

MASONRY RESTORATION NOTES:

- QUALITY ASSURANCE
- A. FIELD EXAMPLE PRIOR TO PERFORMING THE WORK, PREPARE A SAMPLE PANEL OF NO LESS THEN 12 # FOR EACH TYPE OF MASONRY RESTORATION WORK REQUIRED. DO NOT PROCEED FURTHER WITH WORK UNTIL THE SAMPLE PANEL HAS BEEN APPROVED BY THE OWNER AND ARCHITECT. APPROVED SAMPLE WILL BE USED AS QUALITY STANDARDS FOR THE WORK. MAINTAIN APPROVED SAMPLES AT THE SITE UNTIL THE WORK IS COMPLETE.
1. SAMPLE PANELS MAY BE PORTION OF EXISTING MASONRY WHICH IS TO BE RESTORED AT A LOCATION DIRECTED BY THE ARCHITECT.
- B. MATERIAL CONTAINER LABELS: MATERIAL CONTAINERS SHALL BEAR THE MANUFACTURER'S LABEL INDICATING THE MANUFACTURES NAME, TRADE NAME OF PRODUCT, LOT NUMBER, SHELF LIFE OF PRODUCT, AND MIX RATIO (IF APPLICABLE).

DELIVERY, STORAGE AND HANDLING:

- A. PACKAGE PRODUCTS:
1. DELIVER MATERIAL TO THE SITE IN TET MANUFACTURES ORIGNAL, SEALED CONTAINERS. DO NOT DELIVER MATERIALS WHICH HAVE EXCEED SHELF LIFE LIMITATION SET FORTH BY THE MANUFACTURER.
2. COMPLY WITH MANUFACTURER'S PRINTED INSTRUCTIONS FOR STORING AND PROTECTING MATERIALS.
- B. BULK AGGREGATE: STORE IN A MANNER WHICH WILL KEEP AGGREGATE CLEAN AND PROTECTED FROM THE WEATHER ELEMENTS.

PROJECT CONDITIONS:

- A. ENVIRONMENTAL REQUIREMENT:
1. FOR FACTORY PACKAGED PRODUCTS, COMPLY WITH MANUFACTURER'S PRINTED LIMITATIONS AND INSTURCTUONS.
2. AT TEMPERATURES BELOW 40° F, MAINTAIN MORTAR TEMPERATURE BETWEEN 40° F AND 120° F UNLESS OTHERWISE RECOMENDED BY THE PRODUCT MANUFACTURER. IF NECESSARY, HEAT MIXING WATER AND SAND TO PRODUCE THE REQUIRED
3. AT TEMPERATURES BETWEEN 32° F AND 20° F, PROVIDE WIND BREAKS AND COVER THE RESTORED MASONRY TO PREVENT WETTING AND FREEZING. MAINTAIN RESTORED MASONRY ABOVE FREEZING FOR NOT LESS THAN 16 HOURS USING AUXILIARY HEAT OR INSULATION BLANKETS.
4. AT TEMPERATURES LESS THAN 20° F, PROVIDE HEATED ENCLOSURES FOR PERFORMING THE WORK. AT THE END OF WORKDAY, MAINTAIN THE ENCLOSURE AND KEEP WORK FROM FREEZING FOR NOT LESS THAN 24 HOURS.
5. DO NOT LOWER FREEZING POINT OF MORTAR BY USE OF ANTIFREEZE, CALCIUM CHLORIDE, OR OTHER ADDITIVES.
6. DO NOT USE FROZEN MATERIALS COOLED WITH ICE OR FROST.

MASONRY RESTORATION SCHEDULE:

Schedule of Restoration: (1) North Elevation		
	Quantity:	Detail:
Brick Repointing Repair:	22 LFT	5/A2.0
Brick Replacement Repair:	0 # of Bricks	6/A2.0
Sealant Replacement Repair:	1029 LFT	7/A2.0
Stucco Repair:	0 SQFT	—

Schedule of Restoration: (5) Partial North Elevation		
	Quantity:	Detail:
Brick Repointing Repair:	270 LFT	5/A2.0
Brick Replacement Repair:	182 # of Bricks	6/A2.0
Sealant Replacement Repair:	823 LFT	7/A2.0
Stucco Repair:	0 SQFT	—

Schedule of Restoration: (3) South Elevation		
	Quantity:	Detail:
Brick Repointing Repair:	19 LFT	5/A2.0
Brick Replacement Repair:	22 # of Bricks	6/A2.0
Sealant Replacement Repair:	72 LFT	7/A2.0
Stucco Repair:	0 SQFT	—

Schedule of Restoration: (4) Partial South Elevation		
	Quantity:	Detail:
Brick Repointing Repair:	306 LFT	5/A2.0
Brick Replacement Repair:	59 # of Bricks	6/A2.0
Sealant Replacement Repair:	907 LFT	7/A2.0
Stucco Repair:	0 SQFT	—

Schedule of Restoration: (6) East Elevation		
	Quantity:	Detail:
Brick Repointing Repair:	2111 LFT	5/A2.0
Brick Replacement Repair:	44 # of Bricks	6/A2.0
Sealant Replacement Repair:	1493 LFT	7/A2.0
Stucco Repair:	0 SQFT	—

Total Summary: All Elevations		
	Quantity:	Detail:
Brick Repointing Repair:	2891 LFT	5/A2.0
Brick Replacement Repair:	496 # of Bricks	6/A2.0
Sealant Replacement Repair:	5795 LFT	7/A2.0
Stucco Repair:	10 SQFT	—

Schedule of Restoration: (5) West Elevation		
	Quantity:	Detail:
Brick Repointing Repair:	163 LFT	5/A2.0
Brick Replacement Repair:	189 # of Bricks	6/A2.0
Sealant Replacement Repair:	1471 LFT	7/A2.0
Stucco Repair:	10 SQFT	—

