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ADDENDUM NO. 1

March 19, 2025

School District of Haverford Township | Coopertown Elementary School Renovations & Additions
CRA Project No. 3758

TO: All Perspective Bidders and Other Recipients of Contract Drawings and Specifications

This Addendum is hereby made a part of the Contract Document, which will be the basis of the Contract. The Addendum is issued to modify and/or correct the original Contract Documents dated March 10, 2025. Attach this Addendum to your Contract Documents. Receipt of this Addendum must be acknowledged on the Proposal Form. Failure to do so may subject the bidder to disqualification.

GENERAL

1. Each Bid must be submitted on the form provided by the Architect/Engineer, and must be accompanied by a bid bond, certified check, or cashier's check equal to ten percent of the total price submitted inclusive of add alternates. The Owner also reserves the right to reject any or all Bids for any reason whatsoever.
2. The last day which Contractors can ask questions in writing will be five days prior to receipt of bids. Questions will be answered by Addendum only.
3. All bidders are hereby notified that they are responsible for reviewing all parts of this addendum for conditions and requirements that may apply to their individual contracts. All Plan Holders shall review their Bidding Documents against the Table of Contents and List of Drawings to ensure that all Specifications Sections and Drawings are in your possession.
4. The Existing Condition Drawings for Coopertown Elementary School are being issued to bidders as informational only information and is not considered part of the contract bidding documents.
5. See attached Prebid Sign-In Sheet

SPECIFICATIONS

SPECIFICATIONS – VOLUME 2

SECTION 260650 – LUMINAIRE SCHEDULE

1. **REPLACE** Luminaire Schedule with attached.

SECTION 260620 – SCHEDULES FOR ELECTRICAL DISTRIBUTION EQUIPMENT

1. Panel EDP circuit 25: **CHANGE** Amps to 15.
2. Panel EDP circuit 27: **ADD** 1P.15A breaker for EM Building Lighting with Note 8.
3. Panel ELA1 circuit 8: **ADD** Note 8.
4. Panel ELA1 circuit 17: **CHANGE** description to Spare.
5. Panel ELA1 circuit 21,23: **ADD** a 2P.15A breaker for Pole Ltg Egress Pathway with Note 5.
6. Panel ELC1 circuit 13: **CHANGE** description to Spare.
7. Panel ELD1 circuit 5: **ADD** Note 8.
8. Panel ELD1 circuit 9: **CHANGE** description to Spare.
9. Panel ELE1 circuit 19,21: **ADD** a 2P.15A breaker for Pole Ltg Egress Pathway with Note 5.
10. Panel LA1 circuit 63: **CHANGE** description to Relay Panel LCPA.
11. Panel LA1 circuit 65: **CHANGE** description to Building Lighting and **ADD** Note 8.
12. Panel LA1 circuit 40: **CHANGE** description to Spare.
13. Panel LA1 circuits 67,69: **DELETE** (2) 1P.20A breaker and **ADD** a 2P.20A breaker for Ltg Site Poles with Note 5.
14. Panel LB1 circuit 7: **ADD** 1P.20a breaker for Relay Panel LCPB.
15. Panel LB2 circuit 30: **ADD** Note 8.
16. Panel LD1 circuit 44: **ADD** Note 8.
17. Panel LE1 circuit 59: **ADD** Note 8.
18. Panel LE1 circuit 33,35,37: **ADD** 3P, 60A breaker for DWHP-2(2).

SECTION 260670 (1)(2) – DIGITAL LIGHTING RELAY CONTROL SCHEDULES

1. **ADD** section to the project manual.

DRAWINGS

CIVIL DRAWINGS

DRAWING C-002 - PCSM SUPPORTING INFORMATION

1. Add site restoration notes.

DRAWING C-003 - E&S SUPPORTING INFORMATION

1. Add site restoration notes.

DRAWING C-102 - DEMOLITION PLAN

1. Full depth pave replacement for bus lane.
2. Remove additional curb ramp for replacement.
3. Move sanitary sewer connection.
4. Add tree fence protection
5. Revise Limits of Disturbance

DRAWING C-103.1 - SITE PLAN

1. Heavy duty paving for bus lane.
2. Replace additional curb ramp.
3. Move sanitary sewer connection.
4. Revise Limits of Disturbance near flagpole
5. Add tree fence protection

DRAWING C-103.2 - SITE PLAN

1. Revise Limits of Disturbance

DRAWING C-104 - GRADING PLAN

1. Add spot grades to courtyard.
2. Add spot grade to parking area.
3. Add spot grades and change grate elevations for YD-105 & YD-106.
4. Extend proposed grading over sidewalks.
5. Add tree fence protection
6. Revise Limits of Disturbance near flagpole

DRAWING C-104.1 - GRADING PLAN

1. Revise Limits of Disturbance

DRAWING C-105 - PCSM PLAN

1. Add yard drains YD-1 & YD-2.
2. Change grate elevations for YD-105 & YD-106.
3. Revise roof drain connection into storm network.
4. Add tree fence protection
5. Revise Limits of Disturbance near flagpole

DRAWING C-105.1 - PCSM PLAN

1. Revise Limits of Disturbance

DRAWING C-106 - UTILITY PLAN

1. Add yard drains YD-1 & YD-2.
2. Revise roof drain connection into storm network.
3. Revise sewer lateral connections.
4. Add tree fence protection

DRAWING C-107 - LANDSCAPE PLAN

1. Move trees away from sidewalk.
2. Add tree fence protection
3. Revise Limits of Disturbance near flagpole

DRAWING C-300 - STORMWATER PROFILES

1. Revise grate elevations.

DRAWING C-302 - STORMWATER PROFILES

1. Add storm profile YD-2 to Y-1.

DRAWING C-501 - DETAILS

1. Add heavy duty pavement, mill and overlay, & flexible pavement restoration details.

DRAWING C-701.1 - E&S PLAN

1. Add Site Restoration/Laydown areas.
2. Add Roadway Maintenance areas.
3. Add tree fence protection

DRAWING C-701.2 - E&S PLAN

1. Add Site Restoration/Laydown areas.
2. Add Roadway Maintenance areas.
3. Revise Limits of Disturbance

ARCHITECTURAL DRAWINGS

DRAWING D1.3 – DEMOLITION FLOOR PLAN – UNIT B

1. REMOVE – demo note 8Q in auditorium

DRAWING A1.7 - OVERALL ROOF PLAN

1. ADD – roof plan notes, gutter details, etc.
2. REVISE - Cricket on existing admin roof updated to avoid abrupt termination
3. REVISE - Cricket to Commons updated to be symmetrical
4. 2/A1.7
 - a. REMOVE - cants at roof hatch detail
5. 3/A1.7
 - a. ADD - EPDM cover strip added for gutter reinstallation on roof verge detail
6. REVISE - Expansion joint annotation updated for EJ to be recessed at drains
7. REVISE - “Existing to remain” notes updated to include warranty approval requirement

DRAWING A1.8 – FIRST FLOOR REFLECTED CEILING PLAN – UNIT A

1. REVISE - Electrical blackout blinds (EB) changed to electric blinds (E)

DRAWING A1.9 – FIRST FLOOR REFLECTED CEILING PLAN – UNIT B

1. REVISE - Manual blackout blinds (MB) changed to manual blinds (M)

DRAWING A1.11 – FIRST FLOOR REFLECTED CEILING PLAN – UNIT D

1. REVISE - Manual blackout blinds (MB) changed to manual blinds (M)

DRAWING A1.12 – FIRST FLOOR REFLECTED CEILING PLAN – UNIT E

1. REVISE - Manual blackout blinds (MB) changed to manual blinds (M)

DRAWING A2.2 & A2.5 – EXTERIOR ELEVATIONS

1. ADD - Box leader and associated keynote

DRAWING A3.2 - WALL SECTIONS - UNITS A & B

1. 8/A3.2
 - a. Expansion joint location updated to be against structure

2. REVISE - Annotation inconsistencies clarified throughout

DRAWING A3.3 - WALL SECTIONS - UNIT B

1. 1/A3.3
 - a. Expansion joint location updated to be against structure
2. REVISE - Annotation inconsistencies clarified throughout

DRAWING A3.4 - WALL SECTIONS - UNIT B

1. 5/A3.4
 - a. ADD - detail for window head (W3) at linear metal wall covering
 - b. ADD - batt insulation added to wall section at thermal bridge
2. REVISE - Annotation inconsistencies clarified throughout

DRAWING A3.5 - WALL SECTIONS - UNIT C

1. 7/A3.5 & 8/A3.5
 - a. REVISE - Infill wall nailbase changed to 3-½" insulation, and sub-framing changed to ⅝"
2. 2/A3.5
 - a. REMOVE - Lintel removed from wall section, electrical panel moved by MEP engineer

DRAWING A3.6 & A3.7 - WALL SECTIONS - UNIT D & UNIT E

1. REVISE - Annotation inconsistencies clarified throughout
2. 5/A3.6 & 6/A3.6
 - a. REVISE - Expansion joint filler changed from tube type to mushroom type

DRAWING A4.5 – LARGE SCALE PLAZA PLAN

1. ADD – note to boulders and stone bed
2. REMOVE – bench at front entrance

DRAWING A5.1 - TYPICAL MASONRY DETAILS

1. REVISE - Spray foam depth amended to 2-½" throughout
2. REMOVE - Air barrier removed under spray foam insulation throughout
3. REVISE - Annotation inconsistencies clarified throughout
4. 1/A5.1
 - a. REMOVE - screw attachment method removed from back side of coping
5. 3/A5.1
 - a. ADD - 2" min dimension clear of roof surface added to scupper detail
6. 4/A5.1
 - a. ADD - termination bar added to base detail 4/A5.1

DRAWING A5.3 - TYPICAL METAL PANEL DETAILS

1. DELETE - Detail 3/A5.3
2. 1/A5.3
 - a. REVISE - Standing seam interior gutter detail changed from stainless steel liner to 60 mil EPDM liner
3. 2/A5.3
 - a. REVISE - Nailbase changed to 3-½" insulation and sub-framing depth updated to be 2" matching annotation
4. REVISE - Annotation inconsistencies clarified

DRAWING A5.4 - TYPICAL METAL PANEL DETAILS

1. 1/A5.4
 - a. REVISE - Gutter detail updated with membrane turn-down and termination bar. Gutter description updated - gauge removed, expansion gaps with gap covers noted
2. REVISE - Nailbase changed to 3-½" insulation and sub-framing depth updated to be ⅞ "

DRAWING A5.6 - TYPICAL DETAILS

1. REMOVE - air barrier removed under spray foam
2. ADD - transition membrane added over blocking

DRAWING A6.3 - DOOR SCHEDULE – UNITS A & B

1. ADD Security Numbers for exterior doors

DRAWING A6.4 - DOOR SCHEDULE – UNITS C, D & E

1. ADD Security Numbers for exterior doors

DRAWING A6.7 & A6.8 - ALUMINUM STOREFRONT FRAME ELEVATIONS

1. REVISE - Width, height and head detail updated for W6 and W11
2. ADD - Additional head detail for W3 - see also A3.4 Wall Sections
3. REVISE - Jamb detail references for W10 updated
4. REVISE - Head detail for W14 updated
5. ADD - Detail marker for stone stool on partial height wall added to W16, W17, W18 & W23
6. REVISE - Jamb detail for W23 updated
7. REVISE - Jamb details for W21 clarified - reversed for Units D & E

DRAWING A6.9, A6.10, A6.12 & A6.13 - ALUMINUM STOREFRONT DETAILS

1. REVISE - Annotation inconsistencies clarified
2. REVISE - Nailbase panels updated to be 3-½' insulation throughout
3. REVISE - Spray foam insulation depth updated to 2-½" throughout
4. 1/A6.9
 - a. REPLACE in full
5. 1/A6.10
 - a. REVISE - Plywood buck replaces lumber
6. 3/A6.10
 - a. REVISE - Wood jamb studs changed to metal framing to align with overhead
 - b. REVISE - Plywood buck replaces lumber
7. 7/A6.10
 - a. ADD - part height batt insulation - see also wall section 5/A3.4
8. 9/A6.12
 - a. REPLACE in full - head detail for W3, see also wall section 5/A3.4
9. 4/A6.13
 - a. REVISE - Updated to show one course of CMU only toothed in at lintel
10. 3/A6.9, 4/A6.12, & 11/A6.12
 - a. ADD – sill anchor

DRAWING A7.1 & A7.2 - ALTERNATE – OAKMONT DAO RENOVATION

1. REVISED door and frame F103 to be ETR (new hardware)
2. REVISED location of push button release in F108

3. REVISED detail 5/A7.2 & 8/A7.2 to precast concrete lintel

INTERIOR DRAWINGS

DRAWING I4-3S - INTERIOR ELEVATIONS - FIRST GRADE & DETAILS

1. 3/14.3S – TYPICAL WARDROBE DETAIL W/ TACKBOARD
 - a. **ADD** (3) dimensions to detail

MECHANICAL DRAWINGS

DRAWING M1.1 – FIRST FLOOR UNIT A HVAC DEMOLITION

1. **ADD** note no. 12, “PROVIDE MISSING REGISTER” in the toilet room A124.

DRAWING M1.2 – FIRST FLOOR UNIT A HVAC DEMOLITION

1. **DELETE** drawing note no. 14, in Toilet room A124. Drawing note moved to drawing M1.1.

DRAWING M1.3 – FIRST FLOOR UNIT C HVAC DEMOLITION

1. **CHANGE.** In Corridor C100 there are two (E)CUH in the corridor with drawing note tag no. 1. Change the two tags to drawing note no. 9.

DRAWING M1.4 – FIRST FLOOR UNIT D & E HVAC DEMOLITION

1. **ADD** note tags no. 3 and 4 in rooms D105, D108, D109, E101, E105 and E106 next to fan coil units (E)FCU-4, 5, 6, 7, 8 and 9.

DRAWING M2.1 – FIRST FLOOR UNIT A HVAC

1. **ADD** to drawing note no. 1 “ARCHITECT REPLACING ACT TILE ON EXISTING ACT GRID. HVAC DIFFUSERS AND REGISTERS TO REMAIN. **CLEAN AIR DEVICES.**”
2. **DELETE** drawing note no. 2 and associated tags on the plan.
3. **CLARIFICATION.** In Art A118 the return air registers balanced for 900 cfm each.

DRAWING M2.2 – FIRST FLOOR UNIT B HVAC

1. **ADD** to drawing note no. 1 “ARCHITECT REPLACING ACT TILE ON EXISTING ACT GRID. HVAC DIFFUSERS AND REGISTERS TO REMAIN. **CLEAN AIR DEVICES.**”
2. **DELETE** drawing note no. 2 and associated tags on the plan.

DRAWING M2.3 – FIRST FLOOR UNIT C HVAC

1. **ADD** to drawing note no. 1 “ARCHITECT REPLACING ACT TILE ON EXISTING ACT GRID. HVAC DIFFUSERS AND REGISTERS TO REMAIN. **CLEAN AIR DEVICES.**”
2. **DELETE** drawing note no. 2 and associated tags on the plan.
3. **CLARIFICATION.** Change “DB” to DRYERBOX”.
4. **CLARIFICATION.** Change “WV” to WALL VENT”.
5. **ADD** note in Platform C126, “TRANSFER DUCT” with leader line pointing at 10x8 duct and 24x12 duct.

FIRE PROTECTION DRAWINGS

DRAWING FP.2– FIRST FLOOR UNIT B FIRE PROTECTION

1. **REPLACE** with the attached.

PLUMBING DRAWINGS

DRAWING P3.1 - FIRST FLOOR UNIT A SANITARY WASTE & VENT PIPING

1. **REPLACE** with the attached.

DRAWING P3.2 - FIRST FLOOR UNIT B SANITARY WASTE & VENT PIPING

1. **REPLACE** with the attached.

DRAWING P3.3 - FIRST FLOOR UNIT C SANITARY WASTE & VENT PIPING

1. **REPLACE** with the attached.

DRAWING P3.4 - FIRST FLOOR UNIT D SANITARY WASTE & VENT PIPING

1. **REPLACE** with the attached.

DRAWING P3.5 - FIRST FLOOR UNIT E SANITARY WASTE & VENT PIPING

1. **REPLACE** with the attached.

DRAWING P5.1 - DETAILS

1. **REPLACE** with the attached.

ELECTRICAL DRAWINGS

DRAWING E2.0 – SITE PLAN – LIGHTING

1. **REPLACE** Drawing with the attached.

DRAWING E2.1 – FIRST FLOOR UNIT A LIGHTING

1. **REPLACE** Drawing with the attached.

DRAWING E2.2 – FIRST FLOOR UNIT B LIGHTING

1. **REPLACE** Drawing with the attached.

DRAWING E2.3 – FIRST FLOOR UNIT C LIGHTING

1. **REPLACE** Drawing with the attached.

DRAWING E2.4 – FIRST FLOOR UNIT D LIGHTING

1. **REPLACE** Drawing with the attached.

DRAWING E2.5 – FIRST FLOOR UNIT E LIGHTING

1. **REPLACE** Drawing with the attached.

End Of Addendum No. 1

Attachments

General:

Prebid Sign-In Sheet

Specifications:

SECTION 260650	LUMINAIRE SCHEDULE
SECTION 260670 (1)	DIGITAL LIGHTING RELAY CONTROL SCHEDULES
SECTION 260670 (2)	DIGITAL LIGHTING RELAY CONTROL SCHEDULES

Drawings:

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DRAWING C-003	E&S SUPPORTING INFORMATION
DRAWING C-102	DEMOLITION PLAN
DRAWING C-103.1	SITE PLAN
DRAWING C-103.2	SITE PLAN
DRAWING C-104	GRADING PLAN
DRAWING C-104.1	GRADING PLAN
DRAWING C-105	PCSM PLAN
DRAWING C-105.1	PCSM PLAN
DRAWING C-106	UTILITY PLAN
DRAWING C-107	LANDSCAPE PLAN
DRAWING C-300	STORMWATER PROFILES
DRAWING C-302	STORMWATER PROFILES
DRAWING C-501	DETAILS
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DRAWING A1.8	FIRST FLOOR REFLECTED CEILING PLAN – UNIT A
DRAWING A1.9	FIRST FLOOR REFLECTED CEILING PLAN – UNIT B
DRAWING A1.11	FIRST FLOOR REFLECTED CEILING PLAN – UNIT D
DRAWING A1.12	FIRST FLOOR REFLECTED CEILING PLAN – UNIT E
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DRAWING A2.5	EXTERIOR ELEVATIONS
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DRAWING A3.3	WALL SECTIONS - UNIT B
DRAWING A3.4	WALL SECTIONS - UNIT B
DRAWING A3.5	WALL SECTIONS - UNIT C
DRAWING A3.6	WALL SECTIONS - UNIT D & UNIT E
DRAWING A3.7	WALL SECTIONS - UNIT D & UNIT E
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DRAWING A5.3	TYPICAL METAL PANEL DETAILS

DRAWING A5.4	TYPICAL METAL PANEL DETAILS
DRAWING A5.6	TYPICAL DETAILS
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DRAWING A6.4	DOOR SCHEDULE – UNITS C, D & E
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DRAWING A6.8	ALUMINUM STOREFRONT FRAME ELEVATIONS
DRAWING A6.9	ALUMINUM STOREFRONT DETAILS
DRAWING A6.10	ALUMINUM STOREFRONT DETAILS
DRAWING A6.12	ALUMINUM STOREFRONT DETAILS
DRAWING A6.13	ALUMINUM STOREFRONT DETAILS
DRAWING A7.1	ALTERNATE – OAKMONT DAO RENOVATION
DRAWING A7.2	ALTERNATE – OAKMONT DAO RENOVATION
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DRAWING FP2.2	FIRST FLOOR UNIT A SANITARY WASTE & VENT PIPING
DRAWING P3.1	FIRST FLOOR DEMOLITION FLOOR PLAN – UNITS A & B
DRAWING P3.2	FIRST FLOOR UNIT B SANITARY WASTE & VENT PIPING
DRAWING P3.3	FIRST FLOOR UNIT C SANITARY WASTE & VENT PIPING
DRAWING P3.4	FIRST FLOOR UNIT D SANITARY WASTE & VENT PIPING
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DRAWING P5.1	DETAILS
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DRAWING E2.2	FIRST FLOOR UNIT B LIGHTING
DRAWING E2.3	FIRST FLOOR UNIT C LIGHTING
DRAWING E2.4	FIRST FLOOR UNIT D LIGHTING
DRAWING E2.5	FIRST FLOOR UNIT E LIGHTING

For Information Only:

Existing Condition Drawings for Coopertown Elementary School

LUMINAIRE SCHEDULE

Mark	Manufacturer	Catalog Number	Description	Volts	Lamps			Driver		Mtg.	Mtg. Height	Notes
					No.	Watts	Type/Lumens	No.	Type			
CH1	Lithonia Oracle Columbia Metalux	CLX-L48 SEF FDL MVOLT GZ10 35K 80CR OCL series CSL series SNLED series	4' LED industrial	UNV	1	31	LED 4000	1	DLD	CH	8'-6" AFF UON	1,3,12
CH2	Columbia	CSL4-LSCS	<i>Existing 4' industrial</i>	UNV	1	35	LED 4800	1	DLD	CH	8'-6" AFF UON	
EX1	Emergilite	ELX400-RN	<i>Existing LED exit sign single/dual face</i>	UNV	-	-	LED	-	-	SW/SC		
EX1A	Emergilite Lithonia	ELX400-RN LQM Series	LED exit sign single/dual face	UNV	-	-	LED	-	-	SW/SC		2,3
OC1	Ledra – alphabet Lithonia	NU4-RWSTUD-SW-15LM-35K-80- WW-120-DIM10-IC-WH-XX LLP4 Series	Lensed 4" wall wash downlight; maximum housing height of 2-1/8"; IC-rated; wet location listed; fully serviceable from below ceiling	UNV	1	12	LED 700	1	DLD	RC	Cltg Hgt	3,6
OG1	Kim Lighting	LTV83-SS-SP-12L-4K-UV-SR	Flush mounted, adjustable aiming, in- ground light for flagpole lighting	UNV	1	14	LED 1180	1	DLD	IG	Grade	3,11
OP1	LSI Lithonia NLS	MRS-LED-9L-SIL-2-UNV-DIM-40- 70CRI-XXX DSX1 LED Series NV-1 Series	Single head, 18-foot square pole, Type II Medium distribution	UNV	1	63	LED 7507	2	DLD	PM	Pole Base	3,6,10
OP1/ HS	LSI Lithonia NLS	MRS-LED-9L-SIL-2-UNV-DIM-40- 70CRI-XXX-IH DSX1 LED Series NV-1 Series	Single head, 18-foot square pole, Type II Medium distribution; house-side shield	UNV	1	63	LED 7507	2	DLD	PM	Pole Base	3,6,10
OP1/2	LSI Lithonia NLS	MRS-LED-9L-SIL-2-UNV-DIM-40- 70CRI-XXX DSX1 LED Series NV-1 Series	Two head, 180-degree apart, 18-foot square pole, Type II Medium distribution, full cutoff	UNV	2	63	LED 7507	2	DLD	PM	Pole Base	3,6,10
OP2	LSI Lithonia NLS	OPS-PT-3L-3W-UNV-40K8-XXX-HS RADPT LED Series ORX-2 Series	120" pole mounted circular post top pathway luminaire; Pathway Type 3 optics; house-side shield; full cutoff	UNV	1	20	LED 2739	1	DLD	PM	Pole Base	3,6,10

Mark	Manufacturer	Catalog Number	Description	Volts	Lamps			Driver		Mtg.	Mtg. Height	Notes
					No.	Watts	Type/Lumens	No.	Type			
OP3	LSI Lithonia NLS	MRS-LED-9L-SIL-FT-UNV-DIM-40-70CRI-XXX DSX1 LED Series NV-1 Series	Single head, 18-foot square pole, Forward Throw Medium distribution; full cutoff	UNV	1	63	LED 7507	1	DLD	PM	Pole Base	3,6,10
OP3/HS	LSI Lithonia NLS	MRS-LED-9L-SIL-FT-UNV-DIM-40-70CRI-XXX-IH DSX1 LED Series NV-1 Series	Single head, 18-foot square pole, Forward Throw Medium distribution; house side shield; full cutoff	UNV	1	63	LED 7507	1	DLD	PM	Pole Base	3,6,10
OW1	Williams Lithonia NLS Lighting	VWPH-L30-70-40-CGL—DIM-UNV WPX2 LED Series NV-W Series	DLC wall pack with full cut-off; IP65 housing	UNV	1	24	LED 2913	1	DLD	SW	144"U.O.N.	6,7
OW2	Sigtex Inc Luminaire LED LSI	MUE-AC-10-X-W BLD-24"-MIN10-10W-40K-MVOLT-DP-XXX-PIR LiniArc LAW2 Series	LED 24" wall-mounted luminaire, with motion/photocell; full cutoff	UNV	1	10	LED 1024	1	DLD	SW	6" above door or mullion mtd if applicable	6,7
OW2B	Sigtex Inc Luminaire LED LSI	MUE-AC-20-X-W BLD-36"-MIN10-15W-40K-MVOLT-DP-XXX-PIR LiniArc LAW2 Series	LED 36" wall-mounted luminaire, with motion/photocell; full cutoff	UNV	1	20	LED 1537	1	DLD	SW	6" above door or mullion mtd if applicable	6,7
P1	Columbia	Existing Lighting Fixture UTB2-835-MVHE-EDU-WA16-N-WH-NXSPH-DTS	Existing Gymnasium – LED high bay with wire cage	UNV	1	204	LED 30000	1	DLD	AH		
P2	OCL Architectural Lighting	TB3-P1FJ-24-XX-XXX-LED2-WF-LED1-35K-UNV-X-DM1	3" diameter 24" long luminous cylinder with 60 degree downlight, suitable for angled ceiling mounting, stem mounting, separately switched body and downlight, remote power supplies	UNV	1 1	25	LED 2200 LED 1240	2	DLD	P	Pendant length varies	1,3,6,7,8
P4	Pinnacle Systemalux	EX1D-A- 35-35-XX-XXXX-UNV-FSD-1-0-XX 3700 Series	Direct linear pendant with 1-1/2" aperture	UNV	1	84	LED 3572	2	DLD		Bottom of fixture at 10'AFF U.N.O	1,3,6,7,8

Mark	Manufacturer	Catalog Number	Description	Volts	Lamps			Driver		Mtg.	Mtg. Height	Notes
					No.	Watts	Type/Lumens	No.	Type			
P5	Impact Lighting Or equal as approved by Architect	P5222-35HI-XX-XXXX	22-inch diameter oval-shaped luminous disc pendant	UNV	1	18	LED 2080	1	DLD	P	Varies	3,5,6,8
P6	OCL Architectural Lighting	TB3-P1FJ-48-XX-XXX-LED2-ND-35K-UNV-X-DM1	3" diameter 48" long luminous cylinder with 60 degree downlight, suitable for angled ceiling mounting, stem mounting, separately switched body and downlight, remote power supplies	UNV	1 1	48	LED 4400 LED 2200	2	DLD	P	Pendant length varies	1,3,6,7,8
P7	SPI Lighting	Chatham AI8179-6N100-120V-DF_80-DF_OA-DF_STM-OAH=xx	33" traditional opal acrylic diffuser pendant with metal trim (DAO)	120	6	14	Screw-in LED 1500 each	1	PCD	P	114" AFF to bottom of fixture	1,3,6,7,8,13
RC1	Columbia	<i>Existing Lighting Fixture</i> SRP24-35HLG-ED1U	<i>Existing LED 2'x4' flat panel</i>	UNV	1	49	LED 5400	1	DLD	RC		9
RC2	Columbia	<i>Existing Lighting Fixture</i> SRP24-35LWG-ED1U	<i>Existing LED 2'x4' flat panel</i>	UNV	1	38	LED 4000	1	DLD	RC		9
RC3	Columbia Lithonia Oracle Lighting	SRP24-35-LW-G-ED-U EPANL2x4 Series FLP1 Series	2'x4' flat panel	UNV	1	37	LED 4000	1	DLD	RC		
RC4	Columbia Lithonia Oracle Lighting	SRP24-35-LW-G-ED-U EPANL2x4 Series FLP1 Series	2'x4' flat panel	UNV	1	38	LED 4000	1	DLD	RC		
RC4A	Columbia Lithonia Oracle Lighting	SRP24-35-LW-G-ED-U EPANL2X4 Series FLP1 Series	2'x4' flat panel	UNV	1	38	LED 4000	1	DLD	RC		
RC4B	Columbia Lithonia Oracle Lighting	SRP24-35-HL-G-ED-U EPANL2X4 Series FLP1 Series	2'x4' flat panel	UNV	1	49	LED 5400	1	DLD	RC		
RC4D	Columbia Lithonia Oracle Lighting	SRP24-35-HL-G-ED-U EPANL2X4 Series FLP1 Series	2'x4' flat panel (DAO)	UNV	1	49	LED 5400	1	DLD	RC	Ceiling Height	
RC4E	Columbia Lithonia Oracle Lighting	SRP24-35-HL-G-ED-U EPANL2X4 Series FLP1 Series	2'x4' flat panel	UNV	1	49	LED 5400	1	DLD	RC		

Mark	Manufacturer	Catalog Number	Description	Volts	Lamps			Driver		Mtg.	Mtg. Height	Notes
					No.	Watts	Type/Lumens	No.	Type			
RC5	Columbia Lithonia Oracle Lighting	SRP22-35-VL-G-ED-U EPANL2X2 Series FLP1 Series	2'x2' flat panel	UNV	1	37	LED 4000	1	DLD	RC		
RC6	Columbia	<i>Existing Lighting Fixture</i> CFP24-55/41/3435	<i>Existing LED 2'x4' flat panel</i>	UNV	1	37	LED 4000	1	DLD	RC		9
RC7	Columbia	<i>Existing Lighting Fixture</i> SRP22-35VLG-ED1U	<i>Existing LED 2X2' flat panel</i>	UNV	1	33	LED 4000	1	DLD	EC		9
RC8	Columbia	<i>Existing Lighting Fixture</i> CFP22-40/33/2835	<i>Existing LED 2'X2' flat panel</i>	UNV	1	39	LED 4400	1	DLD	RC		9
RC9	Columbia Lithonia Oracle Lighting	SRP22-35VLG-ED1U EPANL2X2 Series FLP1 Series	2X2' flat panel	UNV	1	33	LED 4000	1	DLD	EC		
RC10	Lumenwerx Focal Point Finelite Axis Lighting	VIA4R-D-WDO-FH-SW-80CRI- 1500LMF-35K-XX-UNV-D1-1C-TGX-W FSM4 series HP-4R series B4RLED series	4" LED recessed linear slot	UNV	1	13.8 per 4'	LED 1500	1	DLD	RC		3,6,7
RC11	Prescolite Spectrum	LFR-4RW-20L-35K-9-LWW-DM1- LFR-4RW-TLWW-S RWFORXT-20L-35HK-WD-DO10-1- RW4FXT-XX-SKX	4" wall washer fixture	UNV	1	15	LED 2000		DLD	RC		
RD1	Prescolite Spectrum	LFR-4RD-10L-35K-8-MD SGDF6LEDOS-10L-30K-DS10-2- AR6160DFOS-MW	4" round downlight wet location listed	UNV	1	11	LED 1100	1	DLD	SC		3,6
RD2	Lithonia Maxilume Prescolite Halo	LDN4-35/15-LD4AR-LSS-MVOLT- EZ10-TRW HH4 series LF series HC4 series	4" LED round downlight	UNV	1	17.5	LED 1512	1	DLD	RC		3,6
RD3	Ledra - alphabet Gotham	NU4-RDLP-SW-15LM-35K-80-65D- CL-WH-XX-IC-UNV-DIM10 IVO4S-D-15LM-35K-80CRI-MD- MIN10-MVOLT-EZT-ICAT	4" LED round downlight; 2" max height low profile; IC-rated; wide optics; maintainable from below ceiling	UNV	1	15.7	LED 1500	1	DLD	RC	Clg Hgt	3,6
RD3A	Ledra - alphabet Gotham	NU4-RDLP-SW-20LM-35K-80-65D- CL-WH-XX-IC-UNV-DIM10 IVO4S-D-20LM-35K-80CRI-MD- MIN10-MVOLT-EZT-ICAT	4" LED round downlight; 2" max height low profile; IC-rated; wide optics; maintainable from below ceiling	UNV	1	22.4	LED 2000	1	DLD	RC	Clg Hgt	3,6

Mark	Manufacturer	Catalog Number	Description	Volts	Lamps			Driver		Mtg.	Mtg. Height	Notes
					No.	Watts	Type/Lumens	No.	Type			
RD4	Leviton – Intense Ltg Lithonia Lighting	SD6DRR-L4-35-D101-WF-IC632-C-SF-CR LDN6RV-35/20-LR-6-XX-LD-MVOLT-GZ10-LH	6" diameter LED remodel/retrofit maintainable from below ceiling (DAO)	UNV	1	23	LED 2000	1	DLD	RC	Ceiling Height	3,6
SC1	Columbia Lithonia	MPS4-35-HL-C-W-ED-U- (BLPW4-60L-SDP-GZ10-LP835-JOTVTX15-DIM10)	Linear surface fixture +	UNV	1	38	LED 5400	1	DLD	SC	Ceiling Mounted	
SC2	ConTec	TLT24V13K12R – TLP24VHW60MVD2-ENC – TLACS6-TLACSE2 – TLALC6	Standard output 24VDC cut in field tapelight for existing display cases with mounting channel and frosted lens. Provide fixture lengths, mounting channel, end caps, mounting accessories and power supplies as required	24V	1	2.1/Ft	LED/248 per Ft	1	DLD	SC	Top of Case	3,6,7
SW1	PQL Lithonia	88630 OLVTWM	Vaportite LED	UNV	1	15	LED 900	1	LD	SW		3

Driver & Ballast Legend	
Symbol	Description
DLD	Dimming LED Driver, 0-10 volts.
LD	LED driver.
SD	Step Dimming
PCD	Phase Cut Dimming

Mounting Legend			
Symbol	Description	Symbol	Description
RC	Recessed Ceiling	S	Suspended
RW	Recessed Wall	UC	Under Cabinet
SC	Surface Ceiling	PD	Per Detail on Drawings
SW	Surface Wall	PM	Pole Mounted
CH	Chain Hung	IG	Recessed In-Ground
AH	Aircraft Cable Hung	PT	Pole Top Mounted
P	Pendant	G	Ground Mounted
WB	Wall Bracket	B	Bollard

General Notes	
G1	Check descriptions against catalog numbers. Report any discrepancies prior to submitting a proposal for this work.

G2	Where the listed manufacturer of acceptable substitutes makes more than one grade of the fixture, provide the grade of fixture with equal or better construction, materials and performance as determined by the manufacturer.
G3	Engineer must approve all substitutes prior to bid.
G4	All Recessed 1x4, 2x2 and 2x4 fixtures shall have spring-loaded latches. Cam action (friction) latches are not acceptable.
G5	All drivers/ballasts shall be Universal 120-277 voltage. If universal driver is unavailable, furnish 120 volt type.
G6	Refer to Specifications Sections 265100 and 265600 for additional requirements.
G7	All approved equal pendant manufacturers will be required to submit footcandle layouts to verify they meet the basis of design.

Luminaire Notes	
1	Provide stem/chain size as required.
2	Provide single or double faces with or without Chevron as shown on Drawings.
3	Provide all additional mounting accessories, including chain hung where applicable, for each application.
4	Provide lengths as shown on the drawings.
5	Provide aircraft cable to mount at bottom of steel.
6	Architect to select finish of luminaire. All standard (non-custom chip matching) color options should be included in Base Bid. Provide color samples with submittals to Architect for review and selection.
7	Locations/Heights shown on Electrical Drawings are approximate. Coordinate exact mounting height and location with Architectural Elevations. Review with Architect before rough-in.
8	Provide custom pendant lengths as directed by the Architect.
9	Existing luminaires to be installed in the new ceiling. Thoroughly clean and rewire and/or re-program controls.
10	Provide a base per for mounting luminaire.
11	Coordinate setback from flagpole/sign/building with the Engineer before rough-in.
12	Provide chain to hang fixture at height indicated. Coordinate with ductwork and piping to avoid light distribution blockage by ductwork and piping.
13	Provide 100W equivalent A19 3000K dimmable replacement lamps. Provide manufacturer label on luminaire indicating use maximum 14W replacement lamps.

END OF SECTION 265200

SECTION 260670 – DIGITAL LIGHTING RELAY CONTROL PANEL SCHEDULES

PART 1 - GENERAL

1.1 SUMMARY

- A. This section includes the attached Lighting Control Panel Schedules.

1.2 SUBMITTALS FOR REVIEW

- A. Refer to Section 260943 for submittals required.

1.3 EXTRA MATERIALS

- A. Refer to Section 260943 for extra materials required.

1.4 MAINTENANCE MATERIALS

- A. Refer to Section 260943 for maintenance materials required.

PART 2 - PRODUCTS - Not Used

PART 3 - EXECUTION

3.1 LIGHTING CONTROL PANEL SCHEDULES

- A. Refer to Lighting Control Panel Schedules, attached to the following pages.

LIGHTING CONTROL PANEL LCPA

Relay No.	Description	Voltage	Relay Type	Normal/ Emergency	Control Type	KVA	Panelboard Circuit
1	Building Lighting	120	NON-DIM	NORMAL	P,T	0.2	LA1-65
2	Site Lighting	208	NON-DIM	NORMAL	P,T		LA1-40
3							
4	Flagpole	120	NON-DIM	NORMAL	P,T		OLA1-43
5	Spare	120	EMER	EMERGENCY			
6	Site Lighting	208	EMER	EMERGENCY	P,T		ELA1-17
7							
8	NE Building Lighting	120	EMER	EMERGENCY	P,T	0.2	ELA1-15

Abbreviations:

P Photocell
T Timeclock
O Occupancy Sensor
M Manual Local Wall Switch
EMER Emergency Relay (Override ON upon loss of normal power)
DIM 0-10V Dimming, ON/OFF Relay
NON-DIM ON/OFF switched relay

LIGHTING CONTROL PANEL LCPB

Relay No.	Description	Voltage	Relay Type	Normal/ Emergency	Control Type	KVA	Panelboard Circuit
1	Building Lighting	120	NON-DIM	NORMAL	P,T		LB2-30
2	Spare	120	NON-DIM	NORMAL			
3	Spare	120	EMER	EMERGENCY			
4	NE Building Lighting	120	EMER	EMERGENCY	P,T		EDP-27

Abbreviations:

P Photocell
T Timeclock
O Occupancy Sensor
M Manual Local Wall Switch
EMER Emergency Relay (Override ON upon loss of normal power)
DIM 0-10V Dimming, ON/OFF Relay
NON-DIM ON/OFF switched relay

LIGHTING CONTROL PANEL LCPD

Relay No.	Description	Voltage	Relay Type	Normal/ Emergency	Control Type	KVA	Panelboard Circuit
1	Building Lighting	120	NON-DIM	NORMAL	P,T		LD1-44
2	Spare	120	NON-DIM	NORMAL			
3	Courtyard Lighting	120	EMER	EMERGENCY	P,T		ELD1-5
4	NE Building Lighting	120	EMER	EMERGENCY	P,T		ELD1-5

Abbreviations:

P Photocell
T Timeclock
O Occupancy Sensor
M Manual Local Wall Switch
EMER Emergency Relay (Override ON upon loss of normal power)
DIM 0-10V Dimming, ON/OFF Relay
NON-DIM ON/OFF switched relay

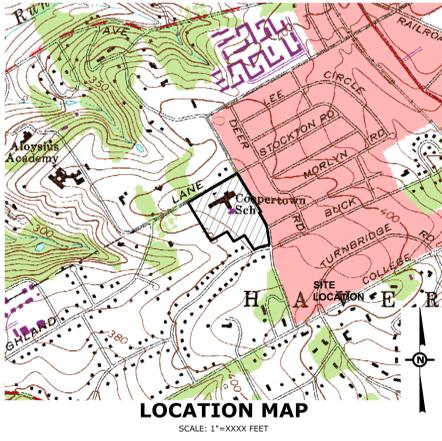
LIGHTING CONTROL PANEL LCPE

Relay No.	Description	Voltage	Relay Type	Normal/ Emergency	Control Type	KVA	Panelboard Circuit
1	Building Lighting	120	NON-DIM	NORMAL	P,T		LE1-59
2	Spare	120	NON-DIM	NORMAL			
3	Spare	120	NON-DIM	NORMAL			
4							
5	Spare	120	EMER	EMERGENCY			
6	Site Lighting	208	EMER	EMERGENCY	P,T		
7							
8	NE Building Lighting	120	EMER	EMERGENCY	P,T		ELE1-5

Abbreviations:

P Photocell
T Timeclock
O Occupancy Sensor
M Manual Local Wall Switch
EMER Emergency Relay (Override ON upon loss of normal power)
DIM 0-10V Dimming, ON/OFF Relay
NON-DIM ON/OFF switched relay

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LOCATION MAP
SCALE: 1"=XXXX FEET

PCSM PLAN GENERAL NOTES

THE SITE CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE N.P.D.E.S. PERMIT FOR THE PROJECT SITE, INCLUDING OBTAINING STATUS AS A CO-PERMITTEE OF THE PERMIT. FOR INFORMATION REGARDING COMPLIANCE WITH THE N.P.D.E.S. PERMIT, CONTACT:
CHESTER COUNTY CONSERVATION DISTRICT
688 UNIONVILLE ROAD, SUITE 200
KENNETT SQUARE, PA 19348
610.455.1360 PHONE

1. THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMP. ADDITIONAL SOIL TESTING MAY BE REQUIRED PRIOR TO THE INSTALLATION OF BMPs TO ENSURE PROPER LOCATION AND FUNCTION. A LICENSED PROFESSIONAL KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF STORMWATER BMPs SHALL CONDUCT THE OVERSIGHT.
2. THE "POST" CONSTRUCTION STORMWATER MANAGEMENT NARRATIVE AND CALCULATIONS' REPORT SHALL BE CONSIDERED PART OF THE PLANS.
3. A "NOTICE OF TERMINATION" (NOT) WILL BE REQUIRED TO BE SUBMITTED, PRIOR TO ACCEPTING THE NOT. CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMPs.
4. COMPACTION OF FILL. ALL STRUCTURAL FILL TO BE PLACED IN 6" LIFTS AND COMPACTED TO NOT BE LESS THAN 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 2% OF THE OPTIMUM, APPLICABLE FOR BERMS, STREETS, ETC. UNLESS SPECIFIED OTHERWISE ON THE PLANS OR IN ANY SUPPLEMENTAL SPECIFICATIONS.
5. THE APPROVED PCSM PLAN SHALL BE ON FILE AT THE PROJECT SITE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY.
6. AREAS PROPOSED FOR INFILTRATION BMPs SHALL BE PROTECTED FROM SEDIMENTATION AND COMPACTION DURING THE CONSTRUCTION PHASE TO MAINTAIN MAXIMUM INFILTRATION CAPACITY.
7. AREAS OF DISTURBANCE ASSOCIATED WITH SITE RESTORATION MUST BE RESTORED TO EXISTING COVER CONDITION.
8. AREAS LABELED AS ROADWAY MAINTENANCE ACTIVITIES WILL CONSIST SOLELY OF MILLING AND OVERLAYING EXISTING SURFACES.

