIR.
- 35 REMOVE INTERIOR FLOORING AND INTERIOR WALL FINISH PANELS FROM INTERIOR ELEVATOR CAB(S). PREPARE FOR FUTURE PHASE. ELEVATOR EQUIPMENT TO REMAIN.
- 36 REMOVE WALL SHELVEING. PATCH AND REPAIR HOLES FOR FUTURE PHASE.
- 37 REMOVE VERTICAL GLAZING MULLION FOR FUTURE PHASE.
- 38 REMOVE GYB AT PLUMBING WALLS IN RESTROOMS. KEEP STUD FRAMING AND INSULATION.

TE NEW
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HSA PROJECT # :23-037

Heckendorn Shiles Architects

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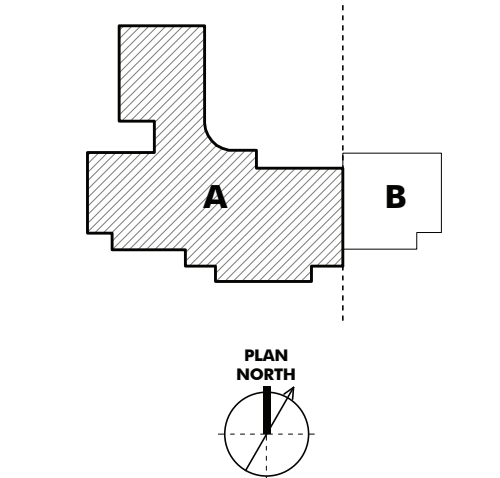
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--- SECTOR DESIGNATION

ISSUE HISTORY

A	DATE	ISSUED FOR
1	2025-03-28	2ND ISSUE

SHEET TITLE
EXISTING CONDITIONS
& DEMOLITION ROOF
PLAN - SECTOR A

DRAWING NUMBER
AD104A

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1. REFER TO **SHEET A001** FOR ADDITIONAL DEMOLITION NOTES.
2. REFER TO MEPP DRAWINGS FOR ADDITIONAL INFORMATION.
 - a. AS REQUIRED, ANY DISPERSED FIBROSCOPIC OF ALL MATERIALS, INTERIORS, VIBRATIONS, WALLS, FLOORS AND CEILING, SHALL BE SUPPLEMENTED AFTER DEMOLITION, IN ORDER TO MAINTAIN THE EXISTING STRUCTURE, PERMISSIBLE CODES, REGULATION AND ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT.
3. REMOVE ALL NON-LOAD BEARING INTERIOR PARTITIONS AND ALL INTERIOR PARTITIONS TO REMAIN AS DETECTED ON MEPP DRAWINGS.
4. PROTECT ALL EXISTING EXTERIOR ENVELOPE, CONSTRUCTION INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS, GLAZING, AND, WALLS FROM DAMAGE.
5. ALL EXISTING GUTS TO BE REMOVED AND PREPARED FOR REPLACEMENT, EXISTING FRAMING SYSTEM TO REMAIN.
6. REPLACE BATT INSULATION WHERE REMOVED OR REPAIR EXISTING INTERIOR PARTITIONS AROUND PERIMETER OF EXISTING BUILDING.
7. REMOVE EXISTING INTERIOR WALLS SICHGAGE AND PREP REMAINING WALLS FOR NEW FINISH.
8. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. GC TO IDENTIFY THERMAL SCAN OF EXISTING ROOF ASSEMBLY TO DETERMINE AREAS OF SATURATED INSULATION FOR REMOVAL AND REPLACEMENT.
10. ALL ENVELOPE REPAIRS TO BE COMPLETED BY GC, FOR ALL REPAIRS.

- ① DEMOLISH DOORS AND FRAME.
- ② DEMOLISH EXISTING EXTERIOR GLASS CURTAIN WALLS.
- ③ DEMOLISH PARTITION.
- ④ DEMOLISH STAIRS, GUARDRAILS, AND CLOU STAIR WALLS.
- ⑤ REMOVE PLUMBING FIXTURES.
- ⑥ REMOVE PORTION OF EXISTING BROWN VINYL WINDOW (GLASS), GLAZING SEAL, AND FAWING.
- ⑦ REMOVE PRECAST PANEL ASSEMBLIES AT EXTERIOR COLLARS. REFER TO STRUCTURAL DRAWINGS FOR COLLAR DEMOLITION.
- ⑧ REMOVE CASEWORK.
- ⑨ REMOVE TOILET PARTITIONS.
- ⑩ REMOVE GWB INTERIOR PARTITION AROUND STRUCTURAL COLUMN.
- ⑪ BASE SCOPE: ROOF MEMBRANE TO REMAIN FOR RECOVER. PRIOR TO WORK START, GC TO PROVIDE PHOTOGRAPH OF EXISTING ROOF MEMBRANE TO DETERMINE SATURATED AREAS REQUIRING REPLACEMENT. PROVIDE PHOTOGRAPH FOR ADDITIONAL SQUARE FOOTAGE FOR REPLACEMENT DURING CONSTRUCTION. REFER TO ROOF ASSEMBLY & BIPOL DETAILS PER ASJO SPEC.
- ⑫ ALTERNATE: REMOVE EXISTING BITUMEN ROOF MEMBRANE AND INSULATION DOWN TO DECK.
- ⑬ REMOVE MECHANICAL ROOF SYSTEMS AND SUPPORTS. INFILL AND PATCH FOR FUTURE PHASE. REFER TO MECHANICAL ROOF DETAIL FOR ADDITIONAL INFORMATION.
- ⑭ EXISTING MECHANICAL SPACE. REMOVE.
- ⑮ REMOVE EXISTING ROOF HATCH, CLUS AND LADDER.