Conc. Rest. @ Loading Dock: East Elev.		
	Quantity:	Detail:
Concrete Spall Repair:	33 SQFT	1/S-3.2
Concrete Crack Repair:	44 LFT	J/S-3.2

- MATERIALS:
- A. MORTAR TYPE: TBD
- B. MORTAR COLOR: FOR MORTAR SELECT MATERIALS (COMPLY WITH REQUIREMENTS) AND PROPORTION PIGMENTS WITH OTHER INGREDIENTS AS NECESSARY TO MATCH THE COLOR OF EXISTING CORESPONDING MATERIALS.
- C. MORTAR PIGMENTS: HIGH PURITY, FINELY GROUND, CHEMICALLY INERT, UNFADING, LIME PROOF MINERAL OXIDES ESPECIALLY PREPARED FOR USE IN MORTAR.
- D. MASONRY UNITS: MATCH EXISTING UNITS IN TYPE, GRADE SIZE, APPEARANCE AND TEXTURE UNLESS OTHERWISE INDICATED.
- PREPARATION:
- A. PROTECTION: PROTECT ADJACENT SURFACES NOT BEING RESTORED. PROTECT SILLS, LEDGES AND PROJECTIONS FROM MATERIAL DROPPINGS.
- B. SURFACE PREPARATION:
1. PREPARE SURFACES TO BE RESTORED IN COMPLIANCES WITH PRODUCT MANUFACTURERS PRINTED INSTRUCTION AND AS TO REMAIN. PERFORM THE REMOVAL WORK WITH SUCH CARE AS MAY BE REQUIRED TO PREVENT DAMAGE TO ADJOINING MASONRY WHICH IS TO REMAIN.
2. REMOVE DUST, DIRT, AND FOREIGN MATERIAL FROM SURFACE TO BE RESTORED.
3. CLEAN AREA TO BE RESTORED WITH COMPRESSED AIR OR WATER FLUSHING, EXCEPT AS OTHERWISE RECOMMEND BY THE MORTOR MANUFACTURER.
- C. MATERIAL PREPARATION:
1. DRY MASONRY CONCRETE UNITS AND STONE THAT HAVE BECOME WET. DO NOT WET THESE MASONRY UNITS.
2. WET BRICKS THAT HAVE HIGH ABSORPTION RATE. WET BRICK UNTIL WATER RUNS OFF. INSTALL BRICKS WHEN SURFACE IS SLIGHTLY DAMP.
3. PREPARE EXPOSED MORTAR POINTING, MORTAR TO MATCH THE COLOR AND APPEARANCE OF EXISTING ADJOINING MORTAR.

REPOINTING JOINTS:

- A. RAKE OR CUT OUT JOINTS TO A MINIMUM DEPTH OF 1" AND UNTIL SOUND SURFACE IS REACHED. WHERE CUTTING IS REQUIRED TO REMOVE EXISTING MORTAR AND JOINT FILLER, USE A ROTARY POWER MASONRY SAW WHEREVER POSSIBLE WITHOUT DAMAGING MASONRY. CUT THE MORTAR AND JOINT FILLER CLEARLY FROM THE SIDES OF THE JOINTS, LEAVING SQUARE CORNERS. FLUSH JOINTS WITH WATER OR COMPRESSED AIR.
- B. DAMPEN JOINTS SLIGHTLY BEFORE APPLICATIONS OF MORTAR, MAKING SURE THERE IS NO FREE WATER BACKPACK JOINT OUT TO A DEPTH OF 5/8" FROM THE FACE OF MASONRY WITH MORTAR. AFTER BACKPACKING MORTAR HAS ATTAINED INITIAL SET, REDAMPEN REMAINING 5/8" DEPTH OF JOINTS, FILL WITH MORTAR POINTING AND FINISH JOINTS TO MATCH EXISTING ADJOINING JOINTS.

REPLACING MASONRY UNITS:

- A. PROVIDE TEMPORARY SHORING OR OTHER SUPPORTS AS REQUIRED TO REVENT DISPLACEMENT OF EXISTING MASONRY WHICH IS TO REMAIN. PERFORM THE REMOVAL WORK WITH SUCH CARE AS MAY BE REQUIRED TO PREVENT DAMAGE TO ADJOINING MASONRY WHICH IS TO REMAIN.
- B. REMOVE THE DETERIORATING AND DAMAGED MASONRY UNITS TO THEIR FULL DEPTH, INCLUDING THE SURROUNDING MORTAR JOINTS. WHEREVER POSSIBLE WITHOUT DAMAGING MASONRY, USE A ROTARY POWER MASONRY SAW FOR CUTTING WORK. LEAVE SQUARE CORNERS AT ADJOINING MASONRY WHICH IS TO REMAIN. CLEAN JOINTS AND CAVITIES WITH WATER OR COMPRESSED AIR.
- C. DAMPEN CONTACT SURFACES SLIGHTLY BEFORE APPLICATION OF MORTAR, MAKING SURE THERE IS NO FREE WATER. INSTALL MATCHING MASONRY UNITS WITH MORTAR. INSTALL UNITS TO MATCH AND ALIGN WITH EXISTING MASONRY. MAINTAIN BANDING AND COURSING PATTERN OF EXISTING MASONRY. USE PRESOAKED WOOD WEDGES WHERE NECESSARY TO PROPERLY SET THE UNITS AND MAINTAIN UNIFORM MATCHING JOINTS. BACKPACKING AND FILL JOINTS FULL OF MORTAR. FINISH JOINTS TO MATCH EXISTING ADJOINING JOINTS.