SOIL LIMITATIONS RESOLUTIONS

1. **CAVING CUT-BANKS** - CONTRACTOR SHOULD EMPLOY PROPER CONSTRUCTION, STABILIZATION, AND SAFE WORKING TECHNIQUES TO ENSURE SAFETY ON STEEP SLOPE AREAS AND WITHIN AND AROUND ALL EXCAVATIONS INCLUDING FOOTERS, FOUNDATIONS AND UTILITY TRENCHES. BRACING AND TRENCH BOXES SHOULD BE EMPLOYED WHERE REQUIRED OR APPROPRIATE TO ENSURE SAFE WORKING CONDITIONS AND COMPLIANCE WITH APPLICABLE SAFETY STANDARDS AND REGULATIONS.
2. **CORROSION TO CONCRETE/STEEL** - WHERE PERMITTED, UNDERGROUND PIPES, CONDUITS, AND STORAGE TANKS SHOULD BE MADE CORROSION RESISTANT MATERIALS. WHERE NECESSARY, SUITABLE PRECAUTIONS SHOULD BE TAKEN TO PROTECT UNDERGROUND CONCRETE AND UNCOATED STEEL STRUCTURES AND FACILITIES FROM CORROSION.
3. **EASILY ERODIBLE** - CONTRACTOR SHALL LIMIT THE EXTENT AND DURATION OF EARTH DISTURBANCE TO THE LEAST AMOUNT PRACTICABLE TO COMPLETE THE PROJECT. CONTRACTOR SHOULD TAKE PRECAUTIONS WHERE POSSIBLE TO LIMIT THE TOTAL AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME. TEMPORARY AND PERMANENT STABILIZATION MEASURES SHOULD BE IMPLEMENTED AS SOON AS POSSIBLE. SEDIMENT CONTROL BMPs MAY REQUIRE MORE FREQUENT MAINTENANCE AND SEDIMENT REMOVAL AS COMPARED WITH SITES THAT DO NOT HAVE EASILY ERODIBLE SOIL. CONTRACTOR SHALL CONTACT THE SITE DESIGN ENGINEER AND THE CONSERVATION DISTRICT TO DISCUSS ALTERNATIVE SOLUTIONS IF ANY EROSION CONDITIONS OCCUR THAT CANNOT BE ADDRESSED BY MEASURES FOUND IN THE PLANS.
4. **DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE** - STRUCTURES WITH BASEMENTS AND OTHER SUBSURFACE STRUCTURES SHOULD BE AVOIDED. BUILDING FOUNDATIONS SHOULD BE FURNISHED WITH APPROPRIATE FOUNDATION DRAINS AND SUMP PUMPS WHERE NECESSARY. SATURATED SOILS SHOULD BE DEWATERED PRIOR TO USE IN GRADING, WEI, MUCK, OR SOUP SOILS SHOULD NOT BE USED IN THE CONSTRUCTION OF FILLS OR SLOPES. IF ACCUMULATED WATER NEEDS TO BE REMOVED FROM A WORK AREA, THE WATER SHALL BE TO A SEDIMENT CONTROL BMP, SUCH AS A SEDIMENT TRAP, SEDIMENT BASIN, OR PUMPED WATER FILTER BAG PLACED FOR DISCHARGE OVER A STABILIZED, WELL-VEGETATED AREA. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
5. **HYDRIC / INDICIC INCLUSIONS** - HYDRIC SOILS OR SOILS WITH HYDRIC INCLUSIONS MAY BE INDICATIVE OF WETLANDS, HIGH GROUNDWATER TABLE, OR POORLY DRAINED SOILS. WETLANDS SHOULD BE IDENTIFIED AND AVOIDED IF POSSIBLE. DEWATERING TECHNIQUES SHALL BE USED AS NEEDED.
6. **LOW STRENGTH/LANDSLIDE PRONE** - FOR SOILS WITH LOW STRENGTH, PRECAUTIONS SHOULD BE TAKEN TO PREVENT SLOPE FAILURES DUE TO IMPROPER CONSTRUCTION PRACTICES SUCH AS OVER-SHEERING AND OVERLOADING OF SLOPES, REMOVAL OF LATERAL SUPPORT, AND FAILURE TO PREVENT SATURATION OF SLOPES. SEEBRACKS SHOULD BE APPLIED IN ACCORDANCE WITH PAEPD STANDARDS UNLESS IT CAN BE SHOWN THAT PROPOSED CUTS AND FILLS DO NOT POSE A HAZARD TO PUBLIC SAFETY OR SURFACE WATERS. ALSO, ROAD FILL MATERIAL WILL LIKELY NEED TO BE IMPORTED IN AREAS WHERE SOILS HAVE LOW STRENGTH. CONTRACTOR SHALL CONSULT GEOTECHNICAL ENGINEER/INSPECTOR FOR APPROPRIATE MEASURES TO BE IMPLEMENTED TO COMPACT, MITIGATE, AND/OR STABILIZE AREAS OF LOW STRENGTH OR LANDSLIDE PRONE SOILS.
7. **SLOW PERCOLATION** - CONTRACTOR SHALL PERFORM SITE GRADING TO PROVIDE SUFFICIENT POSITIVE DRAINAGE AWAY FROM BUILDINGS, FOUNDATIONS, AND OTHER STRUCTURES. IF ACCUMULATED WATER NEEDS TO BE REMOVED FROM A WORK AREA, THE WATER SHALL BE TO A SEDIMENT CONTROL BMP, SUCH AS A SEDIMENT TRAP, SEDIMENT BASIN, OR PUMPED WATER FILTER BAG PLACED FOR DISCHARGE OVER A STABILIZED, WELL-VEGETATED AREA.
8. **PIPING** - SOILS THAT ARE SUSCEPTIBLE TO PIPING CAN BE ERODIBLE AND NOT WELL SUITED FOR CONSTRUCTION OF EMBANKMENTS, DIKES, AND LOVELS. CONSTRUCTION TECHNIQUES SHALL BE EMPLOYED TO ENSURE THESE SOILS ARE PROPERLY COMPACTED AND STABILIZED.
9. **POOR SOURCE OF TOPSOIL** - MANY SOIL TYPES ARE DROUGHTY OR TOO YOD TO BE SUITABLE SOURCES OF TOPSOIL. SOIL TESTS SHOULD BE DONE TO DETERMINE THE PROPER APPLICATION OF SOIL AMENDMENTS TO PROMOTE THE GROWTH OF THE DESIRED VEGETATION. WHEREVER SOILS THAT ARE FAR OR GOOD SOURCES OF TOPSOIL EXIST ON A SITE, THEY SHOULD BE CAREFULLY PRESERVED AND STORED FOR LATER USE IN RESTORATION. IF NECESSARY, TOPSOIL MAY BE IMPORTED TO THE SITE.
10. **FROST ACTION** - CONTRACTOR SHALL CONSULT GEOTECHNICAL ENGINEER / INSPECTOR REGARDING ANY SPECIAL MEASURES TO BE TAKEN FOR EARTHWORK THAT IS TO OCCUR DURING PERIODS OF FROST.
11. **WETNES** - PROPER DRAINAGE AND DEWATERING MEASURES SHALL BE EMPLOYED AT ALL TIMES.
12. **SLOPES** - EXCAVATIONS SHOULD BE STABILIZED TO PREVENT EROSION AND CONTRACTOR SHOULD EMPLOY PROPER CONSTRUCTION TECHNIQUES TO ENSURE SAFETY ON STEEP SLOPE AREAS.
13. **DEPTH OF ROCK** - IF BEDROCK IS ENCOUNTERED, REMOVE AS NECESSARY IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
14. **SOIL PH LEVELS** - CONTRACTOR SHALL HAVE SOIL PH TESTED TO DETERMINE CORRECT FERTILIZER APPLICATION RATES.
15. **FLOODING POTENTIAL** - ENSURE THAT THE SITE HAS PROPER DRAINAGE.
16. **HIGH GROUNDWATER LEVEL** - CONTRACTOR SHALL EMPLOY DEWATERING TECHNIQUES AS APPROVED BY THE CONSERVATION DISTRICT. PUMPED WATER FILTER BAGS SHALL BE USED TO DEWATER UTILITY TRENCHES AND BELOW GRADE EXCAVATIONS.
17. **BASEIN AREAS AND EMBANKMENTS** - FILL FOR BASEIN EMBANKMENTS SHALL BE COMPACTED IN 8" LIFTS TO 98% MAXIMUM DRY DENSITY (STANDARD PRACTICE) +/- 2% MOISTURE CONTENT PER ASTM D-1557. ANTI-SEEP COLLARS SHALL BE INSTALLED ON A BASIN DISCHARGE PIPING TO PREVENT SEEPAGE OF WATER FROM THE BASIN. CONSULT WITH SITE DESIGN ENGINEER FOR THE SPECIFIC ANTI-SEEP COLLAR SIZE REQUIREMENTS.

OPERATION & MAINTENANCE PROGRAM FOR BMPs AND SWM FACILITIES

1. THE PURPOSE OF THESE INSTRUCTIONS IS TO IDENTIFY THE OWNERSHIP AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED STRUCTURAL STORMWATER BMPs. THE SUBJECT SITE HAS BEEN DESIGNED SUCH THAT THE INCREASE IN STORMWATER VOLUME SHALL BE ATTENUATED BY SCM 1.
 2. A LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT TO OBSERVE THE ITEMS LISTED BELOW AS THEY TAKE PLACE DURING CRITICAL STAGES OUTLINED IN THE SEQUENCE OF CONSTRUCTION LISTED HEREIN:
 - 2.1. **OVERLYING VEGETATION SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED.**
 - 2.2. **ALL CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED OUT. VEHICULAR ACCESS SHOULD BE PROHIBITED, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS. IF ACCESS IS NEEDED, USE OF PERMEABLE, TURF REINFORCEMENT SHOULD BE CONSIDERED.**
 - 2.3. **VEHICULAR ACCESS SHOULD BE PROHIBITED AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS. IF ACCESS IS NEEDED, USE OF PERMEABLE, TURF REINFORCEMENT SHOULD BE CONSIDERED.**
 3. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER FACILITIES AND BMPs LOCATED OUTSIDE OF THE PUBLIC-RIGHT-OF-WAY. THESE FACILITIES INCLUDE BUT ARE NOT LIMITED TO SCM 1 THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR KEEPING THE FACILITIES FREE OF OBSTRUCTIONS.
 4. THE PROPERTY OWNER SHALL GRANT TO THE HAVERFORD TWP THE RIGHT TO ENTER ALL PARTS OF THE PROPERTY TO INSPECT ON SITE STORMWATER MANAGEMENT FACILITIES IN ORDER TO ENSURE THEY ARE BEING OPERATED AS INTENDED PER THE PROVIDED MAINTENANCE REQUIREMENTS. THE PROPERTY OWNER SHALL FURTHER RECOGNIZE THAT IF SAID STORMWATER FACILITIES ARE NOT MAINTAINED IN ACCORDANCE WITH THE ABOVE, HAVERFORD TOWNSHIP HAS LEGAL RIGHT TO ACCESS THE PROPERTY, APPLY REQUIRED MAINTENANCE MEASURES TO SAID AREAS, AND ASSESS PENALTIES AND COSTS INCURRED.
- THE AFORESAID FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
HAVERFORD TOWNSHIP-SCHOOL DISTRICT
400 ALLISTON ROAD
HAVERFORD, PA 19083
TELEPHONE: 610.853.5900 X 2704
CONTACT: MAUREN REUSCH, Ed.D., SUPERINTENDENT

SEQUENCE OF CONSTRUCTION

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH ACTIVITY SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- IMMEDIATELY UPON DISCOVERING UNDESIRABLE CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- SCHEDULE SHALL INCLUDE REGULAR INSPECTION AND MAINTENANCE REQUIREMENTS INCLUDING ENGINEER'S PRESENCE AT SITE TO OBSERVE CONSTRUCTION AT CRITICAL STAGES AS INDICATED HEREIN. CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS PRIOR TO CONSTRUCTION OF STAGES.**
1. AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE DELEWARE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
 2. AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1376 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
 3. CONTRACTOR SHALL CLEARLY MARK THE LIMIT OF DISTURBANCE AS SHOWN ON THE PLAN. ORANGE CONSTRUCTION FENCE OR WOODEN STAKES WITH FLAG TAPE ARE ADEQUATE FOR FIELD MARKING. ADDITIONALLY, CONTRACTOR SHALL CLEARLY MARK ALL WATERS OF THE COMMONWEALTH.
 4. INSTALL ALL SEGMENTS OF COMPOST FILTER SOCK IN THE LOCATIONS SHOWN ON THE PLANS.
 5. ROUGH GRADE THE ACCESS DRIVE OFF OF HIGHLAND LANE INTO THE SITE AND IMMEDIATELY CONSTRUCT THE TEMPORARY ROCK CONSTRUCTION ENTRANCE #1 AS SHOWN ON THE PLAN. ALL VEHICLES ENTERING THE SITE SHALL GO SO VIA THE ROCK CONSTRUCTION ENTRANCE. ANY MUD OR SEDIMENT TRACKED ONTO MACADAM ROADWAYS SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORKING DAY. WASHING OF THE ROADWAY IS NOT PERMITTED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES INCLUDING THE ACCESS DRIVES THROUGHOUT THE TERM OF CONSTRUCTION ACTIVITIES.
 6. CLEAR AND GRUB THE REMAINING PORTIONS OF THE SITE AND DEMO ITEMS ALONG COOPERTOWN ROAD AND HIGHLAND LANE. STRIP TOPSOIL AND STOCKPILE AT THE TEMPORARY AREA PROVIDED, SUBROUND WITH CURB AND GUTTER FILTER SOCKS AND SEED PER TEMPORARY SPECIFICATIONS. FERTILIZE AND MULCH. BEGIN BULK EXCAVATION OF THE SITE TO THE REQUIRED GRADES AS SHOWN ON THE PLANS. ANY EXCAVATED SOIL MATERIAL REMOVED FROM THE SITE SHALL ONLY BE PLACED IN AN AREA THAT HAS AN APPROVED EROSION CONTROL PLAN. ENSURE SEDIMENT LADEN RUNOFF IS DIRECTED TO AN APPROPRIATE EROSION CONTROL BMP.
 8. **CRITICAL STAGE: INSTALL UNDERGROUND INFILTRATION BASIN (SCM 1). EXISTING SUBGRADE UNDER THE BED AREAS SHOULD NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEKXLE AND STONE BED PLACEMENT.**
 - 8.1. **INSTALL CONSTRUCTION FENCING AROUND LOCATIONS OF SCM 1, AS SHOWN ON THE PLANS.**
 - 8.1. **WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHOULD BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE (OR EQUIVALENT) AND LIGHT TRACTOR. ALL FINE GRADING SHOULD BE DONE BY HAND. ALL BED BOTTOMS SHOULD BE AT LEVEL GRADE. INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, PERFORATED PIPING, AND ALL OTHER NECESSARY STORMWATER STRUCTURES.**
 - 8.2. **GEOTEKXLE AND BED AGGREGATE SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION. GEOTEKXLE SHOULD BE PLACED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS.**
 - 8.3. **CLEAN-WASHED, UNIFORMLY GRADED AGGREGATE SHOULD BE PLACED IN THE BED IN MAXIMUM 8-INCH LIFTS. EACH LAYER SHOULD BE LIGHTLY COMPACTED, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM AS MUCH AS POSSIBLE.**
 - 8.4. **APPROVED SOIL MEDIA SHOULD BE PLACED OVER INFILTRATION BASINS IN MAXIMUM 6-INCH LIFTS.**
 11. INSTALL STORMWATER COLLECTION AND CONVEYANCE FACILITIES FOR SCM 1 BEGINNING AT THE DOWNSTREAM CONNECTIONS AND WORKING UPSTREAM. ALL STORM SEWER CONSTRUCTION INCLUDES TRENCHING, BACKFILLING, AND APPLYING FINAL STABILIZATION. ALL AREAS DRAINING TO STORMWATER COLLECTION, CONVEYANCE, AND MANAGEMENT FACILITIES SHALL BE IMMEDIATELY STABILIZED AND, IF NEEDED, TEMPORARY DIVERSION MEASURES UTILIZED TO MINIMIZE THE AMOUNT OF SEDIMENT REACHING THEM. INSTALL TEMPORARY INLET PROTECTION WHERE INDICATED ON THE PLANS. INSTALL STEEL OR PLYWOOD PLATES ON EACH INLET GRATE IN ORDER TO BLOCK OFF SEDIMENT FROM ENTERING THE INLETS DURING CONSTRUCTION.
 12. **CRITICAL STAGE: INSTALL UNDERGROUND INFILTRATION BASIN (SCM 2). EXISTING SUBGRADE UNDER THE BED AREAS SHOULD NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEKXLE AND STONE BED PLACEMENT.**
 - 8.1. **INSTALL CONSTRUCTION FENCING AROUND LOCATIONS OF SCM 1, AS SHOWN ON THE PLANS.**
 - 8.1. **WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHOULD BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE (OR EQUIVALENT) AND LIGHT TRACTOR. ALL FINE GRADING SHOULD BE DONE BY HAND. ALL BED BOTTOMS SHOULD BE AT LEVEL GRADE. INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, PERFORATED PIPING, AND ALL OTHER NECESSARY STORMWATER STRUCTURES.**
 - 8.2. **GEOTEKXLE AND BED AGGREGATE SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION. GEOTEKXLE SHOULD BE PLACED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS.**
 - 8.3. **CLEAN-WASHED, UNIFORMLY GRADED AGGREGATE SHOULD BE PLACED IN THE BED IN MAXIMUM 8-INCH LIFTS. EACH LAYER SHOULD BE LIGHTLY COMPACTED, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM AS MUCH AS POSSIBLE.**
 - 8.4. **APPROVED SOIL MEDIA SHOULD BE PLACED OVER INFILTRATION BASINS IN MAXIMUM 6-INCH LIFTS.**
 13. CLEAR AND GRUB THE REMAINING PORTIONS OF THE SITE AND DEMO ITEMS ALONG COOPERTOWN ROAD AND HIGHLAND LANE. STRIP TOPSOIL AND STOCKPILE AT THE TEMPORARY AREA PROVIDED, SUBROUND WITH CURB AND GUTTER FILTER SOCKS AND SEED PER TEMPORARY SPECIFICATIONS. FERTILIZE AND MULCH. BEGIN BULK EXCAVATION OF THE SITE TO THE REQUIRED GRADES AS SHOWN ON THE PLANS. ANY EXCAVATED SOIL MATERIAL REMOVED FROM THE SITE SHALL ONLY BE PLACED IN AN AREA THAT HAS AN APPROVED EROSION CONTROL PLAN. ENSURE SEDIMENT LADEN RUNOFF IS DIRECTED TO AN APPROPRIATE EROSION CONTROL BMP.
 14. INSTALL REMAINING STORMWATER COLLECTION AND CONVEYANCE FACILITIES FOR SCM 2 AND PARKING AREAS BEGINNING AT THE DOWNSTREAM CONNECTIONS FOR SCM 1 AND WORKING UPSTREAM. ALL STORM SEWER CONSTRUCTION INCLUDES TRENCHING, BACKFILLING, AND APPLYING FINAL STABILIZATION. ALL AREAS DRAINING TO STORMWATER COLLECTION, CONVEYANCE, AND MANAGEMENT FACILITIES SHALL BE IMMEDIATELY STABILIZED AND, IF NEEDED, TEMPORARY DIVERSION MEASURES UTILIZED TO MINIMIZE THE AMOUNT OF SEDIMENT REACHING THEM. INSTALL TEMPORARY INLET PROTECTION WHERE INDICATED ON THE PLAN. INSTALL STEEL OR PLYWOOD PLATES ON EACH INLET GRATE IN ORDER TO BLOCK OFF SEDIMENT FROM ENTERING THE INLETS DURING CONSTRUCTION.
 15. INSTALL WATER SERVICE PIPING, ELECTRIC, AND OTHER REQUIRED UTILITIES.
 16. INSTALL PAVEMENT OR CONCRETE TO ALL AREAS INDICATED ON THE PLANS AND APPLY TOPSOIL WITH PERMANENT SEEDING TO ALL AREAS TO REMAIN AS LANDSCAPE OR GRASS. IF NEEDED, IMPORT TOPSOIL AND APPLY THE MINIMUM REQUIRED DEPTH TO ESTABLISH PERMANENT VEGETATION. SEED, FERTILIZE, AND MULCH EXPOSED OR DISTURBED AREAS.
 17. REMOVE THE TEMPORARY SILT SOCK #XX.
 18. INSTALL ALL PROPOSED LANDSCAPING AT THIS TIME. SEE POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) PLAN FOR PLANTINGS AND SPECIFICATIONS.
 19. THE CONTRACTOR SHALL REMOVE TEMPORARY INLET PROTECTION AND ANY INSTALLED STEEL OR PLYWOOD PLATES, AND FLUSH ALL STORM SEWER PIPES AFTER THE SITE IS COMPLETELY STABILIZED.
 20. ONCE SITE IS COMPLETELY STABILIZED, THE CONSTRUCTION FENCING AROUND SCM 1 AND SCM 2 SHALL BE REMOVED.
 21. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES, REMOVAL OF ALL TEMPORARY BMPs, AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL PREPARE A WRITTEN NOTICE OF TERMINATION (NOT) AND AS-BUILT PLANS SUITABLE TO CONDUCT FINAL INSPECTION. CONTACT THE DELEWARE COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION. PROPER DISPOSAL AND/OR RECYCLING OF THE BMPs IS REQUIRED BY THE SITE CONTRACTOR.

* STABILIZATION - PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND SOIL MOVEMENTS.
**IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

LANDOWNER / APPLICANT

HAVERFORD TOWNSHIP SCHOOL DISTRICT
400 ALLISTON ROAD
HAVERFORD, PA 19083
TELEPHONE: 610.853.5900 X 2704
CONTACT: MAUREN REUSCH, Ed.D., SUPERINTENDENT

SITE ENGINEER / PLAN PREPARER

KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110
TELEPHONE: 717.635.2835
CONTACT: CAROLYN E. DUBOIS, R.L.S.

SITE SURVEYOR

KUROWSKI & WILSON, LLC
2201 NORTH FRONT STREET, SUITE 200
HARRISBURG, PA 17110
TELEPHONE: 717.635.2835
CONTACT: DENNIS P. BURKHARD, PLS

WATERSHED NOTE

THE SITE IS LOCATED IN THE DARBY CREEK AND COBBS CREEK WATERSHEDS APPROXIMATELY 0.2 MILES SOUTH OF TRIBUTARY 80700 TO MEADOWBROOK RUN AND 0.4 MILES EAST OF TRIBUTARY 80770 TO MEADOWBROOK RUN. BOTH WHICH FLOWS INTO MEADOWBROOK RUN. ACCORDING TO 25 PA CODE CHAPTER 93, BOTH TRIBUTARIES AND MEADOWBROOK RUN IS DESIGNATED AS A COLD WATER FISHERY (CWF) AND HEADWATER FISH (HW).

RECYCLING OR DISPOSAL OF MATERIALS

1. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 282.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
2. ANTICIPATED CONSTRUCTION WASTE MAY INCLUDE TYPICAL BUILDING MATERIALS (I.E. LUMBER, DRYWALL, MASONRY, CARDBOARD AND PAPER, INSULATION, ASPHALT, ROOFING, PLASTIC AND VINYL, PAINTS, STAINS, SOLVENTS AND SEALANTS, ETC.).
3. IT IS STRONGLY ENCOURAGED THAT SUCH RECOVERABLE WASTE MATERIALS BE SEPARATED AND APPROPRIATELY RECYCLED. NO POTENTIAL TOXIC OR HAZARDOUS WASTE IS KNOWN TO BE PRESENT ON SITE. IF ANY TOXIC OR HAZARDOUS WASTE IS ENCOUNTERED, THE CONTRACTOR SHALL FOLLOW ANY AND ALL APPLICABLE STATE OR FEDERAL REGULATIONS ASSOCIATED WITH THE DISPOSAL OF SUCH MATERIALS.

PCSM PLAN SET LIST

SHEET NUMBER	SHEET TITLE
C-002	PCSM SUPPORTING INFORMATION
C-101	OVERALL EXISTING FEATURES PLAN
C-101.1	EXISTING FEATURES PLAN
C-105	PCSM PLAN
C-105.1	PCSM PLAN
C-300	STORMWATER PROFILES
C-301	STORMWATER PROFILES
C-302	STORMWATER PROFILES
C-601	PCSM DETAILS
C-602	PCSM DETAILS
C-801	OFFSITE DRAINAGE PLAN

ENVIRONMENTAL DUE DILIGENCE

1. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATABASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OF AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATE THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL".
2. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM PB-901 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL, AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM PB-901 MUST BE RETAINED BY THE OWNER OR THE PROPERTY RECEIVING THE FILL.

MULCH SPECIFICATIONS

ON ALL DISTURBED AREAS WHICH DO NOT HAVE AN EROSION CONTROL BLANKET SPECIFIED FOR INSTALLATION, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 3.0 TONS PER ACRE IMMEDIATELY AFTER SEEDING THE SURFACE. ON STEEP SLOPES OF 3:1 OR GREATER, MULCH SHALL BE ANCHORED THROUGH THE USE OF LUTE NETTING OR MIXING WITH ASPHALT AT THE RATE OF 100 GALLONS PER 3 TONS OF STRAW MULCH.

- APPLY THE FOLLOWING SOIL SUPPLEMENTS PRIOR TO PERMANENT SEEDING IN ACCORDANCE WITH PENNDOT AGRICULTURE 408, SECTION 804:
- A) FULVILIZED AGRICULTURAL LIMESTONE APPLIED AT A RATE OF 800 POUNDS PER 1,000 SQUARE YARDS.
 - B) 10-20-20 ANALYSIS COMMERCIAL FERTILIZER APPLIED AT A RATE OF 140 POUNDS PER 1,000 SQUARE YARDS.
 - C) 38-0-0 UREAFORM SLOW-RELEASE NITROGEN FERTILIZER APPLIED AT A RATE OF 50 POUNDS PER 1,000 SQUARE YARDS.

SEED MIXTURES

TEMPORARY SEED MIXTURE
TEMPORARY SEEDING SHALL CONSIST OF ANNUAL RYEGRASS (100% BY WEIGHT), OR EQUIVALENT, AND SHALL BE PLACED AT THE RATE OF 40 POUNDS PER ACRE. PURITY - 95%; GERMINATION - 85. TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE TO BE REDISTURBED LATER IN THE CONSTRUCTION PROJECT.

PERMANENT SEED MIXTURE
TURF TYPE TALL FESCUE SHALL BE APPLIED AT A RATE OF 21.0 POUNDS PER 1,000 SQ. 80% MIN. GERMINATION; MIN. PURITY 98%.

REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGES
01	03-19-2025	PHS	ADD NOTES

CRABTREE ROHRBAUGH & ASSOCIATES - ARCHITECTS
www.cra-architects.com
TOWSON, MARYLAND
CHARLOTTESVILLE, VIRGINIA
WHITE SULPHUR SPRINGS, WEST VIRGINIA

401 EAST WINDING HILL ROAD
MECHANICSBURG PA 17055
717-458-0272

ADDITIONS AND RENOVATIONS TO
COOPERTOWN ELEMENTARY SCHOOL
SCHOOL DISTRICT OF HAVERFORD TOWNSHIP
800 COOPERTOWN ROAD
BRYN MAWR, PA. 19010



PCSM SUPPORTING INFORMATION

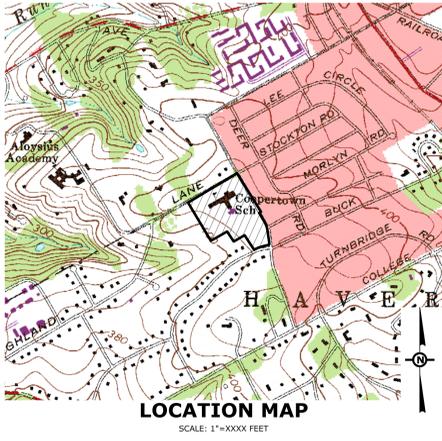
PROJECT 3758

FILENAME: AS SHOWN

DATE: MARCH 10, 2025

C-002

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CRABTREE, ROHRBAUGH & ASSOCIATES, INC. 200



LOCATION MAP
SCALE: 1"=XXXX FEET

E&S PLAN GENERAL NOTES

THE SITE CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE N.P.D.E.S. PERMIT FOR THE PROJECT SITE, INCLUDING OBTAINING STATUS AS A CO-PERMITTEE OF THE PERMIT. FOR INFORMATION REGARDING COMPLIANCE WITH THE N.P.D.E.S. PERMIT, CONTACT:

CHESTER COUNTY CONSERVATION DISTRICT
688 UNIONVILLE ROAD, SUITE 200
KENNET SQUARE, PA 19384
610-455-1360 PHONE

1. THE EROSION AND SEDIMENT CONTROL PLAN WAS DESIGNED TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE, WHILE ALSO PROTECTING EXISTING DRAINAGE FEATURES AND VEGETATION.
2. THE EROSION AND SEDIMENT CONTROL PLAN MINIMIZES SOIL COMPACTION TO ONLY THOSE AREAS REQUIRED FOR CONSTRUCTION, AND UTILIZES APPROPRIATE CONTROL MEASURES TO MINIMIZE ANY INCREASE IN STORMWATER SURFACE.
3. AREAS OF DISTURBANCE ASSOCIATED WITH SITE RESTORATION ONLY MUST BE RESTORED TO EXISTING COVER CONDITIONS.
4. AREAS LABELED AS ROADWAY MAINTENANCE ACTIVITIES WILL CONSIST SOLELY OF MILLING AND OVERLAYING EXISTING SURFACES.

ENVIRONMENTAL DUE DILIGENCE

1. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING BUT NOT LIMITED TO: VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATABASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENING, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS, AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE SANBORN MAPS OF THE PROPERTY INDICATE THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE CONDUCTED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL".
2. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FR-901 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL, AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FR-901 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.

MULCH SPECIFICATIONS

ON ALL DISTURBED AREAS WHICH DO NOT HAVE AN EROSION CONTROL BLANKET SPECIFIED FOR INSTALLATION, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 3.0 TONS PER ACRE IMMEDIATELY AFTER STREWDING THE SURFACE. ON STEEP SLOPES OF 3:1 OR GREATER, MULCH SHALL BE ANCHORED THROUGHOUT THE SITE USING NETTING OR MIXING WITH ASPHALT AT THE RATE OF 100 GALLONS PER 3 TONS OF STRAW MULCH.

- APPLY THE FOLLOWING SOIL SUPPLEMENTS PRIOR TO PERMANENT SEEDING IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 804:
- A) FULVYZED AGRICULTURAL LIMESTONE APPLIED AT A RATE OF 800 POUNDS PER 1,000 SQUARE YARDS.
 - B) 10-20-20 ANALYSIS COMMERCIAL FERTILIZER APPLIED AT A RATE OF 140 POUNDS PER 1,000 SQUARE YARDS.
 - C) 38-0-0 UREAFORM SLOW-RELEASE NITROGEN FERTILIZER APPLIED AT A RATE OF 50 POUNDS PER 1,000 SQUARE YARDS.

SEED MIXTURES

- TEMPORARY SEED MIXTURE**
SEEDING MIXTURES SHALL CONSIST OF ANNUAL RYEGRASS (100% BY WEIGHT), OR EQUIVALENT, AND SHALL BE PLACED AT THE RATE OF 40 LBS PER ACRE. PURITY - 95%; GERMINATION - 85. TEMPORARY SEEDING SHALL BE APPLIED TO DISTURBED AREAS THAT ARE TO BE REDISTURBED LATER IN THE CONSTRUCTION PROCESS.
- PERMANENT SEED MIXTURE**
TURF TYPE TALL FESCUE SHALL BE APPLIED AT A RATE OF 21.0 POUNDS PER 1,000 SQ. 80% MIN. GERMINATION; MIN. PURITY 98%.

SOIL LIMITATIONS RESOLUTIONS

1. **EASILY ERODIBLE / BANKS** - CONTRACTOR SHOULD EMPLOY PROPER CONSTRUCTION, STABILIZATION, AND SAFE WORKING TECHNIQUES TO ENSURE SAFETY ON STEEP SLOPE AREAS AND WITHIN AND AROUND ALL EXCAVATIONS INCLUDING FOOTERS, FOUNDATIONS AND UTILITY TRENCHES. BENCHING AND TRENCH BOXES SHOULD BE EMPLOYED WHERE REQUIRED OR APPROPRIATE TO ENSURE SAFE WORKING CONDITIONS AND COMPLIANCE WITH APPLICABLE SAFETY STANDARDS AND REGULATIONS.
2. **CORROSION TO CONCRETE/STEEL** - WHERE PERMITTED, UNDERGROUND PIPES, CONDUITS, AND STORAGE TANKS SHOULD BE MADE CORROSION RESISTANT MATERIALS. WHERE NECESSARY, SUITABLE PRECAUTIONS SHOULD BE TAKEN TO PROTECT UNDERGROUND CONCRETE AND UNCOATED STEEL STRUCTURES AND FACILITIES FROM CORROSION.
3. **DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE** - STRUCTURES WITH BASEMENTS AND OTHER SUBSURFACE STRUCTURES SHOULD BE AVOIDED. BUILDING FOUNDATIONS SHOULD BE FURNISHED WITH APPROPRIATE FOUNDATION BRACING AND SUMP PUMPS, WHERE NECESSARY. SATURATED SOILS SHOULD BE DEWATERED PRIOR TO USE IN GRADING, WET, MUCKY, OR SOUPY SOILS SHOULD NOT BE USED IN THE CONSTRUCTION OF FILLS OR SLOPES. IF ACCUMULATED WATER NEEDS TO BE REMOVED FROM A WORK AREA, THE WATER SHALL BE TO A SEDIMENT CONTROL BMP, SUCH AS A SEDIMENT TRAP, SEDIMENT BASIN, OR PUMPED WATER FILTER BAG PLACED FOR DISCHARGE OVER A STABILIZED, WELL-VEGETATED AREA. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
4. **HYDRO / HYDRO INCLUSIONS** - HYDRO SOILS OR SOILS WITH HYDRO INCLUSIONS MAY BE INDICATIVE OF WETLANDS, HIGH GROUNDWATER TABLE, OR (POORLY) DRAINAGE SOILS. WETLANDS SHOULD BE IDENTIFIED AND AVOIDED IF POSSIBLE. DEWATERING TECHNIQUES SHALL BE USED AS NEEDED.
5. **LOW STRENGTH/LANDSLIDE PRONE** - FOR SOILS WITH LOW STRENGTH, PRECAUTIONS SHOULD BE TAKEN TO PREVENT SLOPE FAILURES DUE TO IMPROPER CONSTRUCTION PRACTICES SUCH AS OVER-STEEPENING AND OVERLOADING OF SLOPES, REMOVAL OF LATERAL SUPPORT, AND FAILURE TO PREVENT SATURATION OF SLOPES. SETBACKS SHOULD BE APPLIED IN ACCORDANCE WITH PADEP STANDARDS UNLESS IT CAN BE SHOWN THAT PROPOSED CUTS AND FILLS DO NOT POSE A HAZARD TO PUBLIC SAFETY OR SURFACE WATERS. ALSO, ROAD FILL MATERIAL WILL LIKELY NEED TO BE IMPORTED IN AREAS WHERE SOILS HAVE LOW STRENGTH. CONTRACTOR SHALL CONSULT PROJECT GEOTECHNICAL ENGINEER/INSPECTOR FOR APPROPRIATE MEASURES TO BE IMPLEMENTED TO COMPACT, MITIGATE, AND/OR STABILIZE AREAS OF LOW STRENGTH OR LANDSLIDE PRONE SOILS.
6. **SLOW INFILTRATION** - CONTRACTOR SHALL PERFORM SITE GRADING TO PROVIDE SUFFICIENT POSITIVE DRAINAGE AWAY FROM BUILDINGS, FOUNDATIONS, AND OTHER STRUCTURES. IF ACCUMULATED WATER NEEDS TO BE REMOVED FROM A WORK AREA, THE WATER SHALL BE TO A SEDIMENT CONTROL BMP, SUCH AS A SEDIMENT TRAP, SEDIMENT BASIN, OR PUMPED WATER FILTER BAG PLACED FOR DISCHARGE OVER A STABILIZED, WELL-VEGETATED AREA.
7. **PIPING** - SOILS THAT ARE SUSCEPTIBLE TO PIPING CAN BE ERODIBLE AND NOT WELL SUITED FOR CONSTRUCTION OF EMBANKMENTS, DIKES, AND LEVEES. CONSTRUCTION TECHNIQUES SHALL BE EMPLOYED TO ENSURE THESE SOILS ARE PROPERLY COMPACTED AND STABILIZED.
8. **POOR SOURCE OF TOPSOIL** - MANY SOIL TYPES ARE DROUGHTY OR TOO VET TO BE SUITABLE SOURCES OF TOPSOIL. SOIL TESTS SHOULD BE DONE TO DETERMINE THE PROPER APPLICATION OF SOIL AMENDMENTS TO PROMOTE THE GROWTH OF THE DESIRED VEGETATION. WHEREVER SOILS THAT ARE POOR OR GOOD SOURCES OF TOPSOIL EXIST ON A SITE, THEY SHOULD BE CAREFULLY PRESERVED AND STORED FOR LATER USE IN RESTORATION. IF NECESSARY, TOPSOIL MAY BE IMPORTED TO THE SITE.
9. **EROSION ACTION** - CONTRACTOR SHALL CONSULT PROJECT GEOTECHNICAL ENGINEER / INSPECTOR REGARDING ANY SPECIAL MEASURES TO BE TAKEN FOR EARTHWORK THAT IS TO OCCUR DURING PERIODS OF FROST.
10. **WETNESSES** - PROPER DRAINAGE AND DEWATERING MEASURES SHALL BE EMPLOYED AT ALL TIMES.
11. **SLOPES** - EXCAVATIONS SHOULD BE STABILIZED TO PREVENT EROSION AND CONTRACTOR SHOULD EMPLOY PROPER CONSTRUCTION TECHNIQUES TO ENSURE SAFETY ON STEEP SLOPE AREAS.
12. **DEPTH OF ROCK** - IF BEDROCK IS ENCOUNTERED, REMOVAL AS NECESSARY IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
13. **SOIL pH LEVELS** - CONTRACTOR SHALL HAVE SOIL PH TESTED TO DETERMINE CORRECT FERTILIZER APPLICATION RATES.
14. **FLOODING POTENTIAL** - ENSURE THAT THE SITE HAS PROPER DRAINAGE.
15. **HIGH GROUNDWATER LEVEL** - CONTRACTOR SHALL EMPLOY DEWATERING TECHNIQUES AS APPROVED BY THE CONSERVATION DISTRICT. PUMPED WATER FILTER BAGS SHALL BE USED TO DEWATER UTILITY TRENCHES AND BELOW GRADE EXCAVATIONS.
16. **BASEIN AREAS AND EMBANKMENTS** - FILL FOR BASIN EMBANKMENTS SHALL BE COMPACTED IN 8" LIFTS TO 98% COMPACTION (BY DENSITY STANDARD PROCTOR) +/- 2% MOISTURE CONTENT PER ASTM D-1557. ANTI-SHEEP COLLARS SHALL BE INSTALLED ON A BASIN DISCHARGE PIPING TO PREVENT SEEPAGE OF WATER FROM THE BASIN. CONSULT WITH SITE DESIGN ENGINEER FOR THE SPECIFIC ANTI-SHEEP COLLAR SIZE REQUIREMENTS.