SECTOR DESIGNATION

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2025-03-28	BID ISSUE

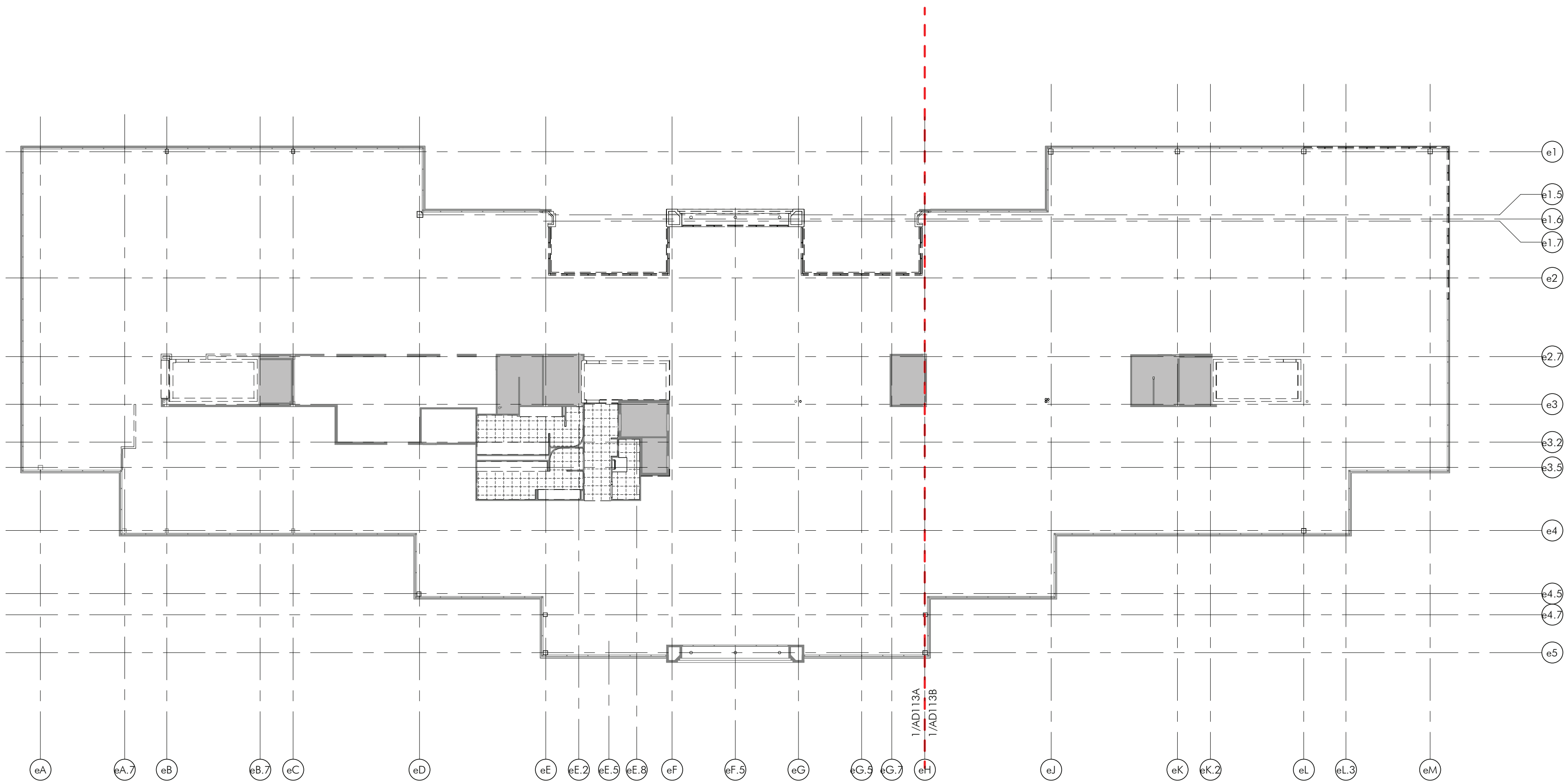
**EXISTING CONDITIONS
& DEMOLITION ROOF
PLAN - SECTOR B**

AD104B

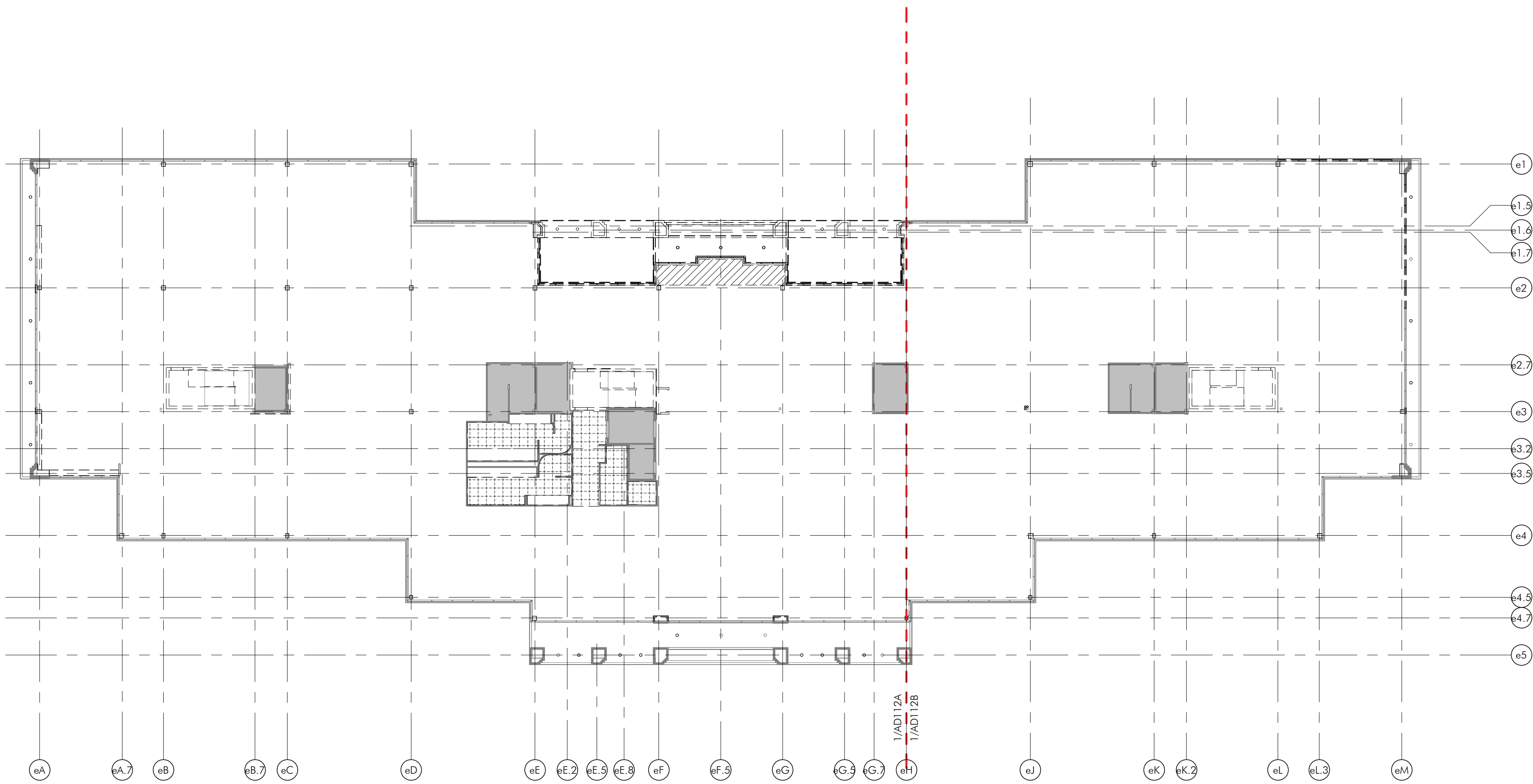


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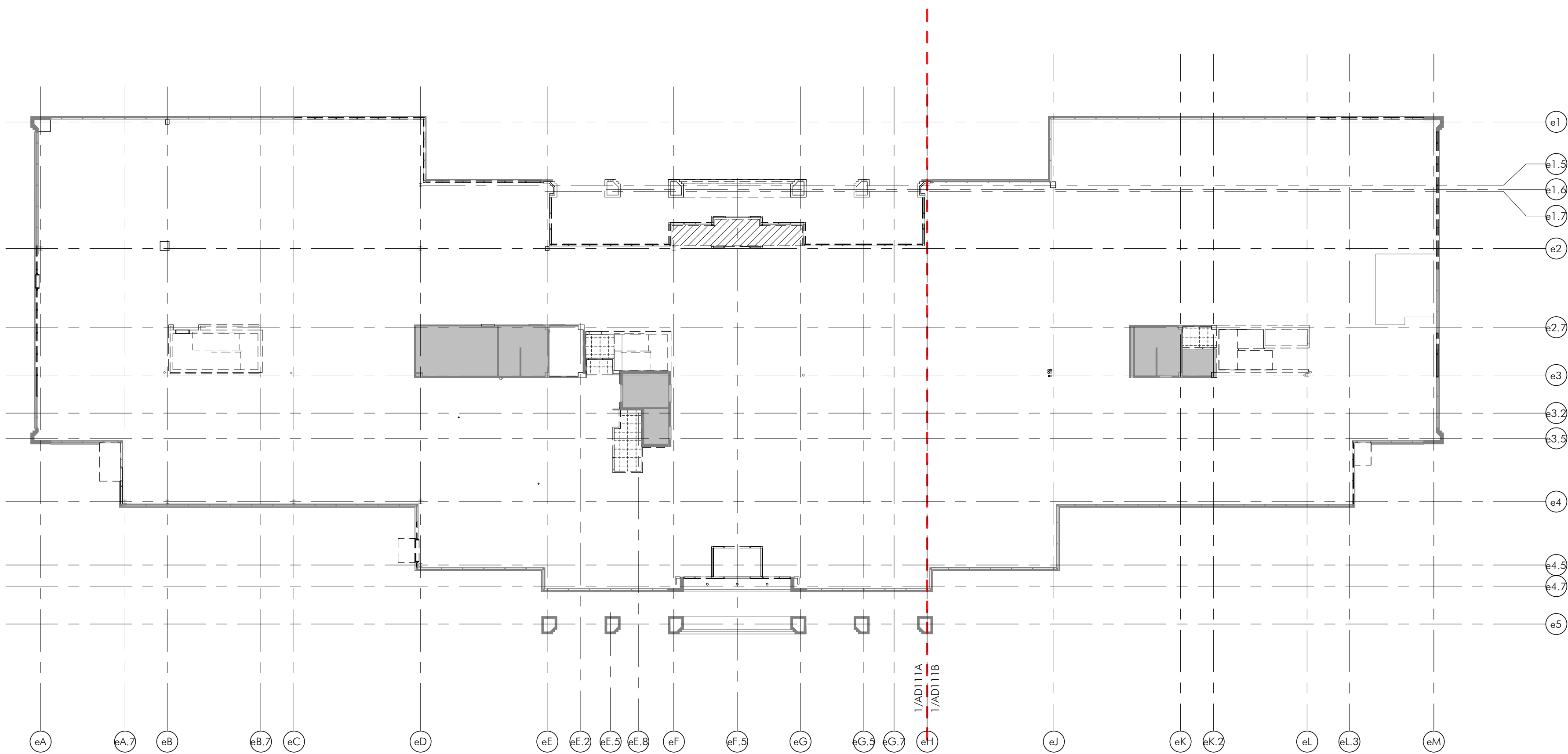
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3 EXISTING CONDITIONS & DEMOLITION THIRD FLOOR REFLECTED CEILING PLAN
VD1110 1" = 20'-0"



2 EXISTING CONDITIONS & DEMOLITION SECOND FLOOR REFLECTED CEILING PLAN
VD1110 1" = 20'-0"

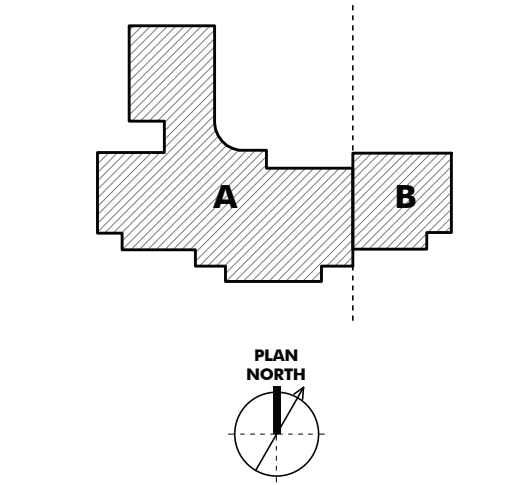


1 EXISTING CONDITIONS & DEMOLITION FIRST FLOOR REFLECTED CEILING PLAN
VD1110 1" = 20'-0"

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HSA PROJECT # :23-037
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--- SECTOR DESIGNATION

ISSUE HISTORY

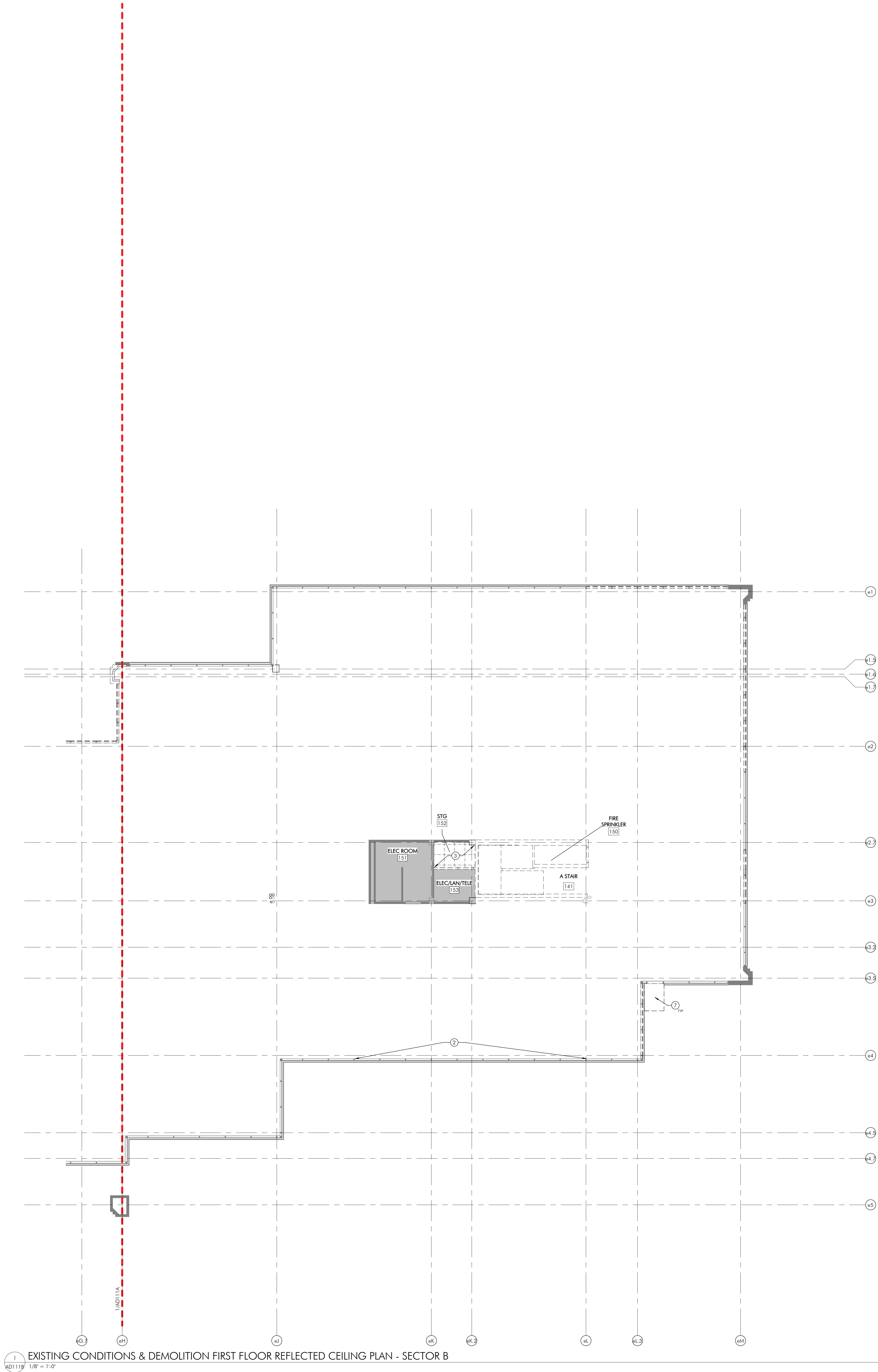
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SHEET TITLE
**EXISTING CONDITIONS
& DEMOLITION
OVERALL RCP PLANS**

DRAWING NUMBER
AD110

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SHEET NOTES

1. REFER TO SHEET A001 FOR ADDITIONAL DEMOLITION NOTES.
2. REFER TO MEPP DRAWINGS FOR ADDITIONAL INFORMATION.
3. REMOVE ALL CEILINGS, CEILING MOUNTED EQUIPMENT, AND CEILING MOUNTED LIGHTING THROUGHOUT AREA OF WORK, UNLESS NOTED OTHERWISE.
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SHEET KEYNOTES

1. EXTERIOR RECESSED LIGHT TO BE DEMOLISHED. PATCH AND REPAIR TO PREPARE FOR NEW WORK IF NEEDED.
2. REMOVE GWB AND STUD ABOVE RIBBON WINDOWS.
3. REMOVE EXISTING ACT CEILING AND GRID.
4. REMOVE EXISTING GWB CEILING.
5. REMOVE EXISTING GWB SOFFIT.
6. REMOVE EXISTING PROJECTOR ABOVE CEILING.
7. REMOVE EXTERIOR OVERHEAD DOOR CANOPY. COVER ANY FACADE REPAIRS AFTER THE REMOVAL. REFER TO A000 FOR ADDITIONAL INFORMATION.
8. REMOVE EXISTING ACCESS PANEL.