CLEANING:

- A. AS THE WORK PROCEEDS AND AFTER COMPLETION OF WORK REMOVE EXCESS MORTAR, DROPPINGS, SMEARS, STAINS, AND OTHER SOILING SUBSTANCES RESULTING FROM THE WORK. REMOVE MISPLACED MATERIALS FROM SURFACES IMMEDIATELY.
- B. PROVIDE COMPREHENSIVE BUILDING CLEANING AT THE END OF WORK.

GENERAL MASONRY REPAIR / CLEANING NOTES:

BRICK - CLEAN ENTIRE BUILDING. SOME JOINTS WILL REQUIRE RE-POINTING. INCLUDE 5,000 S.F. OF WALL AREA AS DIRECTED BY THE ARCHITECT. ALL CONTROL JOINTS SHALL RECEIVE NEW CAULK JOINTS

STEEL LINTELS, ALL EXISTING EXTERIOR - REMOVE PAINT, CLEAN, PREP AND REPAINT.

ASBESTOS PANELS - ALL EXISTING JOINTS WILL REQUIRE RE-POINTING & ALL CONTROL JOINTS SHALL RECEIVE NEW CAULK JOINTS

GENERAL EXTERIOR ELEVATION NOTES:

1. ALL COLOR SELECTIONS BY ARCHITECT / OWNER
2. PROVIDE ALL SAMPLE PANELS AS REQUIRED FOR ARCHITECT / OWNER REVIEW PRIOR TO WORK.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CAULKING, SEALING AND FLASHING AS REQUIRED FOR WATERTIGHT JOB.
4. THE ELECTRICAL CONTRACTOR IS TO FIELD VERIFY ALL EXTERIOR LIGHTING AND SPEAKER LOCATIONS W/ THE ARCHITECT / OWNER PRIOR TO INSTALLATION.
5. REFER TO MASONRY RESTORATION NOTES ON THIS DRAWING. ALL REPAIR LOCATIONS ARE TO BE CONFIRMED W/ OWNER AND ARCHITECT PRIOR TO WORK.
6. REFER TO ELECTRICAL DRAWINGS & MECHANICAL DRAWINGS FOR ALL ITEMS, DEVICES AND CONDUIT RUNS BEING REMOVED. THE G.C. SHALL PATCH REPAIR ALL MASONRY AFFECTED BY THIS DEMOLITION SCOPE.
7. CAULK JOINTS SHOWN ON EXISTING ELEVATIONS AREA DIAGRAMMATIC. FIELD CONFIRM ALL EXISTING LOCATIONS PRIOR TO BID.
8. ALL BRICK VENEER IN-FILL LOCATIONS TO BE TOOTHED-IN TO MATCH EXISTING ADJACENT AND TO CREATE A SMOOTH/FLUSH TRANSITION. G.C. TO IN-FILL WALL CAVITY WITH C.M.U. TO MATCH EXISTING ADJACENT AND TO CREATE A SMOOTH/FLUSH INTERIOR WALL CONDITION.

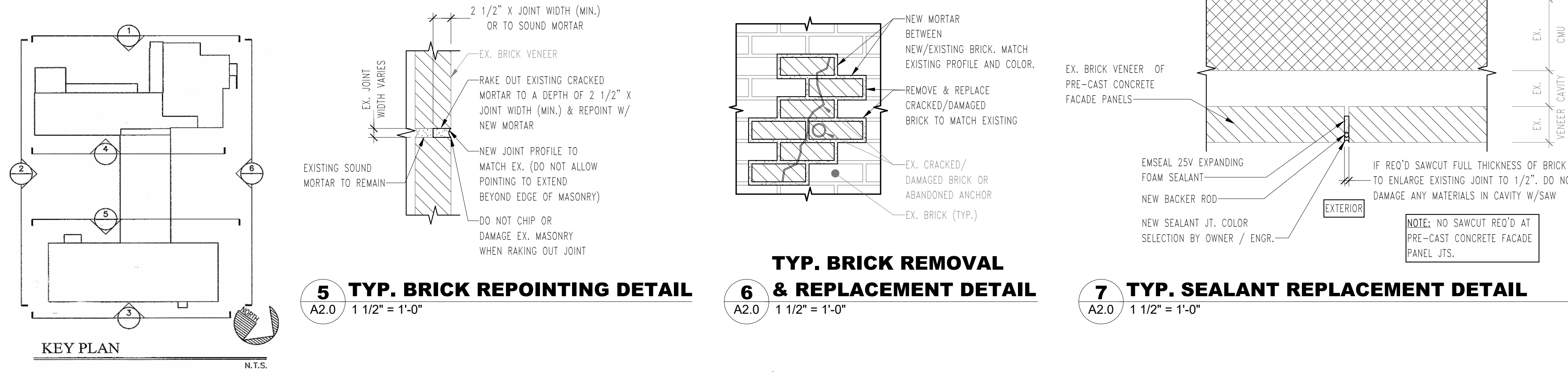
MASONRY STAINING

COLOR CORRECTION VIA BRICK STAINING

BRICK STAINING TO MATCH EXISTING BRICK.