GENERAL E&S CONTROL

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE E&S PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE E&S PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA DME CALL SYSTEM ISHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBSTRUCTIONAL MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEANING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEANING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMMEDIATELY IMPLEMENT BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
11. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTION AND REPAIR OF EROSION AND SEDIMENT BMPs AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REDESIGNING AND/OR REINFORCEMENT, SHALL BE COMPLETED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
12. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTION WILL BE NOTED IN THE LOG FOLLOWING EACH INSPECTION. THE INSPECTION LOG WILL ALWAYS BE KEPT ON THE SITE AND MADE AVAILABLE TO THE CONSERVATION DISTRICT UPON REQUEST.
13. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
14. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE OPERATOR IMMEDIATELY. SEDIMENT TRACKED ONTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER, THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEP INTO AN ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
15. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DEPOSITED OFF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
16. EROSION CONTROL MATS SHALL BE MAINTAINED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE IMPORTED TO THE SITE, SHALL BE PROTECTED WITH EROSION CONTROL MATS. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTCROPS SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
17. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. IT IS INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
18. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPLEX MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
19. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
20. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPACT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
21. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
22. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
23. AFTER FINAL SITE STABILIZATION HAS BEEN ACTIVATED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT BUILT CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
24. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING IMPOSED BY THE DEPARTMENT.
25. ALL STEPS TAKEN TO REDUCE, ELIMINATE, AND PREVENT THE OCCURRENCE OF THE NON-COMPLIANCE.
26. THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
27. SILT SOCK MUST BE INSTALLED PERMANENTLY TO EXISTING CONTOURS OR CONSTRUCTED LEVEL ALIGNMENTS. ENDS OF SILT FENCING MUST EXTEND TRAVELING UP-SLOPE AT 45 DEGREES.
28. STORM WATER INLETS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
29. UNLESS OTHERWISE NOTED, THE LIMITS OF GRADING SHALL BE CONSIDERED THE LIMITS OF DISTURBANCE.
30. UNLESS OTHER MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE OR STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMMEDIATELY IMPLEMENTED BY THE APPLICANT TO ELIMINATE ALL SUCH PROBLEMS.
31. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL ACT TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT OBRUACEMENT. STOCKPILES OF WOOD CHIPS, MULCH, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
32. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 6-4, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL RESOURCES, SUB-PART G, PROTECTION OF NATURAL, RESOURCES, ARTICLE 10, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
33. AREAS OF DISTURBANCE ASSOCIATED WITH SITE RESTORATION ONLY MUST BE RESTORED TO EXISTING COVER CONDITION.
34. AREAS LABELED AS ROADWAY MAINTENANCE ACTIVITIES WILL CONSIST SOLELY OF MILLING AND OVERLAYING EXISTING SURFACES.

SEQUENCE OF CONSTRUCTION

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE: 1. PRECONSTRUCTION MEETING. 2. EROSION AND SEDIMENT CONTROL PLAN PREPARATION. 3. EROSION AND SEDIMENT CONTROL PLAN REVIEW. 4. EROSION AND SEDIMENT CONTROL PLAN IMPLEMENTATION. 5. EROSION AND SEDIMENT CONTROL PLAN MONITORING. 6. EROSION AND SEDIMENT CONTROL PLAN MAINTENANCE. 7. EROSION AND SEDIMENT CONTROL PLAN REMOVAL. 8. EROSION AND SEDIMENT CONTROL PLAN REPAIR. 9. EROSION AND SEDIMENT CONTROL PLAN REPLACEMENT. 10. EROSION AND SEDIMENT CONTROL PLAN REDESIGNING AND/OR REINFORCEMENT. 11. EROSION AND SEDIMENT CONTROL PLAN RECONSTRUCTION. 12. EROSION AND SEDIMENT CONTROL PLAN RESTORATION. 13. EROSION AND SEDIMENT CONTROL PLAN STABILIZATION. 14. EROSION AND SEDIMENT CONTROL PLAN VERIFICATION. 15. EROSION AND SEDIMENT CONTROL PLAN COMPLETION. 16. EROSION AND SEDIMENT CONTROL PLAN FINAL INSPECTION. 17. EROSION AND SEDIMENT CONTROL PLAN FINAL REPORT. 18. EROSION AND SEDIMENT CONTROL PLAN ARCHIVING. 19. 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LEGEND

DEMOLITION FEATURES

- PROPOSED SAWCUT
- DENOTES A FEATURE TO BE DEMOLISHED
- DENOTES A FEATURE TO BE REMOVED AND RELOCATED
- EX. BITUMINOUS PAVEMENT SURFACE TO BE REMOVED
- EX. CONCRETE PAVEMENT SURFACE TO BE REMOVED
- TREE TO BE REMOVED
- TREE PROTECTION

DEMOLITION NOTES

- ALL FEATURES IN BOLD PRINT AND SO LABELED SHALL BE DEMOLISHED, REMOVED, OR RELOCATED AS INDICATED.
- ITEMS LABELED TO BE REMOVED BY OTHERS WILL BE RELOCATED AND/OR DEMOLISHED BY THE OWNER OR A CONTRACTOR HIRED BY THE OWNER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK TO BE PERFORMED BY OTHERS.
- ALL EXISTING UTILITY LIDS (MANHOLE, CLEANOUTS, VALVE COVERS, ETC.) AND ASSOCIATED APPURTENANCES TO REMAIN SHALL BE BROUGHT TO FINAL FINISHED GRADE AS PART OF CONSTRUCTION.
- MODULAR CLASSROOMS TO BE REMOVED UPON COMPLETION OF CONSTRUCTION.

REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGES
01	03-10-2025	PHS	REVISE PAVEMENT DEMOLITION LIMITS, REPLACE ADDITIONAL CURB RAMP, MOVE SANITARY SEWER CONNECTION
			REVISE LOD

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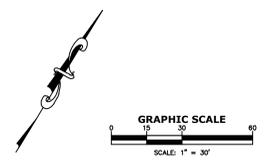
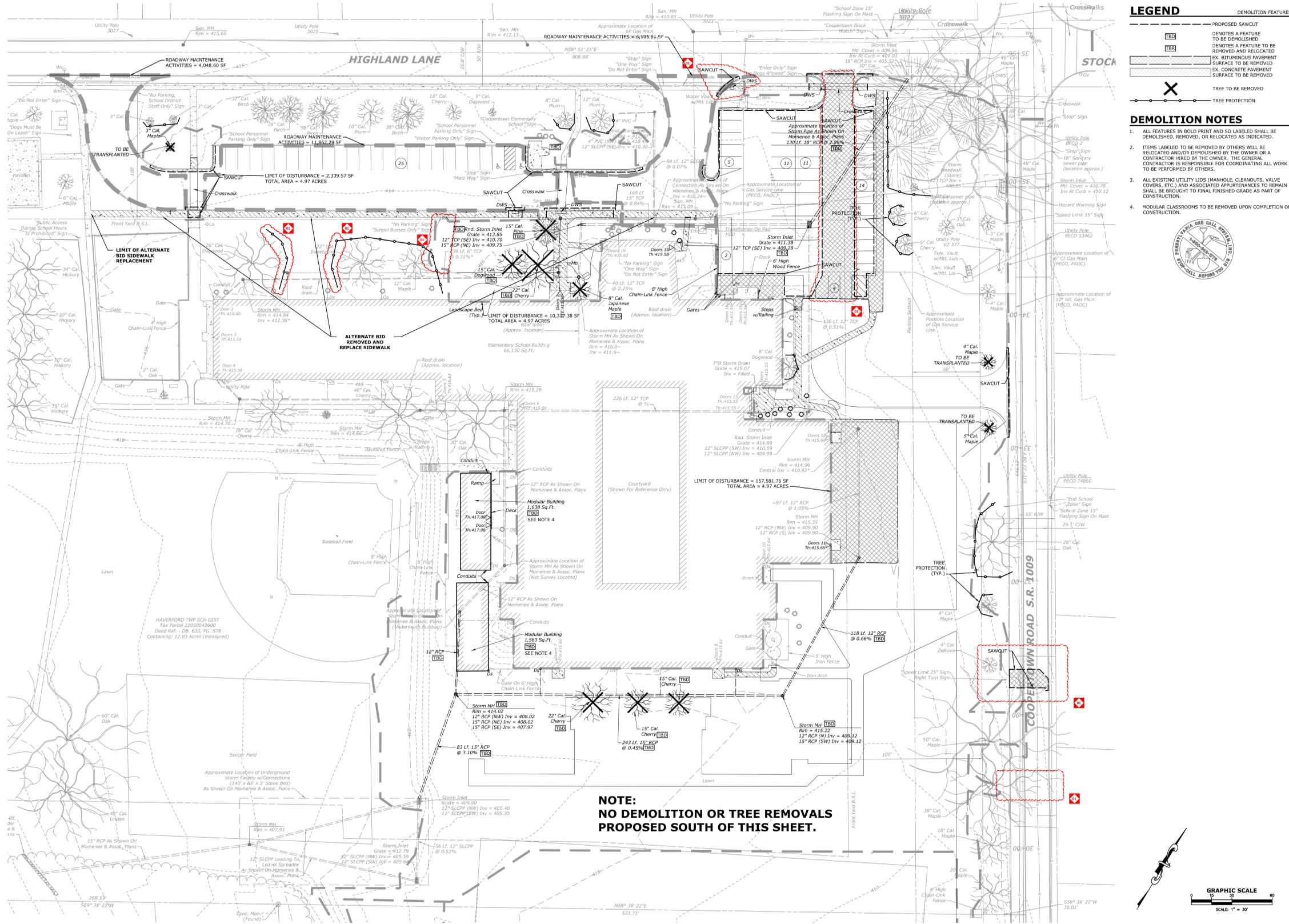
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DEMOLITION PLAN

PROJECT 3758

DATE: MARCH 10, 2025

C-102



NOTE:
NO DEMOLITION OR TREE REMOVALS
PROPOSED SOUTH OF THIS SHEET.

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NO.	DATE	BY	DESCRIPTION OF CHANGES
1	03-19-2025	PHS	REVISED LOD

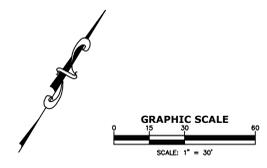
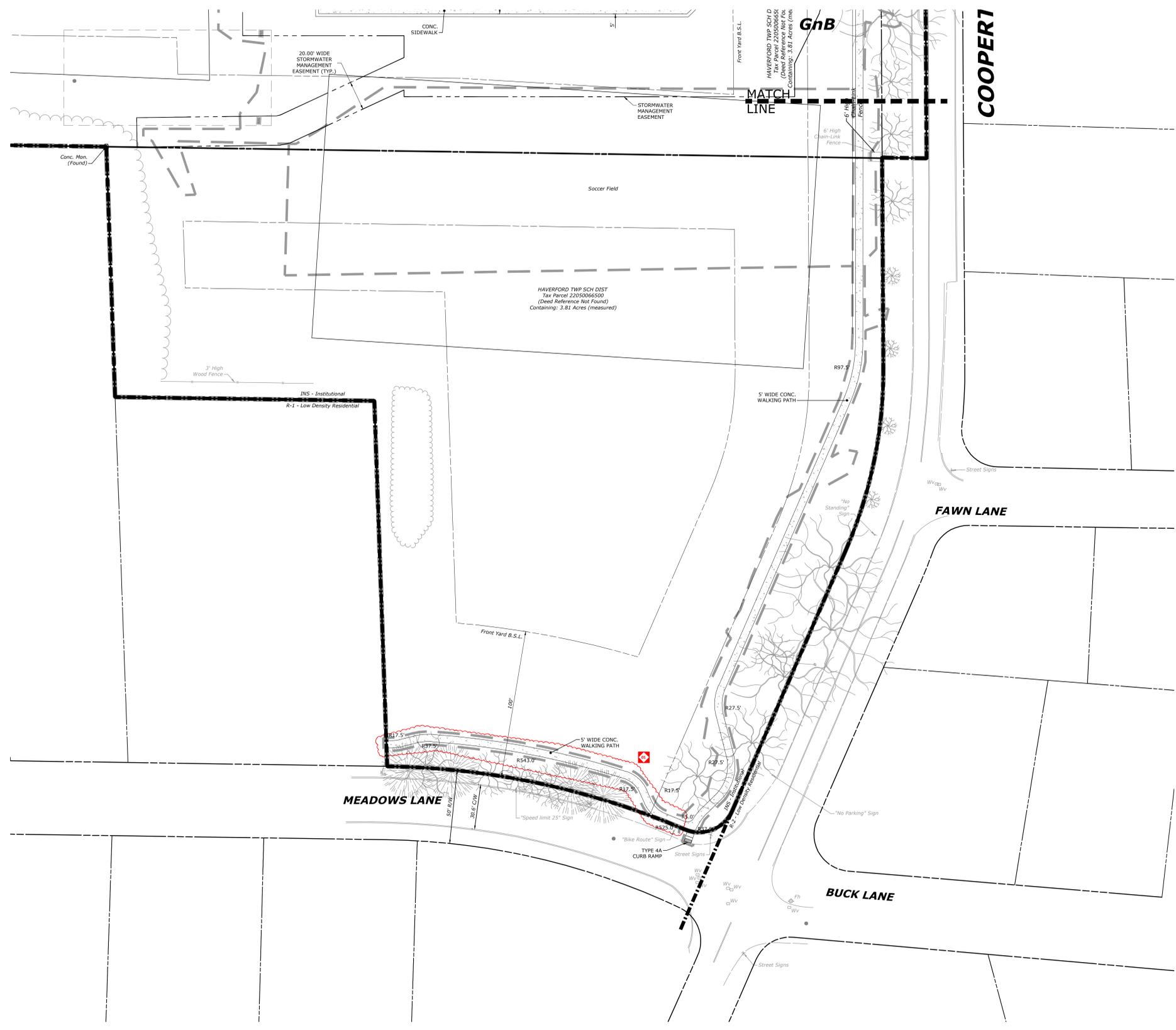
REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGES

SITE PLAN NOTES

- LEGEND** PROPOSED SITE FEATURES
- BUILDING
 - CENTER LINE
 - CONCRETE SURFACE
 - CURB
 - EDGE OF BITUMINOUS PAVEMENT
 - STANDARD DUTY PAVEMENT
 - HEAVY DUTY BITUMINOUS PAVEMENT
 - MILL & OVERLAY
 - EASEMENT LINE
 - WALL
 - BOLLARD
 - FENCE
 - PARKING SPACE COUNT
 - STOP SIGN
 - PENNDOT DESIGNATION R1-1
 - HANDICAP PARKING SIGN
 - VAN ACCESSIBLE HANDICAP PARKING SIGN
 - NO PARKING SIGN
 - DO NOT ENTER SIGN
 - ONE-WAY SIGN
 - PENNDOT DESIGNATION R6-2L

- REFER TO ARCHITECTURAL PLANS FOR CONCRETE PADS OUTSIDE OF EXTERIOR DOORWAYS.
- ALL RADII ARE 5 FEET, UNLESS SPECIFICALLY DIMENSIONED OTHERWISE WITHIN THE PLAN VIEW. THIS INCLUDES CURB RADII, RADII ON PROPOSED EDGES OF BITUMINOUS PAVEMENT, AND RADII INDICATED FOR PAVEMENT MARKINGS.
- N.I.C. = NOT IN CONTRACT
- SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH PENNDOT PUBLICATION 408, SECTION 1103, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED.
- MAXIMUM SIDEWALK CROSS SLOPE = 2%.
- ALL REMAINING BITUMINOUS PAVEMENT NOT IDENTIFIED TO BE REPLACED SHALL BE SEAL COATED. REPLACE ALL PAVEMENT MARKINGS IN KIND.



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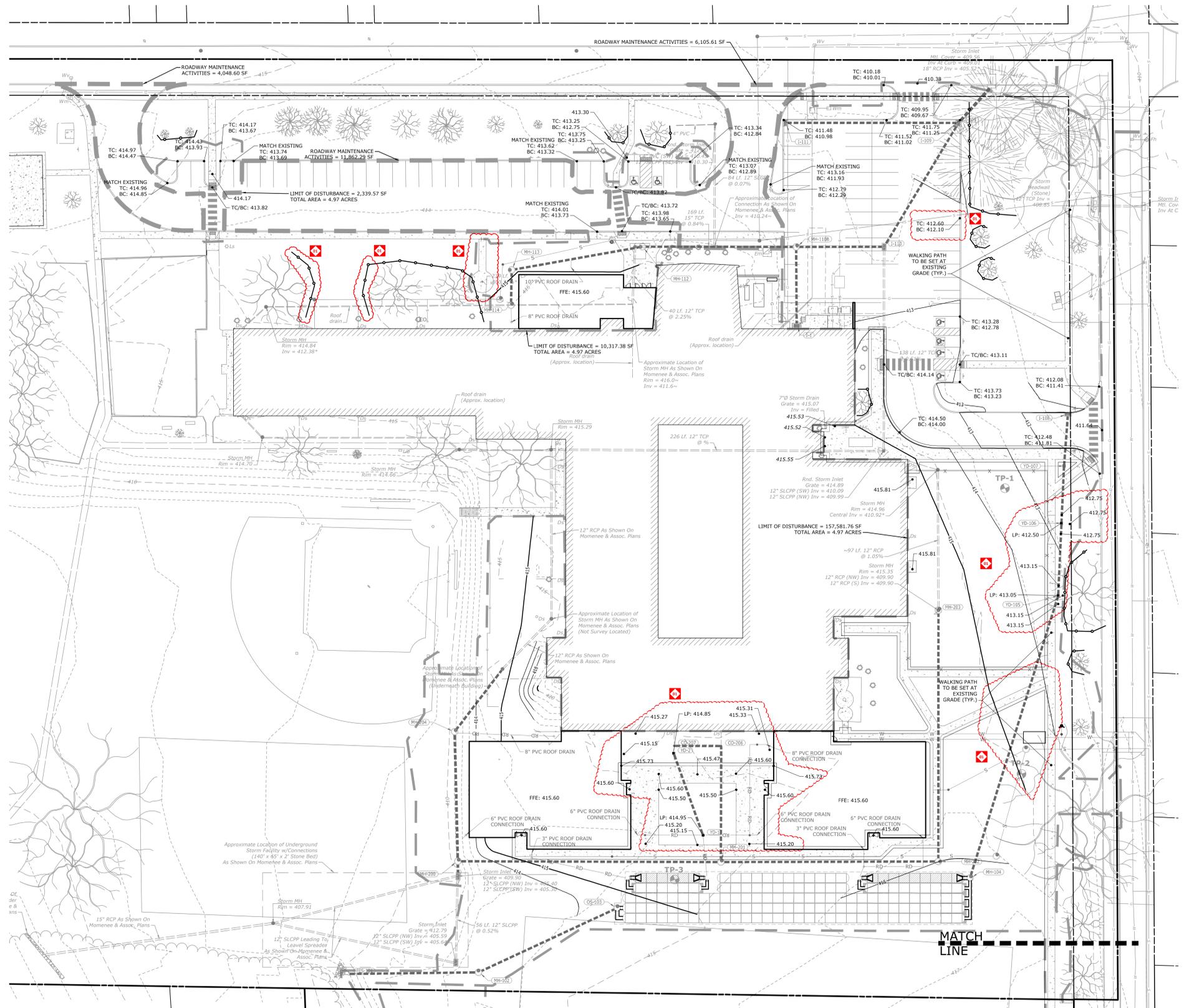
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SITE PLAN	PROJECT
PROJECT SCALE: AS SHOWN	3758
FILENAME:	C-103.2
DATE: MARCH 10, 2025	

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LEGEND

PROPOSED GRADING FEATURES	
421	INTERMEDIATE CONTOUR LINES
420	INDEX CONTOUR LINES
423.53	SPOT ELEVATIONS
1:20%	SLOPE OR GRADE LABEL
⊗	TEST PIT
TC	SPOT LABEL ABBREVIATIONS: TOP OF CURB
BC	BOTTOM OF CURB

- GRADING NOTES**
1. FINISHED GRADE ALONG THE EXTERIOR FACE OF THE BUILDING SHALL BE 415.60 UNLESS OTHERWISE NOTED.
 2. POSITIVE DRAINAGE SHALL BE PROVIDED ACROSS THE ENTIRE PROJECT AREA AND DIRECTED TOWARDS EXISTING AND PROPOSED DRAINAGE FACILITIES.

REVISIONS

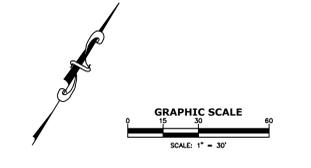
NO.	DATE	BY	DESCRIPTION OF CHANGES
01	09-19-2023	PHS	ADD ADDITIONAL SPOT GRADES, EXTEND GRADING OVER SIDEWALKS, REVISE LOD NEAR FLOODE, ADD TREE FENCE PROTECTION

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GRADING PLAN

PROJECT SCALE: AS SHOWN

FILENAME:

DATE: MARCH 10, 2025

PROJECT 3758

C-104

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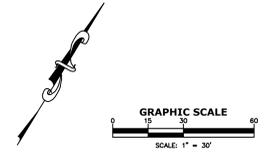
LEGEND

PROPOSED GRADING FEATURES	
421	INTERMEDIATE CONTOUR LINES
420	INDEX CONTOUR LINES
422.53	SPOT ELEVATIONS
2.00%	SLOPE OR GRADE LABEL
⊗	TEST PIT
TC	SPOT LABEL ABBREVIATIONS: TOP OF CURB
BC	BOTTOM OF CURB

- GRADING NOTES**
1. FINISHED GRADE ALONG THE EXTERIOR FACE OF THE BUILDING SHALL BE 415.60 UNLESS OTHERWISE NOTED.
 2. POSITIVE DRAINAGE SHALL BE PROVIDED ACROSS THE ENTIRE PROJECT AREA AND DIRECTED TOWARDS EXISTING AND PROPOSED DRAINAGE FACILITIES.

REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGES
01	03-10-2025	PKS	REVISE LOD



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GRADING PLAN

PROJECT SCALE: AS SHOWN

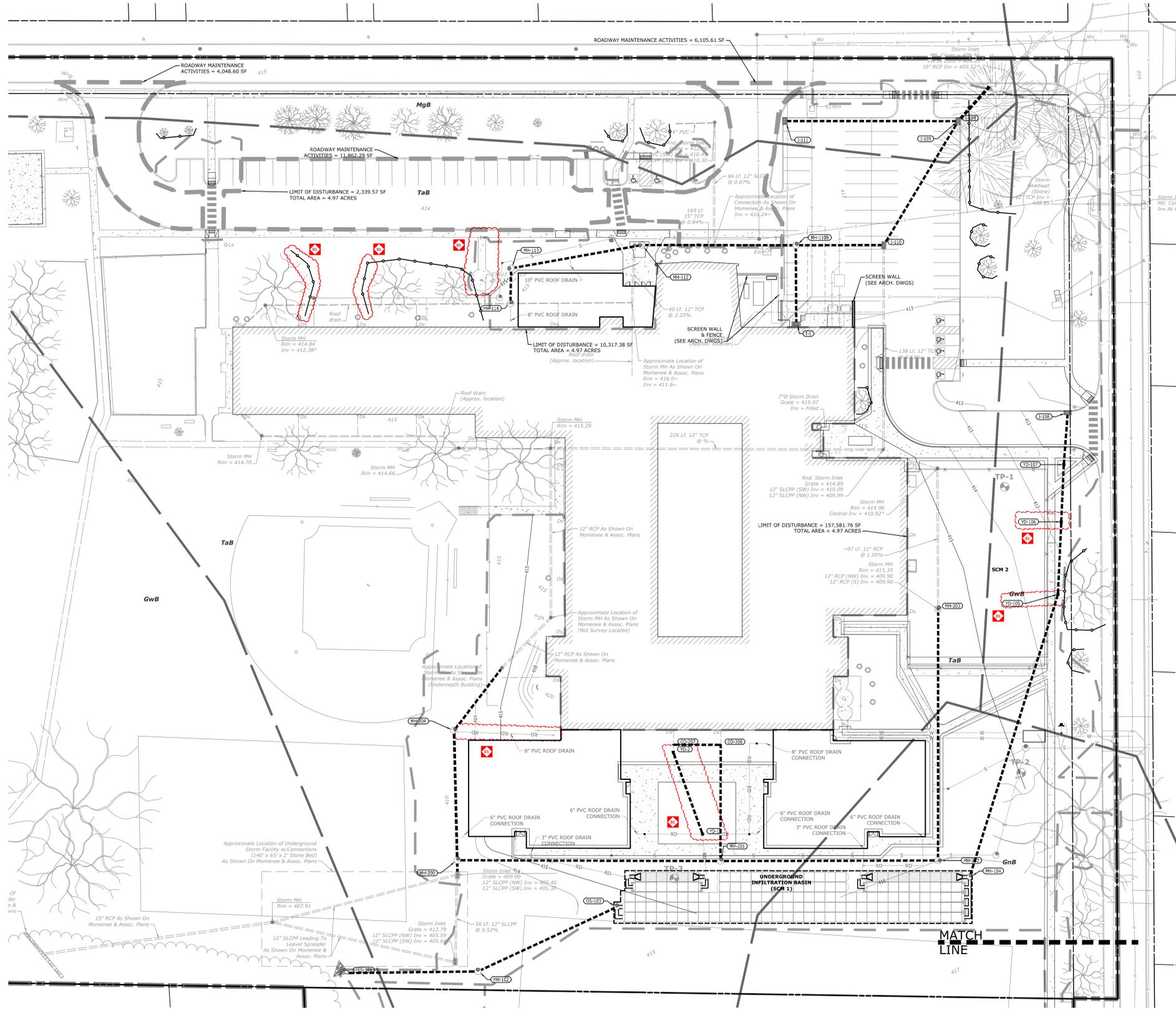
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DATE: MARCH 10, 2025

PROJECT 3758

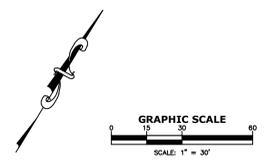
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LEGEND PROPOSED PCSM CONTROL PLAN FEATURES

- NPDES PERMIT BOUNDARY
- LIMIT OF DISTURBANCE
- BMP DISCHARGE POINT
- WATERSHED POINT OF INTEREST
- TEST PIT LOCATION



REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGE
01	09-19-2023	PKS	ADD YARD DRAINS, REVISE ROOF DRAIN, REVISE GRATE ELEVATIONS
			REVISE LOD NEAR PLAYPARK, ADD TREE FENCE PROTECTION

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PCSM PLAN

PLOT SCALE: AS SHOWN
FILENAME:
DATE: MARCH 10, 2025

PROJECT

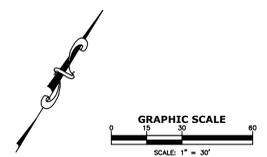
3758
C-105

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LEGEND PROPOSED PSCM CONTROL PLAN FEATURES

- NPDES PERMIT BOUNDARY
- LIMIT OF DISTURBANCE
- BMP DISCHARGE POINT
- WATERSHED POINT OF INTEREST
- TEST PIT LOCATION



REVISIONS

NO.	DATE	BY	REVISION
01	03-10-2025	PKS	REVISE LOD

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PSCM PLAN
PLOT SCALE: AS SHOWN
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NO.	DATE	DESCRIPTION OF CHANGE
1	03-19-2025	MOVE TREES AWAY FROM SIDEWALK, REVISE LOD
2		ADD TREE FENCE PROTECTION

REVISIONS	
NO.	DESCRIPTION OF CHANGE
1	ADD TREE FENCE PROTECTION

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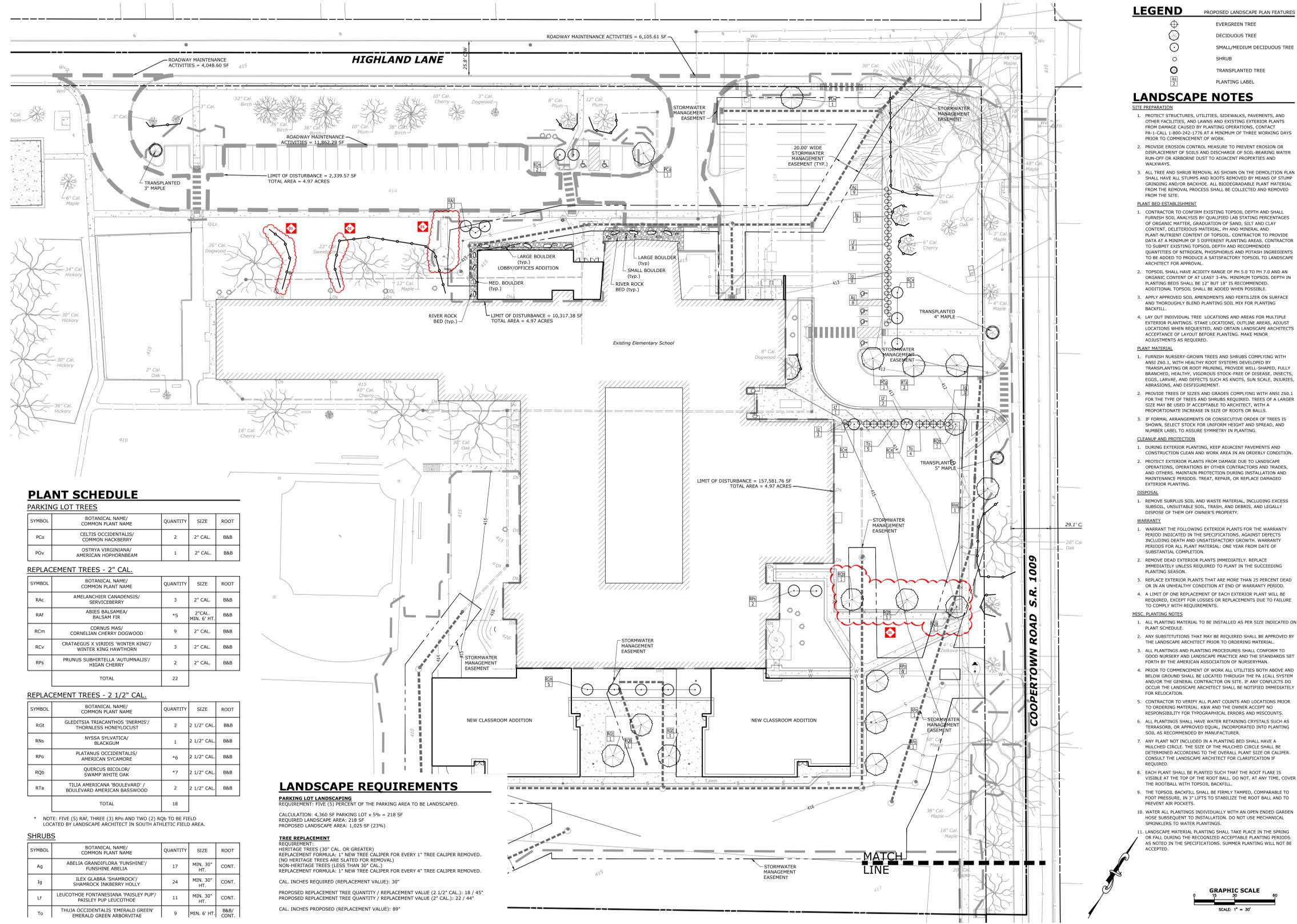
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LANDSCAPE PLAN
PROJECT 3758
AS SHOWN
MARCH 10, 2025

C-107



- LEGEND** PROPOSED LANDSCAPE PLAN FEATURES
- EVERGREEN TREE
 - DECIDUOUS TREE
 - SMALL/MEDIUM DECIDUOUS TREE
 - SHRUB
 - TRANSPLANTED TREE
 - PLANTING LABEL

LANDSCAPE NOTES

- SITE PREPARATION**
- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS. CONTACT PA-CALL 1-800-262-1776 AT A MINIMUM OF THREE WORKING DAYS PRIOR TO COMMENCEMENT OF WORK.
 - PROVIDE EROSION CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUN-OFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
 - ALL TREE AND SHRUB REMOVAL AS SHOWN ON THE DEMOLITION PLAN SHALL HAVE ALL STUMPS AND ROOTS REMOVED BY MEANS OF STUMP GRINDING AND/OR BACKHOE. ALL BIODEGRADABLE PLANT MATERIAL FROM THE REMOVAL PROCESS SHALL BE COLLECTED AND REMOVED FROM THE SITE.

- PLANT BED ESTABLISHMENT**
- CONTRACTOR TO CONFIRM EXISTING TOPSOIL DEPTH AND SHALL FURNISH SOIL ANALYSIS BY QUALIFIED LAB STATING PERCENTAGES OF ORGANIC MATTER, GRADUATION OF SAND, SILT AND CLAY CONTENT, DELETERIOUS MATERIAL, PH AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL. CONTRACTOR TO PROVIDE DATA AT A MINIMUM OF 5 DIFFERENT PLANTING AREAS. CONTRACTOR TO SUBMIT EXISTING TOPSOIL DEPTH AND RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHORUS AND POTASH INGREDIENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL TO LANDSCAPE ARCHITECT FOR APPROVAL.
 - TOPSOIL SHALL HAVE ACIDITY RANGE OF PH 5.0 TO PH 7.0 AND AN ORGANIC CONTENT OF AT LEAST 3-4%. MINIMUM TOPSOIL DEPTH IN PLANTING BEDS SHALL BE 12" BUT 18" IS RECOMMENDED. ADDITIONAL TOPSOIL SHALL BE ADDED WHERE POSSIBLE.
 - APPLY APPROVED SOIL AMENDMENTS AND FERTILIZER ON SURFACE AND THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BACKFILL.
 - LAY OUT INDIVIDUAL TREE LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECTS ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.

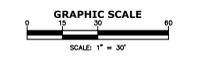
- PLANT MATERIAL**
- FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1 WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK-FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALS, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - PROVIDE TREES OF SIZES AND GRADES COMPLYING WITH ANSI Z60.1 FOR THE TYPE OF TREES AND SHRUBS REQUIRED. TREES OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.

- CLEANUP AND PROTECTION**
- DURING EXTERIOR PLANTING, KEEP ADJACENT PAVEMENTS AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING.

- DISPOSAL**
- REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSIL, UNSTABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

- WARRANTY**
- WARRANT THE FOLLOWING EXTERIOR PLANTS FOR THE WARRANTY PERIOD INDICATED IN THE SPECIFICATIONS, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. WARRANTY PERIODS FOR ALL PLANT MATERIAL: ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
 - REMOVE DEAD EXTERIOR PLANTS IMMEDIATELY. REPLACE IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
 - REPLACE EXTERIOR PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
 - A LIMIT OF ONE REPLACEMENT OF EACH EXTERIOR PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.

- MISC. PLANTING NOTES**
- ALL PLANTING MATERIAL TO BE INSTALLED AS PER SIZE INDICATED ON PLANT SCHEDULE.
 - ANY SUBSTITUTIONS THAT MAY BE REQUIRED SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDERING MATERIAL.
 - ALL PLANTINGS AND PLANTING PROCEDURES SHALL CONFORM TO GOOD NURSERY AND LANDSCAPE PRACTICE AND THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - PRIOR TO COMMENCEMENT OF WORK ALL UTILITIES BOTH ABOVE AND BELOW GROUND SHALL BE LOCATED THROUGH THE PA ICALL SYSTEM AND/OR THE GENERAL CONTRACTOR ON SITE. IF ANY CONFLICTS DO OCCUR THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR RELOCATION.
 - CONTRACTOR TO VERIFY ALL PLANT COUNTS AND LOCATIONS PRIOR TO ORDERING MATERIAL. KBW AND THE OWNER ACCEPT NO RESPONSIBILITY FOR TYPOGRAPHICAL ERRORS AND MISCOUNTS.
 - ALL PLANTINGS SHALL HAVE WATER RETAINING CRYSTALS SUCH AS TERAZOROS, OR APPROVED EQUAL, INCORPORATED INTO PLANTING SOIL AS RECOMMENDED BY MANUFACTURER.
 - ANY PLANT NOT INCLUDED IN A PLANTING BED SHALL HAVE A MULCHED CIRCLE. THE SIZE OF THE MULCHED CIRCLE SHALL BE DETERMINED ACCORDING TO THE OVERALL PLANT SIZE OR CALIPER. CONSULT THE LANDSCAPE ARCHITECT FOR CLARIFICATION IF REQUIRED.
 - EACH PLANT SHALL BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT, AT ANY TIME, COVER THE ROOTBALL WITH TOPSOIL BACKFILL.
 - THE TOPSOIL BACKFILL SHALL BE FIRMLY TAMPED, COMPARABLE TO FOOT PRESSURE. IN 3" LIFTS TO STABILIZE THE ROOT BALL AND TO PREVENT AIR POCKETS.
 - WATER ALL PLANTINGS INDIVIDUALLY WITH AN OPEN ENDED GARDEN HOSE SUBSEQUENT TO INSTALLATION. DO NOT USE MECHANICAL SPRINKLERS TO WATER PLANTINGS.
 - LANDSCAPE MATERIAL PLANTING SHALL TAKE PLACE IN THE SPRING OR FALL DURING THE RECOGNIZED ACCEPTABLE PLANTING PERIODS AS NOTED IN THE SPECIFICATIONS. SUMMER PLANTING WILL NOT BE ACCEPTED.



PLANT SCHEDULE

PARKING LOT TREES

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT
PCo	CELTIS OCCIDENTALIS/ COMMON HACKBERRY	2	2" CAL.	B&B
POv	OSTRYA VIRGINIANA/ AMERICAN HOPHORNBEAM	1	2" CAL.	B&B

REPLACEMENT TREES - 2" CAL.