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HSA PROJECT # :23-037

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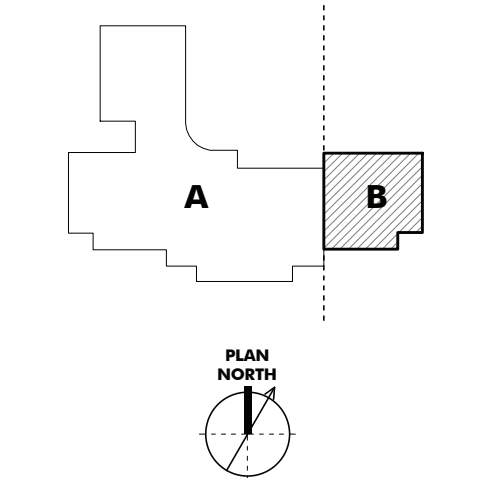
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1	2025-03-28	BID ISSUE

SHEET TITLE
**EXISTING CONDITIONS
& DEMOLITION RCP**
FIRST FLOOR - SECTOR B

DRAWING NUMBER

AD111B

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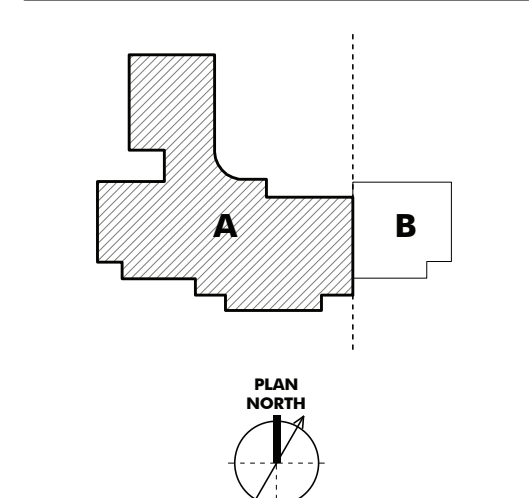
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ISSUE HISTORY

DATE	ISSUED FOR
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SHEET TITLE

**EXISTING CONDITIONS
& DEMOLITION RCP
SECOND FLOOR -
SECTOR A**

DRAWING NUMBER

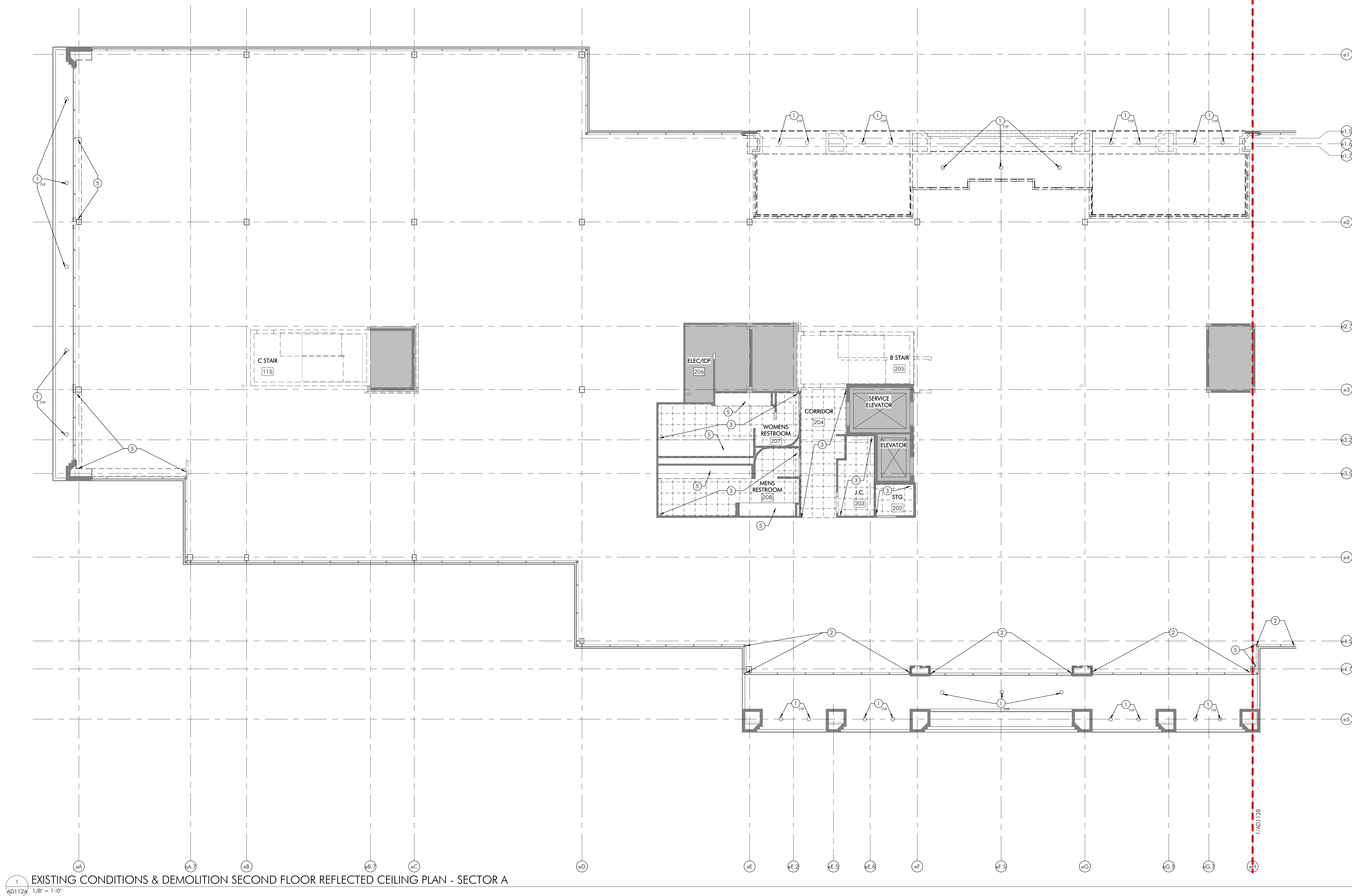
AD112A

SHEET NOTES

1. REFER TO SHEET A001 FOR ADDITIONAL DEMOLITION NOTES.
2. REFER TO MEPP DRAWINGS FOR ADDITIONAL INFORMATION.
3. REMOVE ALL CEILINGS, CEILING MOUNTED EQUIPMENT, AND CEILING MOUNTED LIGHTING THROUGHOUT AREA OF WORK, UNLESS NOTED OTHERWISE.
4. REMOVE ALL CEILINGS (ACT CEILING, GRID, AND/OR GWB), CEILING MOUNTED EQUIPMENT, AND CEILING MOUNTED LIGHTING IN ALL EXISTING TO BE DEMOLISHED STAIR TOWERS A, B, AND C.

SHEET KEYNOTES

- ① EXTERIOR RECESSED LIGHT TO BE DEMOLISHED. PATCH AND REPAIR TO PREPARE FOR NEW WORK IF NEEDED.
- ② REMOVE GWB AND STUD ABOVE RIBBON WINDOWS.
- ③ REMOVE EXISTING ACT CEILING AND GRID.
- ④ REMOVE EXISTING GWB CEILING.
- ⑤ REMOVE EXISTING GWB SOFFIT.
- ⑥ REMOVE EXISTING PROJECTOR ABOVE CEILING.
- ⑦ REMOVE EXTERIOR OVERHEAD DOOR CANOPY. COVER ANY FACADE REPAIRS AFTER THE REMOVAL. REFER TO A2020 FOR ADDITIONAL INFORMATION.
- ⑧ REMOVE EXISTING ACCESS PANEL.





SHEET NOTES

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- ⑧ REMOVE EXISTING ACCESS PANEL.

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ISSUE HISTORY

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SHEET TITLE

**EXISTING CONDITIONS
& DEMOLITION RCP
SECOND FLOOR -
SECTOR B**

DRAWING NUMBER

AD112B

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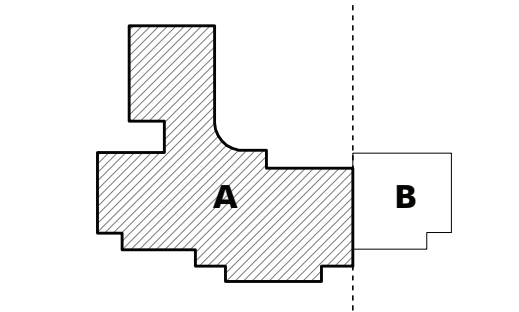
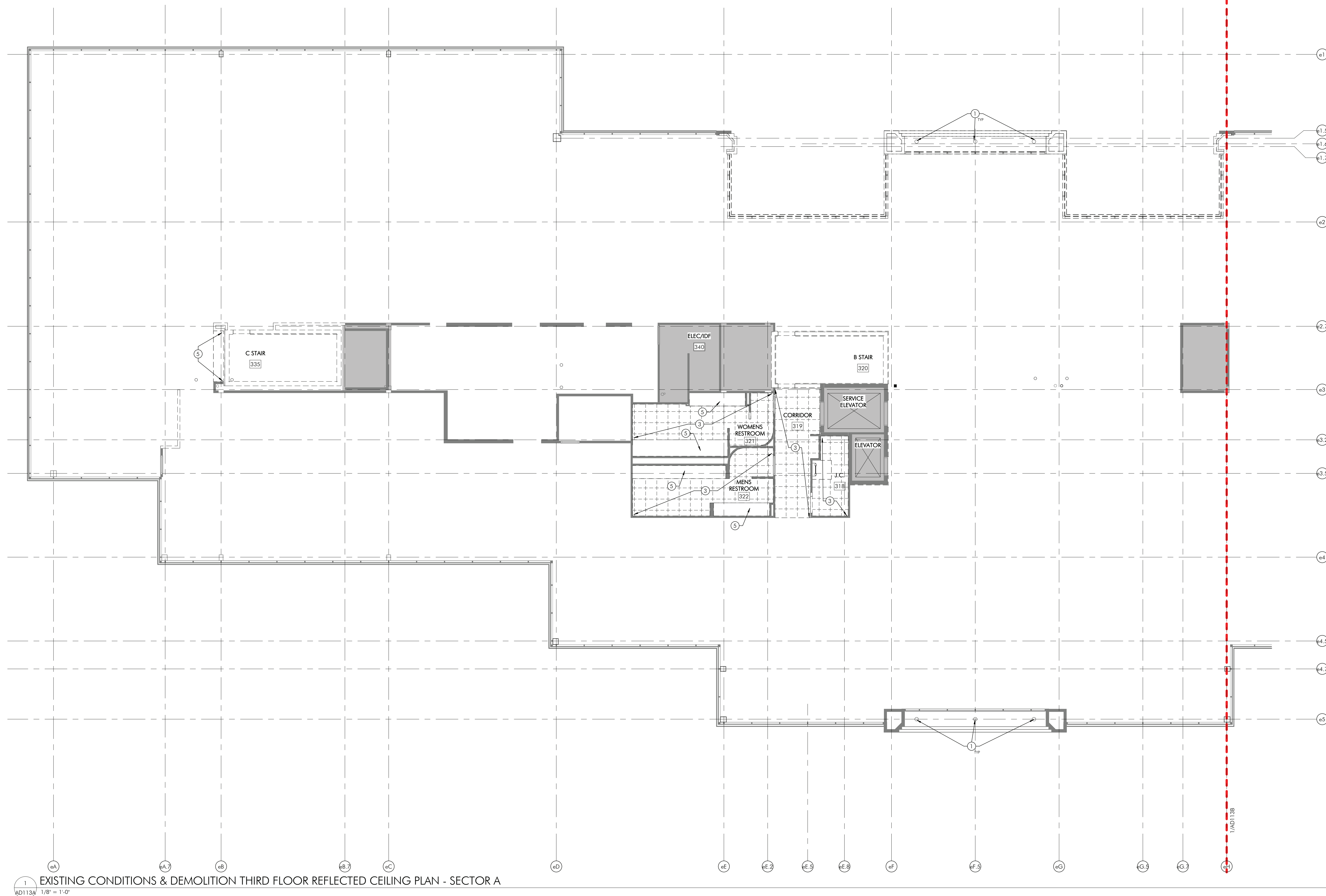
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SHEET TITLE