CONTACT ONE OF THE FOLLOWING COMPANIES TO PERFORM COLOR CORRECTION VIA BRICK STAINING

PREFERRED BRICK STAINING : JOE HOLEHOUSE 443-617-5244
MASONRY COSMETICS: 732-358-9588
NAWKAW COSMETICS: 866-462-9529



1 OVERALL NORTH ELEVATION - BASE BID

2 OVERALL EAST ELEVATION - BASE BID

3 OVERALL WEST ELEVATION - BASE BID

4 OVERALL SOUTH ELEVATION - BASE BID

KEY PLAN LEVEL 1

MASONRY RESTORATION NOTES:

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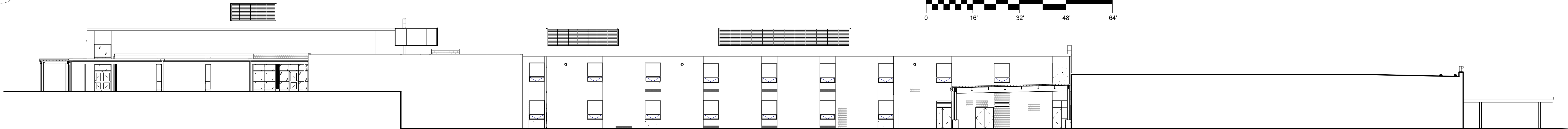
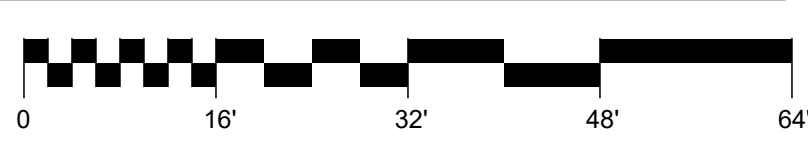
ASBESTOS PANELS - ALL EXISTING JOINTS WILL REQUIRE RE-POINTING & ALL CONTROL JOINTS SHALL RECEIVE NEW CAULK JOINTS

GENERAL EXTERIOR ELEVATION NOTES:

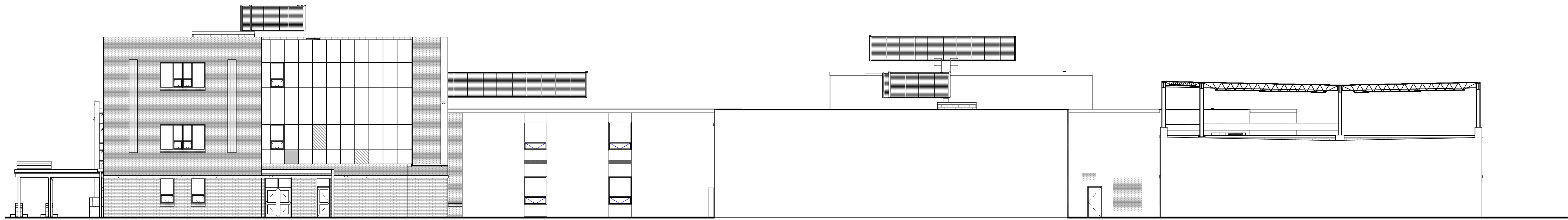
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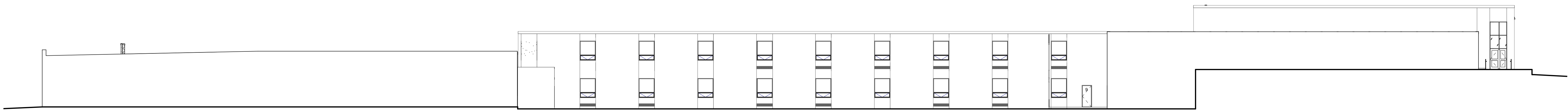
1 OVERALL NORTH ELEVATION - ALT 3
A2.0.3 1/16" = 1'-0"



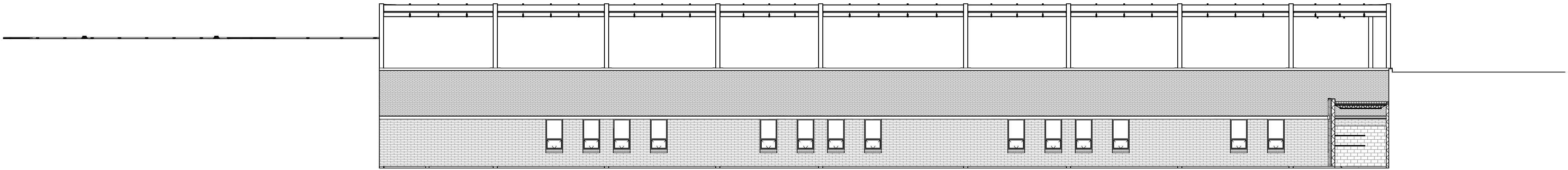
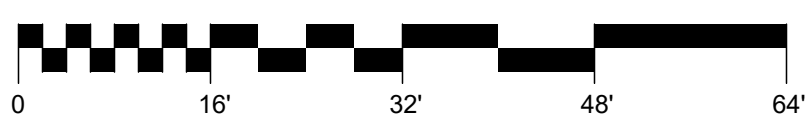
2 OVERALL WEST ELEVATION - ALT 3
A2.0.3 1/16" = 1'-0"