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT
RAc	AMELANCHIER CANADENSIS/ SERVICEBERRY	3	2" CAL.	B&B
RAF	ABIES BALSAMEA/ BALSA M FIR	+5	2" CAL. MIN. 6' HT.	B&B
RCm	CORNUS MAS/ CORNELIAN CHERRY DOGWOOD	9	2" CAL.	B&B
RCv	CRATAEGUS X VIRIDIS 'WINTER KING'/ WINTER KING HAWTHORN	3	2" CAL.	B&B
RPc	PRUNUS SUBHIRTELLA 'AUTUMNALIS'/ HIGAN CHERRY	2	2" CAL.	B&B
TOTAL		22		

REPLACEMENT TREES - 2 1/2" CAL.

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT
RGr	GLEDITSIA TRIACANTHOS 'INERMIS'/ THORNLESS HONEYLOCUST	2	2 1/2" CAL.	B&B
RNs	NYSSA SYLVATICA/ BLACKGUM	1	2 1/2" CAL.	B&B
RPo	PLATANUS OCCIDENTALIS/ AMERICAN SYCAMORE	*6	2 1/2" CAL.	B&B
RQb	QUERCUS BICOLOR/ SWAMP WHITE OAK	*7	2 1/2" CAL.	B&B
RTa	TILIA AMERICANA 'BOULEVARD' / BOULEVARD AMERICAN BASSWOOD	2	2 1/2" CAL.	B&B
TOTAL		18		

* NOTE: FIVE (5) RAJ, THREE (3) RPO AND TWO (2) RQB TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT IN SOUTH ATHLETIC FIELD AREA.

SHRUBS

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT
Ag	ABELIA GRANDIFLORA 'FUNSHINE'/ FUNSHINE ABELIA	17	MIN. 30" HT.	CONT.
Ig	ILEX GLABRA 'SHAMROCK'/ SHAMROCK INKBERRY HOLLY	24	MIN. 30" HT.	CONT.
Lf	LEUCOTHOE FONTANESIANA 'PAISLEY PUP'/ PAISLEY PUP LEUCOTHOE	11	MIN. 30" HT.	CONT.
To	THUJA OCCIDENTALIS 'EMERALD GREEN' EMERALD GREEN ARBORVITAE	9	MIN. 6' HT.	B&B/ CONT.

LANDSCAPE REQUIREMENTS

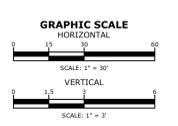
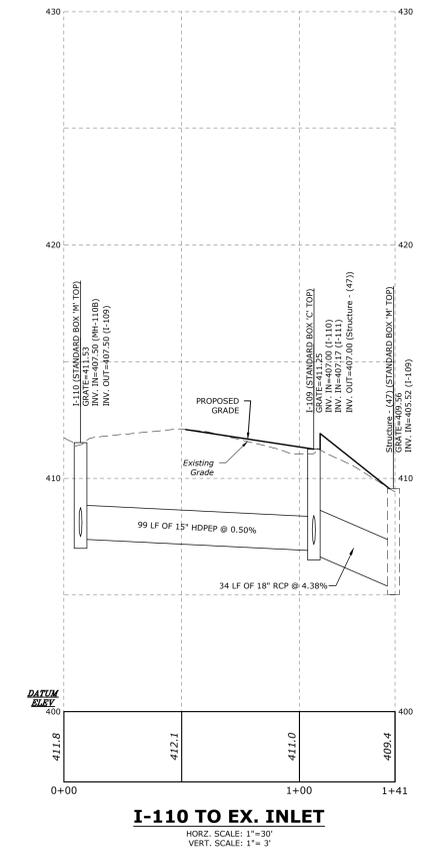
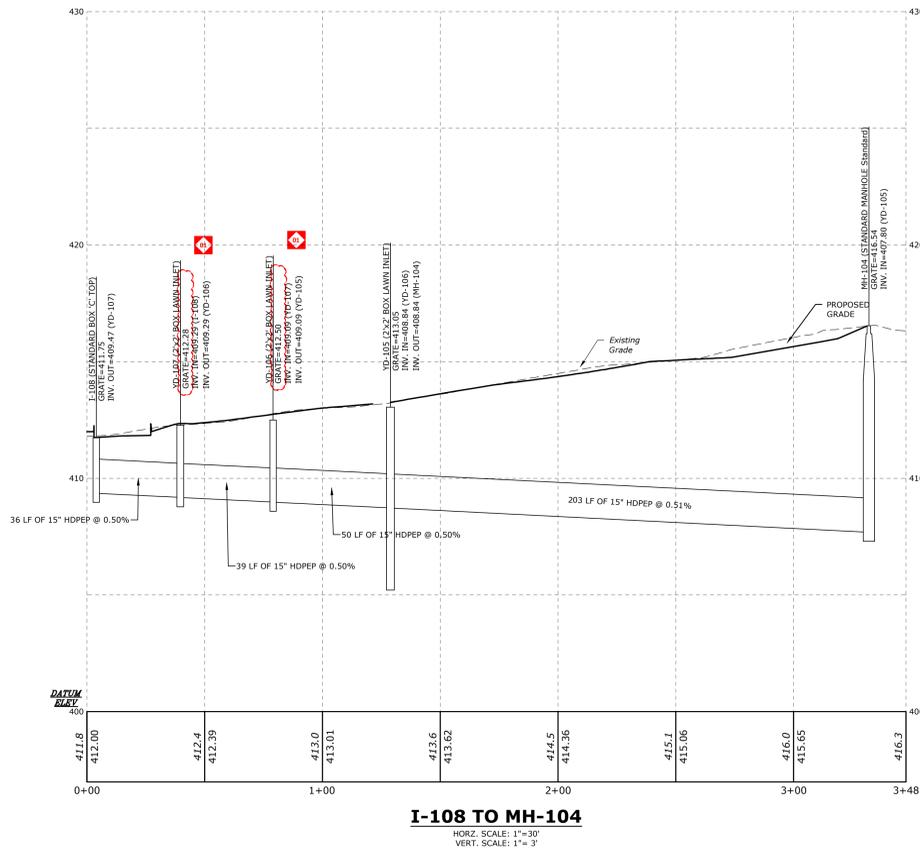
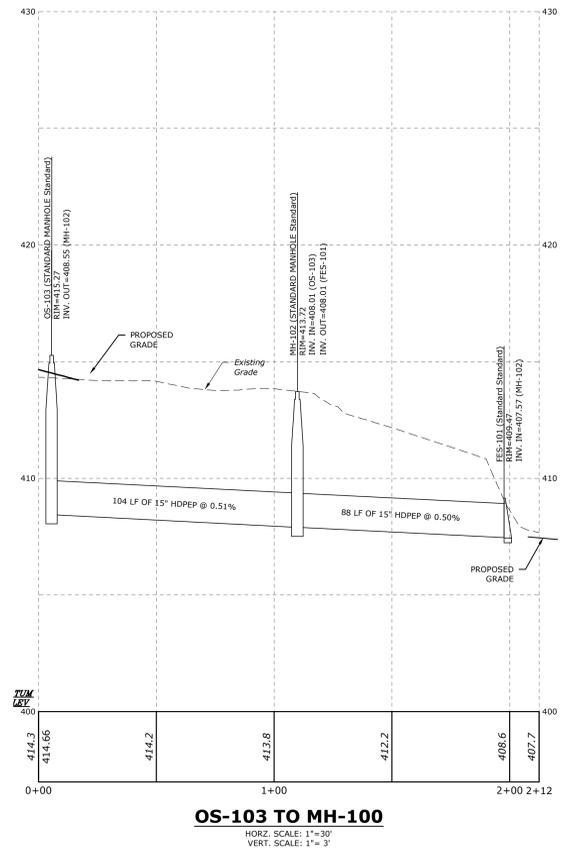
PARKING LOT LANDSCAPING
REQUIREMENT: FIVE (5) PERCENT OF THE PARKING AREA TO BE LANDSCAPED.
CALCULATION: 4,360 SF PARKING LOT x 5% = 218 SF
REQUIRED LANDSCAPE AREA: 218 SF
PROPOSED LANDSCAPE AREA: 1,025 SF (23%)

TREE REPLACEMENT
REQUIREMENT:
HERITAGE TREES (30" CAL. OR GREATER)
REPLACEMENT FORMULA: 1" NEW TREE CALIPER FOR EVERY 1" TREE CALIPER REMOVED.
(NO HERITAGE TREES ARE SLATED FOR REMOVAL)
NON-HERITAGE TREES (LESS THAN 30" CAL.)
REPLACEMENT FORMULA: 1" NEW TREE CALIPER FOR EVERY 4" TREE CALIPER REMOVED.
CAL. INCHES REQUIRED (REPLACEMENT VALUE): 30"
PROPOSED REPLACEMENT TREE QUANTITY / REPLACEMENT VALUE (2 1/2" CAL.): 18 / 45"
PROPOSED REPLACEMENT TREE QUANTITY / REPLACEMENT VALUE (2" CAL.): 22 / 44"
CAL. INCHES PROPOSED (REPLACEMENT VALUE): 89"

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REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGE
01	03-10-2025	PKS	REVISE GRADE ELEVATIONS



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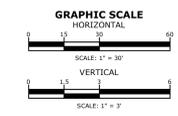
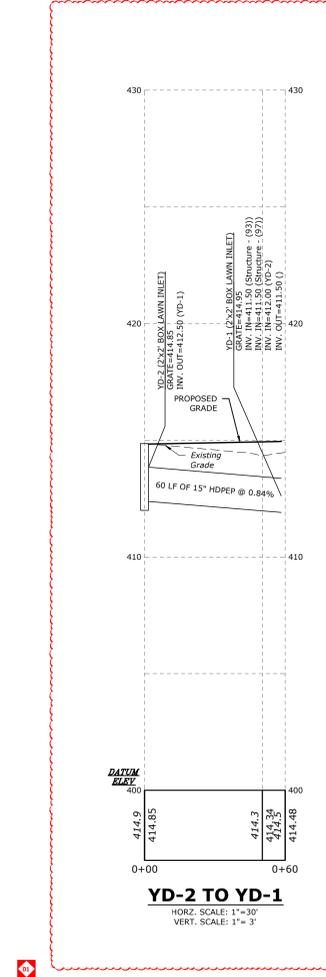
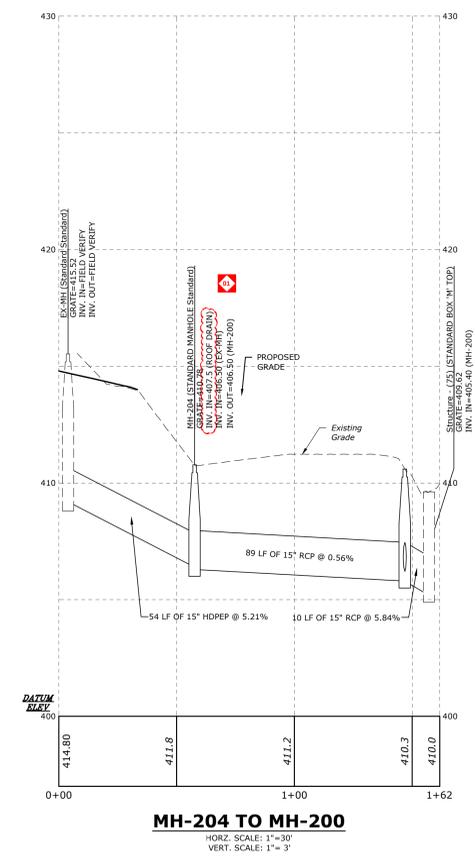
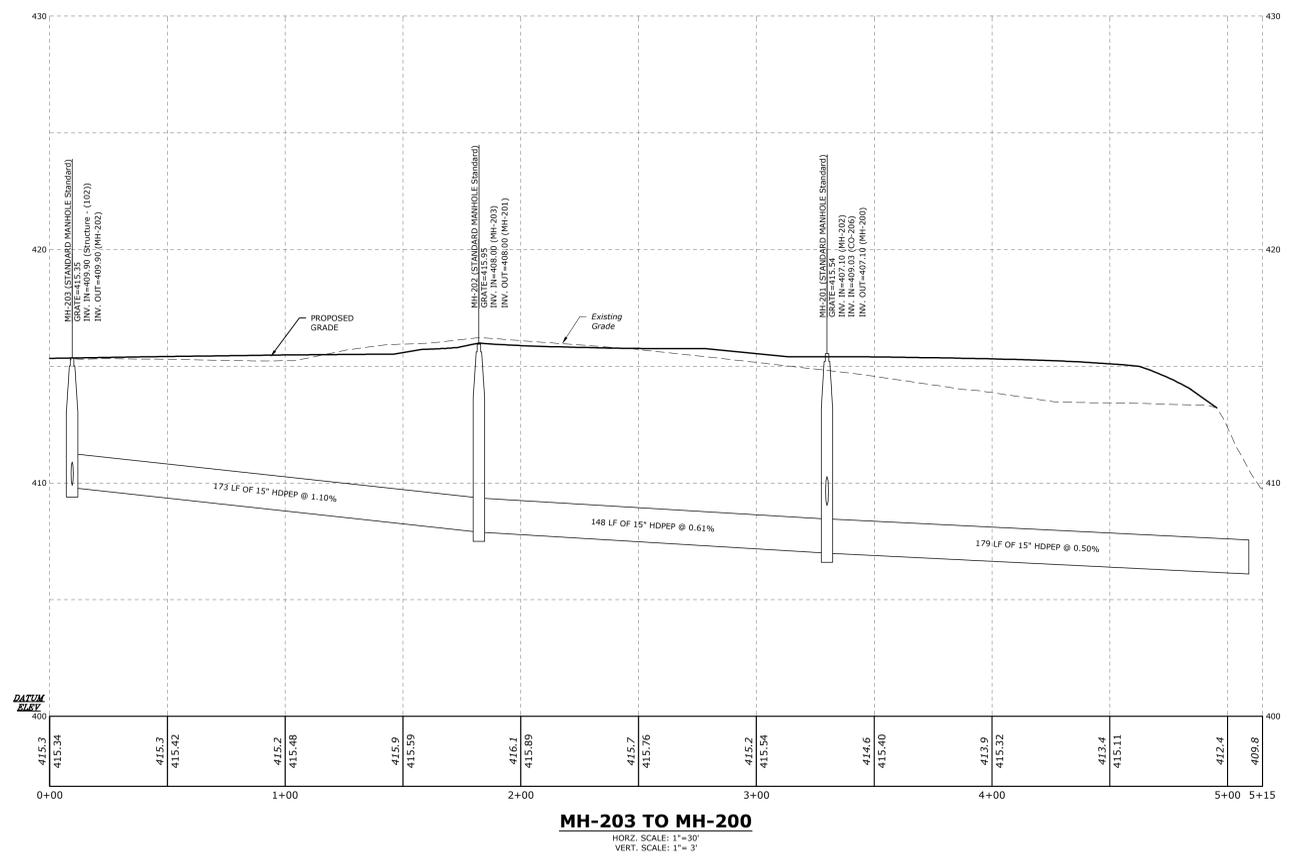
ADDITIONS AND RENOVATIONS TO
COOPERTOWN ELEMENTARY SCHOOL
SCHOOL DISTRICT OF HAVERFORD TOWNSHIP
800 COOPERTOWN ROAD
BRYN MAWR, PA. 19010



STORMWATER PROFILES
PROJECT: 3758
DATE: MARCH 10, 2025

C-300

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REVISIONS		
NO.	DATE	DESCRIPTION OF CHANGES
01	03-10-2025	ADD PROFILE

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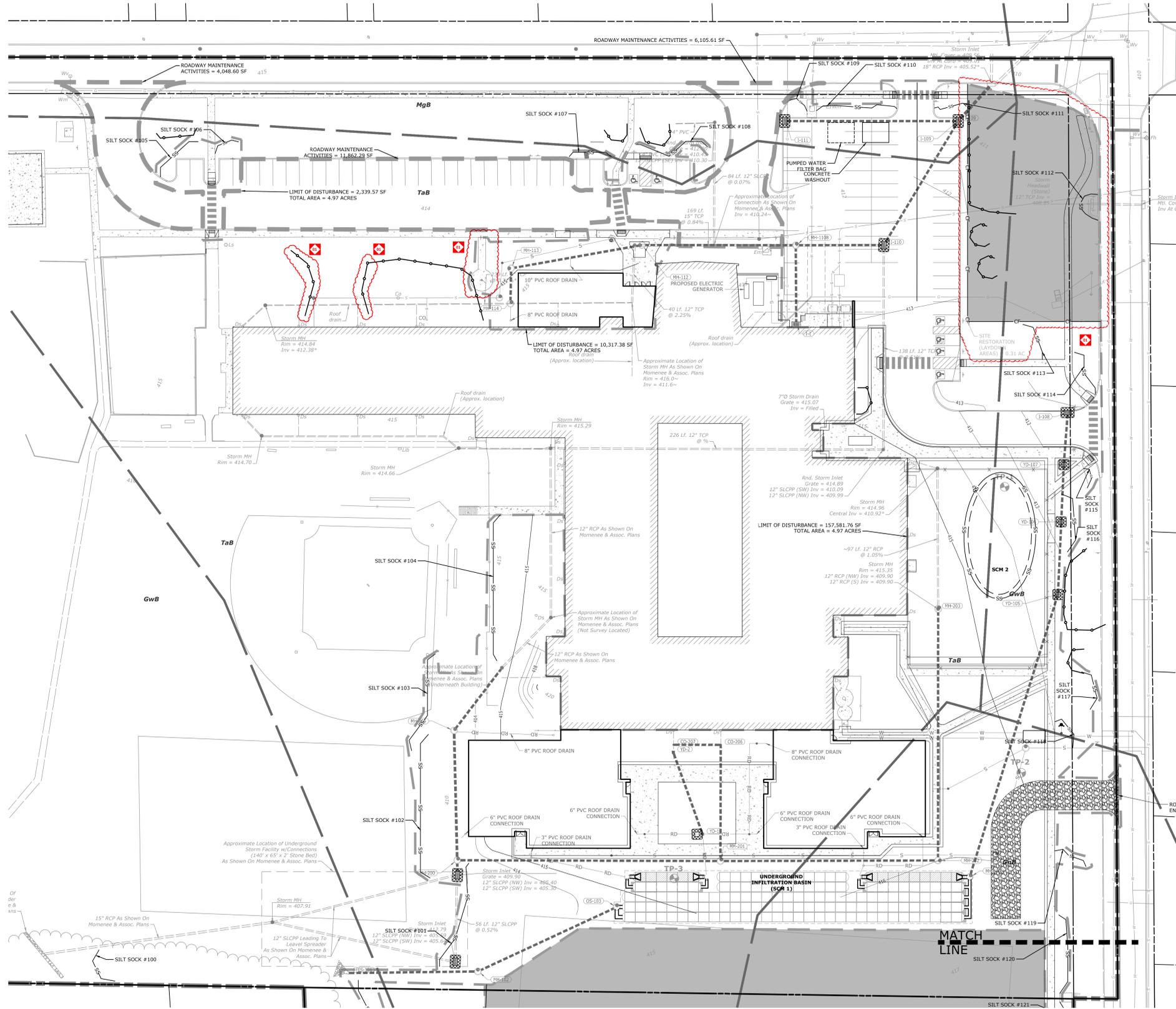
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STORMWATER PROFILES
 PROJECT SCALE: AS SHOWN
 FILENAME:
 DATE: MARCH 10, 2025

PROJECT 3758
C-302

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LEGEND PROPOSED ERS CONTROL PLAN FEATURES

- LIMIT OF DISTURBANCE
- NPDES PERMIT BOUNDARY
- ▨ STABILIZED ROCK
- ▨ CONSTRUCTION ENTRANCE
- ▨ SOIL MATERIAL STOCKPILE
- ▨ SITE RESTORATION AREA
- ▨ CONSTRUCTION FENCE
- SS — SS — SILT SOCKS
- INLET PROTECTION
- CONCRETE WASHOUT

SOIL LIMITATION RESOLUTIONS

1. SLOPES - EXCAVATIONS SHOULD BE STABILIZED TO PREVENT EROSION AND CONTRACTOR SHOULD EMPLOY PROPER CONSTRUCTION TECHNIQUES TO ENSURE SAFETY ON STEEP SLOPE AREAS.
2. DEPTH OF ROCK - IF BEDROCK IS ENCOUNTERED, REMOVE AS NECESSARY IN ACCORDING WITH PROJECT SPECIFICATIONS.
3. FROST ACTION - CONTRACTOR SHALL CONSULT PROJECT GEOTECHNICAL ENGINEER/INSPECTOR REGARDING ANY SPECIAL MEASURES TO BE TAKEN FOR EARTHWORK WHICH IS TO OCCUR DURING PERIODS OF FROST.
4. SOIL pH LEVELS - CONTRACTOR SHALL HAVE SOIL pH TESTED TO DETERMINE CORRECT FERTILIZER APPLICATION RATES.
5. FLOODING POTENTIAL - ENSURE THAT THE SITE HAS PROPER DRAINAGE.
6. HIGH GROUNDWATER LEVEL - CONTRACTOR SHALL EMPLOY Dewatering techniques as approved by the CONSERVATION DISTRICT. PUMPED WATER FILTER BAGS SHALL BE USED TO DEWATER UTILITY TRENCHES AND BELOW GRADE EXCAVATIONS.
7. EROSION - ANY EROSION THAT OCCURS THAT CAN NOT BE ADDRESSED BY MEASURES FOUND IN THE PLANS THE CONTRACTOR SHALL CONTACT THE SITE DESIGN ENGINEER AND THE CONSERVATION DISTRICT.
8. BASIN AREAS AND EMBANKMENTS - FILL FOR BASIN EMBANKMENTS SHALL BE COMPACTED IN 8" LIFTS TO 98% MAXIMUM DRY DENSITY (STANDARD PROCTOR) ±2% MOISTURE CONTENT PER PER ASTM D-1557. ANTI-SEEP COLLARS SHALL BE INSTALLED ON A BASIN DISCHARGE PIPING TO PREVENT SEEPAGE OF WATER FROM THE BASIN. CONSULT WITH SITE DESIGN ENGINEER FOR THE SPECIFIC ANTI-SEEP COLLAR SIZE REQUIREMENTS.

GENERAL E&S NOTES

1. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE DELAWARE COUNTY CONSERVATION DISTRICT.
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REVISIONS

NO.	DATE	DESCRIPTION OF CHANGE
01	03-10-2025	ADD SITE RESTORATION AREA, REVISE LOG NEAR FLAGPOLE
02		ADD TREE FENCE PROTECTION

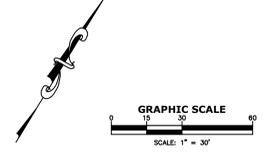
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E&S PLAN	PROJECT
PROJECT SCALE: AS SHOWN	3758
FILENAME:	C-701.1
DATE: MARCH 10, 2025	



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LEGEND PROPOSED E&S CONTROL PLAN FEATURES

- LIMIT OF DISTURBANCE
- NPDES PERMIT BOUNDARY
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SOIL LIMITATION RESOLUTIONS

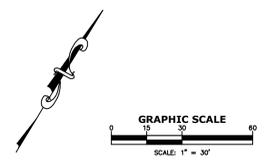
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REVISIONS

NO.	DATE	DESCRIPTION OF CHANGE
01	03-19-2025	ADD SITE RESTORATION AREA, REVISE LOD



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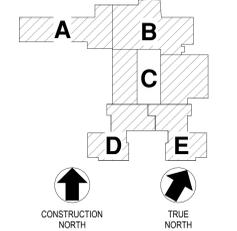


E&S PLAN
PROJECT SCALE: AS SHOWN
FILENAME:
DATE: MARCH 10, 2025

PROJECT
3758
C-701.2

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KEY PLAN



REVISIONS

NO.	DATE	NAME	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM #1

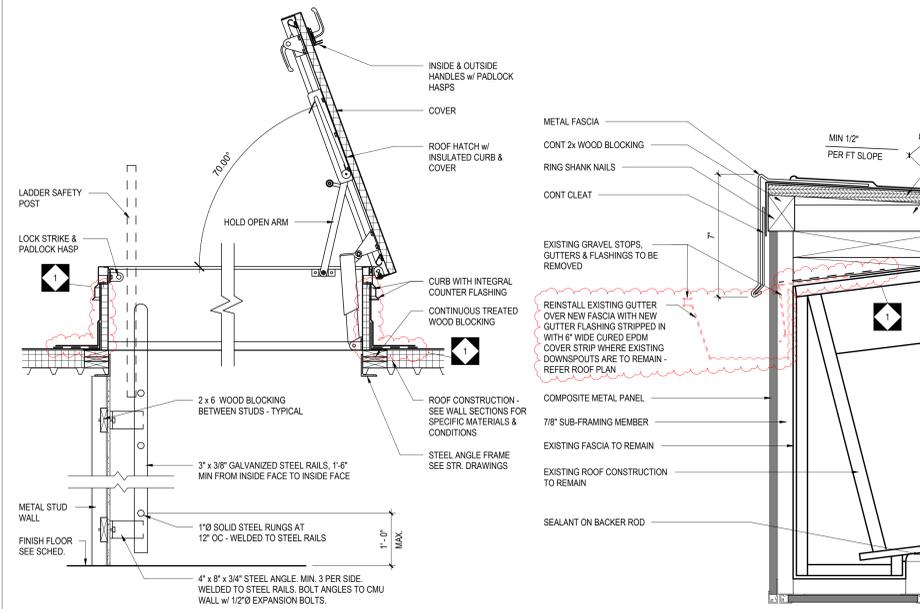
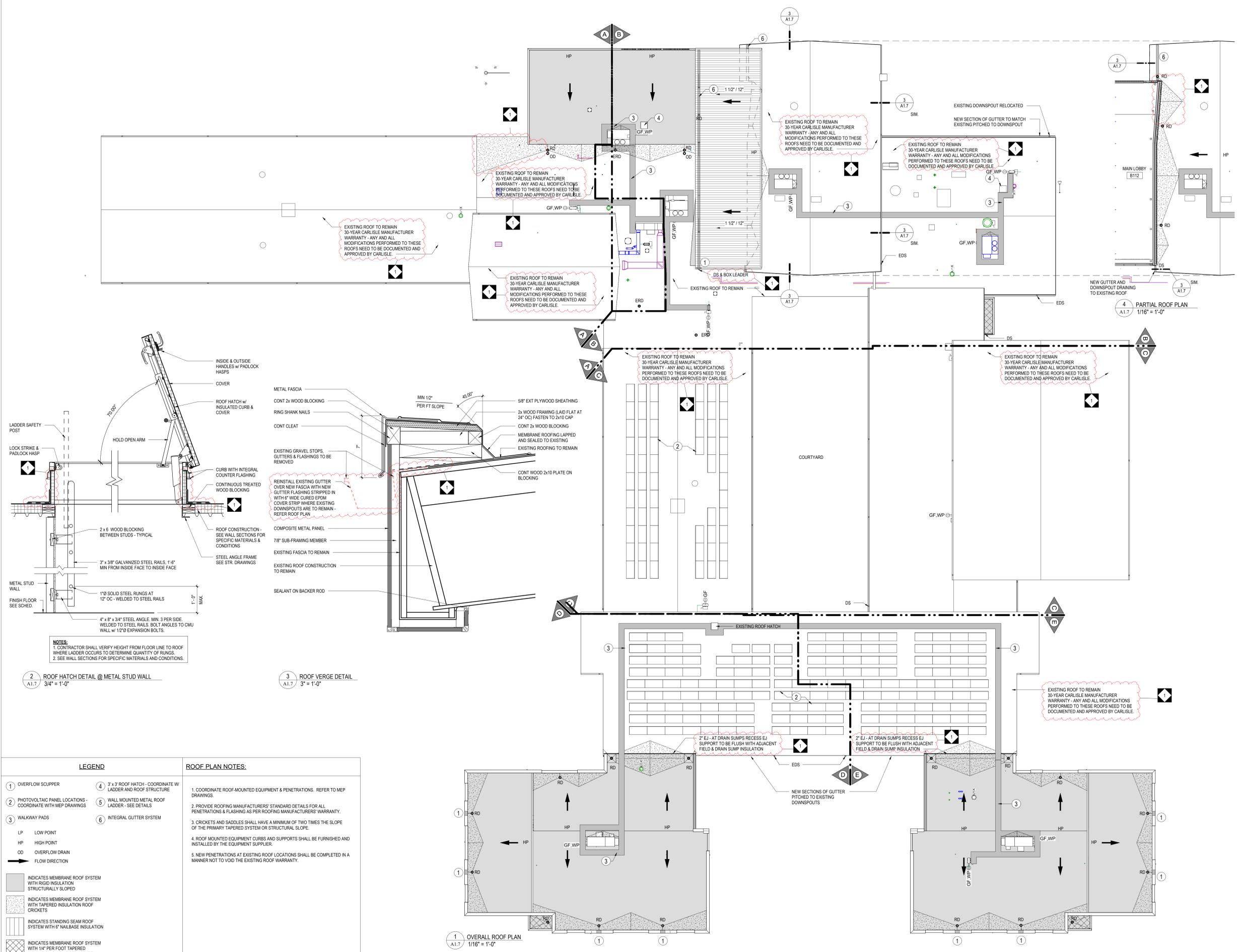
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**ADDITIONS AND RENOVATIONS TO
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 SCHOOL DISTRICT OF HAVERFORD TOWNSHIP**
 800 COOPERTOWN ROAD
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CR

OVERALL ROOF PLAN
 As indicated
 FILENAME:
 DATE: MARCH 30, 2025

PROJECT
 3758
A1.7



NOTES:
 1. CONTRACTOR SHALL VERIFY HEIGHT FROM FLOOR LINE TO ROOF WHERE LADDER OCCURS TO DETERMINE QUANTITY OF RUNGS.
 2. SEE WALL SECTIONS FOR SPECIFIC MATERIALS AND CONDITIONS.

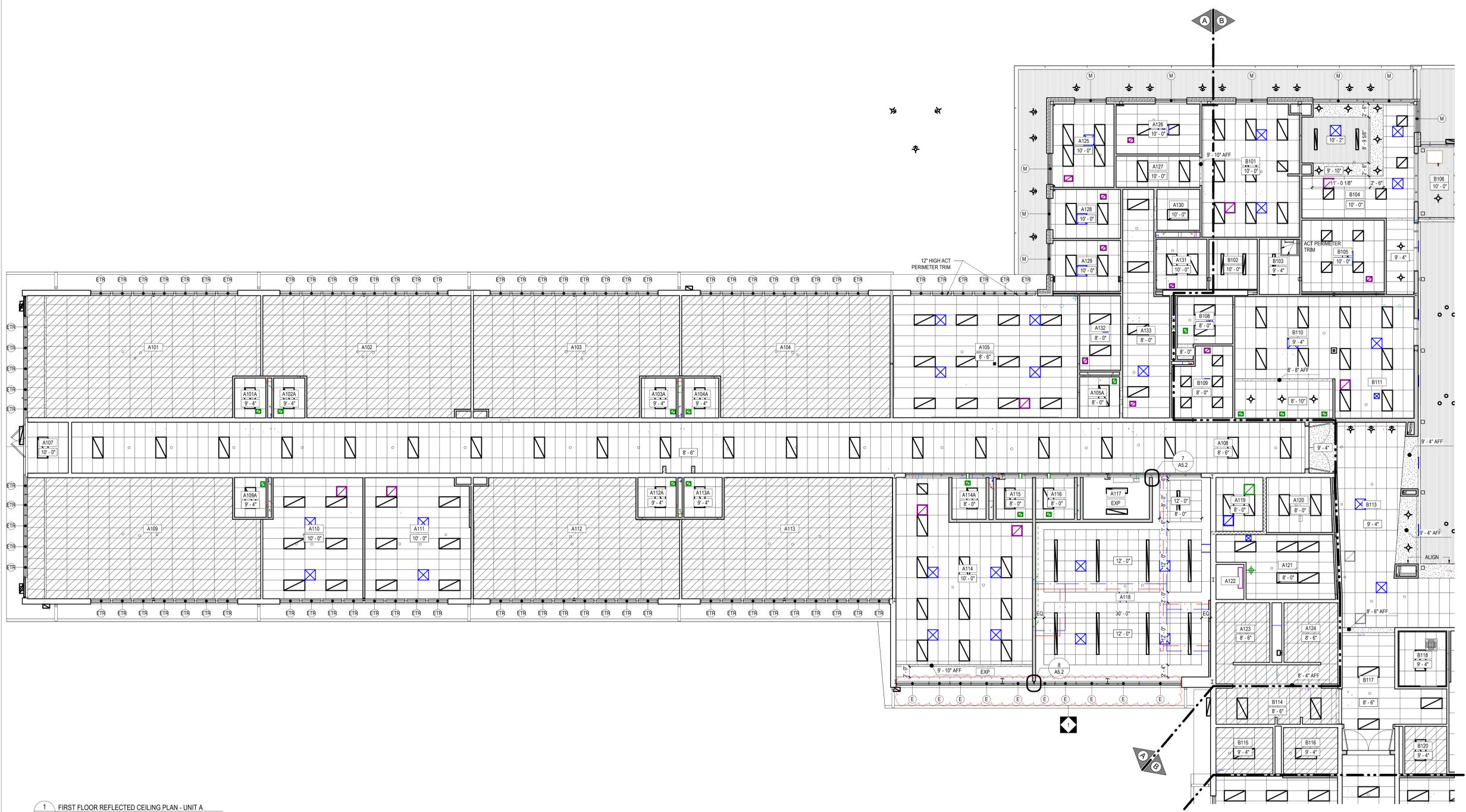
2 ROOF HATCH DETAIL @ METAL STUD WALL
 A1.7 3/4\"/>

LEGEND

1 OVERFLOW SCUPPER	4 3' x 3' ROOF HATCH - COORDINATE W/ LADDER AND ROOF STRUCTURE
2 PHOTOVOLTAIC PANEL LOCATIONS - COORDINATE WITH MEP DRAWINGS	5 WALL MOUNTED METAL ROOF LADDER - SEE DETAILS
3 WALKWAY PADS	6 INTEGRAL GUTTER SYSTEM
LP LOW POINT	
HP HIGH POINT	
OD OVERFLOW DRAIN	
→ FLOW DIRECTION	
INDICATES MEMBRANE ROOF SYSTEM WITH RIGID INSULATION STRUCTURALLY SLOPED	
INDICATES MEMBRANE ROOF SYSTEM WITH TAPERED INSULATION ROOF CRICKETS	
INDICATES STANDING SEAM ROOF SYSTEM WITH 6\"/>	

ROOF PLAN NOTES:

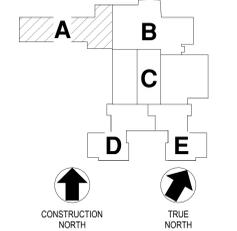
- COORDINATE ROOF-MOUNTED EQUIPMENT & PENETRATIONS. REFER TO MEP DRAWINGS.
- PROVIDE ROOFING MANUFACTURERS' STANDARD DETAILS FOR ALL PENETRATIONS & FLASHING AS PER ROOFING MANUFACTURERS' WARRANTY.
- CRICKETS AND SADDLES SHALL HAVE A MINIMUM OF TWO TIMES THE SLOPE OF THE PRIMARY TAPERED SYSTEM OR STRUCTURAL SLOPE.
- ROOF MOUNTED EQUIPMENT CURBS AND SUPPORTS SHALL BE FURNISHED AND INSTALLED BY THE EQUIPMENT SUPPLIER.
- NEW PENETRATIONS AT EXISTING ROOF LOCATIONS SHALL BE COMPLETED IN A MANNER NOT TO VOID THE EXISTING ROOF WARRANTY.



1 FIRST FLOOR REFLECTED CEILING PLAN - UNIT A
1/8" = 1'-0"

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KEY PLAN



REVISIONS

NO.	DATE	DESCRIPTION OF CHANGES
1	3/19/2025	ADDENDUM #1

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- REFLECTED CEILING PLAN GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, GYPSUM BULKHEADS TO BE 3 5/8" METAL STUDS AT 16" O/C WITH 5/8" GWB EACH SIDE, EXTENDING MIN 2" BELOW ADJACENT CEILING.
 - GC MAY UTILIZE DRYWALL SUSPENSION SYSTEM & ACCESSORY COMPONENTS IN LIEU OF SPECIFIED/DETAILED METAL STUD SYSTEM. REFER TO SPECIFICATION SECTION 052236.23 METAL SUSPENSION GYPSUM BOARD CEILING SYSTEM.
 - CEILING GRID SHALL BE COORDINATED WITH MEP EQUIPMENT AND DEVICES.
 - UNLESS NOTED OTHERWISE, ALL VISIBLE STRUCTURAL STEEL, ROOF/FLOOR DECK, DUCTWORK, PIPING, CONDUIT, HANGER WIRES, ETC AT EXPOSED LOCATIONS OR ABOVE CEILING CLOUDS SHALL BE PAINTED.
 - REFER TO ROOM FINISH SCHEDULE FOR CEILING TYPES.
 - ALL VISIBLE HANGER WIRES, STRUCTURE AND BRACING AT EXPOSED CEILING GRID OR CEILING CLOUD LOCATIONS SHALL BE INSTALLED PLUMB AND LEVEL.
 - FOR WINDOWS THAT REQUIRE TWO OR MORE ROLLER SHADES, EACH ROLLER SHADE SHALL TERMINATE AT THE CENTER OF THE WINDOW MULLION. REFER TO HOLLOW METAL AND ALUMINUM FRAME ELEVATIONS FOR DIMENSIONS AND WINDOW MULLION DESIGN AND ROLLER SHADE BRAKES.
 - GC TO REPLACE ANY DAMAGED EXISTING ACT GRID NOTED ETR.

LEGEND

	2 X 4 SUSPENDED CEILING SYSTEM		2 X 4 LIGHT FIXTURE
	NEW ACT TILE ON EXISTING ACT GRID		1 X 4 LIGHT FIXTURE
	2 X 2 SUSPENDED CEILING SYSTEM		2 X 2 LIGHT FIXTURE
	GYPSUM WALLBOARD		SEE MEP DRAWINGS
	LINEAR METAL SOFFIT		SEE MEP DRAWINGS
	STEEL LINTEL - PAINTED		RECESSED DOWN LIGHT
			PENDANT LIGHT FIXTURES
			ROLLER SHADE - MANUAL
			ROLLER SHADE - MOTORIZED
			ROLLER SHADE - MOTORIZED BLACKOUT W/ DUAL ROLLER
			EXISTING ROLLER SHADE TO REMAIN

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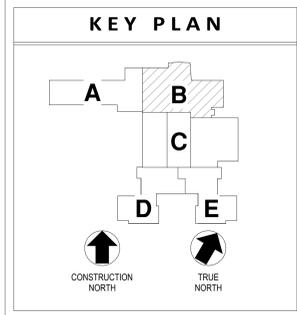
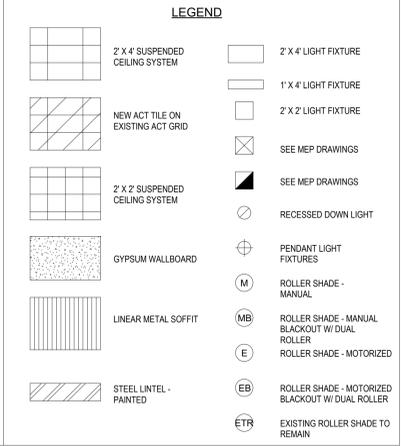


FIRST FLOOR REFLECTED CEILING PLAN - UNIT A
 PLOT SCALE: 1/8" = 1'-0"
 FILENAME:
 DATE: MARCH 10, 2025

PROJECT
 3758
A1.8



- REFLECTED CEILING PLAN GENERAL NOTES:**
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 - GC TO REPLACE ANY DAMAGED EXISTING ACT GRID NOTED ETR.