**EXISTING CONDITIONS
& DEMOLITION RCP
THIRD FLOOR - SECTOR
A**

DRAWING NUMBER

DRAWING NUMBER
AD113A

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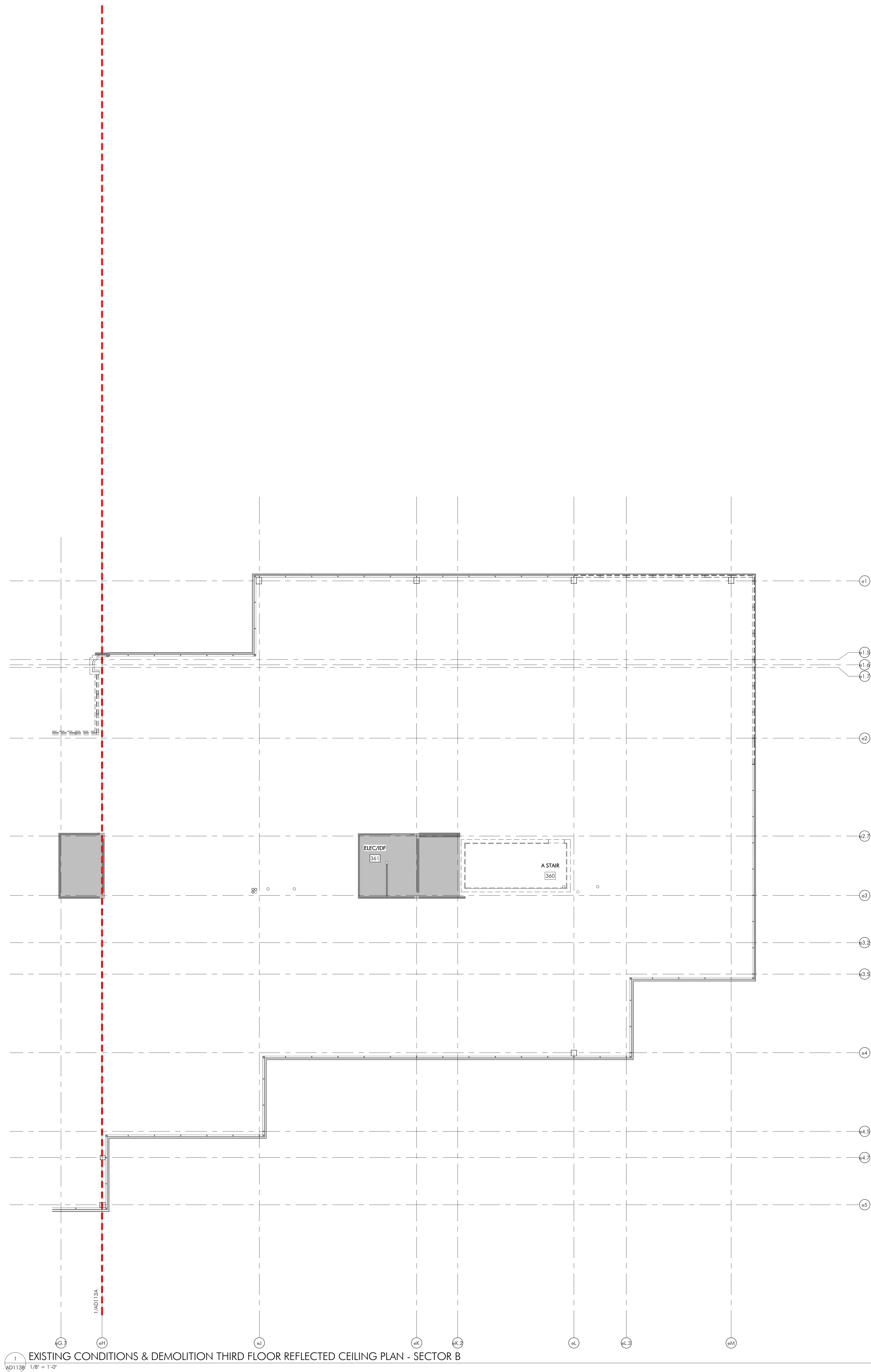
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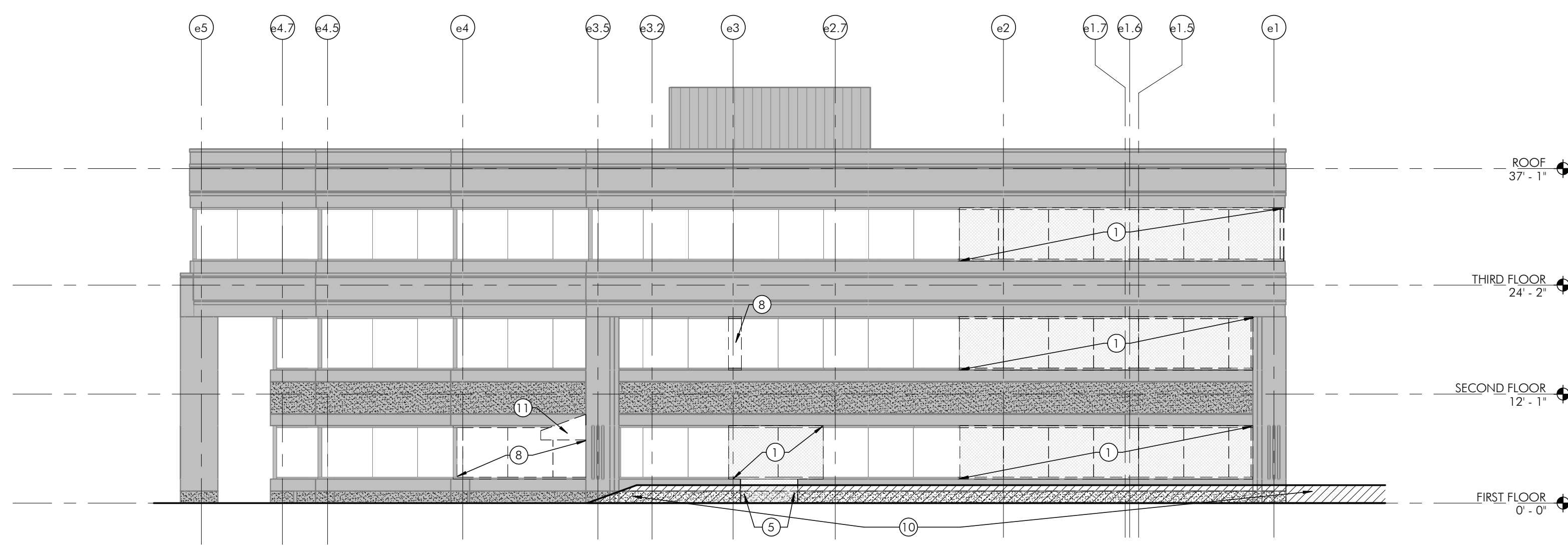
**EXISTING CONDITIONS
& DEMOLITION RCP
THIRD FLOOR - SECTOR
B**

AD113B

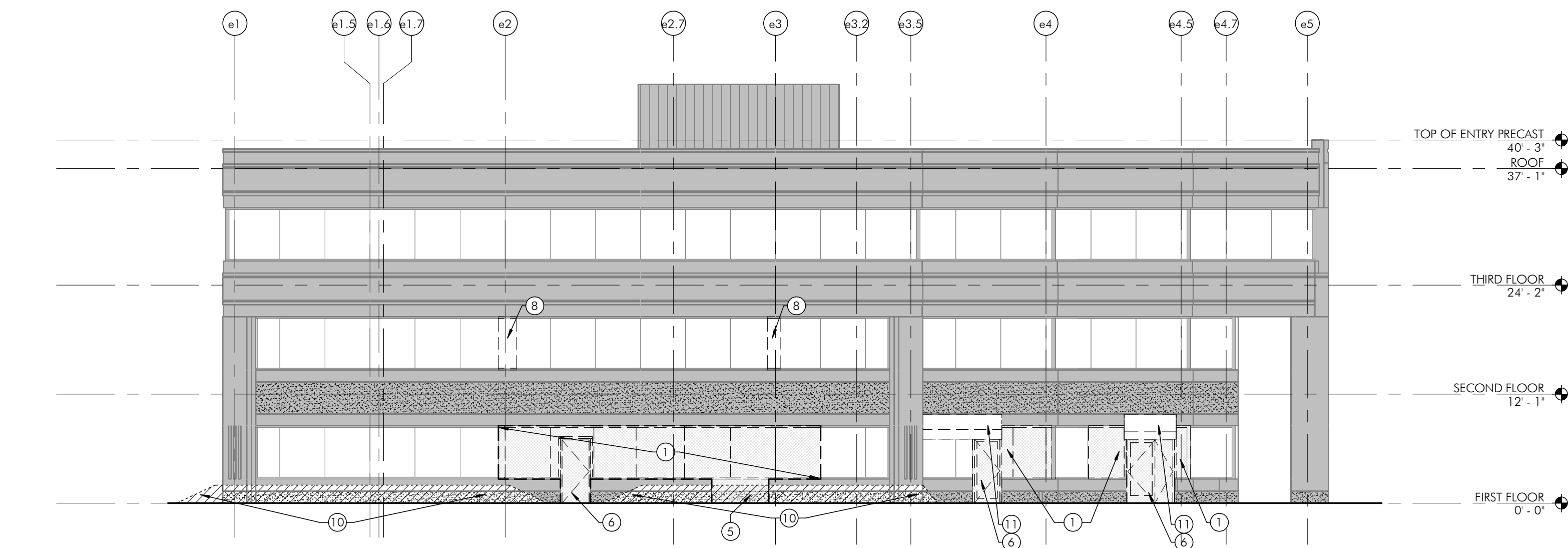
1. REFER TO SHEET A001 FOR ADDITIONAL DEMOLITION NOTES.
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- ① EXTERIOR RECESSED LIGHTS TO BE DEMOLISHED- PATCH AND REPAIR TO PREPARE FOR NEW WORK IF NEEDED.
- ② REMOVE GWB AND STUD ABOVE RIBBON WINDOWS.
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- ⑤ REMOVE EXISTING GWB SOFFIT.
- ⑥ REMOVE EXISTING PROJECTOR ABOVE CEILING.
- ⑦ REMOVE EXISTING OVERHEAD DOOR CANOPY. COVER ANY FACADE REPAIRS AFTER THE REMOVAL. REFER TO ADD200 FOR ADDITIONAL INFORMATION.
- ⑧ REMOVE EXISTING ACCESS PANEL.