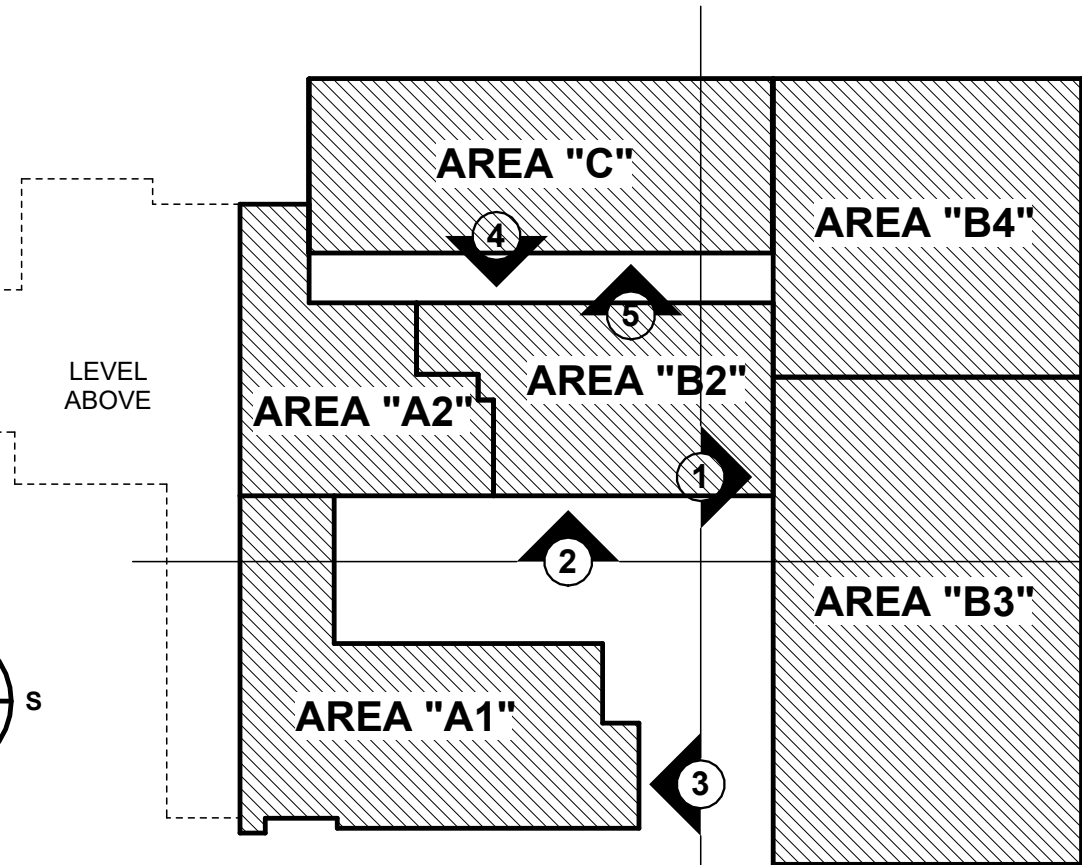
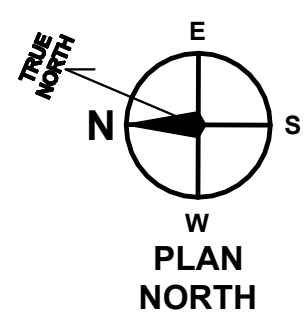
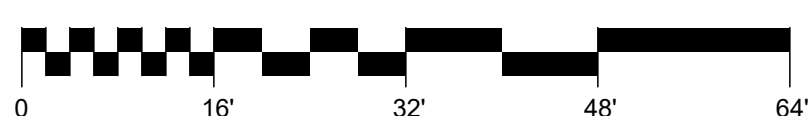
3 OVERALL SOUTH ELEVATION - ALT 3
A2.0.3 1/16" = 1'-0"



4 OVERALL EAST ELEVATION - ALT 3
A2.0.3 1/16" = 1'-0"



5 OVERALL WEST ELEVATION - ALT 3
A2.0.3 1/16" = 1'-0"



KEY PLAN LEVEL 1

CONSULTANT:



ADDITIONS AND RENOVATIONS TO THE
FOLCROFT TECHNICAL SCHOOL
DELAWARE COUNTY
INTERMEDIATE UNIT
701 HENDERSON BLVD.
FOLCROFT, PA 19032

ISSUE DATES
DATE: 03/17/2025
DESCRIPTION: BID SET

PROJ #: 21-DCIU-03 DRAWN BY: KLG

SHEET TITLE:
OVERALL EXTERIOR
ELEVATIONS - ALT 3

SHEET NUMBER:

A2.0.3

BID SET

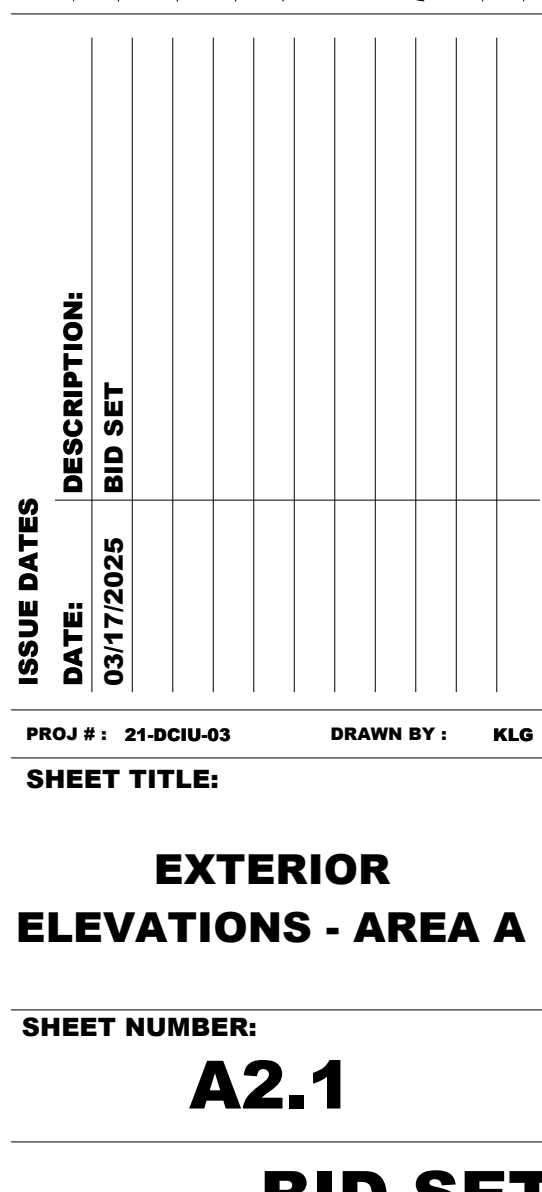
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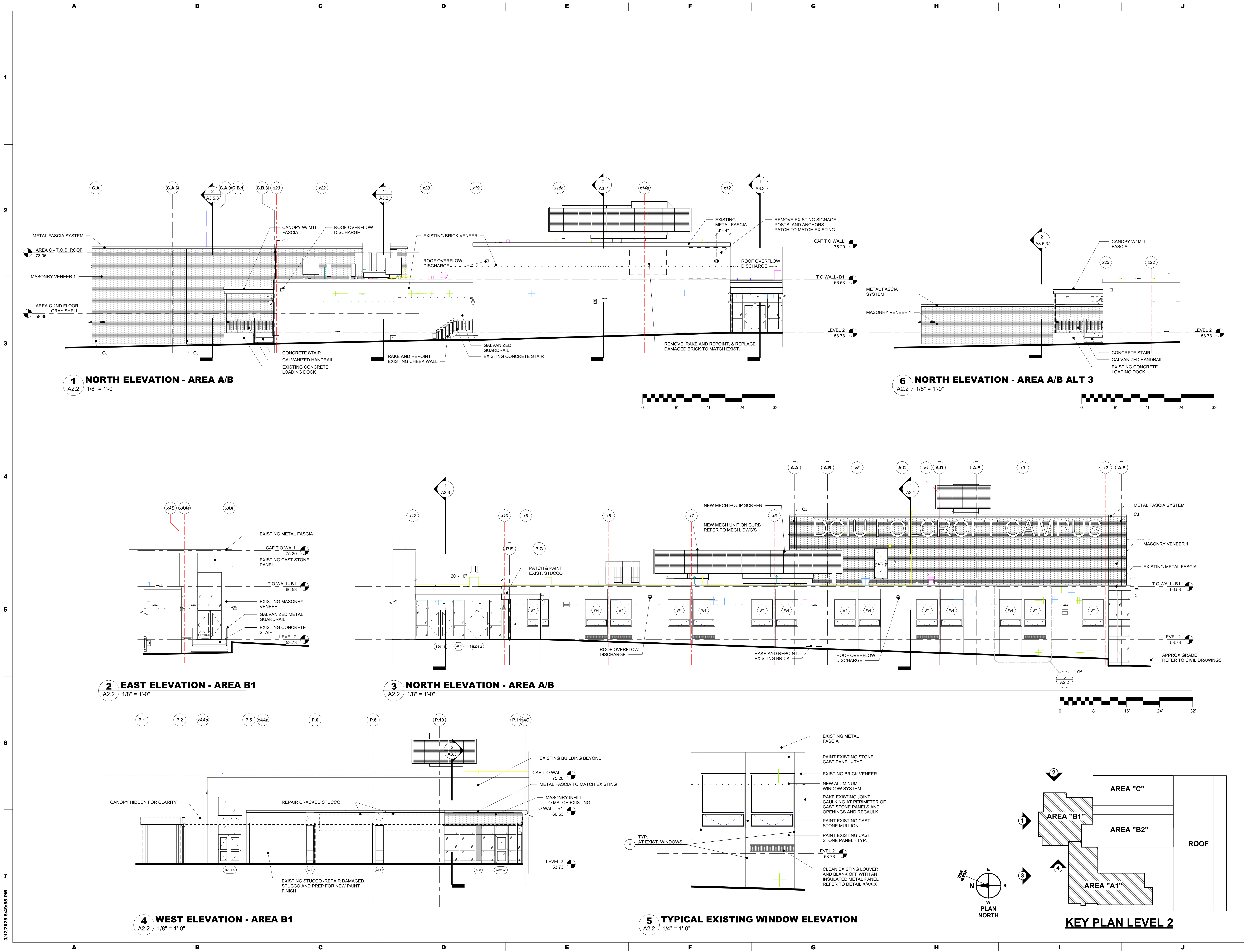
MAROTTA/MAIN
ARCHITECTS

WWW.MAROTTAMAIN.COM

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ARCHITECTS

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SEAL:

CONSULTANT:

Empowering Partnerships For Education

ADDITIONS AND RENOVATIONS TO THE
FOLCROFT TECHNICAL SCHOOL
DELAWARE COUNTY
INTERMEDIATE UNIT
701 HENDERSON BLVD.
FOLCROFT, PA 19032