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FIRST FLOOR REFLECTED CEILING PLAN - UNIT B

PROJECT 3758

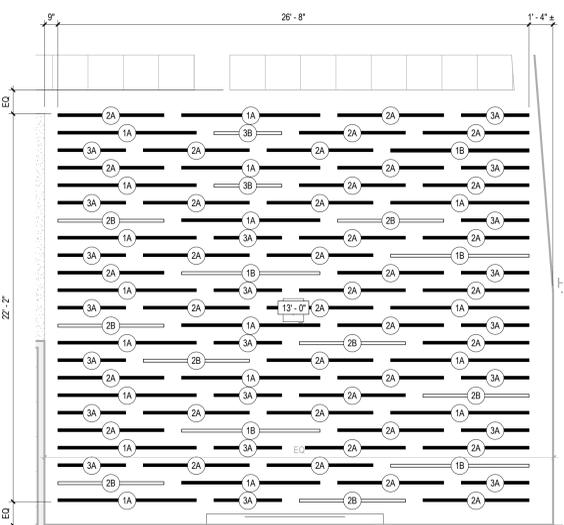
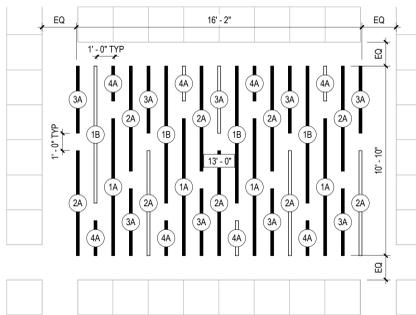
DATE: MARCH 30, 2025

A1.9

1 FIRST FLOOR REFLECTED CEILING PLAN - UNIT B
 A1.9 1/8" = 1'-0"

CEILING BAFFLE LEGEND

Tag	Remarks
1A	94"L x 2"W BAFFLE, NEUTRAL COLOR
1B	94"L x 2"W BAFFLE, ACCENT COLOR 'A'
2A	72"L x 2"W BAFFLE, NEUTRAL COLOR
2B	72"L x 2"W BAFFLE, ACCENT COLOR 'A'
3A	46"L x 2"W BAFFLE, NEUTRAL COLOR
3B	46"L x 2"W BAFFLE, ACCENT COLOR 'A'
4A	24"L x 2"W BAFFLE, NEUTRAL COLOR
4B	24"L x 2"W BAFFLE, ACCENT COLOR 'A'





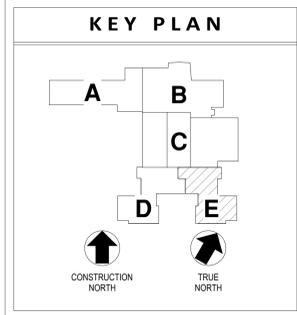
1 FIRST FLOOR REFLECTED CEILING PLAN - UNIT E
A1.12 1/8" = 1'-0"

- REFLECTED CEILING PLAN GENERAL NOTES:**
- UNLESS NOTED OTHERWISE, GYPSUM BULKHEADS TO BE 3 5/8" METAL STUDS AT 16" O/C WITH 5/8" GWB EACH SIDE, EXTENDING MIN 2" BELOW ADJACENT CEILING.
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LEGEND

	2 X 4 SUSPENDED CEILING SYSTEM		2 X 4 LIGHT FIXTURE
	NEW ACT TILE ON EXISTING ACT GRID		1 X 4 LIGHT FIXTURE
	2 X 2 SUSPENDED CEILING SYSTEM		2 X 2 LIGHT FIXTURE
	GYPSUM WALLBOARD		SEE MEP DRAWINGS
	LINEAR METAL SOFFIT		SEE MEP DRAWINGS
	STEEL LINTEL - PAINTED		RECESSED DOWN LIGHT
			PENDANT LIGHT FIXTURES
			ROLLER SHADE - MANUAL
			ROLLER SHADE - MOTORIZED
			ROLLER SHADE - MOTORIZED BLACKOUT W DUAL ROLLER
			ROLLER SHADE - MOTORIZED BLACKOUT W DUAL ROLLER
			EXISTING ROLLER SHADE TO REMAIN

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NO	DATE	NAME	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM #1

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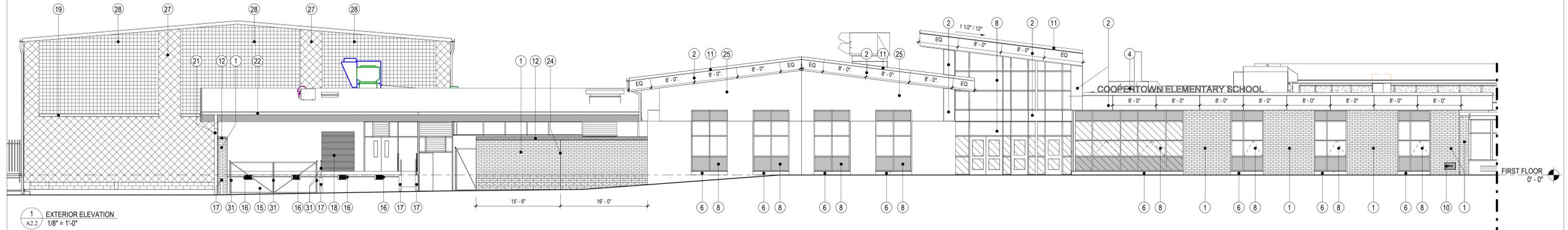
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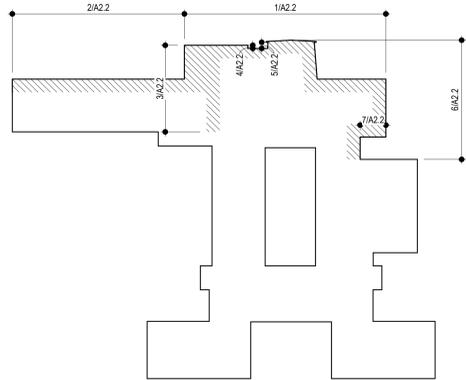
FIRST FLOOR REFLECTED CEILING PLAN - UNIT E

PROJECT 3758

PLOT SCALE: 1/8" = 1'-0"
 FILENAME: A1.12
 DATE: MARCH 10, 2025

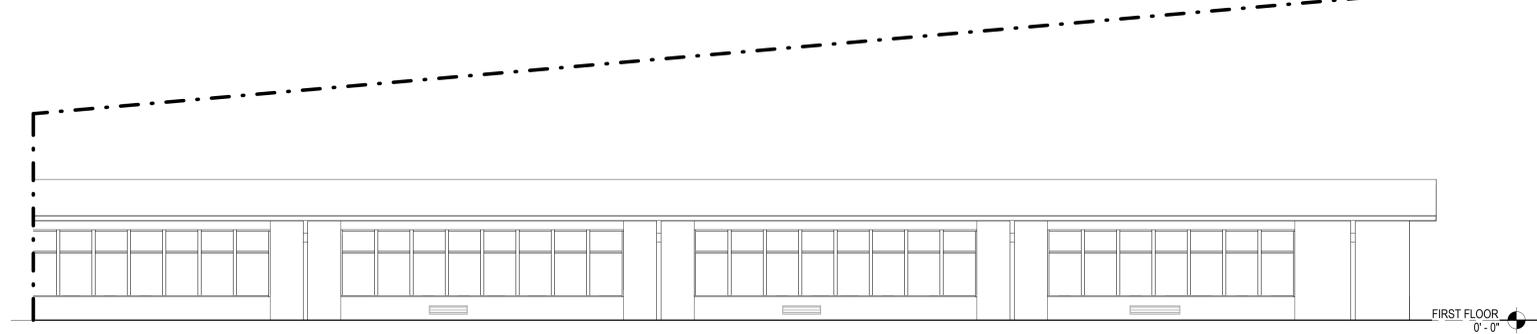


1 EXTERIOR ELEVATION
A2.2 / 1/8" = 1'-0"

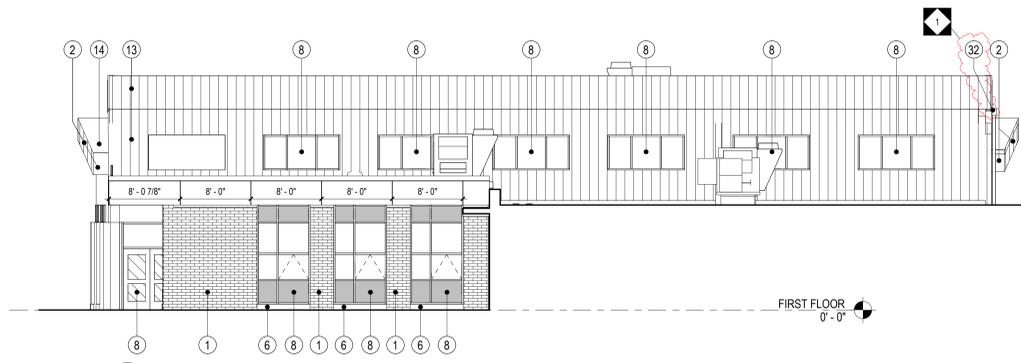


ELEVATION KEY PLAN

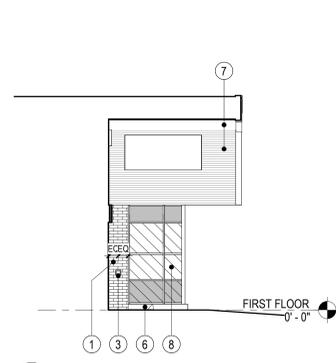
TAG	ELEVATION NOTE
1	BRICK TYPE 'A'
2	COMPOSITE METAL PANEL
3	KNOX BOX
4	ALUMINUM BUILDING SIGNAGE - ARIAL FONT (COLOR TO BE METALLIC SILVER) - SEE DETAIL
5	SCUPPER 4" x 12" - SEE DETAIL
6	PRECAST CONCRETE SILL
7	PREFINISHED WOOD GRAIN WALL/SOFFIT SYSTEM
8	ALUMINUM STOREFRONT SYSTEM
9	HOLLOW METAL DOOR AND FRAME
10	DATE STONE - SEE DETAIL
11	METAL FASCIA
12	METAL COPING
13	STANDING SEAM METAL ROOF/WALL SYSTEM
14	SNOW GUARD
15	CAST IN PLACE CONCRETE SLAB
16	DOCK BUMPERS
17	BOLLARD
18	OVERHEAD COILING DOOR
19	METAL FLASHING - SEE DETAIL
21	METAL DOWNSPOUT
22	METAL GUTTER
23	EXTERIOR GRADE CHALK BOARD - 10'-0" x 4'-0"
24	MASONRY CONTROL JOINT
25	RECOAT EIFS AND PAINT
26	EIFS WALL SYSTEM
27	CLEAN EXISTING MASONRY VENEER - SEE PHOTOS ON A2.3
28	CLEAN EXISTING TILE VENEER - SEE PHOTOS ON A2.3
29	SALVAGED STONE VENEER
30	METAL FENCE
31	7' HIGH CHAINLINK GATE WITH BLACK ANTI-CLIMB MESH INSERTS
32	METAL BOX LEADER



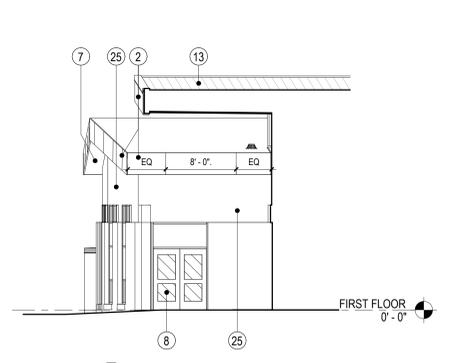
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A2.2 / 1/8" = 1'-0"



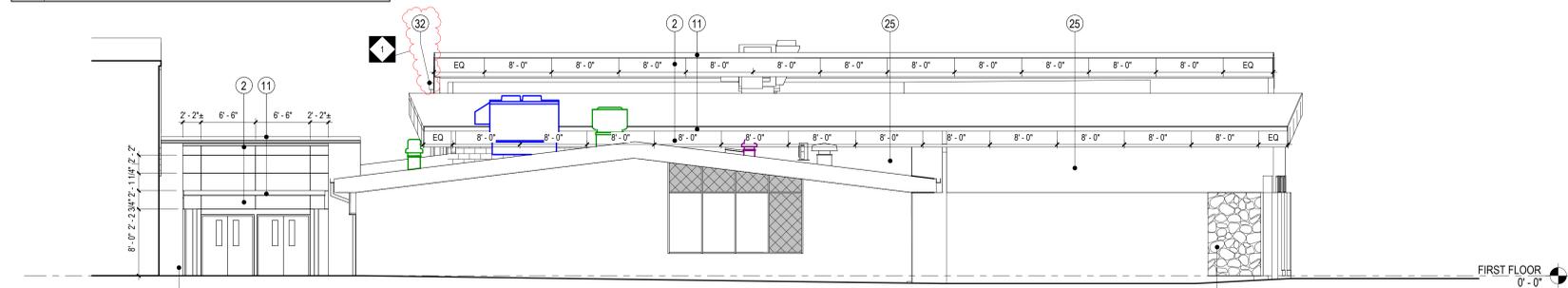
3 EXTERIOR ELEVATION
A2.2 / 1/8" = 1'-0"



4 EXTERIOR ELEVATION
A2.2 / 1/8" = 1'-0"



5 EXTERIOR ELEVATION
A2.2 / 1/8" = 1'-0"



6 EXTERIOR ELEVATION
A2.2 / 1/8" = 1'-0"



7 EXTERIOR ELEVATION
A2.2 / 1/8" = 1'-0"

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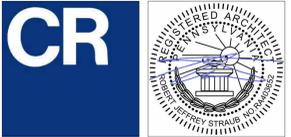
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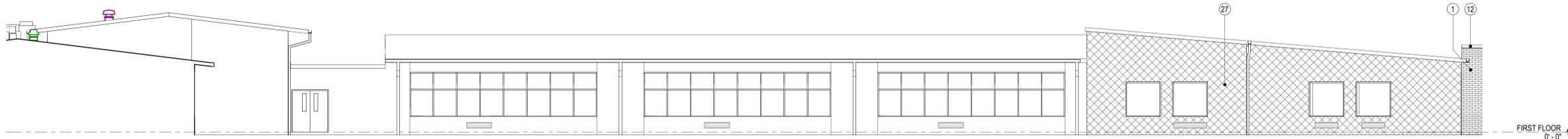


EXTERIOR ELEVATIONS

PLOT SCALE:
As indicated
FILENAME:
DATE:
MARCH 30, 2025

PROJECT
3758

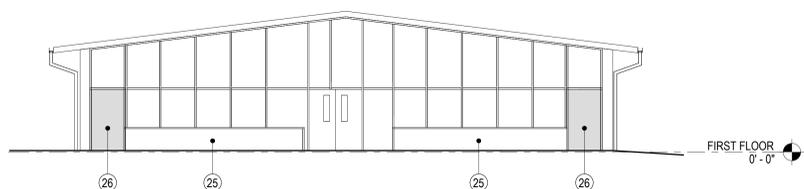
A2.2



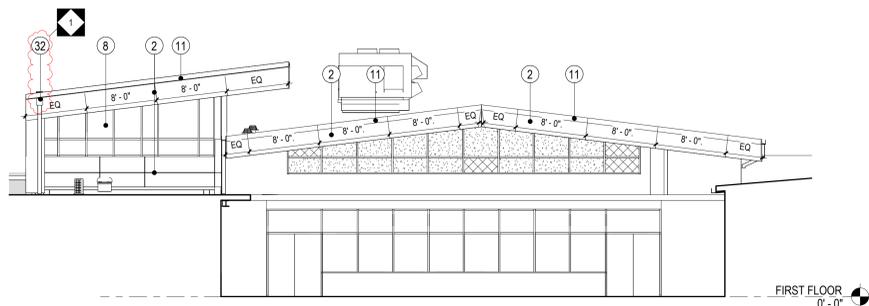
1 EXTERIOR ELEVATION
A2.5 1/8" = 1'-0"



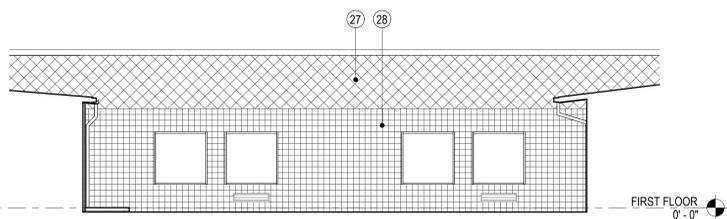
2 EXTERIOR ELEVATION
A2.5 1/8" = 1'-0"



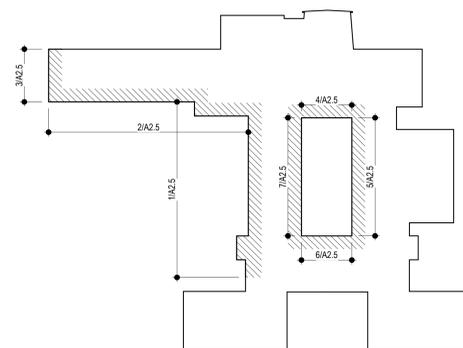
3 EXTERIOR ELEVATION
A2.5 1/8" = 1'-0"



4 EXTERIOR ELEVATION
A2.5 1/8" = 1'-0"

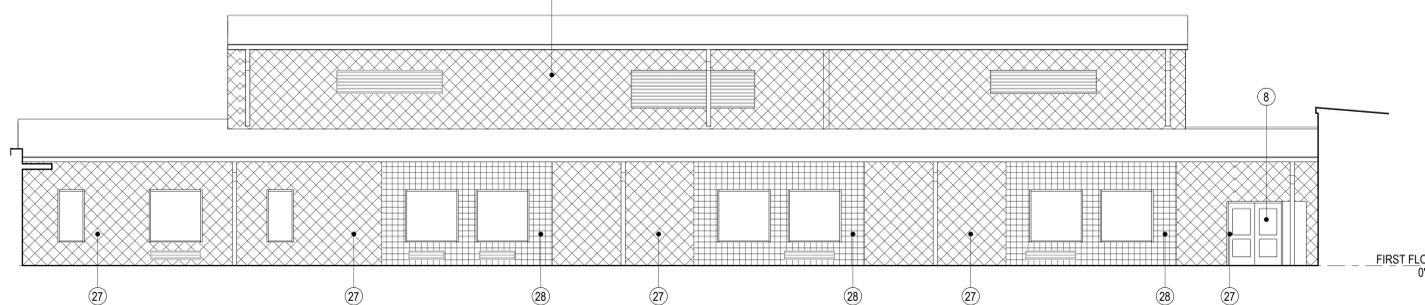


6 EXTERIOR ELEVATION
A2.5 1/8" = 1'-0"

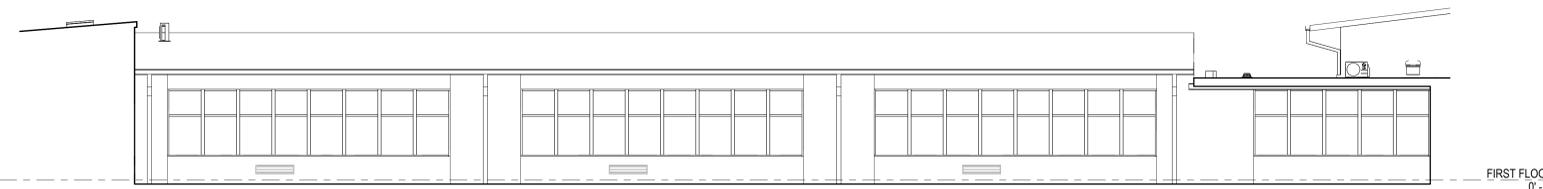


ELEVATION KEY PLAN

TAG	ELEVATION NOTE
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28	CLEAN EXISTING TILE VENEER - SEE PHOTOS ON A2.3
29	SALVAGED STONE VENEER
30	METAL FENCE
31	7' HIGH CHAINLINK GATE WITH BLACK ANTI-CLIMB MESH INSERTS
32	METAL BOX LEADER



5 EXTERIOR ELEVATION
A2.5 1/8" = 1'-0"



7 EXTERIOR ELEVATION
A2.5 1/8" = 1'-0"

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NO.	DATE	BY	DESCRIPTION OF CHANGES

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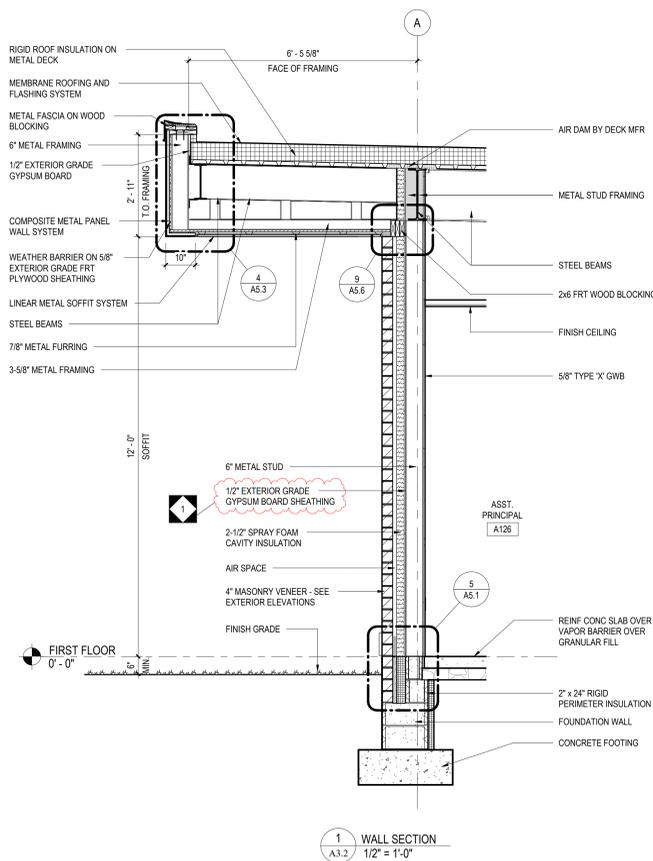
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 PENNSYLVANIA
 STATE BOARD OF ARCHITECTS

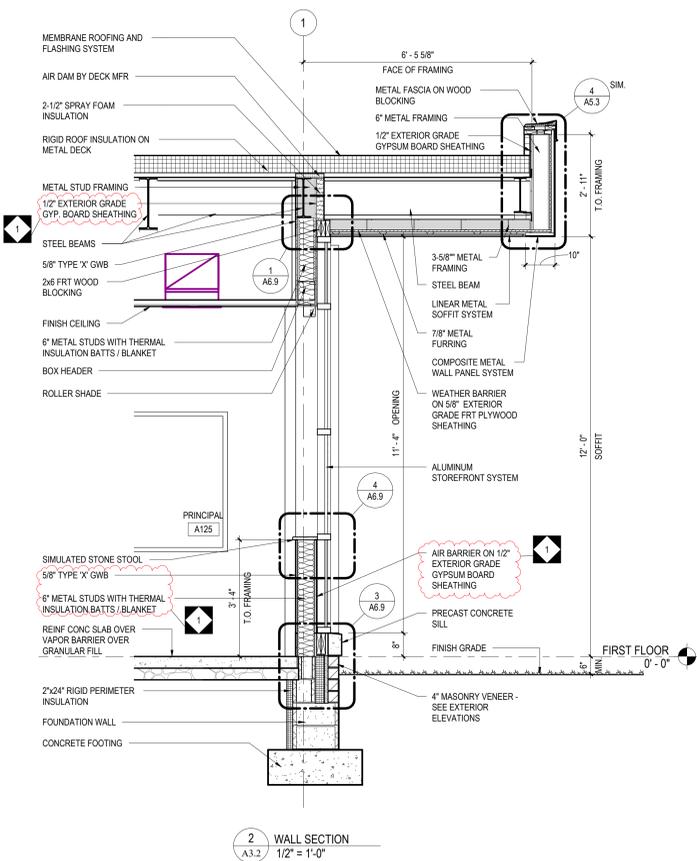


EXTERIOR ELEVATIONS
 PLOT SCALE: As indicated
 FILENAME:
 DATE: MARCH 30, 2025

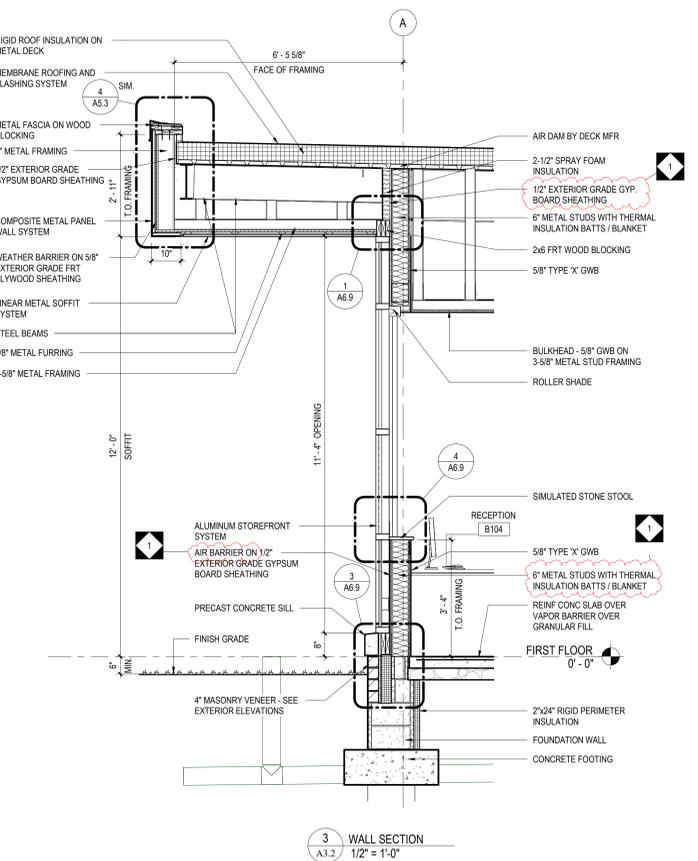
PROJECT
 3758
A2.5



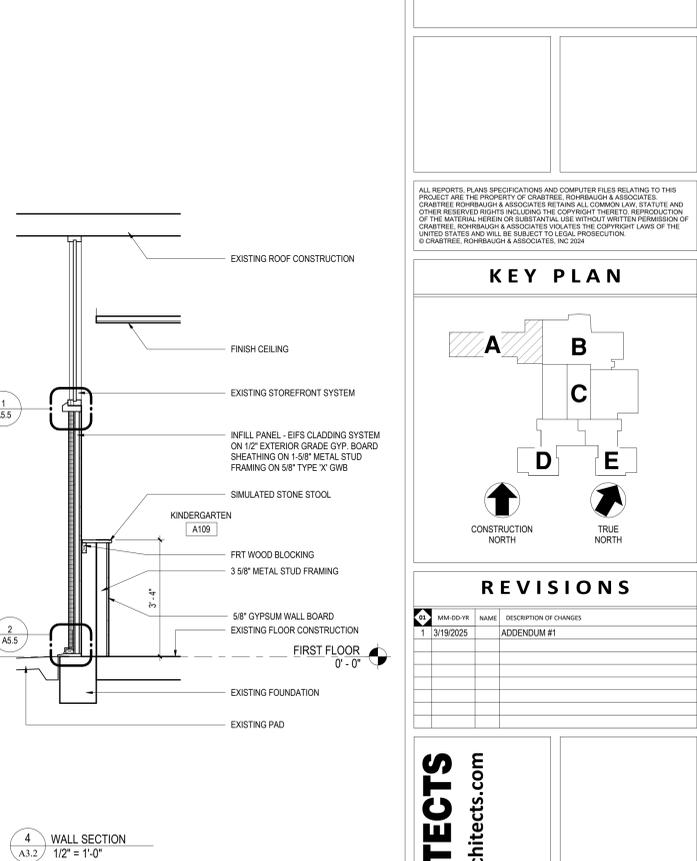
1 WALL SECTION
A3.2 1/2" = 1'-0"



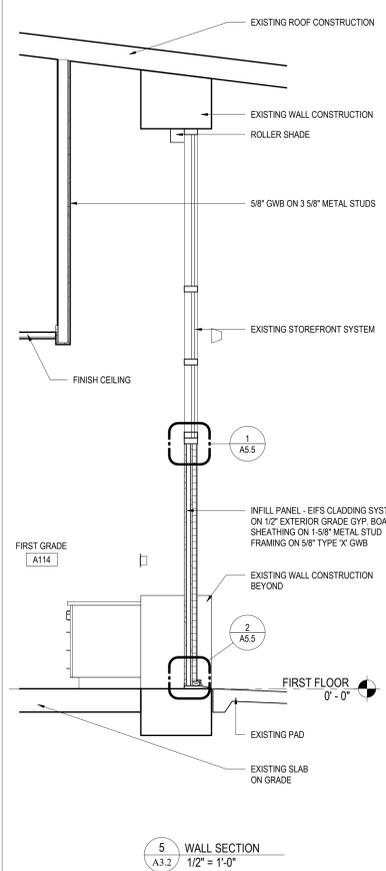
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A3.2 1/2" = 1'-0"



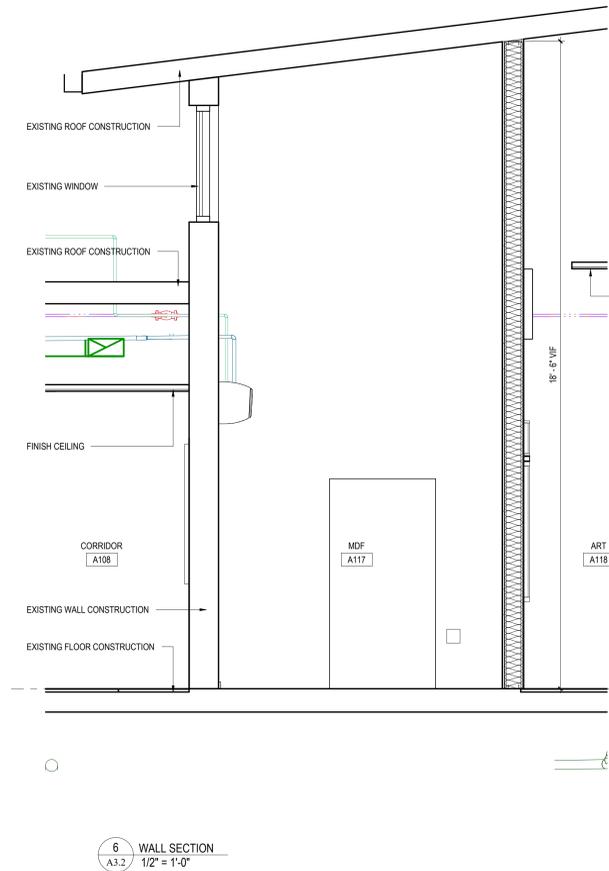
3 WALL SECTION
A3.2 1/2" = 1'-0"



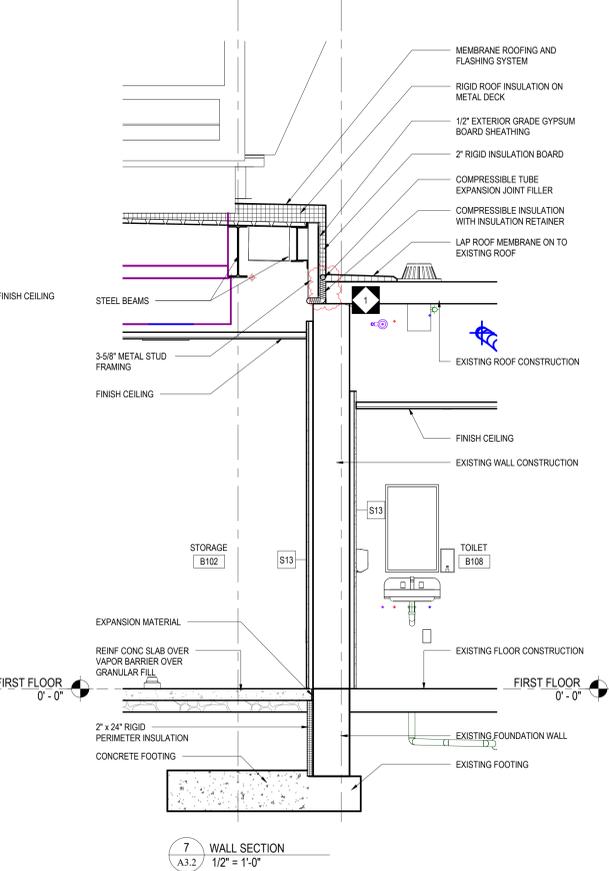
4 WALL SECTION
A3.2 1/2" = 1'-0"



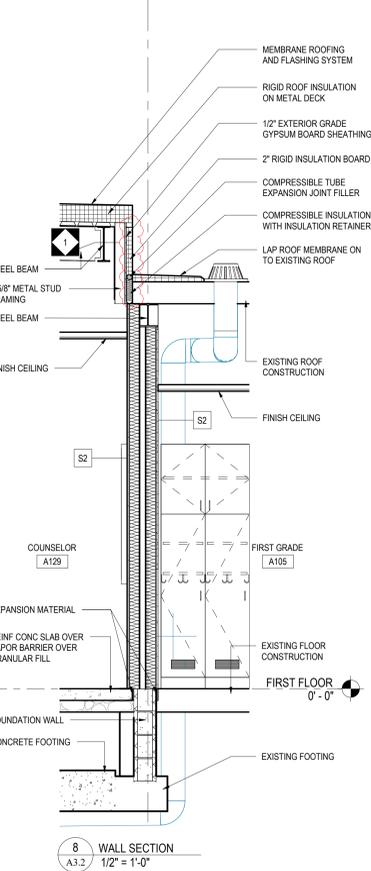
5 WALL SECTION
A3.2 1/2" = 1'-0"



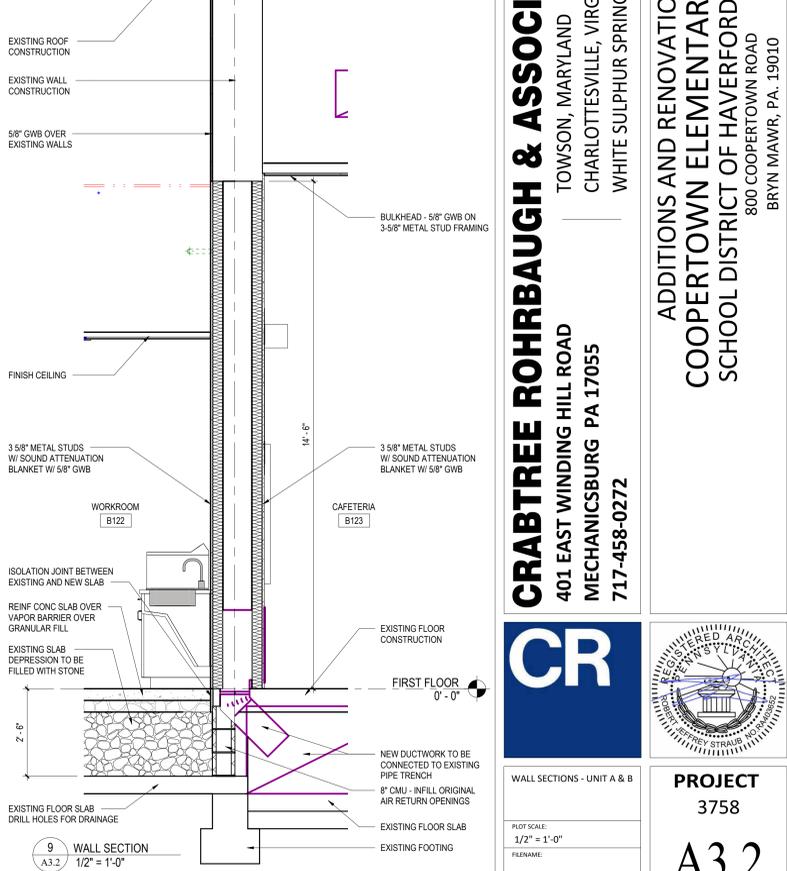
6 WALL SECTION
A3.2 1/2" = 1'-0"



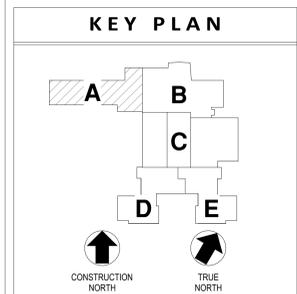
7 WALL SECTION
A3.2 1/2" = 1'-0"



8 WALL SECTION
A3.2 1/2" = 1'-0"



9 WALL SECTION
A3.2 1/2" = 1'-0"



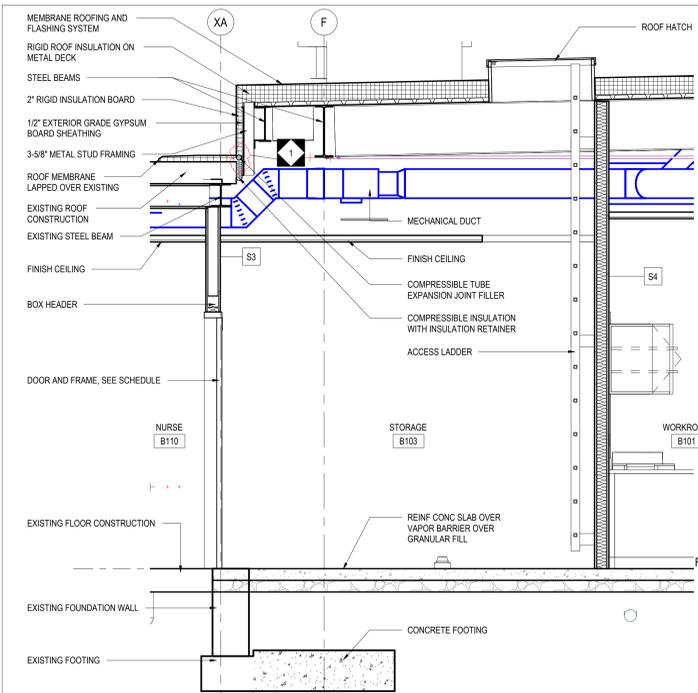
REVISIONS	
NO.	DESCRIPTION OF CHANGES
1	3/19/2025 ADDENDUM #1

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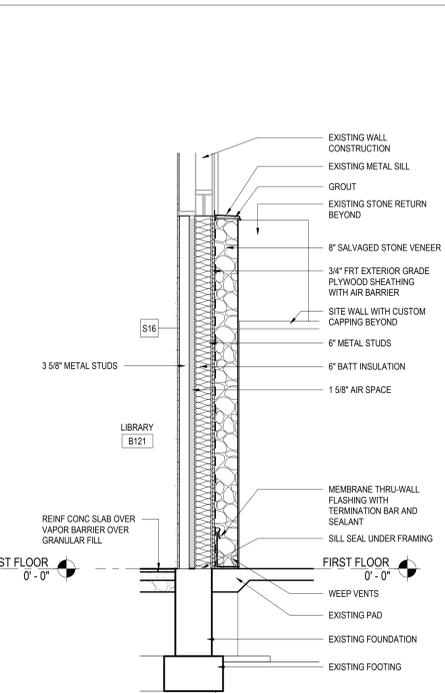
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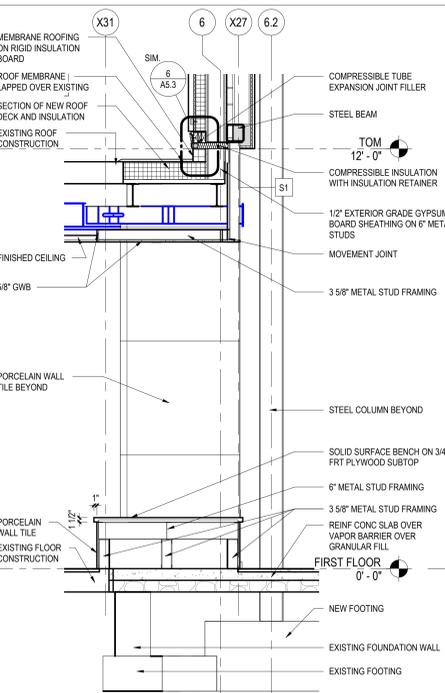
PROJECT
 3758
A3.2
 WALL SECTIONS - UNIT A & B
 PLOT SCALE: 1/2" = 1'-0"
 FILENAME:
 DATE: MARCH 10, 2025