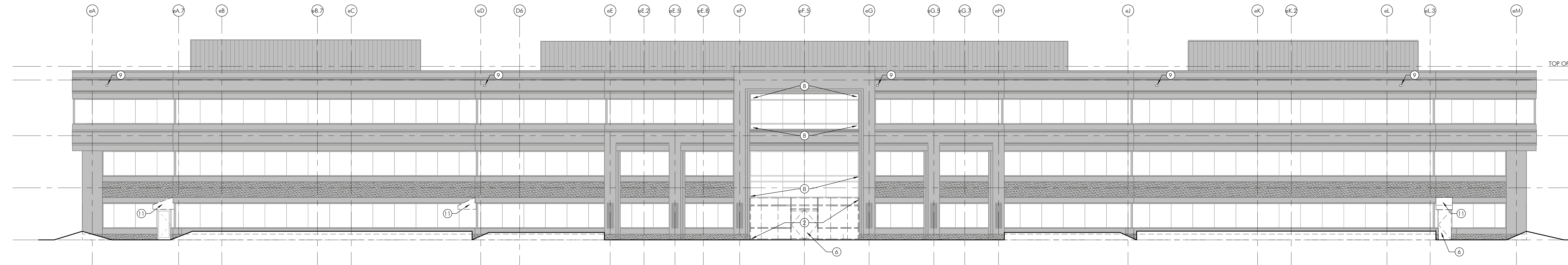




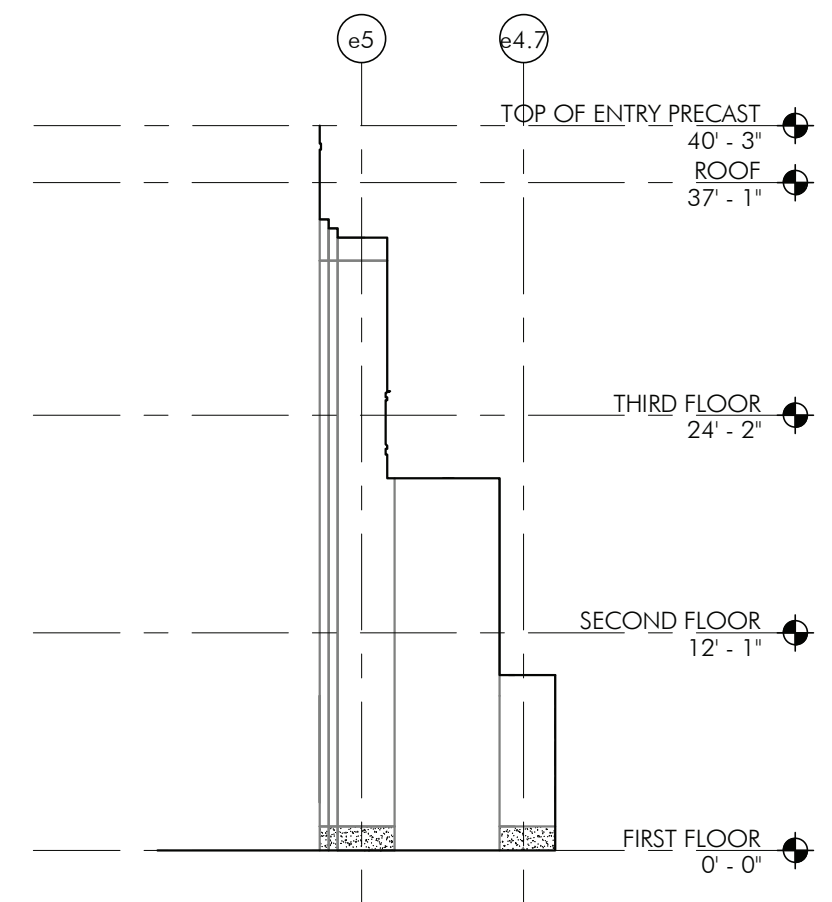
1 EXISTING CONDITIONS & DEMOLITION EAST ELEVATION



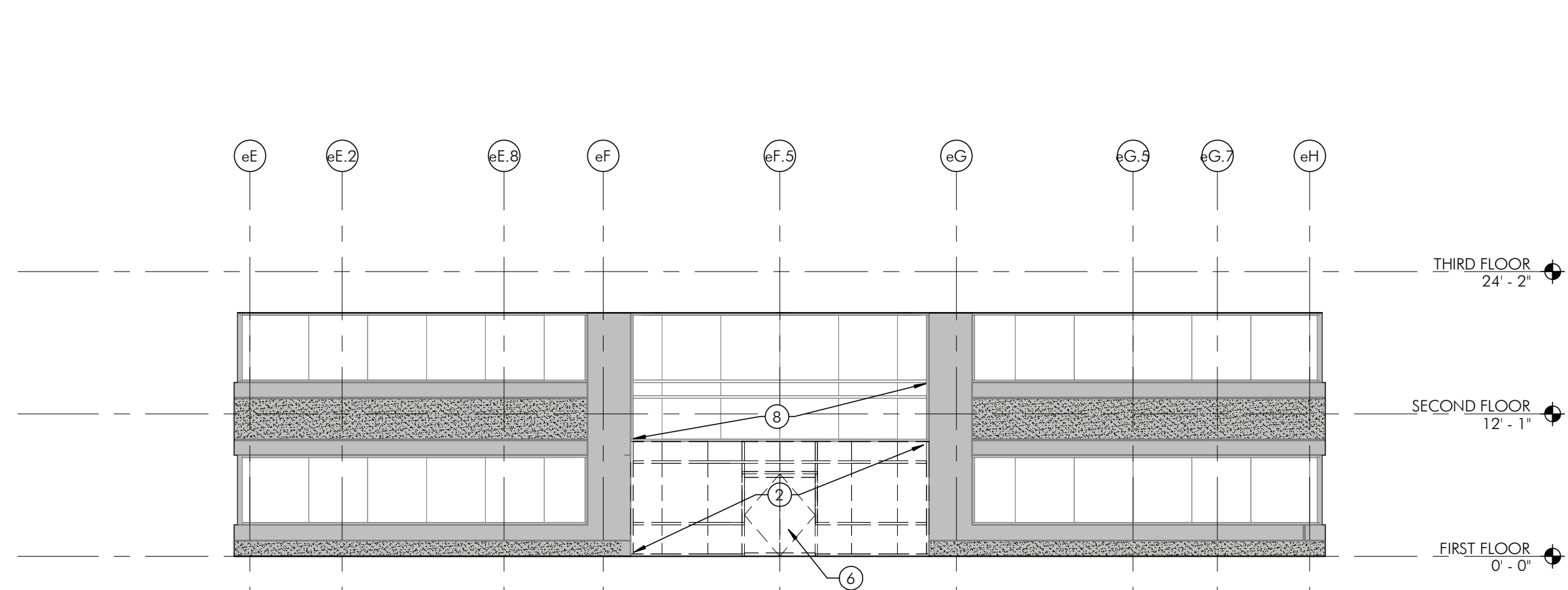
4 EXISTING CONDITIONS & DEMOLITION WEST ELEVATION



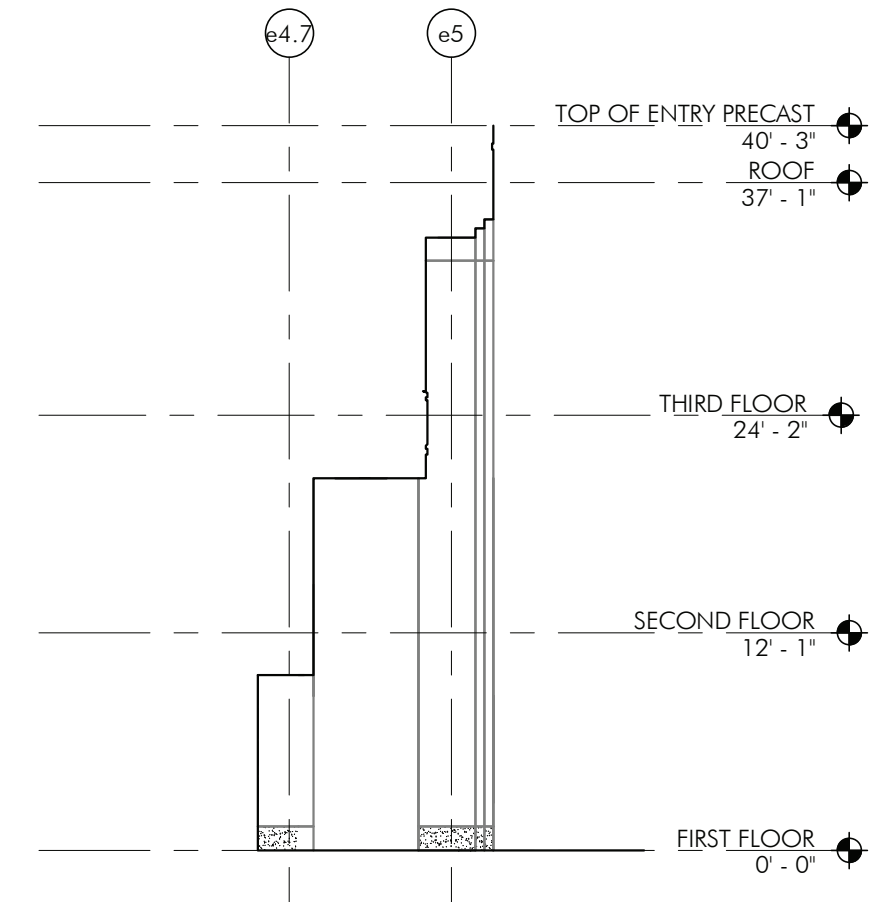
3 EXISTING CONDITIONS & DEMOLITION SOUTH ELEVATION



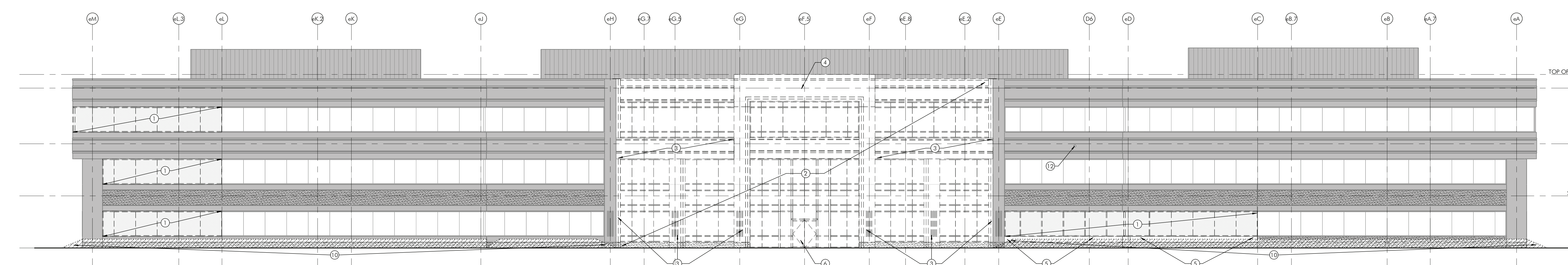
6 EXISTING CONDITIONS & DEMOLITION PARTIAL EAST ELEVATION AT SOUTH ENTRANCE



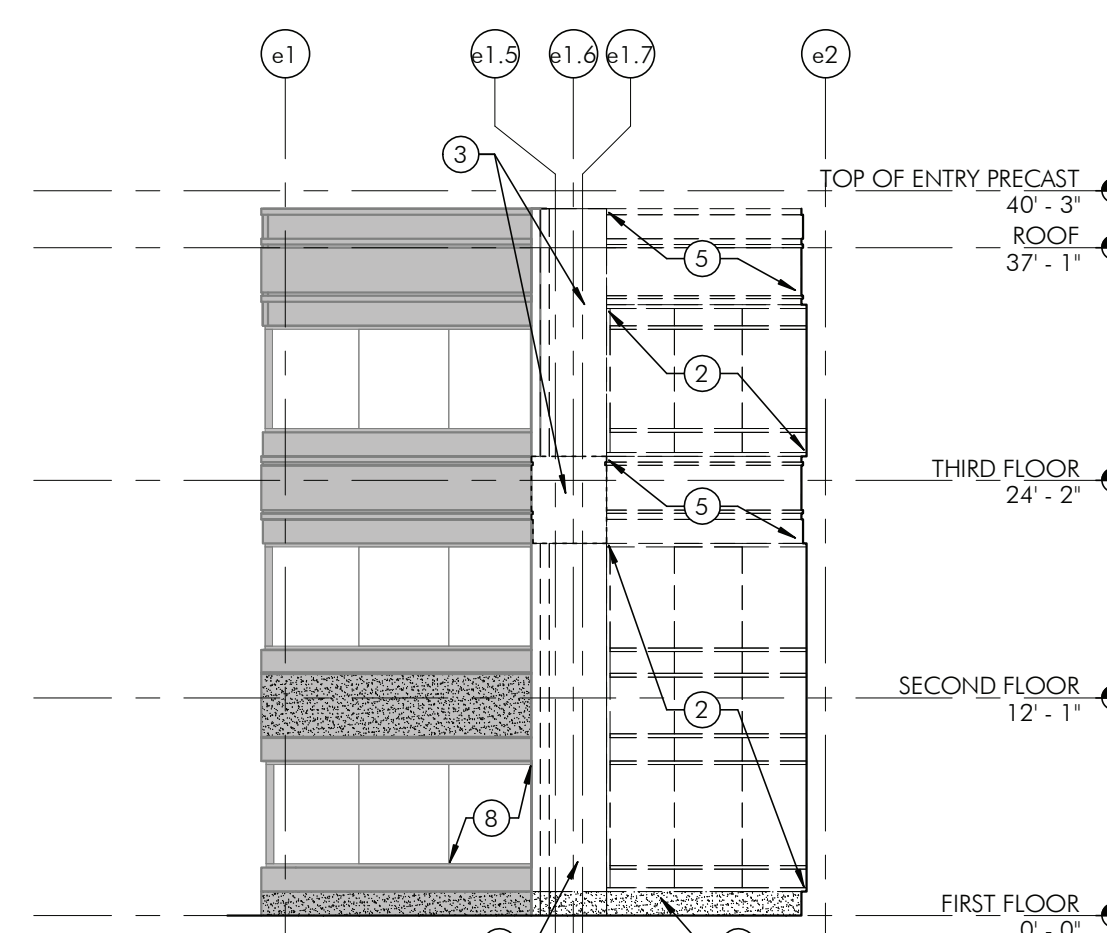
8 EXISTING CONDITIONS & DEMOLITION PARTIAL SOUTH ELEVATION BEHIND COLUMNS



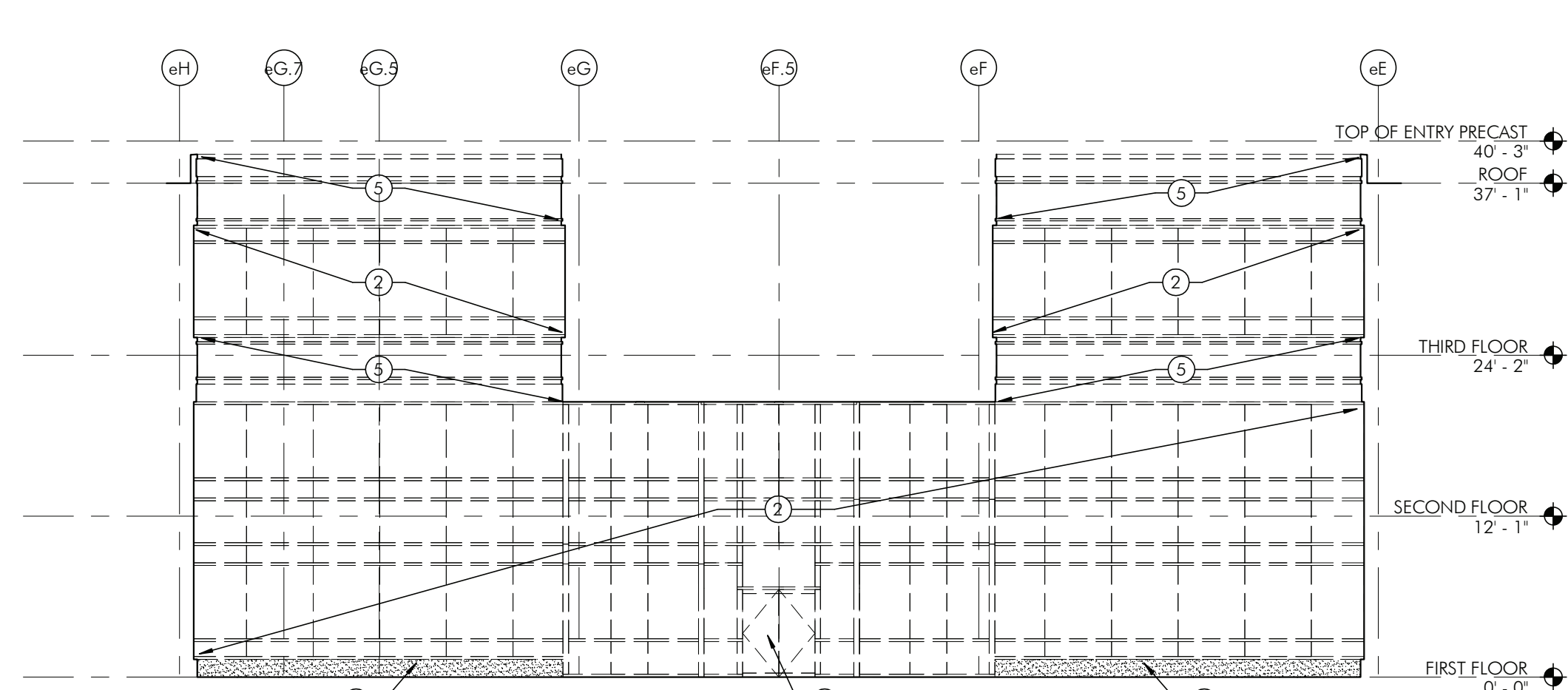
10 EXISTING CONDITIONS & DEMOLITION PARTIAL WEST ELEVATION AT SOUTH ENTRANCE



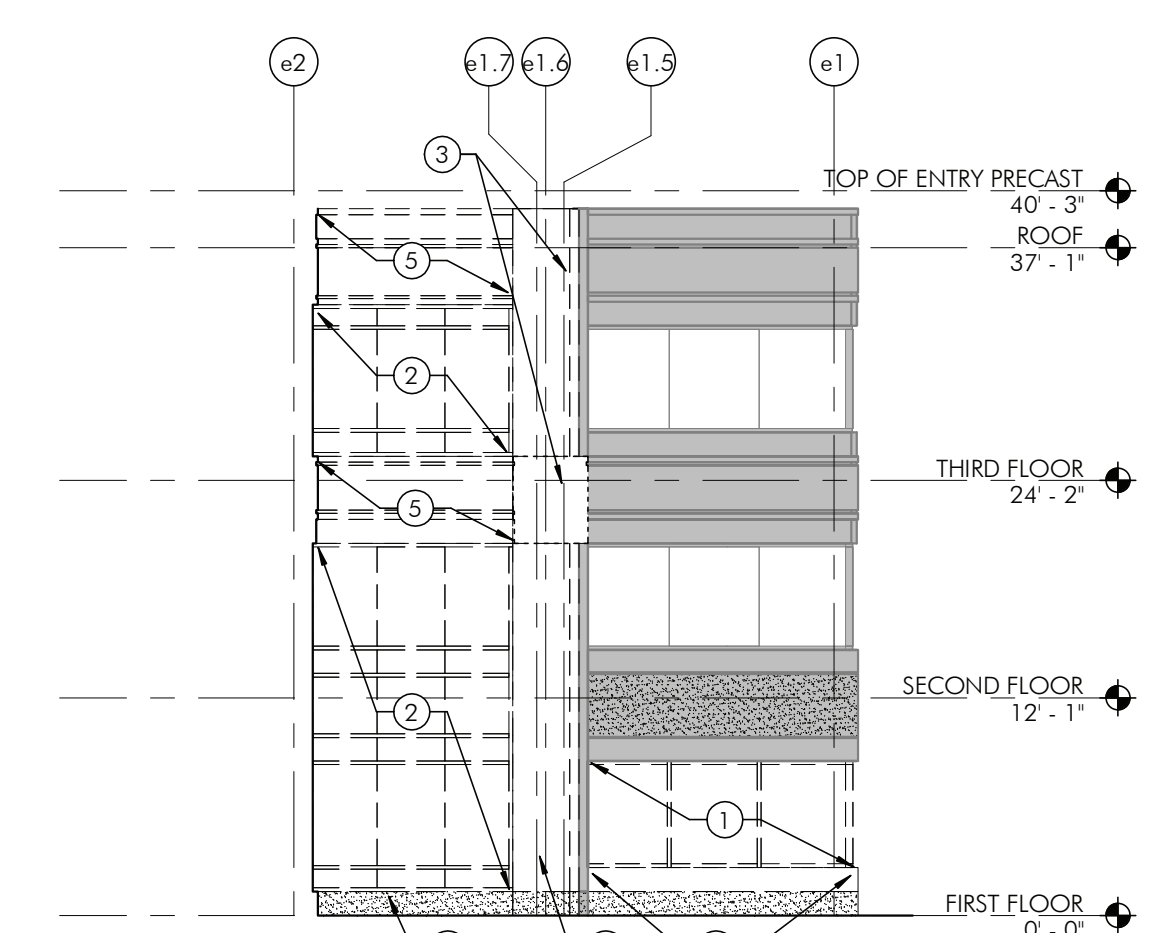
2 EXISTING CONDITIONS & DEMOLITION NORTH ELEVATION



9 EXISTING CONDITIONS & DEMOLITION PARTIAL WEST ELEVATION AT NORTH ENTRANCE



7 EXISTING CONDITIONS & DEMOLITION PARTIAL NORTH ELEVATION BEHIND COLUMNS



5 EXISTING CONDITIONS & DEMOLITION PARTIAL EAST ELEVATION AT NORTH ENTRANCE

SHEET NOTES

1. AT ALL EXISTING TO REMAIN RIBBON WINDOW FRAMES, REMOVE EXISTING GLASS AND GLAZING SEALS. KEEP EXISTING FRAMING UNLESS NOTED OTHERWISE. PREPARE OPENINGS FOR NEW GLASS INSTALLATION. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. GC TO SCAN PRECAST PANEL TO DETERMINE EXISTING REINFORCING LOCATION PRIOR TO CREATING ANY NEW PENETRATIONS REQUIRED FOR INFRASTRUCTURE. GC TO CORE ALL PRECAST PANELS AS REQUIRED FOR NEW CONSTRUCTION. REFER TO MEPPF DRAWINGS FOR ADDITIONAL INFORMATION.