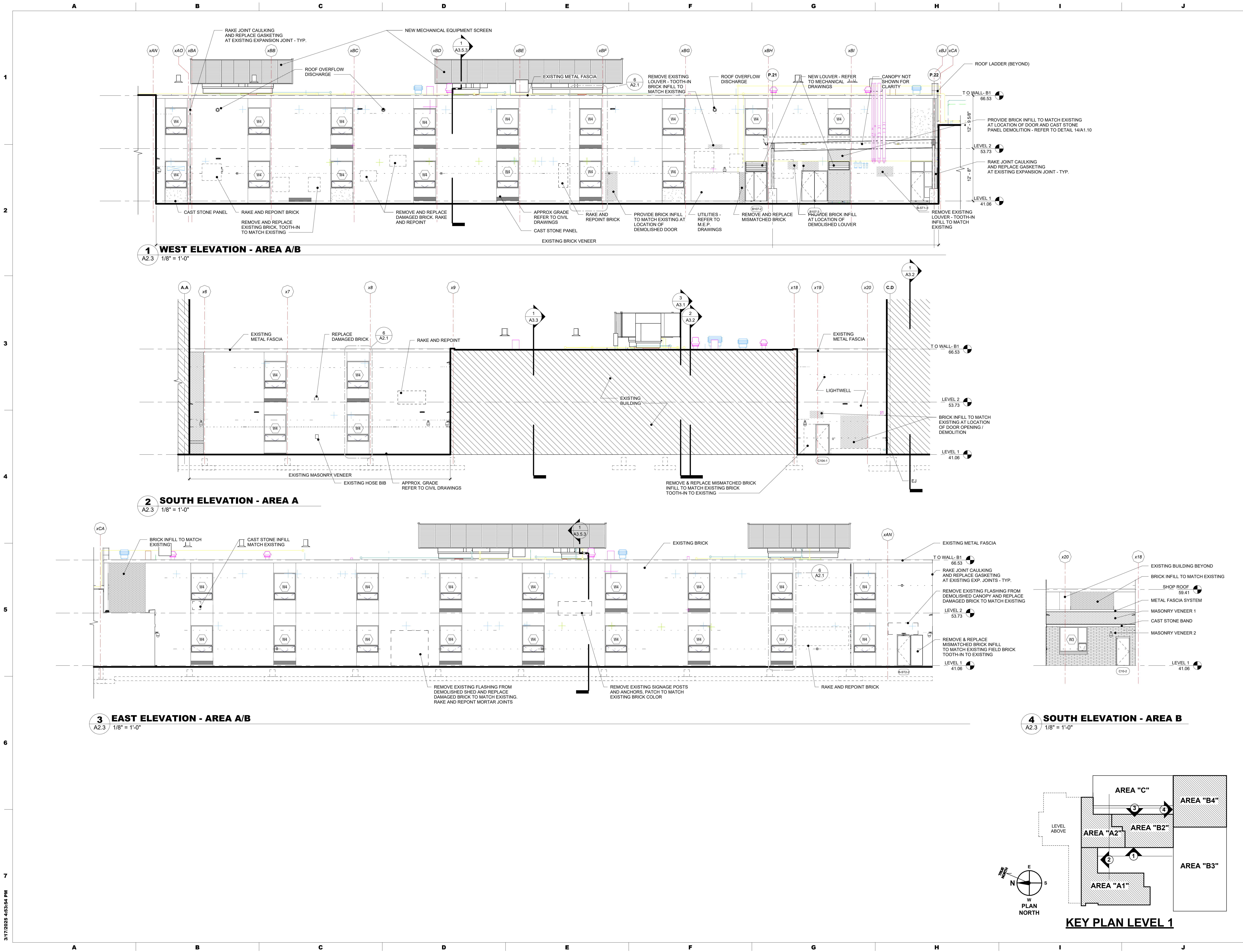
ISSUE DATES	DESCRIPTION
DATE: 03/17/2025	BID SET

PROJ # : 21-DCIU-03 DRAWN BY : Author

SHEET TITLE:
**EXTERIOR
ELEVATIONS - AREA
A/B**

SHEET NUMBER:
A2.2

BID SET





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CONSULTANT:



ADDITIONS AND RENOVATIONS TO THE
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DELAWARE COUNTY
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701 HENDERSON BLVD.
FOLCROFT, PA 19032

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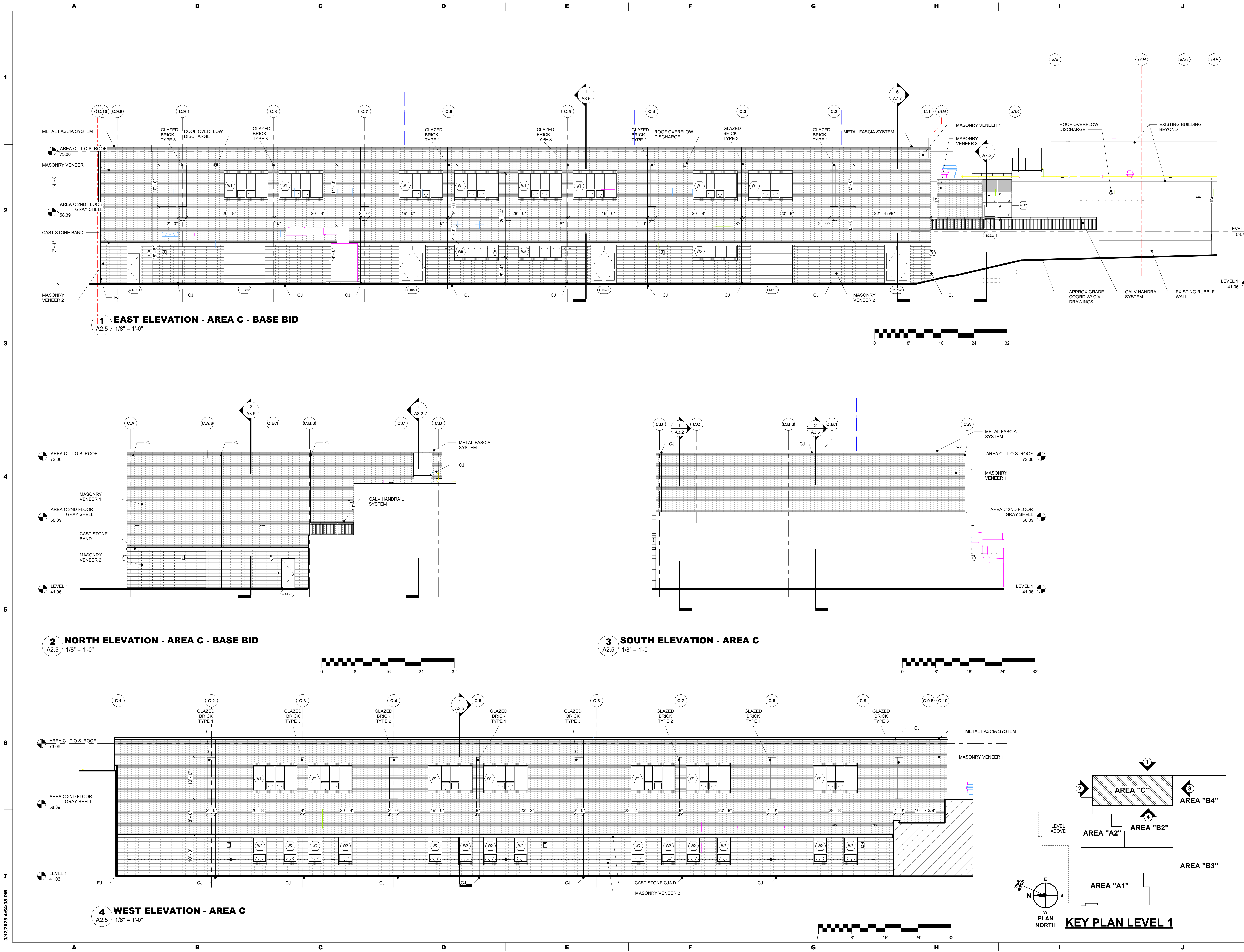
EXTERIOR ELEVATIONS - AREA B