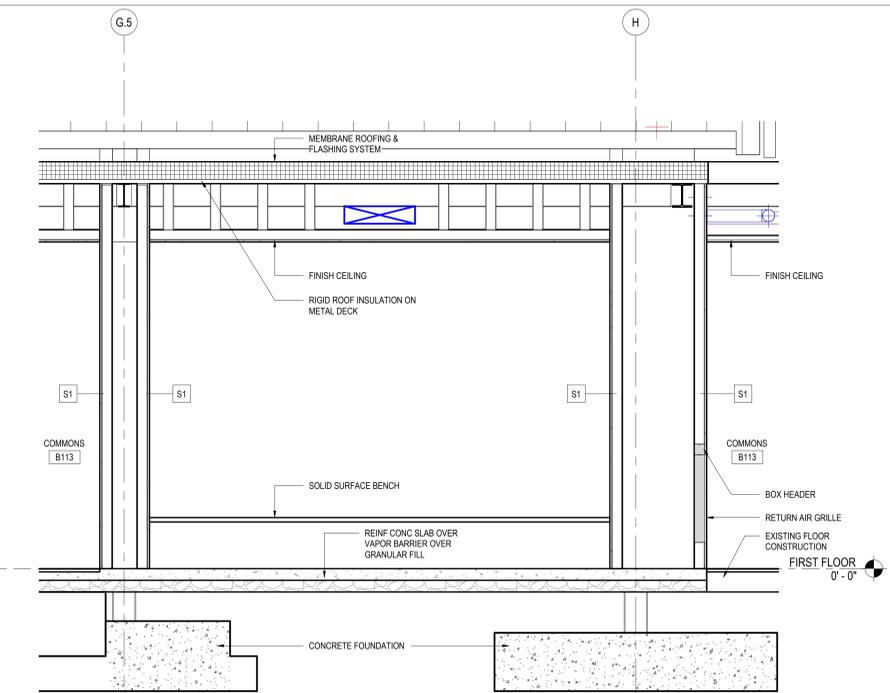
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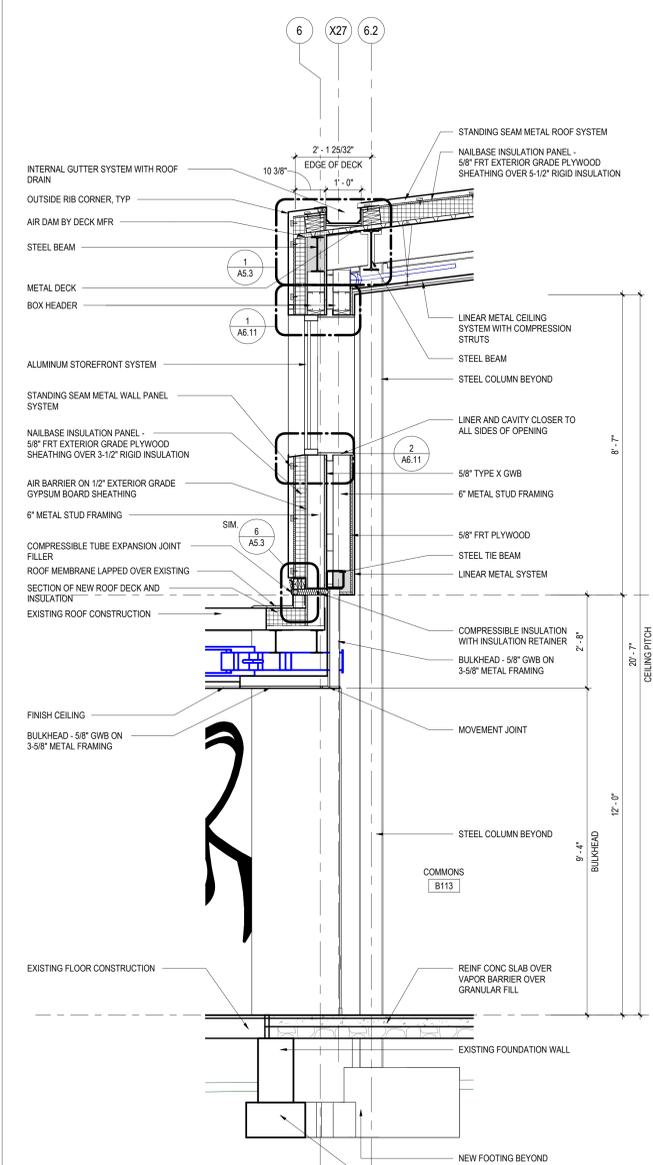
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A3.3 1/2" = 1'-0"



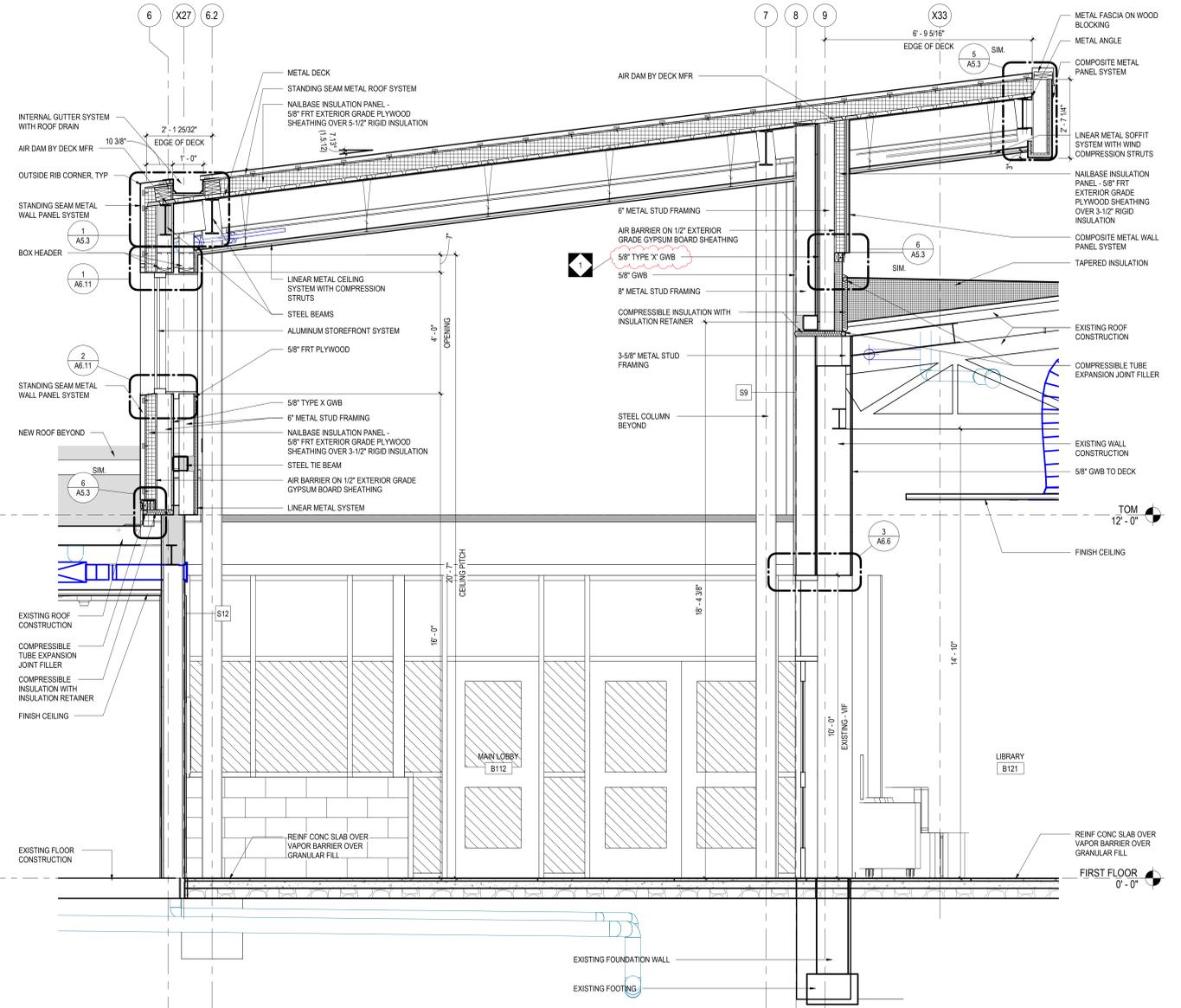
3 WALL SECTION
A3.3 1/2" = 1'-0"



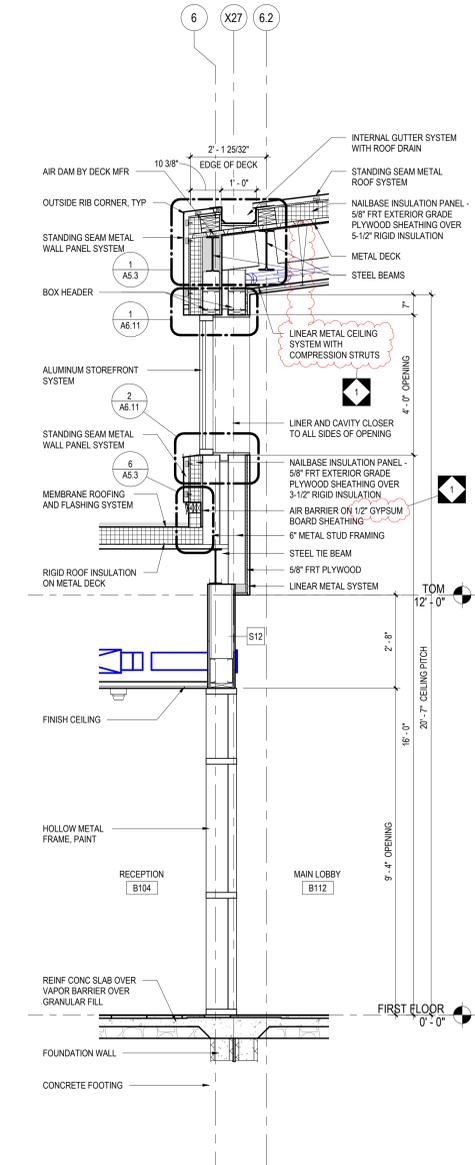
4 WALL SECTION
A3.3 1/2" = 1'-0"



5 WALL SECTION
A3.3 1/2" = 1'-0"

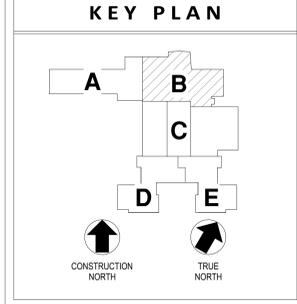


6 DETAIL SECTION
A3.3 1/2" = 1'-0"



7 WALL SECTION
A3.3 1/2" = 1'-0"

MEMBRANE ROOFING AND FLASHING SYSTEM
RIGID ROOF INSULATION ON METAL DECK
STEEL BEAMS
2" RIGID INSULATION BOARD
1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING
3-5/8" METAL STUD FRAMING
ROOF MEMBRANE LAPPED OVER EXISTING
EXISTING ROOF CONSTRUCTION
EXISTING STEEL BEAM
FINISH CEILING
BOX HEADER
DOOR AND FRAME, SEE SCHEDULE
NURSE B110
STORAGE B103
WORKROOM B101
EXISTING FLOOR CONSTRUCTION
EXISTING FOUNDATION WALL
EXISTING FOOTING



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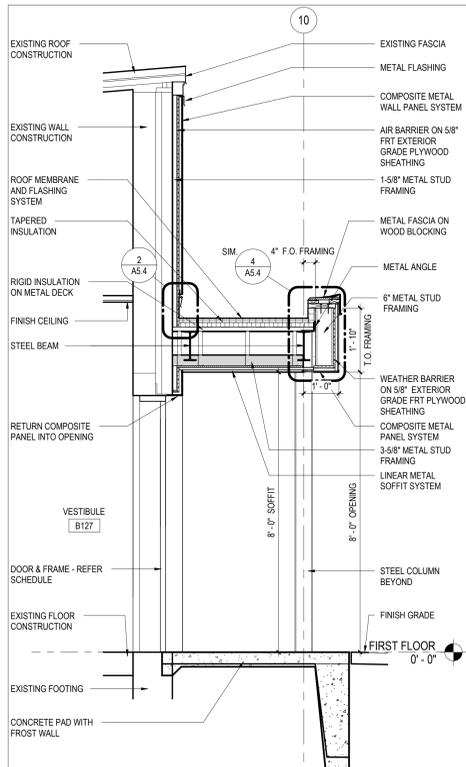
WALL SECTIONS - UNIT B

PROJECT 3758

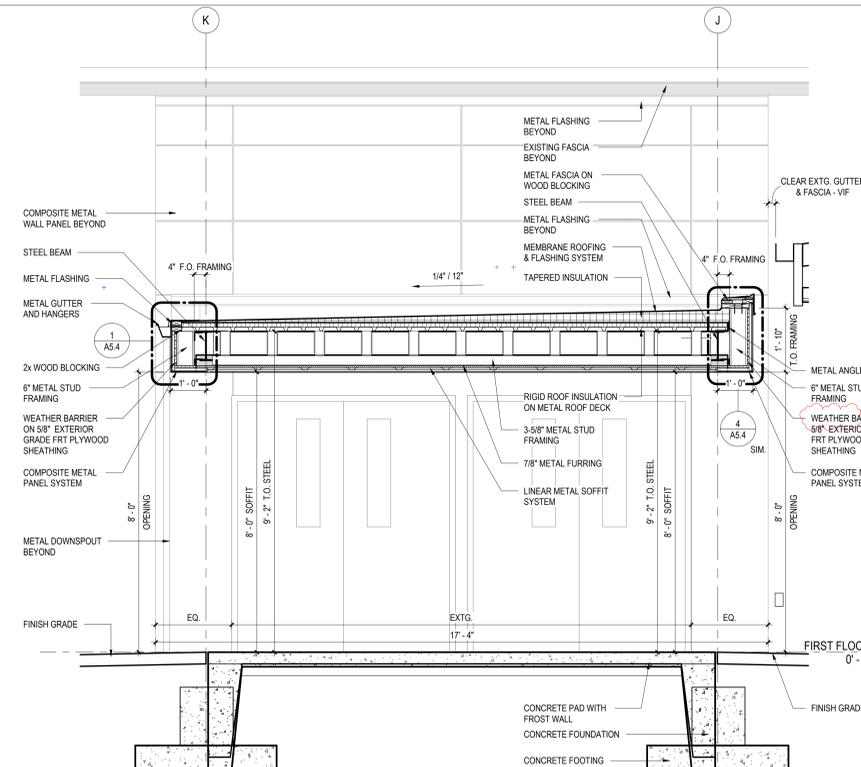
PLOT SCALE 1/2" = 1'-0"

FILENAME: A3.3

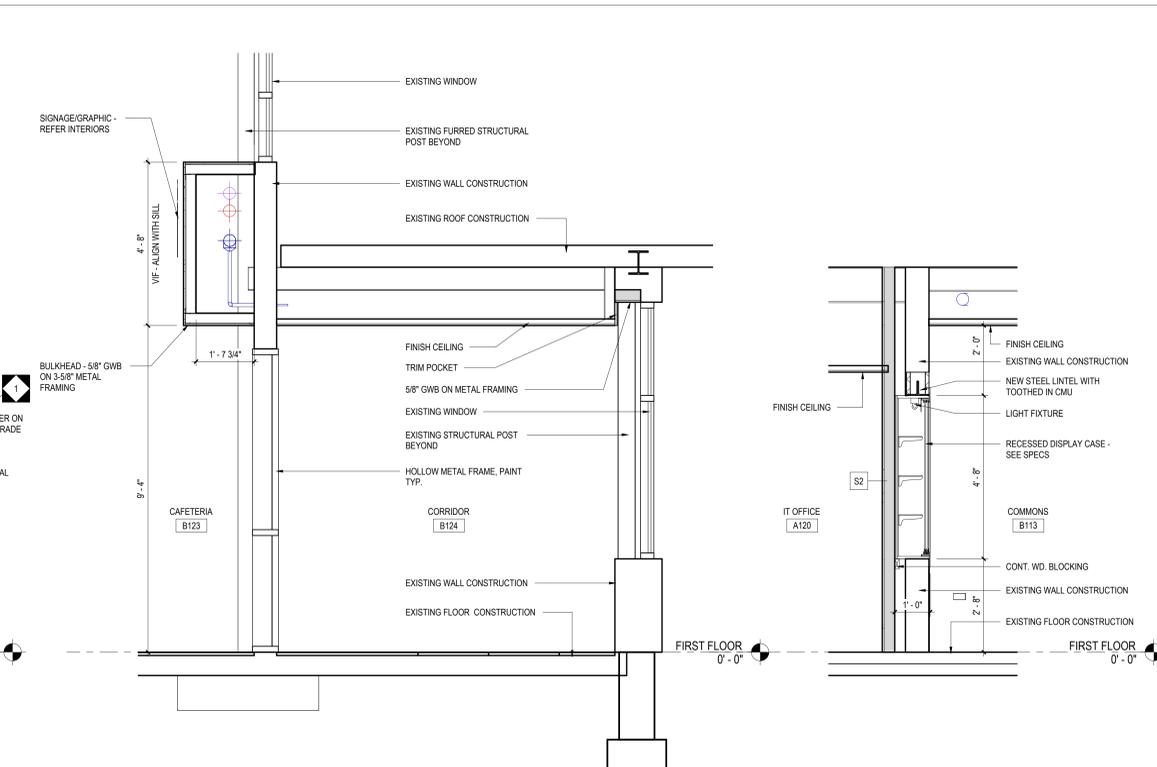
DATE: MARCH 10, 2025



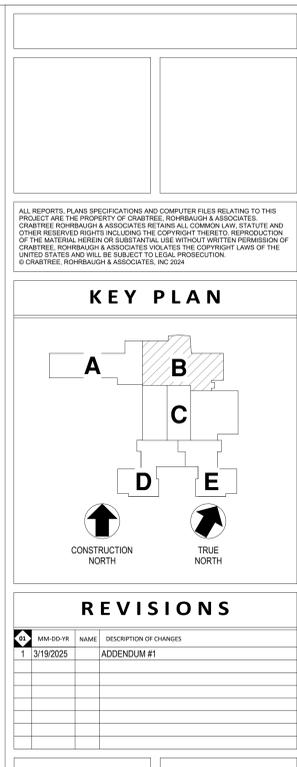
1 WALL SECTION
A3.4 1/2" = 1'-0"



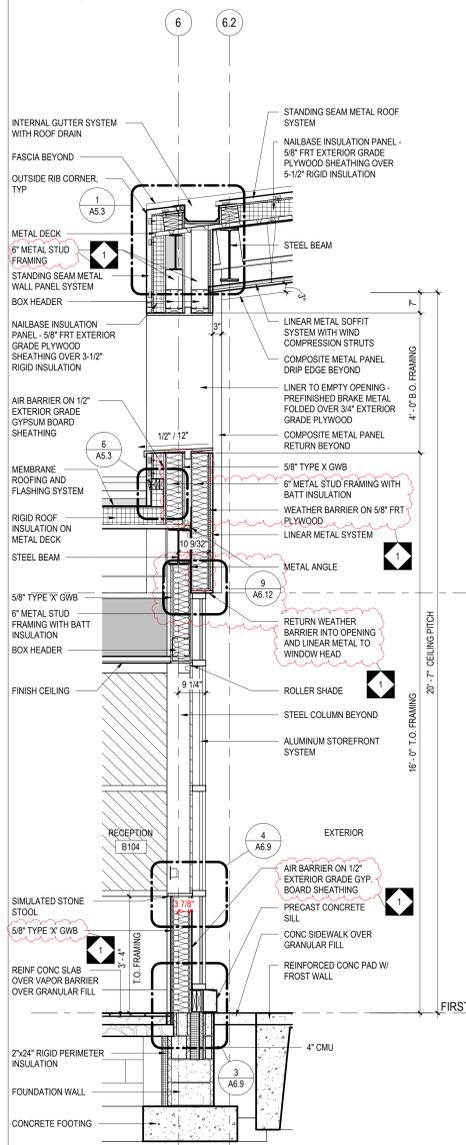
2 WALL SECTION
A3.4 1/2" = 1'-0"



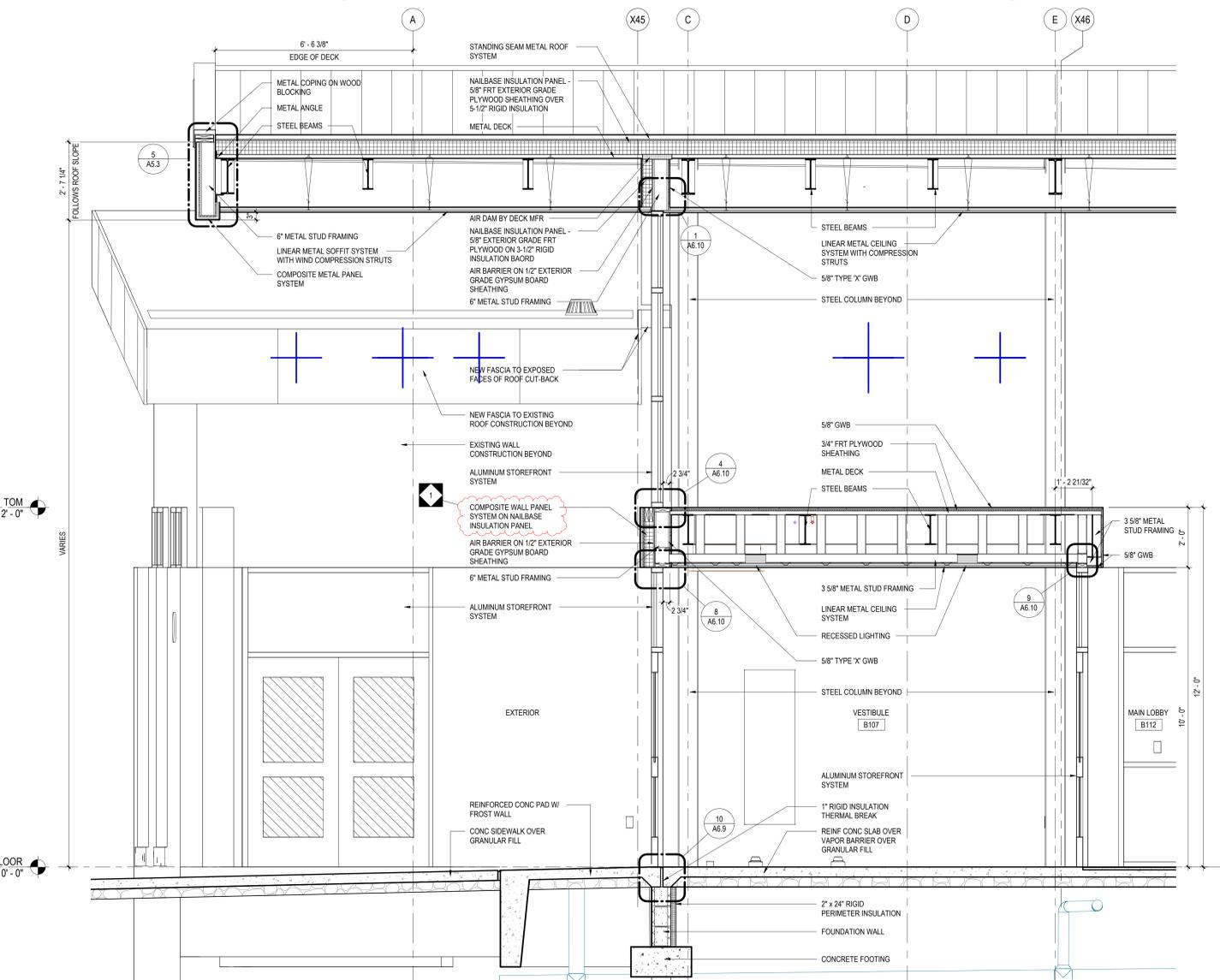
3 WALL SECTION
A3.4 1/2" = 1'-0"



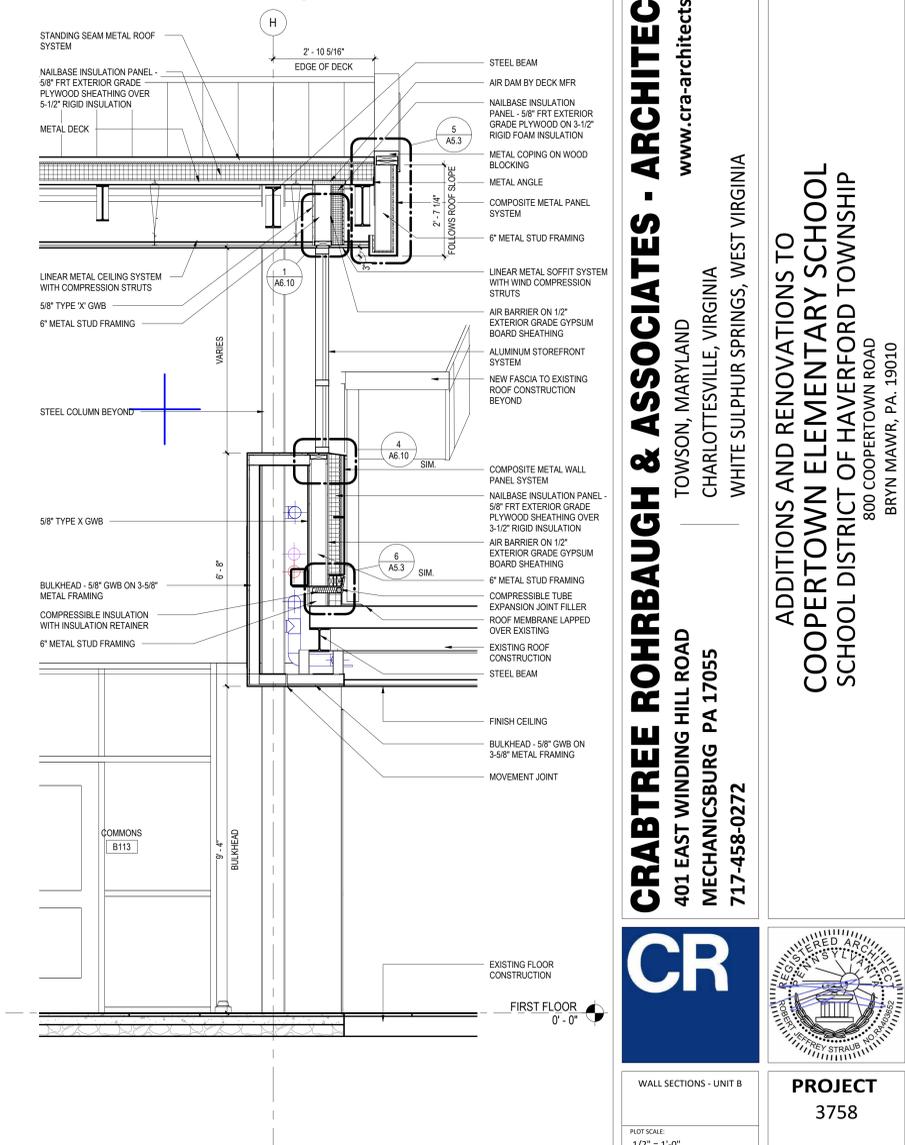
4 WALL SECTION
A3.4 1/2" = 1'-0"



5 WALL SECTION
A3.4 1/2" = 1'-0"

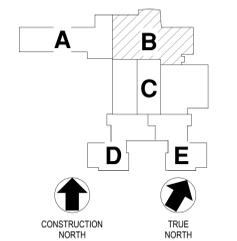


6 WALL SECTION
A3.4 1/2" = 1'-0"



7 WALL SECTION
A3.4 1/2" = 1'-0"

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NO	DATE	DESCRIPTION OF CHANGES
1	3/19/2025	ADDENDUM #1

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CR

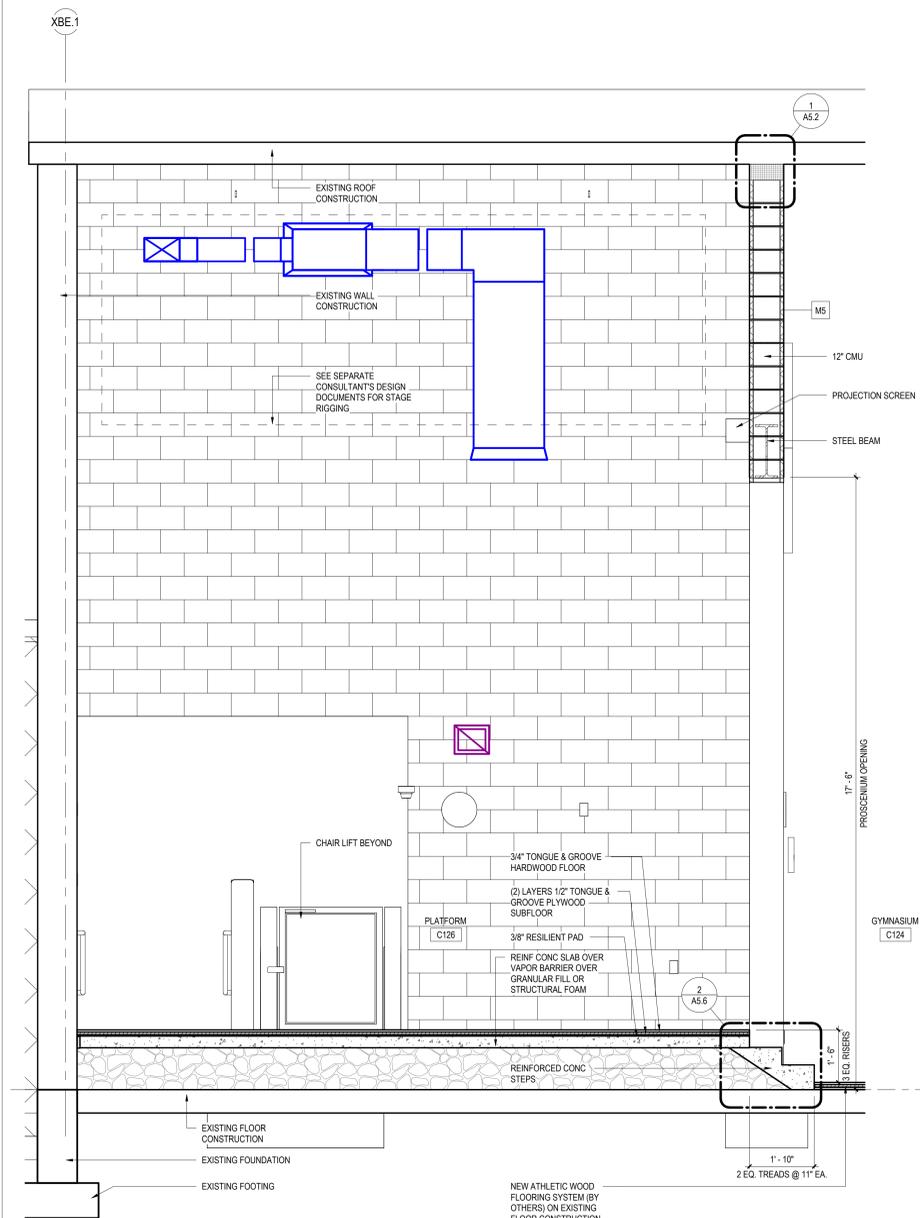
WALL SECTIONS - UNIT B

PLOT SCALE: 1/2" = 1'-0"

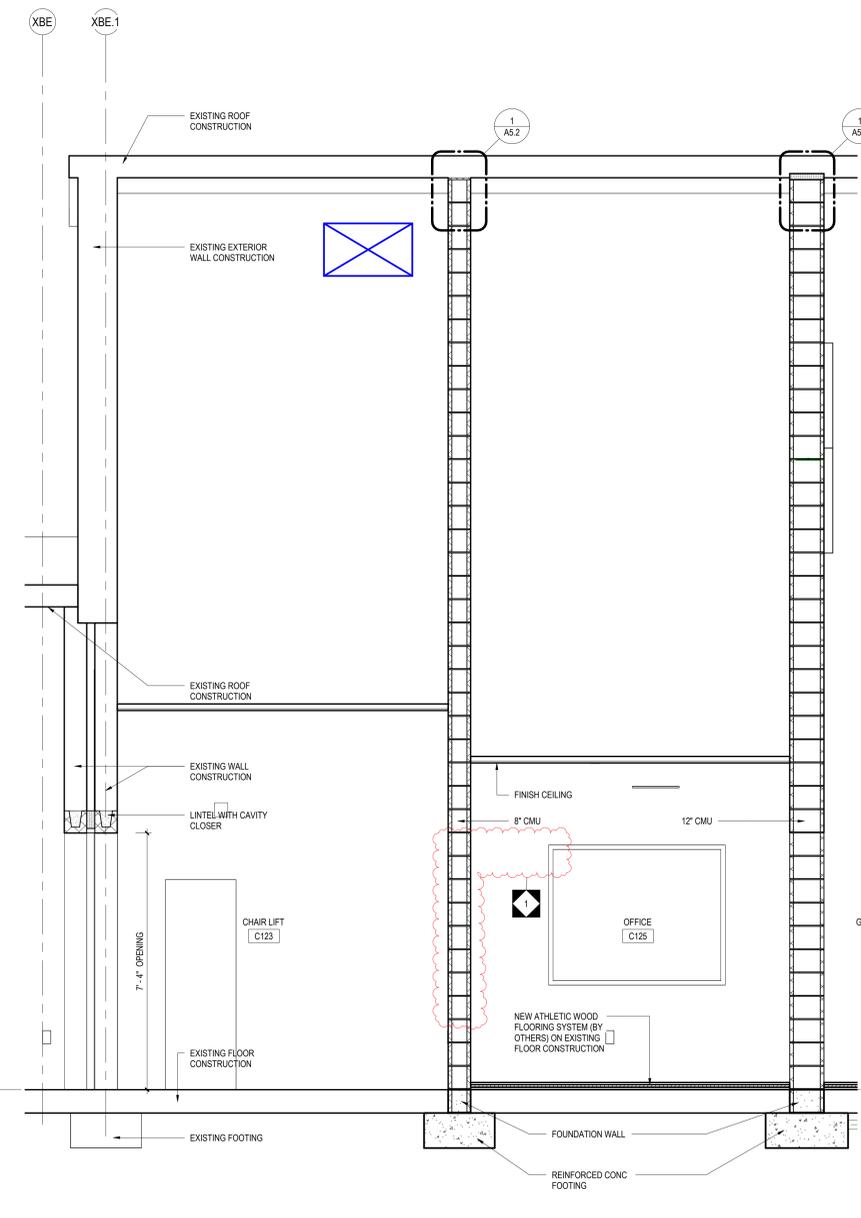
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DATE: MARCH 10, 2025

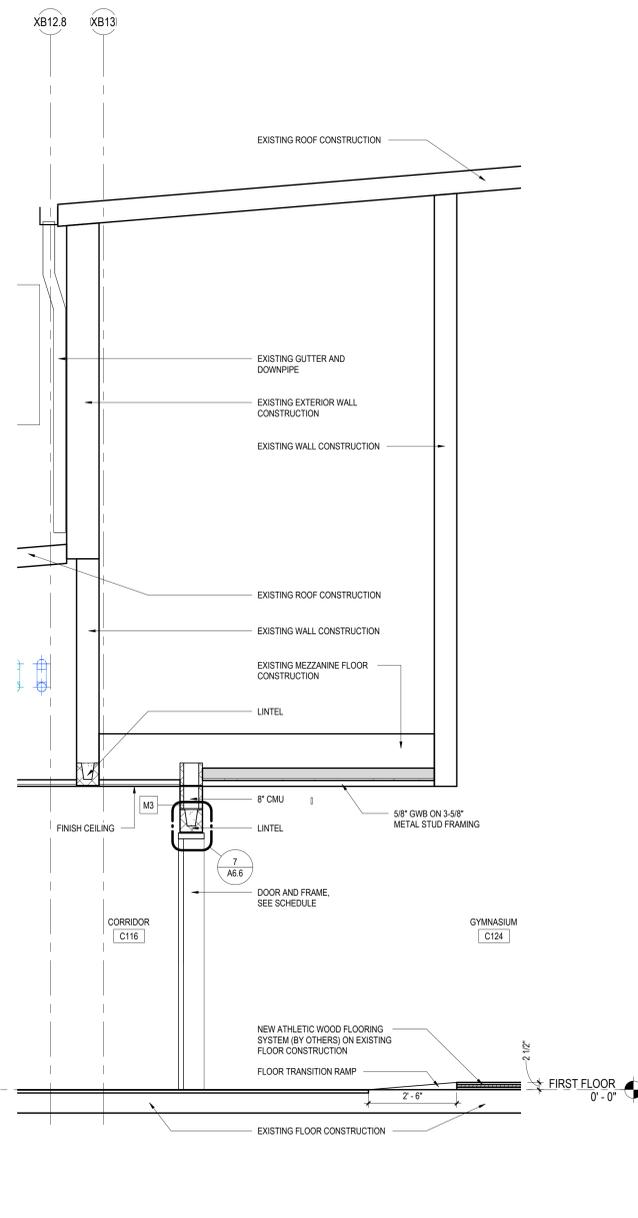
PROJECT
3758
A3.4



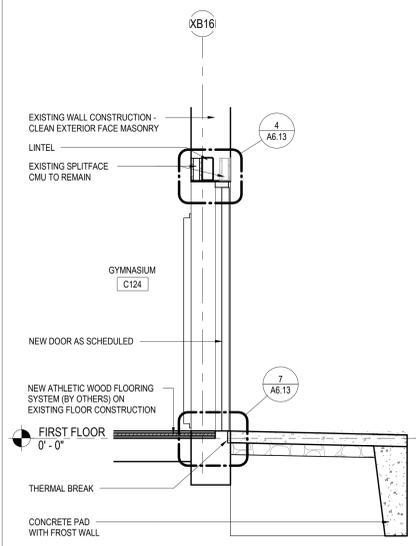
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A3.5 1/2" = 1'-0"



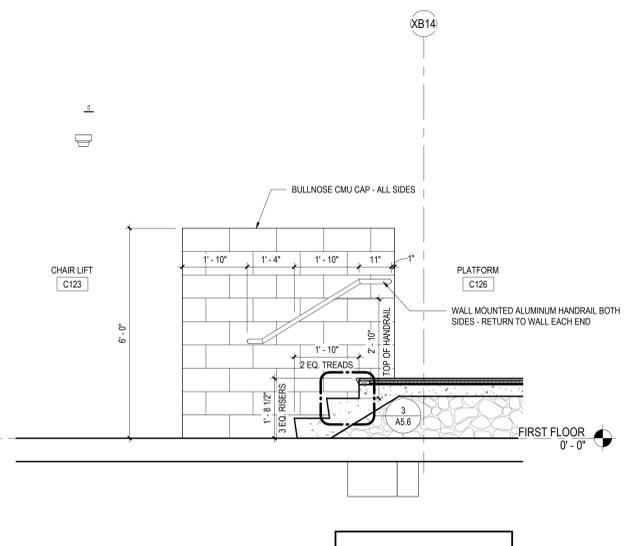
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A3.5 1/2" = 1'-0"



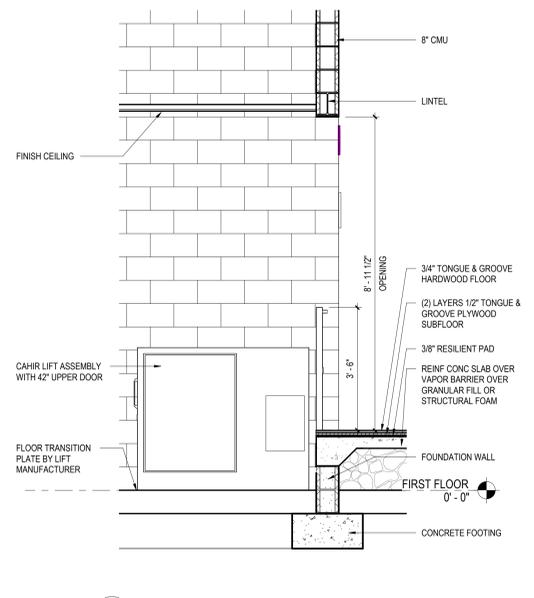
3 WALL SECTION
A3.5 1/2" = 1'-0"