SHEET KEYNOTES

- 1 REMOVE PORTION OF EXISTING RIBBON WINDOW (GLASS, GLAZING SEALS, AND FRAMING).
- 2 DEMOLISH EXISTING EXTERIOR GLASS CURTAIN WALLS (AND PARTITIONS).
- 3 DEMOLISH PRECAST PANEL ASSEMBLIES AT EXTERIOR COLUMNS. REFER TO STRUCTURAL DRAWING FOR COLUMN DEMOLITION.
- 4 DEMOLISH EXISTING EXTERIOR PRECAST STRUCTURE.
- 5 DEMOLISH EXISTING EXTERIOR PARTITIONS.
- 6 DEMOLISH EXISTING DOOR AND FRAME.
- 7 NOT USED
- 8 REMOVE PORTION OF EXISTING RIBBON WINDOW (GLASS AND GLAZING SEALS). PREPARE OPENINGS FOR NEW SPANDREL GLASS. FRAME TO REMAIN.
- 9 G.C. TO CREATE OPENING IN EXISTING PRECAST PANEL FOR NEW OVERFLOW ROOF DRAIN INSTALLATION. REFER TO STRUCTURAL AND PLUMBING DWGS. FOR ADDITIONAL INFO. COORDINATE LOCATION AND SIZE WITH P.C.
- 10 REMOVAL OF EXISTING GRADE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 REMOVE EXTERIOR OVERHEAD DOOR CANOPY AND UNDER LIGHTING.
- 12 CORE EXISTING PRECAST PANEL FOR THROUGH-WALL KILN EXHAUST. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFO.

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CONSTRUCTION

LEGEND

--- SECTOR DESIGNATION

ISSUE HISTORY

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1	2025-03-28	3RD ISSUE

SHEET TITLE
EXISTING CONDITIONS
& DEMOLITION
ELEVATIONS

DRAWING NUMBER

AD200

SHEET NOTES
1. REFER TO SECTOR PLANS FOR DIMENSIONS, WALL TYPES,
AND ENLARGED PLAN CALLOUTS.