SHEET NUMBER:

A2.4

BID SET

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MAROTTA/MAIN
ARCHITECTS

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CONSULTANT:

DCIU
Empowering Partnerships For Education

ADDITIONS AND RENOVATIONS TO THE
FOLCROFT TECHNICAL SCHOOL
DELAWARE COUNTY
INTERMEDIATE UNIT
701 HENDERSON BLVD.
FOLCROFT, PA 19032

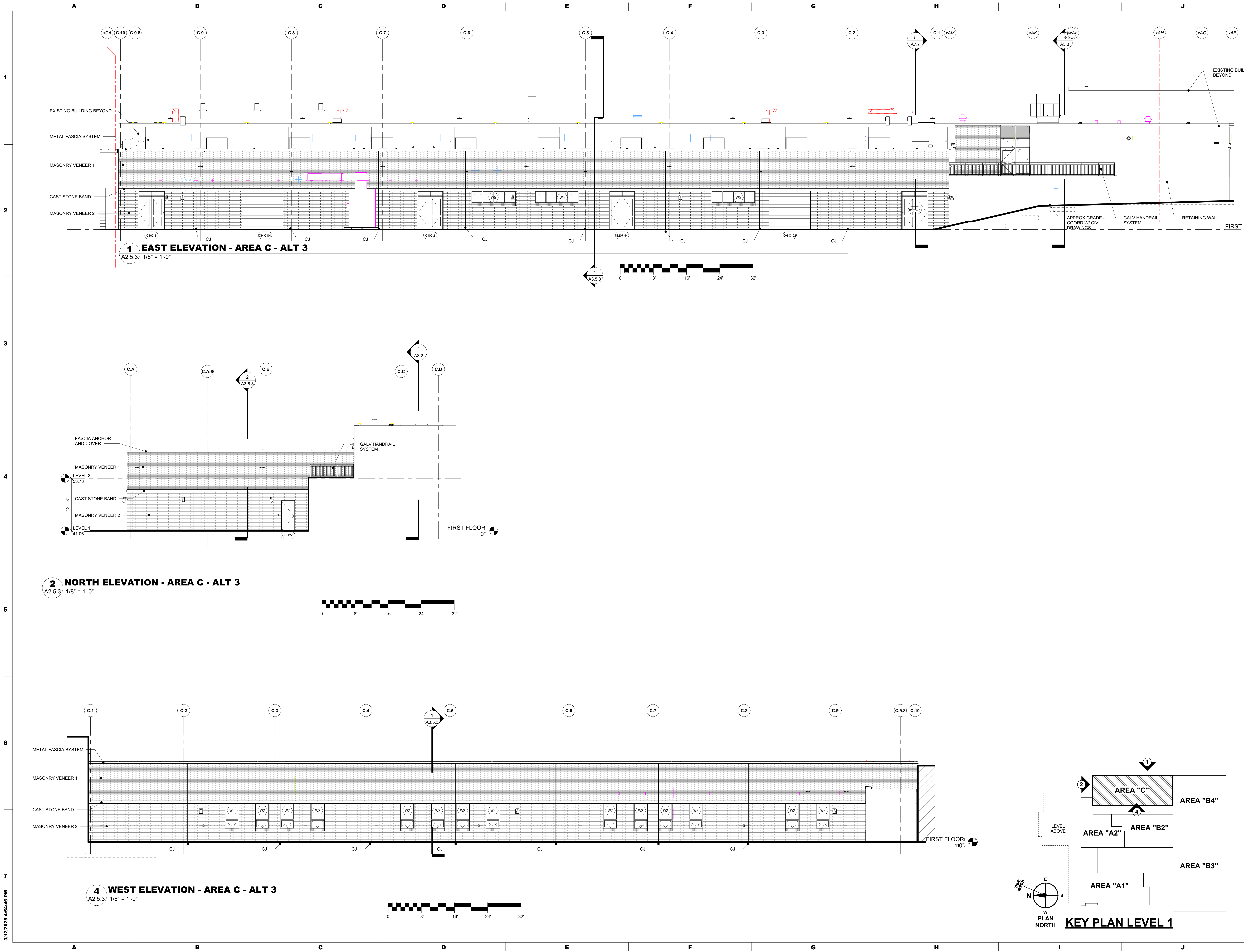
ISSUE DATES	DESCRIPTION
DATE: 03/17/2025	BID SET

PROJ # : 21-DCIU-03 DRAWN BY : KLG

SHEET TITLE:
**EXTERIOR
ELEVATIONS - AREA C**

SHEET NUMBER:
A2.5

BID SET



CONSULTANT:



ADDITIONS AND RENOVATIONS TO THE
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DELAWARE COUNTY
INTERMEDIATE UNIT
701 HENDERSON BLVD.
FOLCROFT, PA 19032

ISSUE DATES
DATE: 03/17/2025
DESCRIPTION: BID SET

PROJ # : 21-DCIU-03 DRAWN BY : KLG

SHEET TITLE:

EXTERIOR
ELEVATIONS - AREA C
- ALT 3

SHEET NUMBER:

A2.5.3

BID SET

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