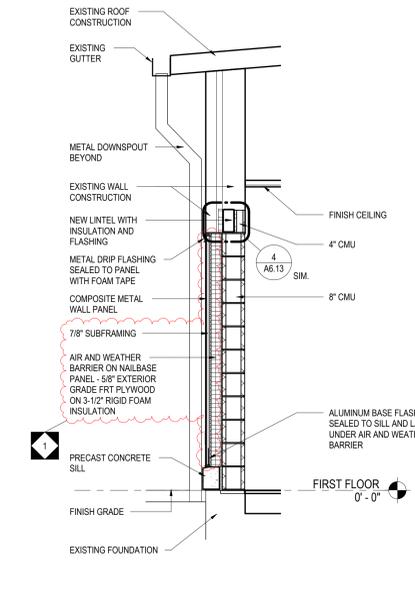
4 WALL SECTION
A3.5 1/2" = 1'-0"



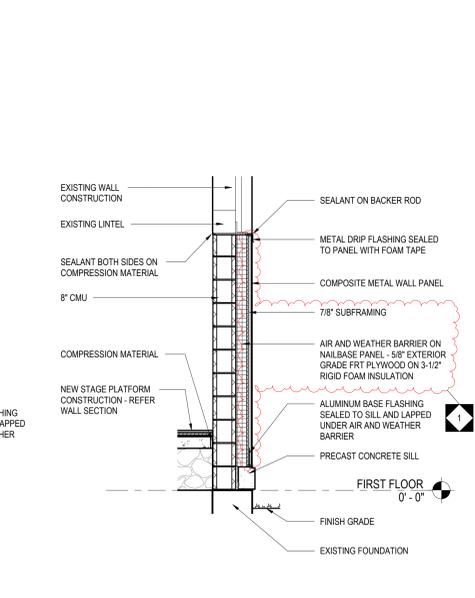
5 WALL SECTION
A3.5 1/2" = 1'-0"



6 WALL SECTION
A3.5 1/2" = 1'-0"

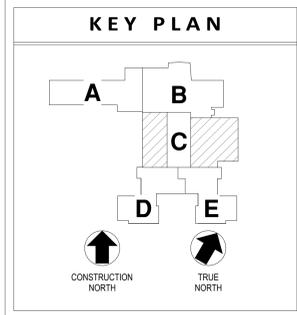


7 WALL SECTION
A3.5 1/2" = 1'-0"



8 WALL SECTION
A3.5 1/2" = 1'-0"

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NO.	DATE	BY	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM #1

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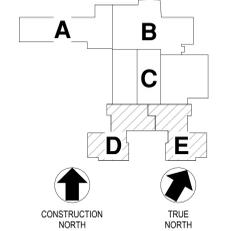
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WALL SECTIONS - UNIT C
 PROJECT 3758
 PLOT SCALE: 1/2" = 1'-0"
 FILENAME: A3.5
 DATE: MARCH 10, 2025

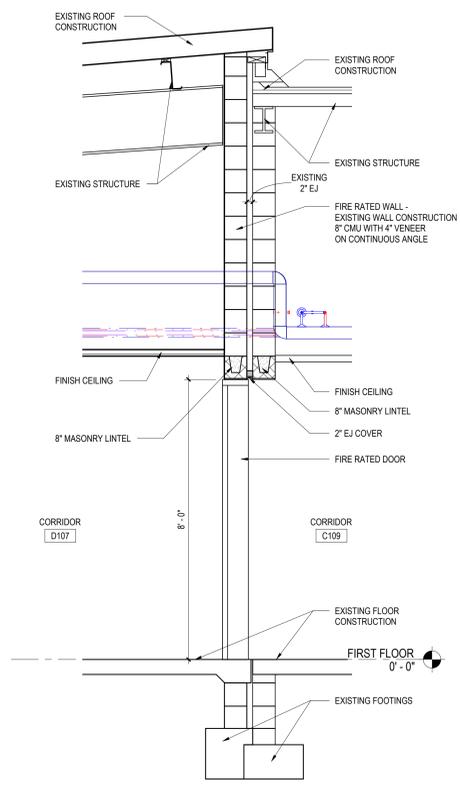
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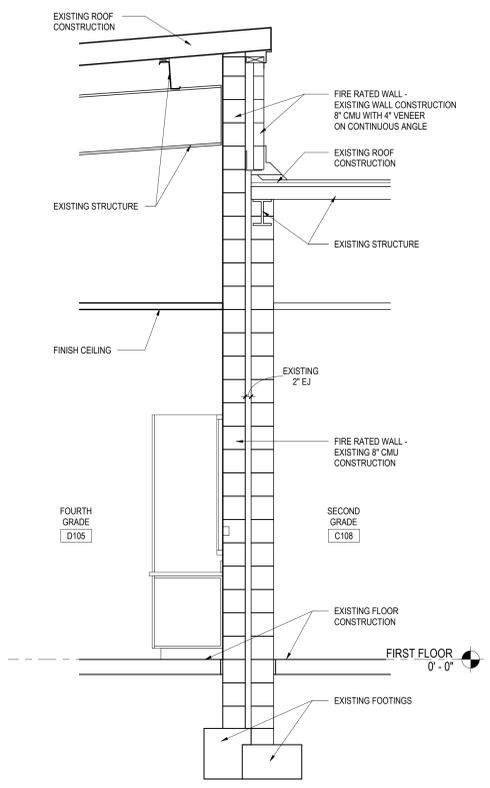


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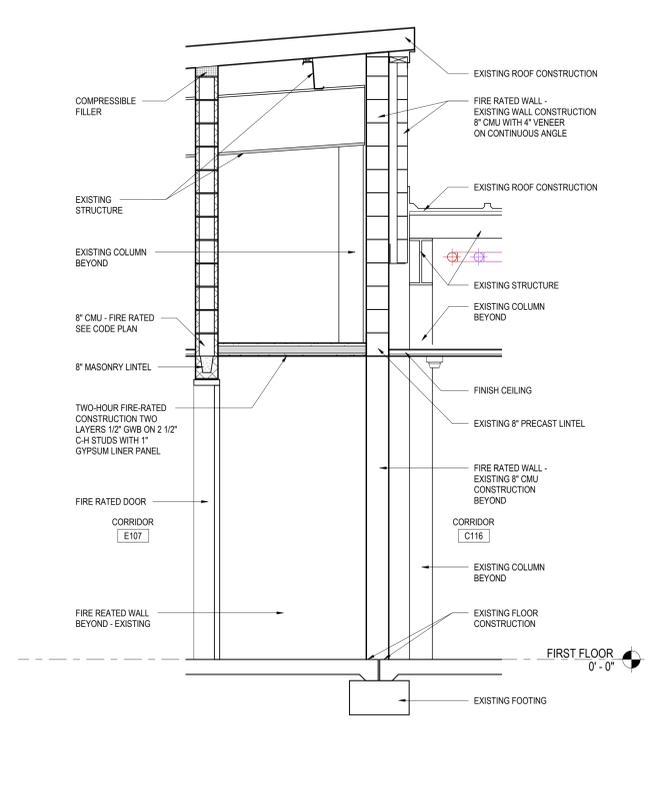
NO.	DATE	BY	DESCRIPTION OF CHANGES
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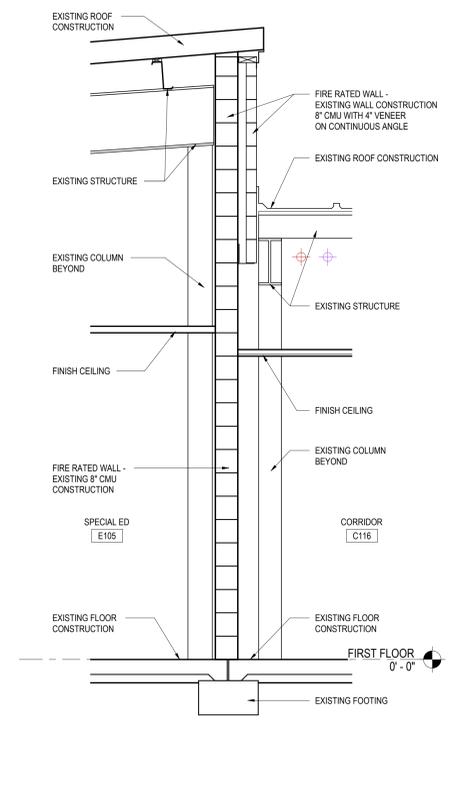
1 WALL SECTION
A3.6 1/2" = 1'-0"



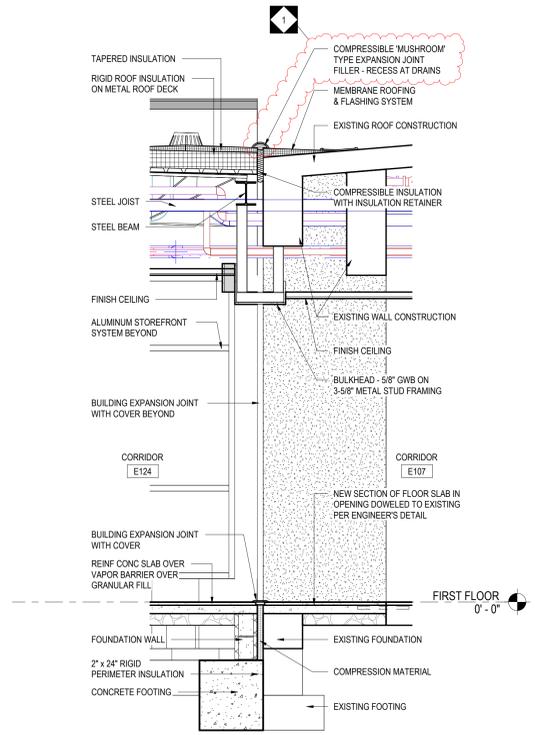
2 WALL SECTION
A3.6 1/2" = 1'-0"



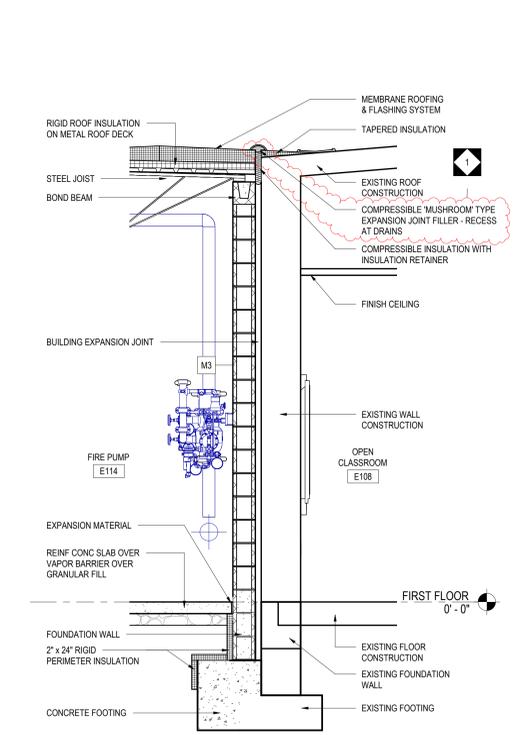
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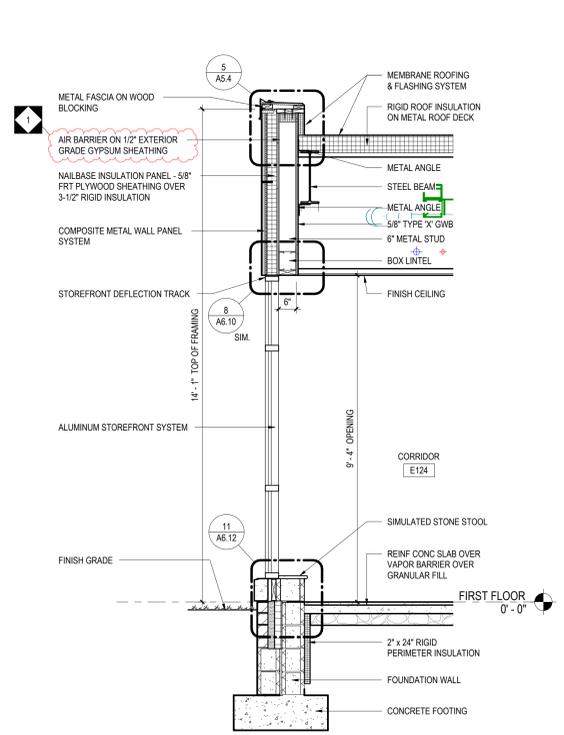
4 WALL SECTION
A3.6 1/2" = 1'-0"



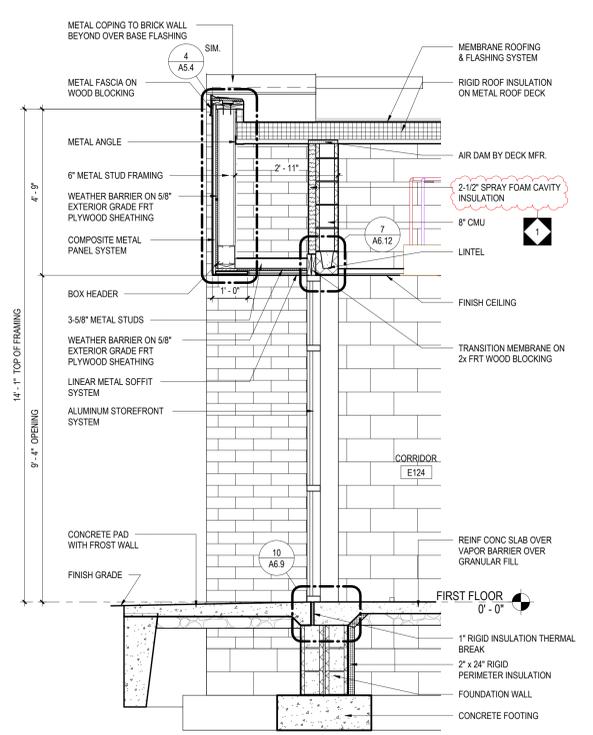
5 WALL SECTION
A3.6 1/2" = 1'-0"



6 WALL SECTION
A3.6 1/2" = 1'-0"



7 WALL SECTION
A3.6 1/2" = 1'-0"



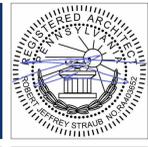
8 WALL SECTION
A3.6 1/2" = 1'-0"

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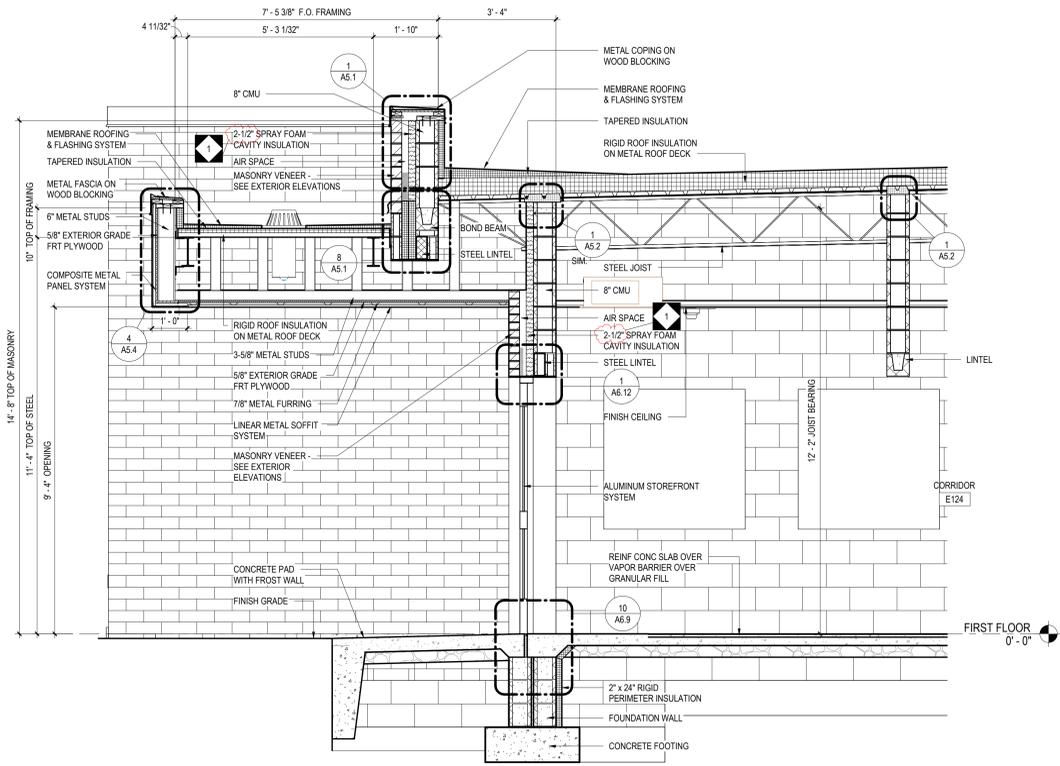
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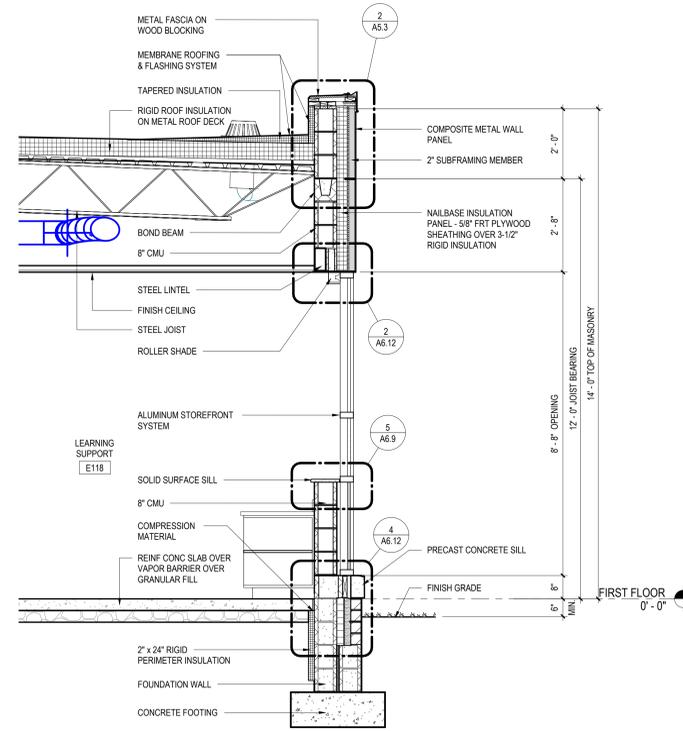


WALL SECTIONS - UNIT D & UNIT E
 PLOT SCALE: 1/2" = 1'-0"
 FILENAME:
 DATE: MARCH 10, 2025

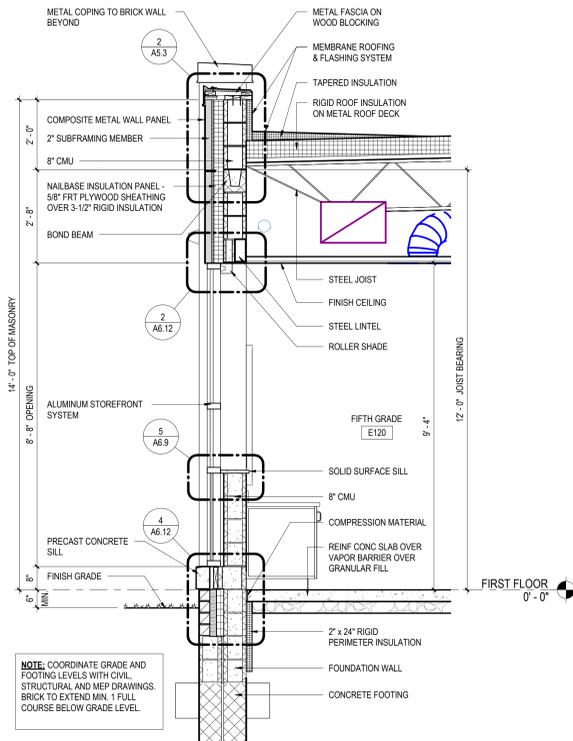
PROJECT
 3758
A3.6



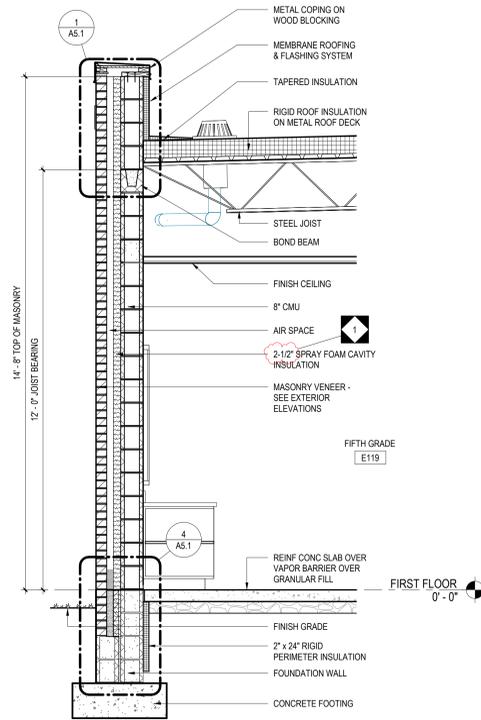
1 WALL SECTION
A3.7 1/2" = 1'-0"



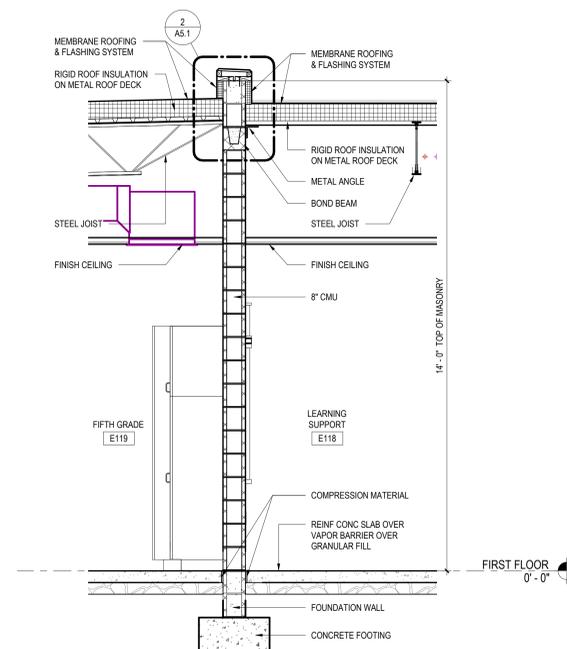
2 WALL SECTION
A3.7 1/2" = 1'-0"



3 WALL SECTION
A3.7 1/2" = 1'-0"



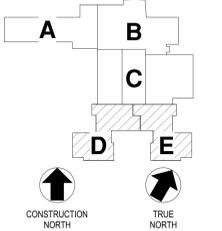
4 WALL SECTION
A3.7 1/2" = 1'-0"



5 WALL SECTION
A3.7 1/2" = 1'-0"

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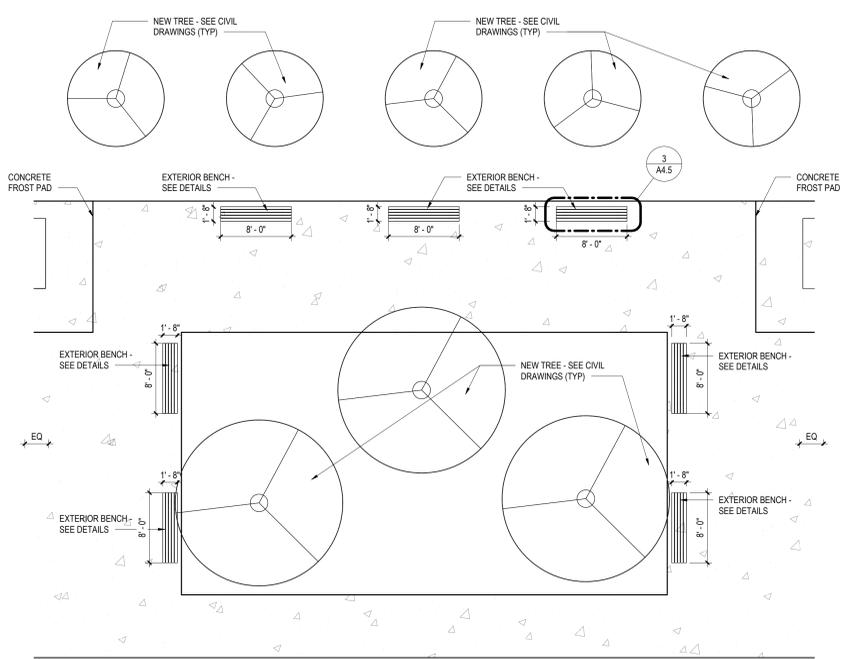
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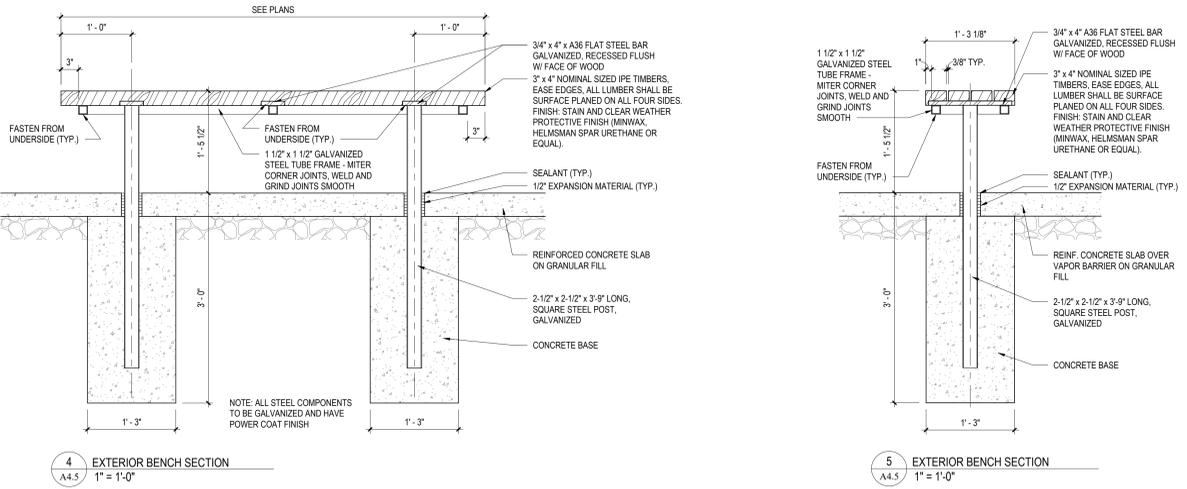
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WALL SECTIONS - UNIT D & UNIT E	PROJECT 3758
PLOT SCALE 1/2" = 1'-0"	A3.7
FILENAME	
DATE MARCH 10, 2025	

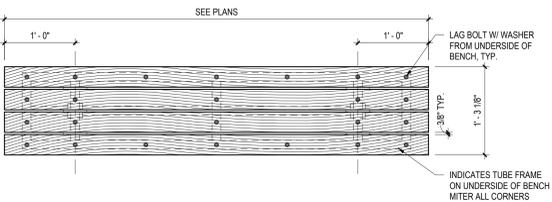


1 PLAZA PLAN
A4.5 1/8" = 1'-0"

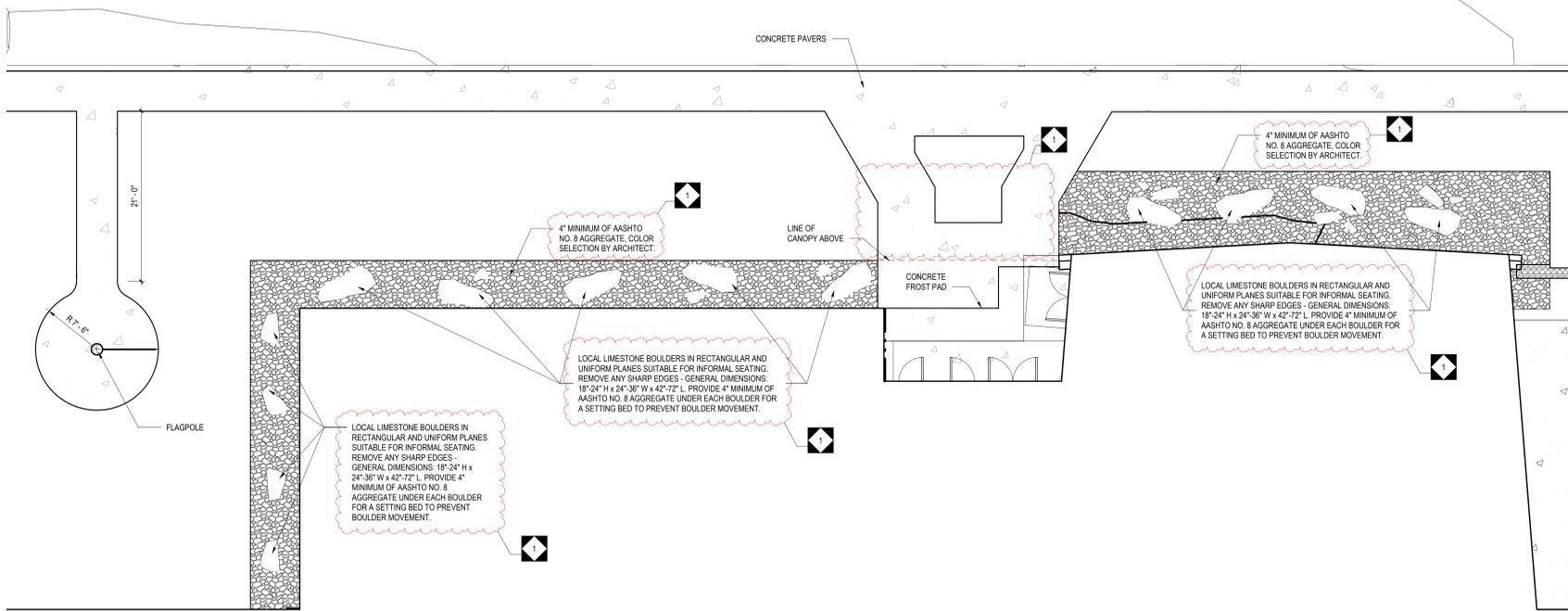


4 EXTERIOR BENCH SECTION
A4.5 1" = 1'-0"

5 EXTERIOR BENCH SECTION
A4.5 1" = 1'-0"

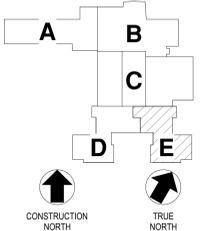


3 EXTERIOR BENCH PLAN
A4.5 1" = 1'-0"



2 PLAZA PLAN
A4.5 1/8" = 1'-0"

KEY PLAN



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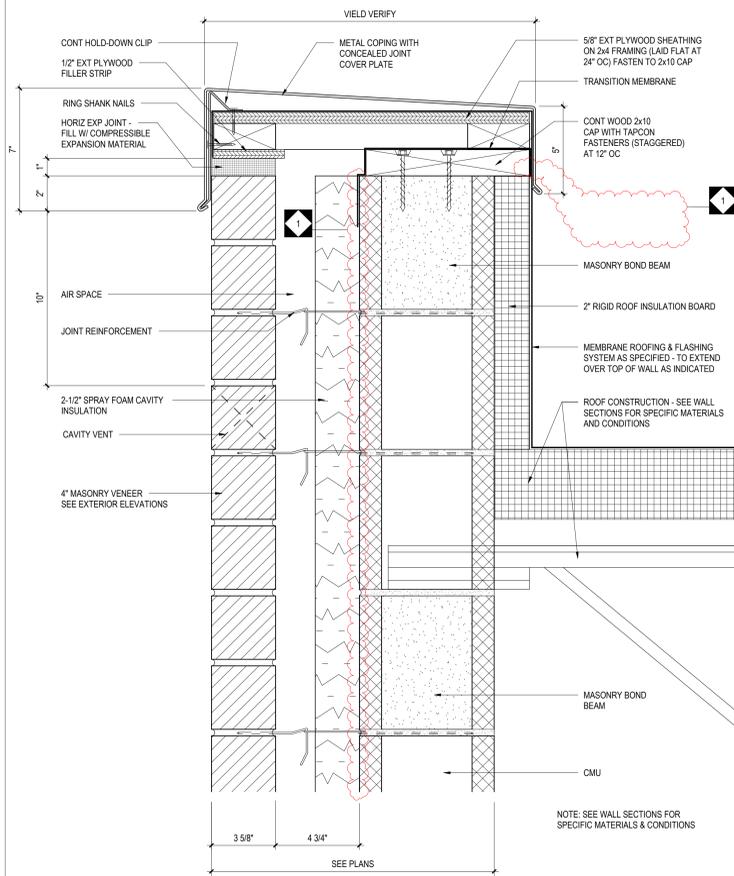
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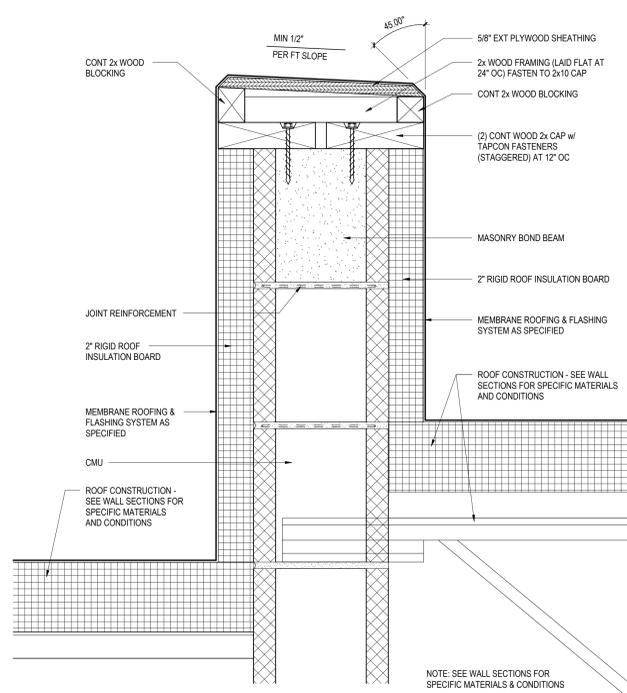
ADDITIONS AND RENOVATIONS TO
COOPERTOWN ELEMENTARY SCHOOL
 SCHOOL DISTRICT OF HAVERFORD TOWNSHIP
 800 COOPERTOWN ROAD
 BRYN MAWR, PA. 19010



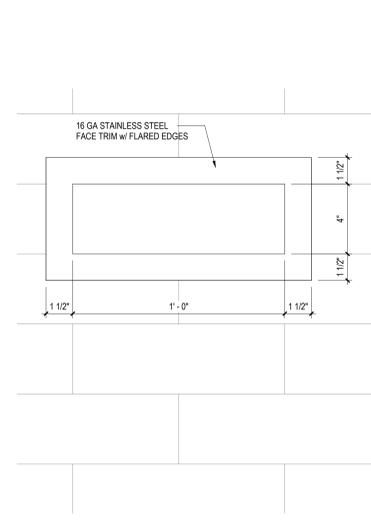
LARGE SCALE PLAZA PLAN	PROJECT 3758
PLOT SCALE: As indicated	FILENAME: A4.5
DATE: MARCH 30, 2025	



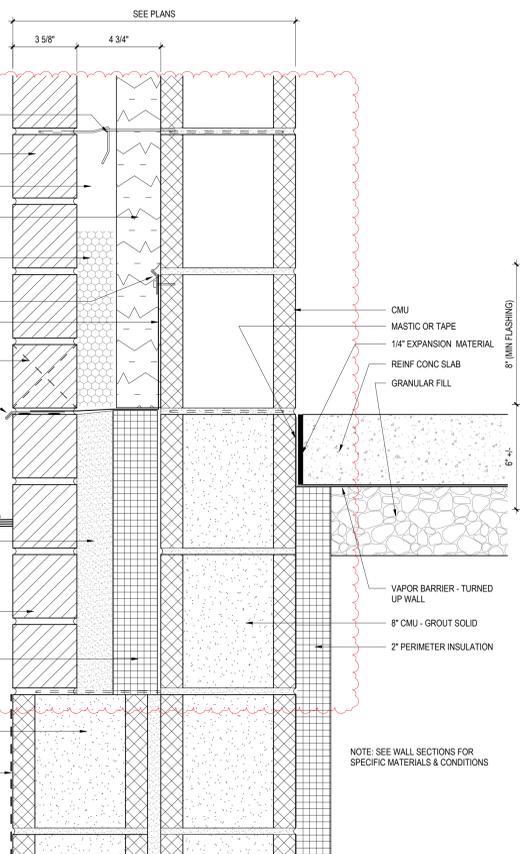
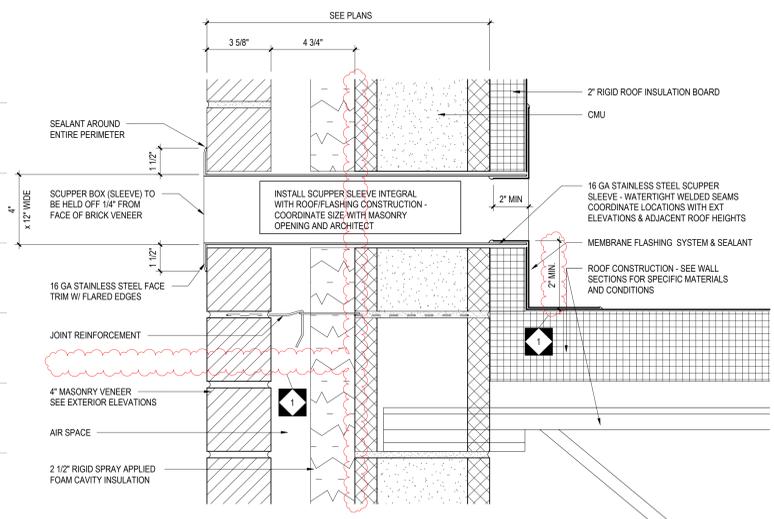
1 TYPICAL ROOF PARAPET COPING DETAIL
A5.1 3" = 1'-0"



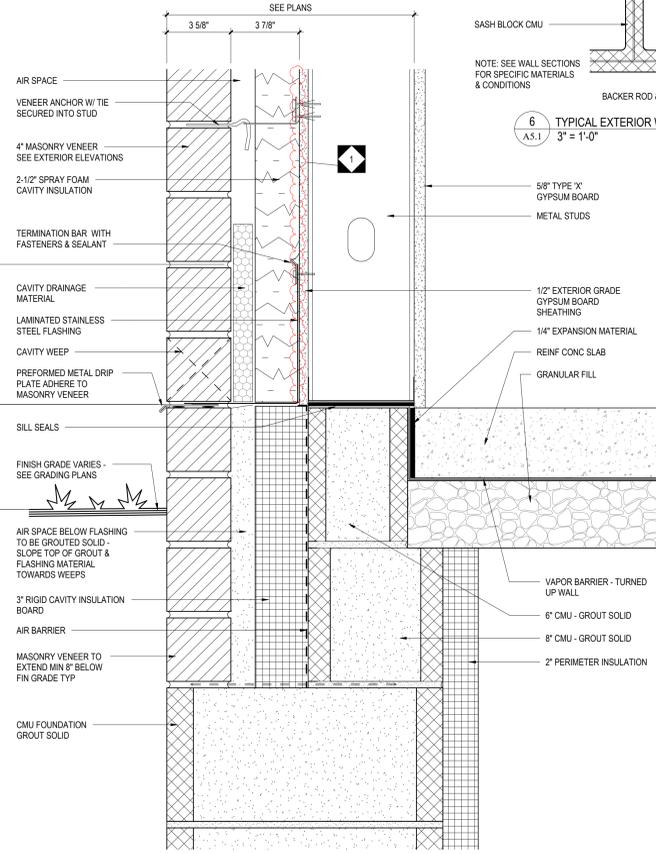
2 TYPICAL MASONRY PARAPET DETAIL
A5.1 3" = 1'-0"



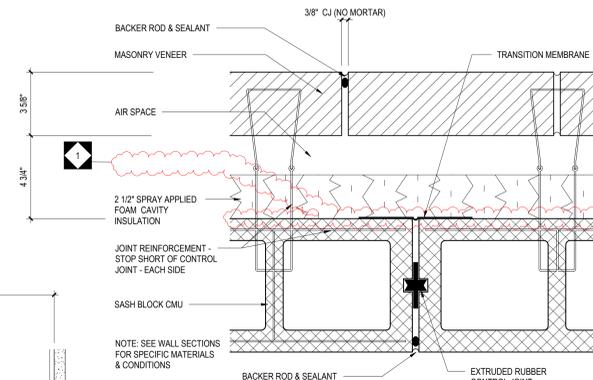
3 TYPICAL ROOF SCUPPER DETAIL
A5.1 3" = 1'-0"



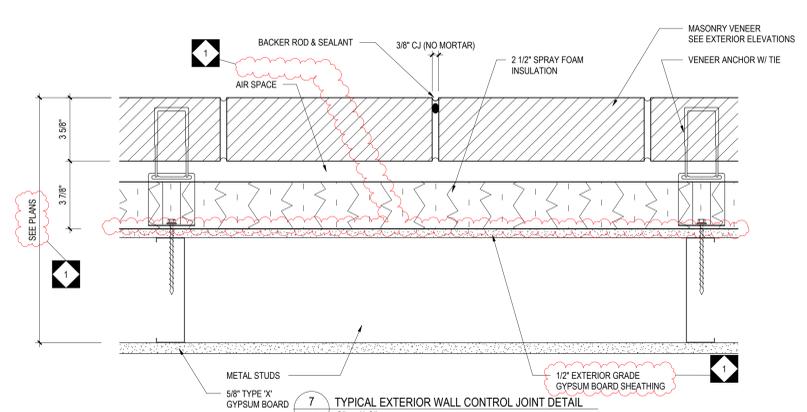
4 TYPICAL BASE FLASHING DETAIL - CMU BACKUP
A5.1 3" = 1'-0"



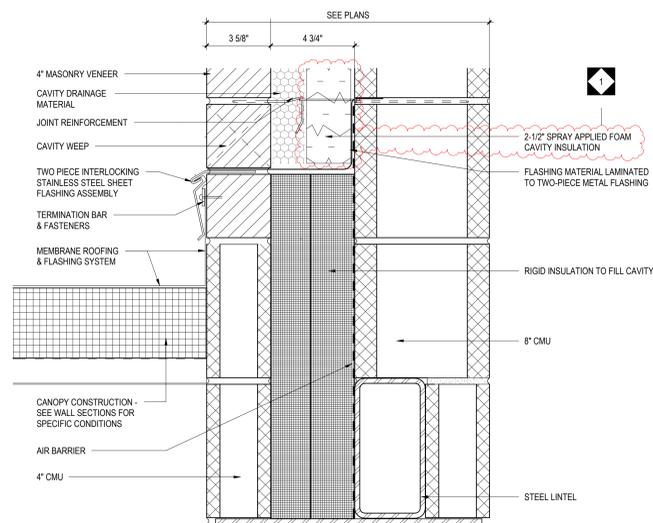
5 TYPICAL BASE FLASHING DETAIL - STUD BACKUP
A5.1 3" = 1'-0"



6 TYPICAL EXTERIOR WALL CONTROL JOINT DETAIL
A5.1 3" = 1'-0"



7 TYPICAL EXTERIOR WALL CONTROL JOINT DETAIL
A5.1 3" = 1'-0"



8 OPENING DETAIL
A5.1 3" = 1'-0"

NOTE: DETAILS WITHIN THIS DRAWING, TITLED AS "TYPICAL," INDICATE COMMON NON-SPECIFIC CONDITIONS OCCURRING THROUGHOUT BUILDING. THE LARGE SCALE ALLOWS A MORE COMPREHENSIVE LEVEL OF DETAIL TO BE SHOWN. SPECIFIC CONSTRUCTION CONDITIONS WILL VARY ACCORDING TO MATERIAL AND DIMENSIONS, MORE ACCURATELY SHOWN AS PART OF INDIVIDUAL SECTIONS AND DETAILS THROUGHOUT THE CONSTRUCTION DOCUMENTS.