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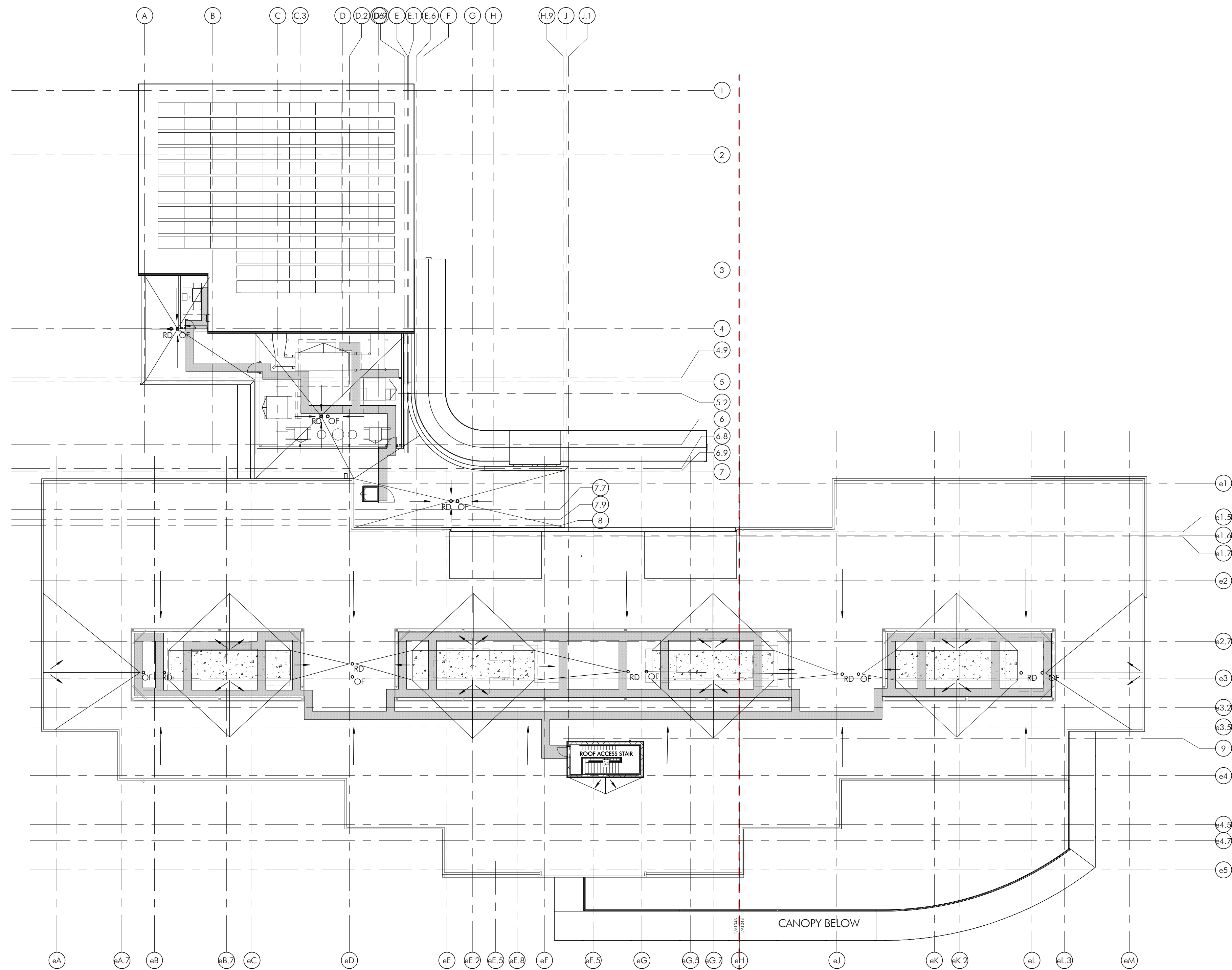
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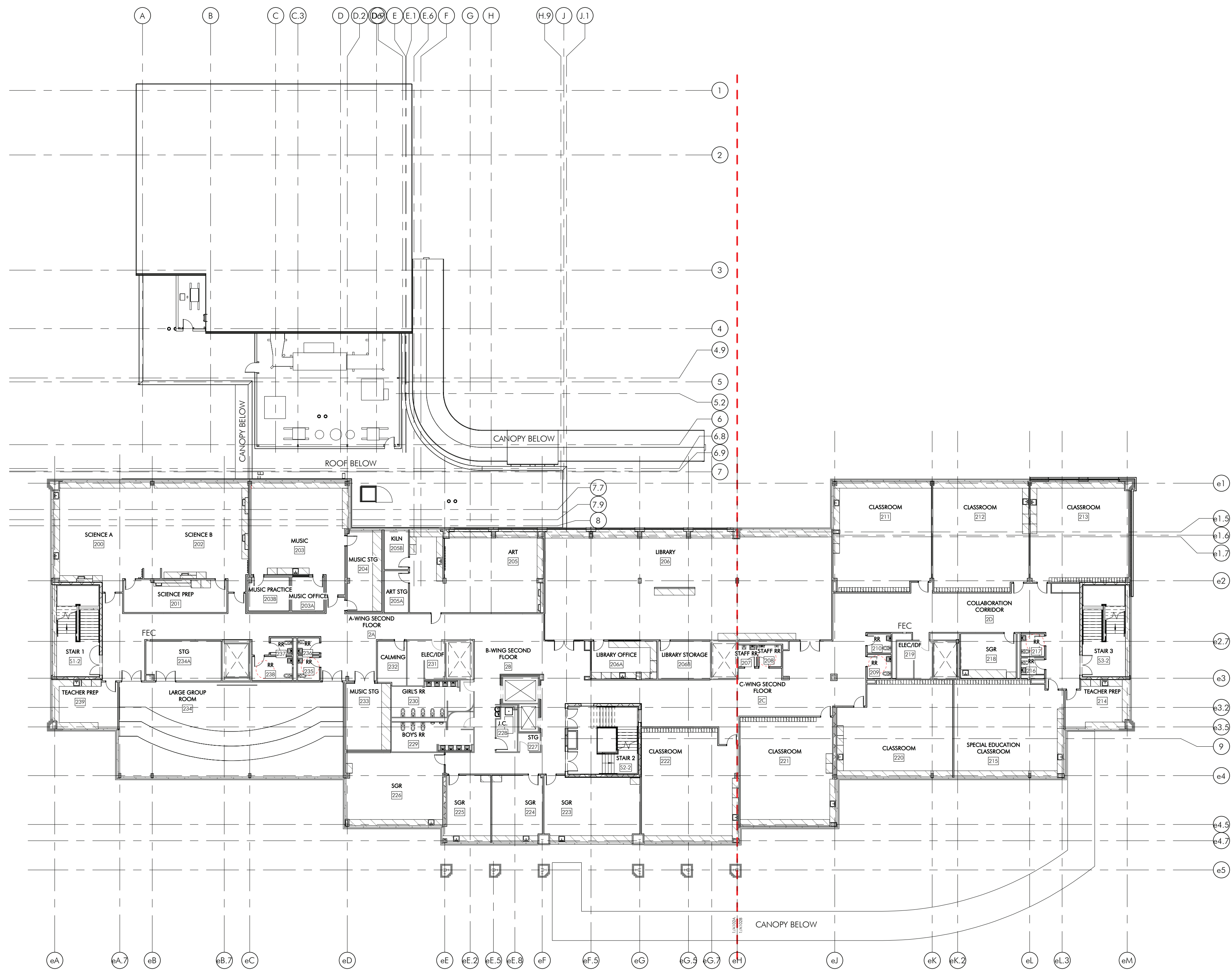
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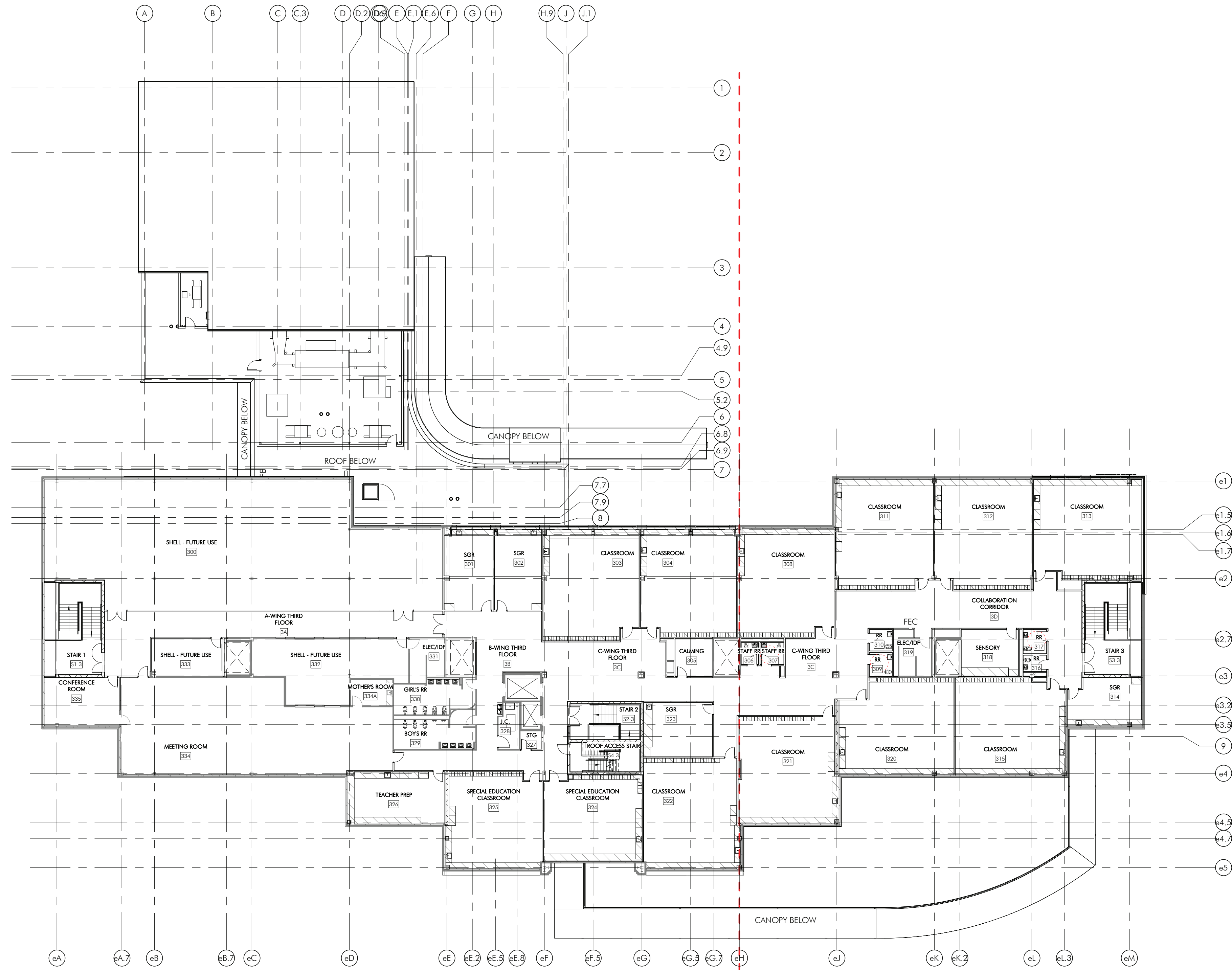
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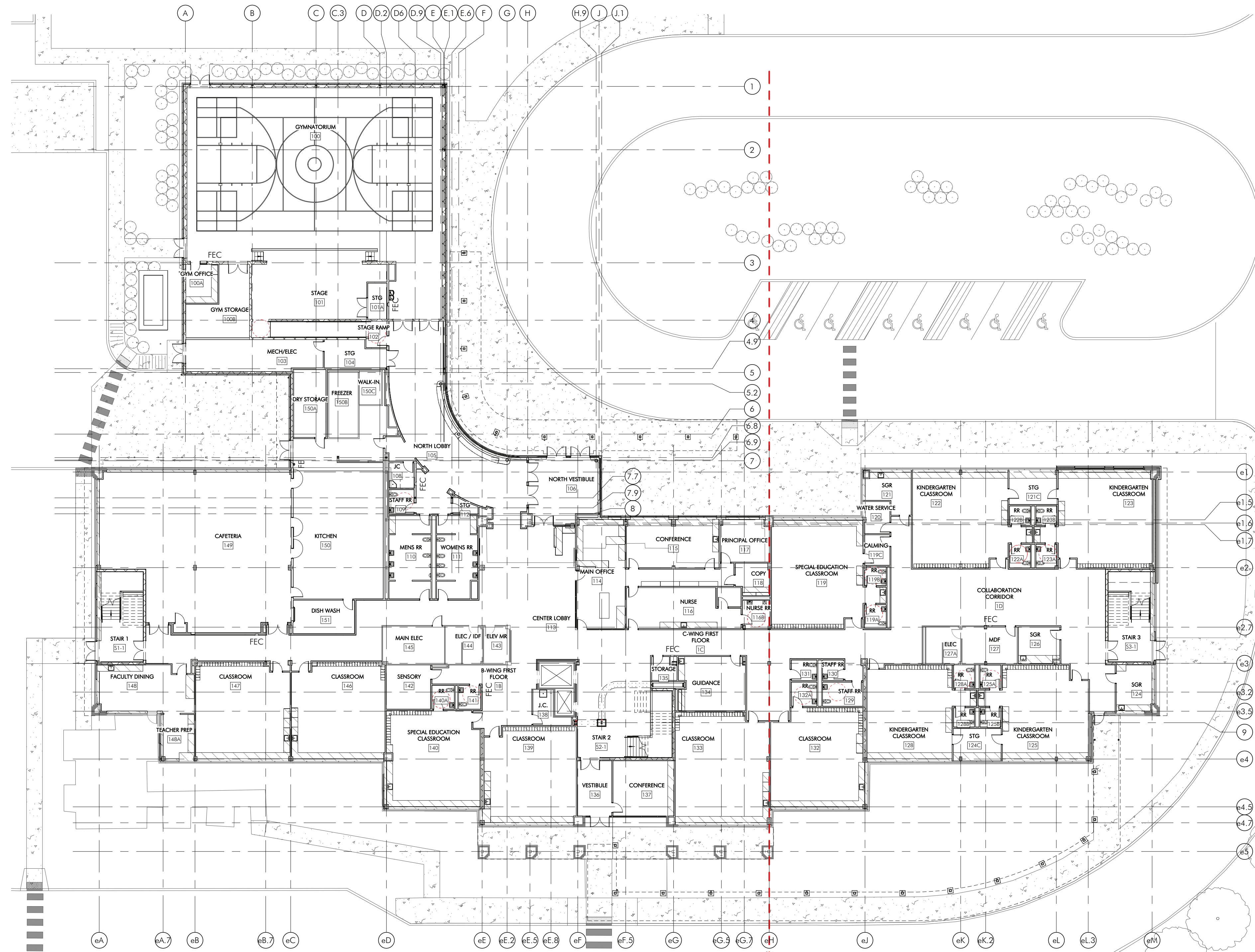
4
A100
NEW CONSTRUCTION ROOF PLAN
1" = 20'-0"



2
A100
NEW CONSTRUCTION SECOND FLOOR PLAN
1" = 20'-0"

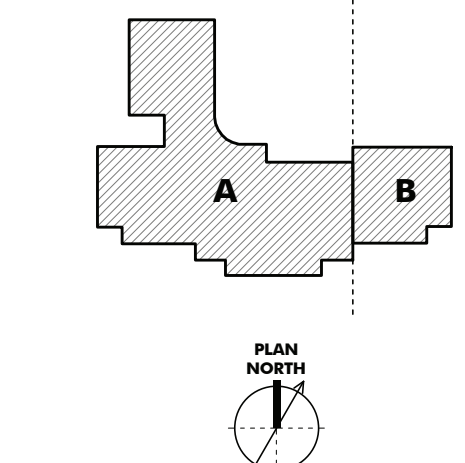


3
A100
NEW CONSTRUCTION THIRD FLOOR PLAN
1" = 20'-0"



1
A100
NEW CONSTRUCTION FIRST FLOOR PLAN
1" = 20'-0"

KEYPLAN



LEGEND

--- SECTOR DESIGNATION

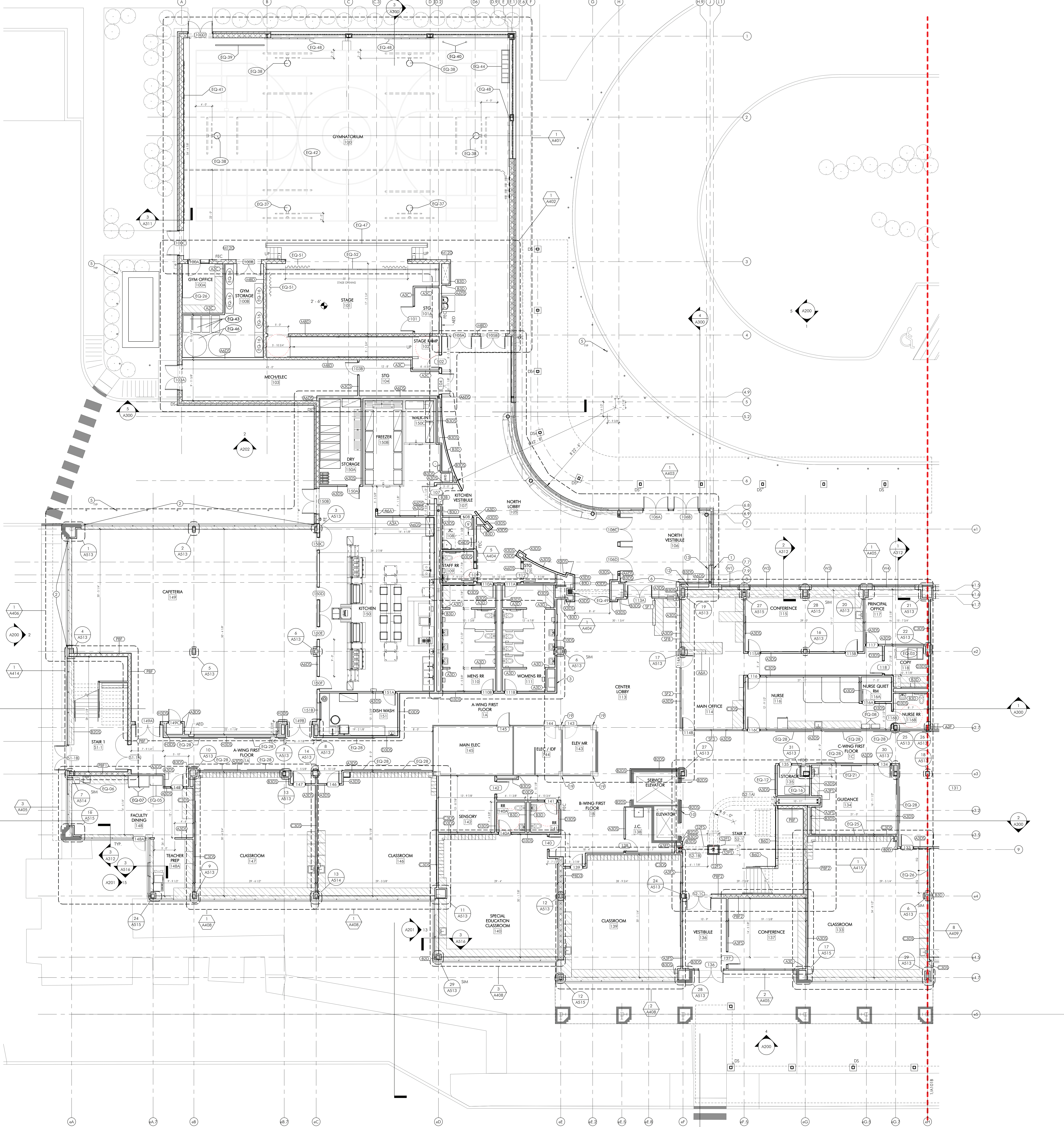
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SHEET TITLE
NEW CONSTRUCTION
OVERALL PLANS

DRAWING NUMBER

A100



- SHEET NOTES**
1. REFER TO SHEET A001 FOR ADDITIONAL NEW CONSTRUCTION NOTES.
 2. REFER TO A401 FOR PARTITION SCHEDULE AND DETAILS.
 3. REFER TO A401 FOR WINDOW SCHEDULE AND DOOR AND FRAME SCHEDULE.
 4. ALL DIMENSIONS ARE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
 5. ALL EXTERIOR WALL AND ROOF PENETRATIONS TO BE MADE BY GC. REFER TO MECH. AND ELEC. DWGS FOR PENETRATIONS REQUIRED. I/C AND E/C TO PROVIDE FINAL SIZE AND LAYOUT ON SITE FOR GC COORDINATION. REFER TO A510 FOR TYPICAL DETAILS.
 6. (FOR MULTI PRIME PROJECTS)
 - A. ALL INTERIOR WALL PENETRATIONS TO BE MADE BY PRIME CONTRACTOR REQUIRING THE PENETRATIONS, UNLESS NOTED OTHERWISE. EACH PRIME IS RESPONSIBLE FOR PROTECTION OF EXISTING CONDITIONS TO REMAIN INCLUDING BUT NOT LIMITED TO FLOORING, WALLS, FURNITURE, AND/OR.
 - B. PATCH/REPAIR ALL EXISTING PARTITIONS WITHIN SCOPE OF WORK WHERE MEPP/PP DEVICES HAVE BEEN REMOVED AND WHERE A PORTION OF WALL HAS BEEN REMOVED FOR A NEW MEPP/PP DEVICE, INCLUDING BUT NOT LIMITED TO PANELS, ATTACHMENTS, FIXTURES AND DEVICES. U/I/C. COORDINATE LOCATIONS WITH MEPP/PP CONTRACTORS AND REFER TO MEPP/PP DWGS FOR ADDITIONAL INFO.
 - C. PATCH/REPAIR ALL EXISTING PARTITIONS WITHIN SCOPE OF WORK WHERE MEPP/PP DEVICES HAVE BEEN REMOVED AND WHERE A PORTION OF WALL HAS BEEN REMOVED FOR A NEW MEPP/PP DEVICE, INCLUDING BUT NOT LIMITED TO PANELS, ATTACHMENTS, FIXTURES AND DEVICES. U/I/C. COORDINATE LOCATIONS WITH MEPP/PP CONTRACTORS AND REFER TO MEPP/PP DWGS FOR ADDITIONAL INFO.
 7. PREP ALL SURFACES FOR NEW FINISH. COORDINATE FINISHES WITH A12 SERIES FINISH DRAWINGS.
 8. EXISTING FLOOR SLAB SHALL BE PATCHED, REPAIRED, REFINISHED AND LEVELED AS REQUIRED TO RECEIVE NEW FINISH MATERIALS.
 9. FIRE EXTINGUISHER NOTE:
 - A. ALL FIRE EXTINGUISHERS/CABINETS ARE NEW. PROVIDE AND INSTALL NEW BUILDING STANDARD SEMI-RECESSED FIRE EXTINGUISHERS. CABINETS AS INDICATED AND REQUIRED BY CODE. PROVIDE AND INSTALL FIRE EXTINGUISHER STAND-OUT SIGNS ARE REQUIRED BY CODE ABOVE CABINET (SPECIFICATION: BROOKS EQUIPMENT CO., INC. PTD182 FIRE EXTINGUISHER STAND-OUT SIGN).
 10. PROVIDE AND INSTALL ADA COMPLIANT WALL-MOUNTED EXIT SIGNS (TACTILE) AT EACH EXIT DOOR AS REQUIRED TO MEET ADA, LIFE SAFETY CODE, AND ALL APPLICABLE LOCAL CODES.
 11. AT ALL INTERIOR WINDOW SILLS, ADD [S5.1] REFER TO A512 FOR TYPICAL SILL DETAIL.
 12. AT ALL EXISTING INTERIOR LOW STUD PARTITIONS AT EXTERIOR WALL, PROVIDE GVB FINISH, REPLACE SABS WHERE REMOVED OR MISSING.
 13. CASEWORK NOTE - SIM PLANS.
 14. REFER TO A441 - ALAB SLAB EDGE RAILS FOR EXTENTS OF NEW SABS AND INFILL. REFER ALSO TO STRUCTURAL DWGS.
 15. WHERE INTERIOR SCREW HOLES REMAIN VISIBLE AT EXISTING SSC FRAMING, PROVIDE CLEAR ACROLIC SEALANT CUT FLUSH WITH EXISTING FACE OF FRAMING. PAINT TO MATCH FRAMING FINISH. COORDINATE WITH WINDOW TREATMENTS.

- SHEET NOTES**
1. SURFACE MOUNTED KNOCK VOLT, MODEL 4400, BLACK. MOUNT 3" 8" AFF.
 2. 60/40 PERFORATED WINDOW FILM.
 3. BOOK RETURN.
 4. SPANDREL GLASS. REFER TO A201 FOR ADDTL. INFO.
 5. BOLLARD, TYP. REFER TO CIVIL PLANS FOR LOCATIONS AND QUANTITY. SEE SHEET A517 FOR TYPICAL DETAILS.
 6. ALIGH.
 7. FIRE DEPARTMENT CONNECTION (FDC). REFER TO PLUMBING DWGS. FOR ADDTL. INFO.
 8. NOT USED.
 9. ROOF HATCH ABOVE.
 10. PROVIDE ELEVATOR KEYSWITCH OPERATION. PUSH BUTTONS ARE ACTIVATED AND DEACTIVATED BY SECURITY KEYSWITCHES AT CAR-CONTROL STATION.
 11. FIRE RATED ACCESS PANEL 2'-6" X 2'-6" MTD. 4'-4" AFF. ABOVE THE WAINSCOTING. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 12. PROVIDE CHASE FOR CABINET HEATER. VERIFY EQUIPMENT DIMENSIONS IN FIELD.
 13. PA M/C BOX. REFER TO ELEC DWGS FOR ADDTL. INFORMATION.
 14. FIRE RATED ACCESS PANEL 2'-6" X 2'-6" MTD. 4'-4" AFF. ABOVE THE WAINSCOTING. REFER TO SPECIFICATIONS FOR ADDTL. INFO.
 15. ACCESS PANEL 1'-0" X 1'-0" MTD. ABV GRAB BARS. REFER TO SPECIFICATIONS FOR ADDTL. INFO.
 16. FLOOR SCRUBBER SHOWN FOR REFERENCE. ENSURE CLEAR 22" PATH THROUGH DOOR TO FLOOR SHM.
 17. TERMINATE WALL & ABOVE CEILING FOR FIRE DAMPER ACCESS AT THE MECHANICAL SHFT.
 18. REFER TO ROOF SECTOR PLAN FOR ADDTL. INFO.
 19. CONFIRM EXISTING PARTITION CONSTRUCTION. PATCH AND REPAIR EXISTING PARTITION CONSTRUCTION AS REQUIRED TO PROVIDE A CONTINUOUS ASP PARTITION ENCLOSURE.
 20. PROVIDE ACOUSTICAL TAPE AND SEALANT EACH SIDE OF PARTITION AT MILLION. PROVIDE 1/2" TRIM MOLDING BOB. FRY REGLET DRWL-1625 AS REQD.

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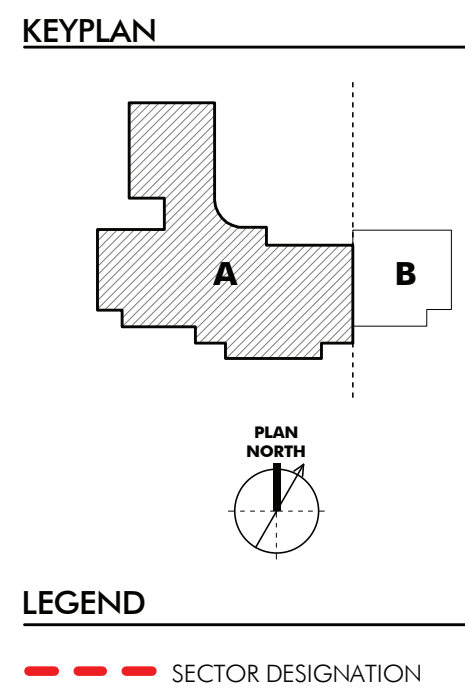
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SHEET TITLE
NEW CONSTRUCTION FIRST FLOOR PLAN - SECTOR A

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