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REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM #1

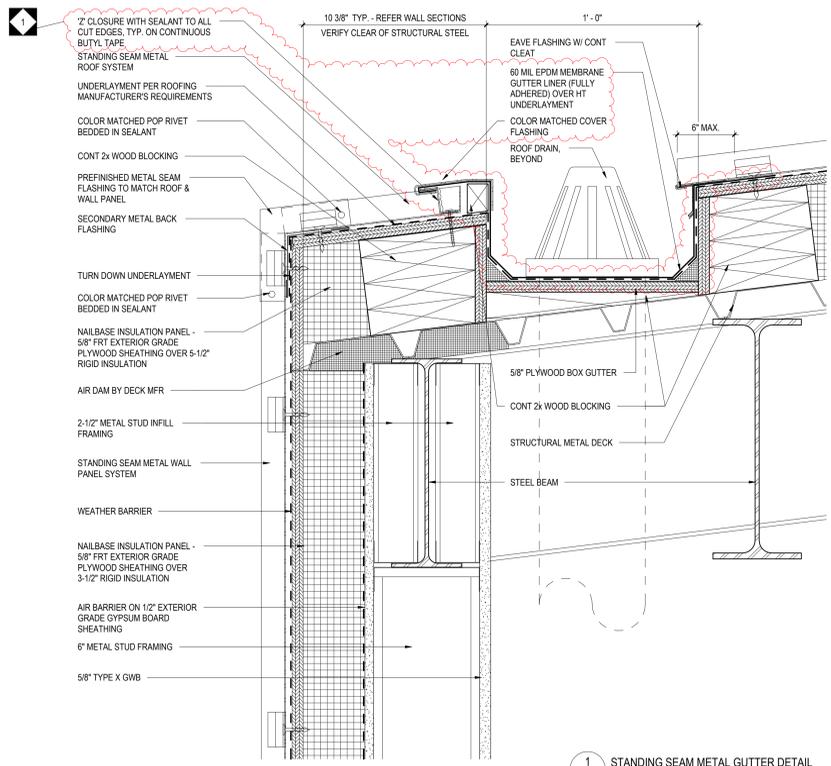
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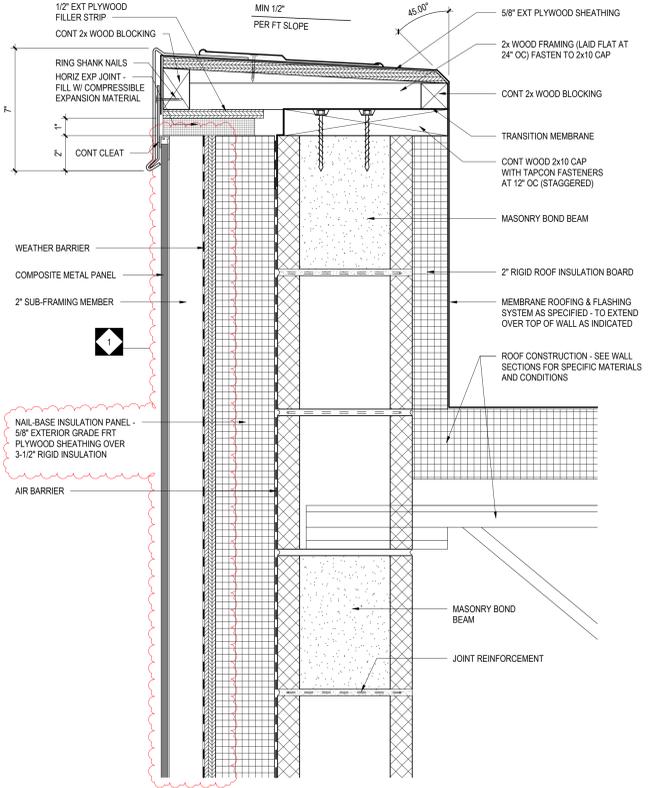


TYPICAL MASONRY DETAILS
 PROJECT 3758
 PLOT SCALE 3" = 1'-0"
 FILENAME: A5.1
 DATE: MARCH 10, 2025

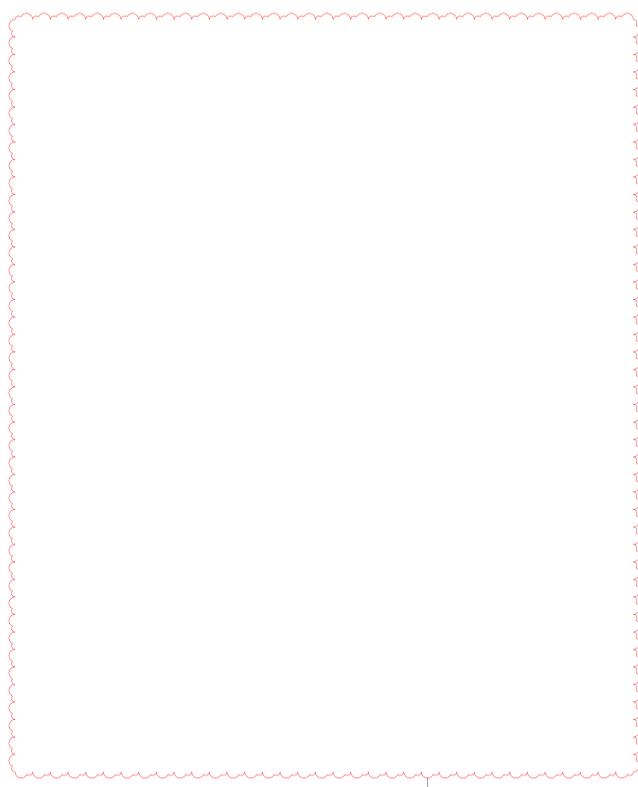
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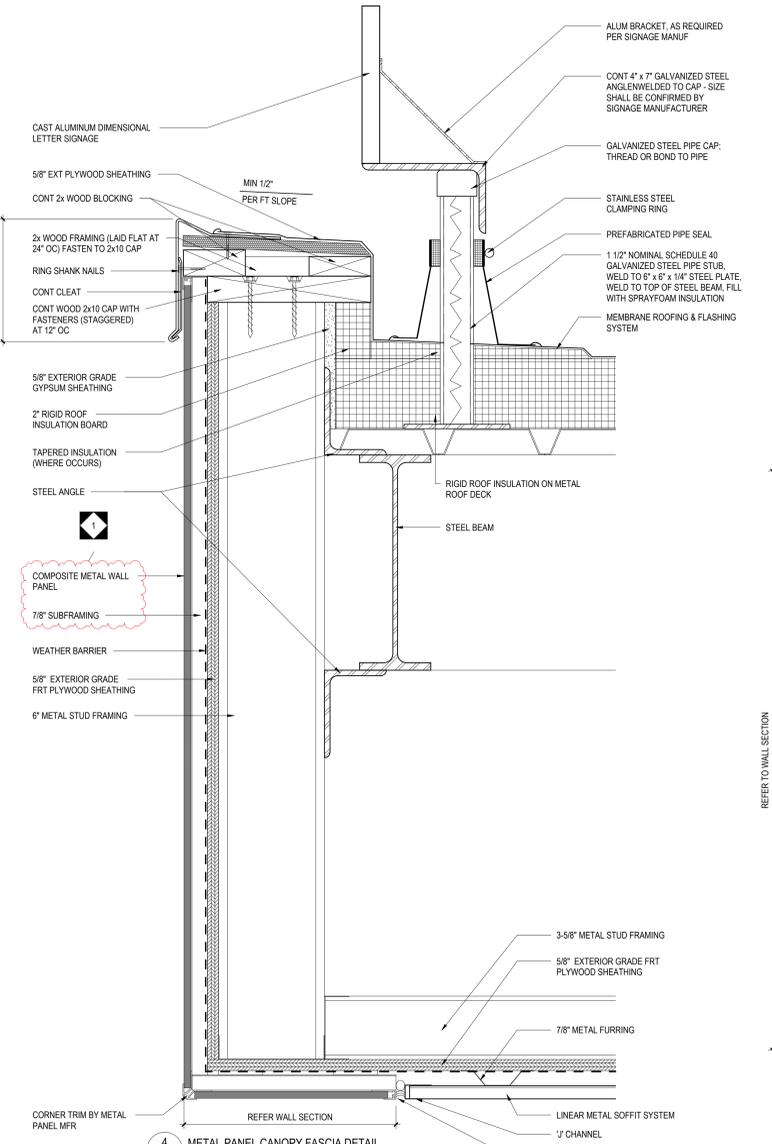
1 STANDING SEAM METAL GUTTER DETAIL
A5.3 3" = 1'-0"



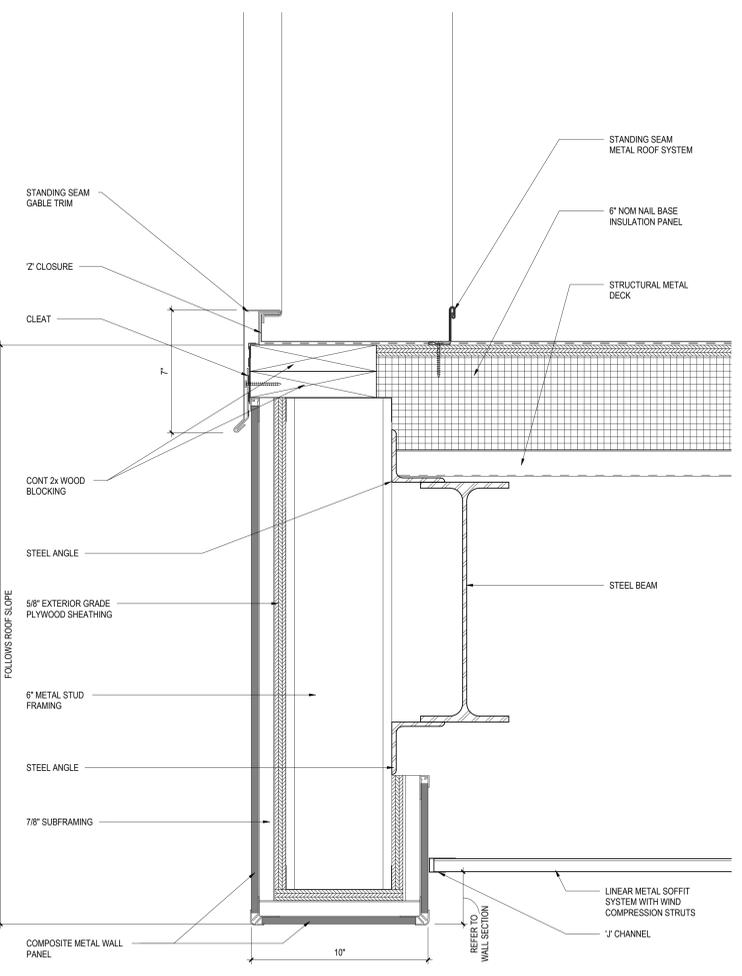
2 METAL PANEL ROOF PARAPET FASCIA DETAIL
A5.3 3" = 1'-0"



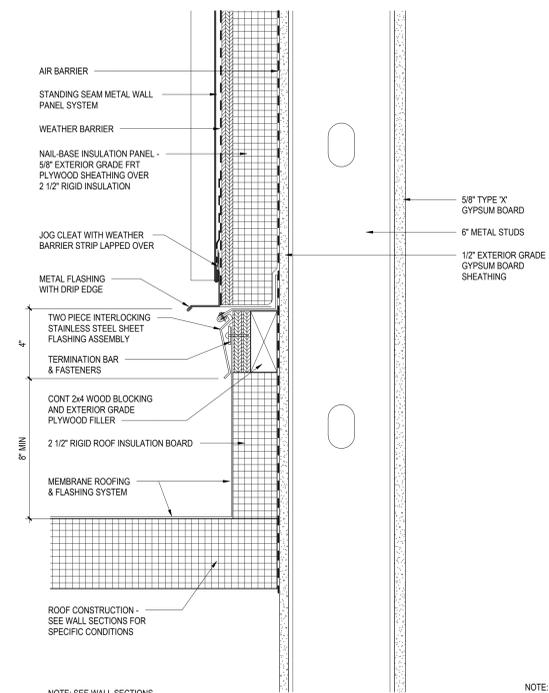
6 ROOF TO WALL - STANDING SEAM METAL PANEL STUD BACKUP DETAIL
A5.3 3" = 1'-0"



4 METAL PANEL CANOPY FASCIA DETAIL
A5.3 3" = 1'-0"



5 METAL PANEL FASCIA DETAIL
A5.3 3" = 1'-0"



NOTE: SEE WALL SECTIONS FOR SPECIFIC MATERIALS & CONDITIONS

NOTE: DETAILS WITHIN THIS DRAWING, TITLED AS "TYPICAL", INDICATE COMMON NON-SPECIFIC CONDITIONS OCCURRING THROUGHOUT BUILDING. THE LARGE SCALE ALLOWS A MORE COMPREHENSIVE LEVEL OF DETAIL TO BE SHOWN. SPECIFIC CONSTRUCTION CONDITIONS WILL VARY ACCORDING TO MATERIAL AND DIMENSIONS, MORE ACCURATELY SHOWN AS PART OF INDIVIDUAL SECTIONS AND DETAILS THROUGHOUT THE CONSTRUCTION DOCUMENTS.

NO.	DATE	DESCRIPTION
1	3/19/2025	ADDENDUM #1

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NO.	DESCRIPTION OF CHANGES
1	ADDENDUM #1

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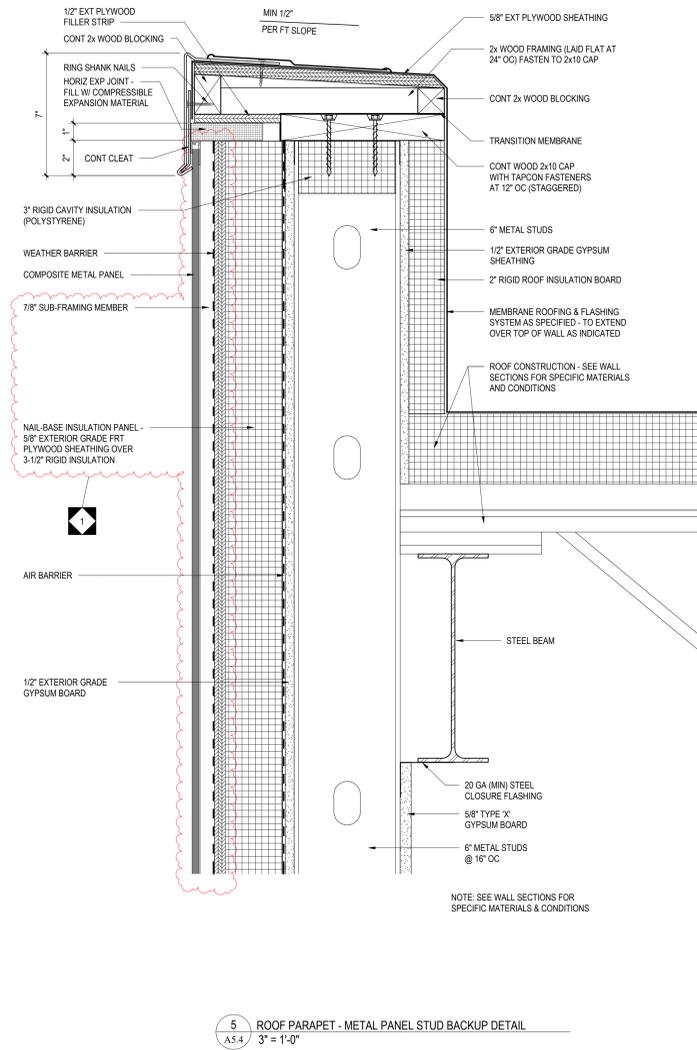
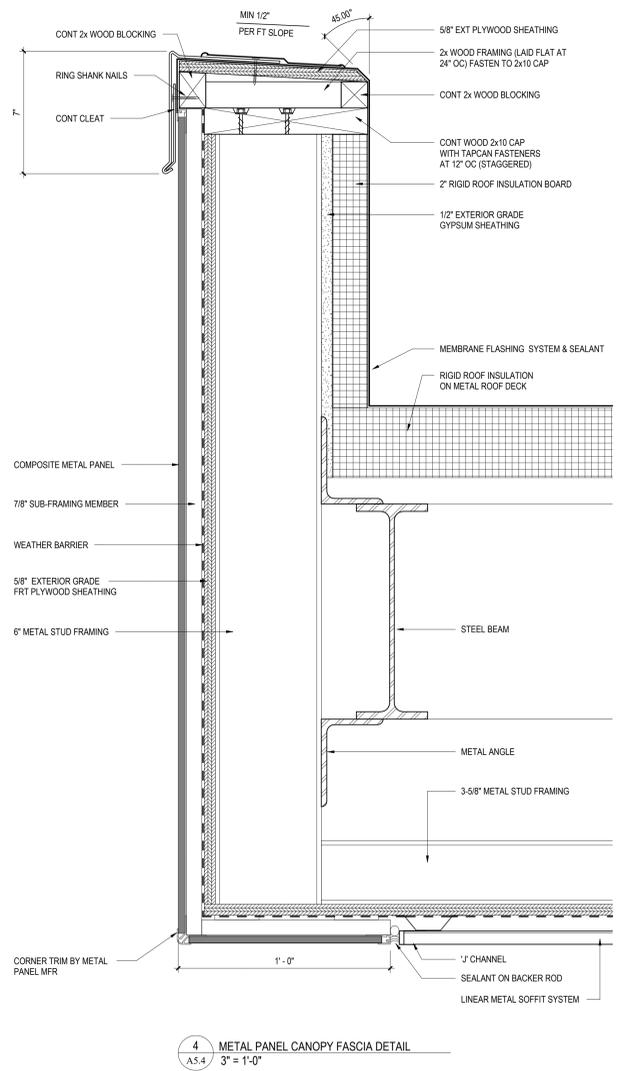
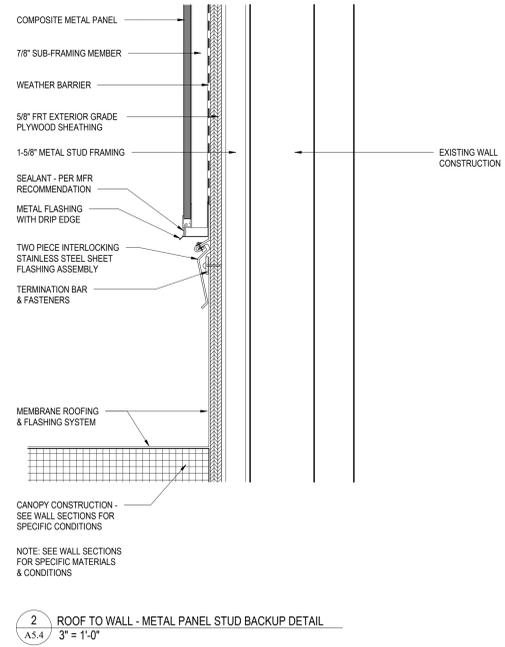
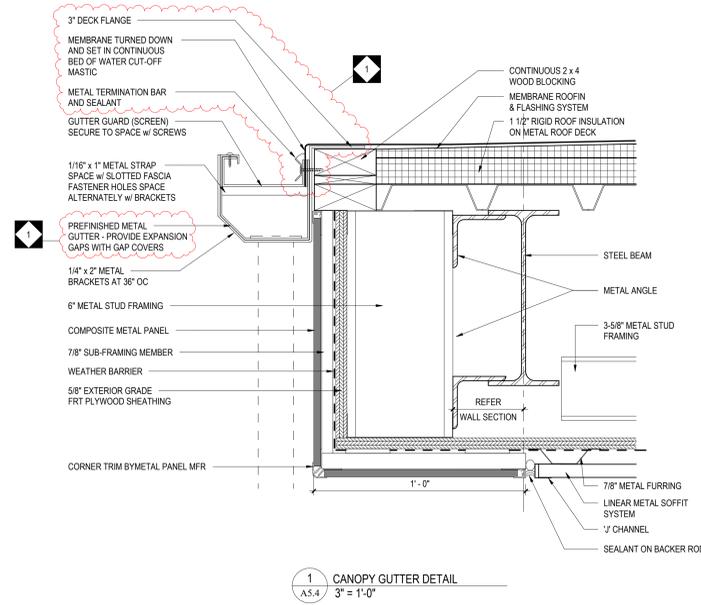
TYPICAL METAL PANEL DETAILS

PROJECT 3758

PLOT SCALE: 3" = 1'-0"

FILENAME: A5.3

DATE: MARCH 10, 2025



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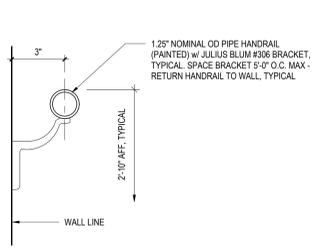
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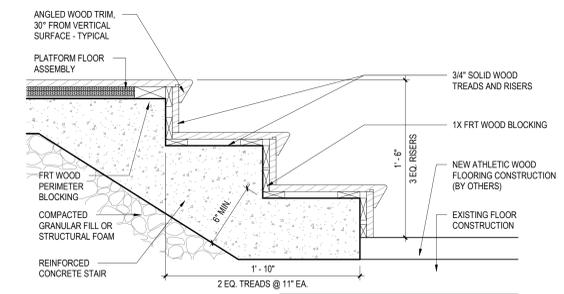


TYPICAL METAL PANEL DETAILS	PROJECT 3758
PLOT SCALE: 3" = 1'-0"	A5.4
FILENAME:	
DATE: MARCH 10, 2025	

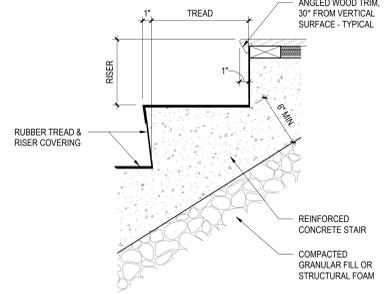
NOTE: DETAILS WITHIN THIS DRAWING, TITLED AS "TYPICAL", INDICATE COMMON NON-SPECIFIC CONDITIONS OCCURRING THROUGHOUT BUILDING. THE LARGE SCALE ALLOWS A MORE COMPREHENSIVE LEVEL OF DETAIL TO BE SHOWN. SPECIFIC CONSTRUCTION CONDITIONS WILL VARY ACCORDING TO MATERIAL AND DIMENSIONS. MORE ACCURATELY SHOWN AS PART OF INDIVIDUAL SECTIONS AND DETAILS THROUGHOUT THE CONSTRUCTION DOCUMENTS.



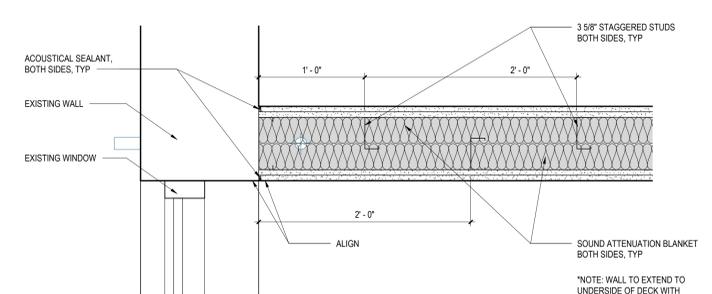
1 HANDRAIL DETAIL
A5.6 3" = 1'-0"



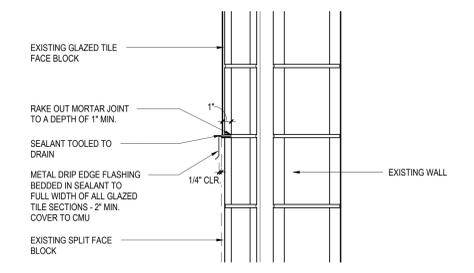
2 STAIR DETAIL
A5.6 1 1/2" = 1'-0"



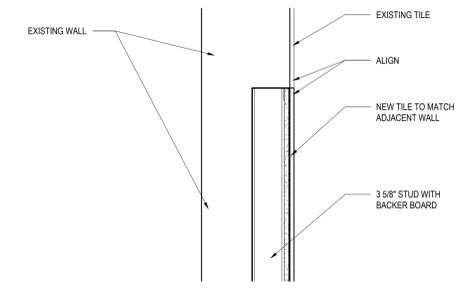
3 STAIR DETAIL
A5.6 1 1/2" = 1'-0"



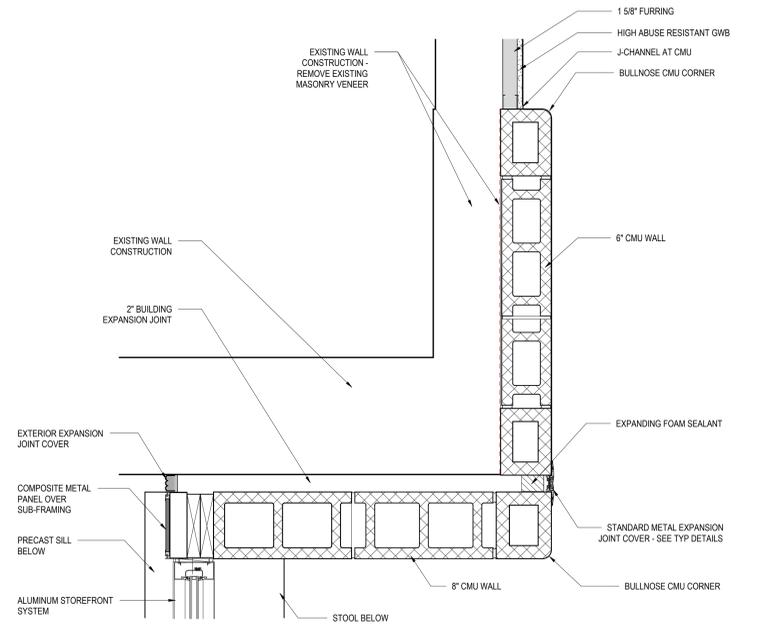
4 PLAN DETAIL
A5.6 1 1/2" = 1'-0"



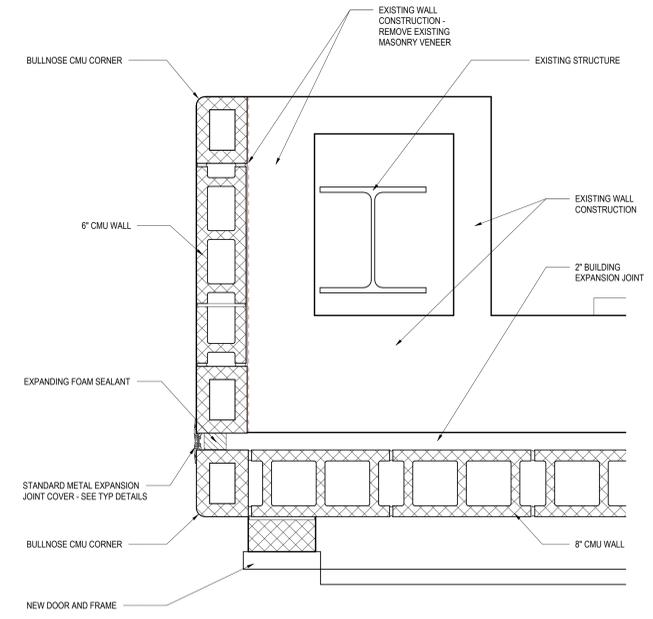
7 FLASHING DETAIL
A5.6 1 1/2" = 1'-0"



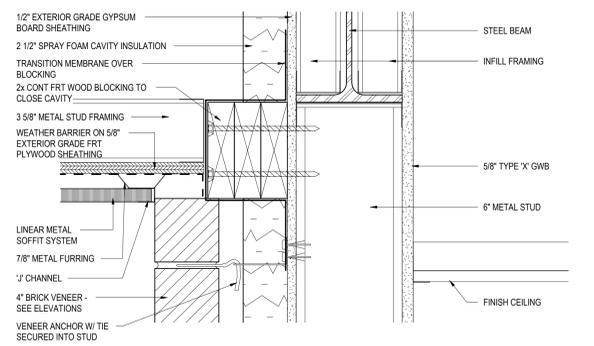
8 WALL INFILL DETAIL
A5.6 1 1/2" = 1'-0"



5 PLAN DETAIL
A5.6 1 1/2" = 1'-0"



6 PLAN DETAIL
A5.6 1 1/2" = 1'-0"



9 BRICK VENEER SOFFIT DETAIL
A5.6 3" = 1'-0"

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TYPICAL DETAILS	PROJECT 3758
PLOT SCALE: As indicated	A5.6
FILENAME:	
DATE: MARCH 30, 2025	

DOOR SCHEDULE - UNIT A																
OPENING NUMBER	DOOR & FRAME UL RATING	DOOR TYPE	DOOR MATERIAL	GLAZING TYPE	DOOR DIMENSIONS				FRAME				HARDWARE SET	SECURITY NUMBER	SPECIAL DETAIL	REMARKS
					WIDTH		HEIGHT	THICKNESS	FRAME TYPE	FRAME MATERIAL	DETAILS					
					LEAF 1	LEAF 2					HEAD	JAMB				
A101	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	--	--	--	03A	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
A101A	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	07B	--	--	
A102	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	H1	--	14/A6.6	15/A6.6	03A	--	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
A102A	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	07B	--	--	
A103	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	--	--	--	03A	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
A103A	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	07B	--	--	
A104	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	H1	--	14/A6.6	15/A6.6	03A	--	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
A104A	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	07B	--	--	
A105	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	H1	HM	14/A6.6	15/A6.6	03A	--	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
A105A	--	F	WD	--	3'-0"		7'-0"	1 3/4"	H1	HM	10/A6.6	11/A6.6	07B	--	--	
A107A	--	N	--	--	3'-0"	3'-0"	7'-2"	2 1/2"	--	--	--	--	01U	2	--	DOOR AND FRAME ETR., CARD READER
A107B	--	F	--	--	3'-0"	3'-0"	7'-0"	1 3/4"	--	--	--	--	01U	--	--	DOOR AND FRAME ETR.
A108	--	F	WD	--	4'-0"	4'-0"	7'-10"	1 3/4"	H1	HM	1/A6.6	2/A6.6	02D	--	--	ELECTROMAGNETIC HOLD OPENS, LOCKDOWN FROM ADMIN, CARD READER
A109	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	--	--	--	03A	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
A109A	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	07B	--	--	
A110	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	--	--	--	03A	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
A111	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	--	--	--	03A	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
A112	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	--	--	--	03A	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
A112A	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	07B	--	--	
A113	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	H1	--	14/A6.6	15/A6.6	03A	--	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
A113A	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	07B	--	--	
A114	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	H1	HM	14/A6.6	6/A6.6, 15/A6.6	03A	--	--	CMU INFILL ONE SIDE - REFER PLAN
A114A	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	22/A6.6	23/A6.6	07B	--	--	
A115	--	F	WD	--	3'-0"		7'-0"	1 3/4"	H1	HM	5/A6.6	6/A6.6	07A	--	--	
A116	--	F	WD	--	3'-0"		7'-0"	1 3/4"	H1	HM	5/A6.6	6/A6.6	07A	--	--	
A117	--	F	WD	--	3'-0"		7'-0"	1 3/4"	H1	HM	5/A6.6	6/A6.6	03K	--	--	
A118	--	F	WD	TG	3'-0"		7'-0"	1 3/4"	H2	HM	14/A6.6	15/A6.6	03A	--	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
A119	--	F	WD	--	3'-0"		7'-0"	1 3/4"	H1	HM	10/A6.6	6/A6.6, 15/A6.6	03J	--	--	
A120	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	--	--	--	03N	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
A121	--	F	WD	--	3'-0"		7'-0"	1 3/4"	H1	HM	10/A6.6	6/A6.6, 15/A6.6	03J	--	--	
A122	--	F	WD	--	3'-0"		7'-0"	1 3/4"	H1	HM	14/A6.6	15/A6.6	03K	--	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
A125	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H2	HM	10/A6.6	11/A6.6	03G	--	--	
A126	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H2	HM	10/A6.6	11/A6.6	03G	--	--	
A127	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H3	HM	10/A6.6	11/A6.6	03G	--	--	CARD READER
A128	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H2	HM	10/A6.6	11/A6.6	03G	--	--	
A129	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H3	HM	10/A6.6	11/A6.6	03G	--	--	
A130	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	07A	--	--	
A131	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H3	HM	10/A6.6	11/A6.6	03G	--	--	
A132	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H3	HM	10/A6.6	11/A6.6	03G	--	--	
A133	--	F	WD	--	3'-0"		7'-0"	1 3/4"	H3	HM	5/A6.6	6/A6.6	03T	--	--	

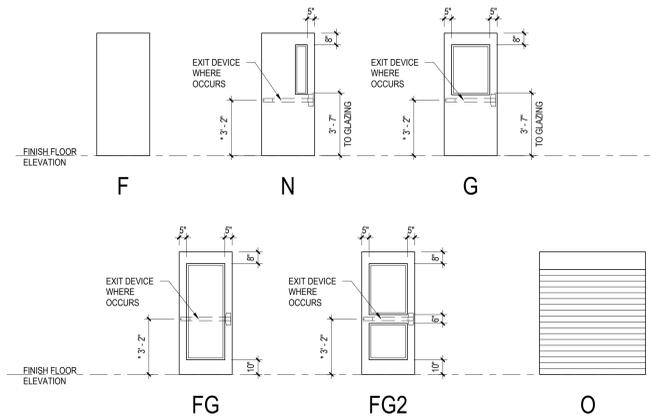
DOOR SCHEDULE - UNIT B																
OPENING NUMBER	DOOR & FRAME UL RATING	DOOR TYPE	DOOR MATERIAL	GLAZING TYPE	DOOR DIMENSIONS				FRAME				HARDWARE SET	SECURITY NUMBER	SPECIAL DETAIL	REMARKS
					WIDTH		HEIGHT	THICKNESS	FRAME TYPE	FRAME MATERIAL	DETAILS					
					LEAF 1	LEAF 2					HEAD	JAMB				
B101	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H2	HM	10/A6.6	11/A6.6	03L	--	--	CARD READER
B102	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	03U	--	--	
B103	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	03J	--	--	
B104	--	FG2	WD	LG	3'-0"		7'-2"	1 3/4"	H4	HM	--	--	04B	--	--	CARD READER ON BOTH SIDES. PUSH BUTTON RELEASE FROM RECEPTION. SEE ELEVATIONS FOR DETAILS.
B105	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H2	HM	10/A6.6	11/A6.6	03G	--	--	
B106A	--	FG2	ALUM	IG, LG	3'-0"		7'-2"	2 1/2"	W5	ALUM	--	--	01N	1	--	CARD READER, APHONE, PUSH BUTTON RELEASE FROM RECEPTION. SEE ELEVATIONS FOR DETAILS.
B106B	--	FG2	WD	LG	3'-0"		7'-2"	1 3/4"	W8	HM	--	--	04A	--	--	CARD READER, PUSH BUTTON RELEASE FROM RECEPTION. SEE ELEVATIONS FOR DETAILS.
B107A	--	FG2	ALUM	IG, LG	3'-0"	3'-0"	7'-2"	2 1/2"	W5	ALUM	--	--	01C	1	--	SEE ELEVATIONS FOR DETAILS.
B107B	--	FG2	ALUM	LG	3'-0"	3'-0"	7'-2"	2 1/2"	W7	ALUM	--	--	01E	--	--	SEE ELEVATIONS FOR DETAILS.
B107C	--	FG2	ALUM	LG	3'-0"		7'-2"	2 1/2"	W7	ALUM	--	--	01D	--	--	CARD READER. SEE ELEVATIONS FOR DETAILS.
B107D	--	FG2	ALUM	IG, LG	3'-0"		7'-2"	2 1/2"	W5	ALUM	--	--	01B	1	--	CARD READER. SEE ELEVATIONS FOR DETAILS.
B108	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	10/A6.6	11/A6.6	07B	--	--	
B109	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H3	HM	10/A6.6	11/A6.6	05A	--	--	SEE ELEVATIONS FOR DETAILS.
B110	--	G	WD	--	3'-0"		7'-2"	1 3/4"	H3	HM	10/A6.6	11/A6.6	04C	--	--	CARD READER ON BOTH SIDES. SEE ELEVATIONS FOR DETAILS.
B111	--	G	WD	TG	3'-0"		7'-2"	1 3/4"	H5	HM	--	--	03L	--	--	CARD READER. SEE ELEVATIONS FOR DETAILS.
B114A	--	N	--	--	3'-0"	3'-0"	7'-2"	1 3/4"	--	ETR	--	--	01U	3	--	DOOR AND FRAME ETR., CARD READER, NEW ELECTRIC STRIKE
B114B	--	O	--	--	6'-10"		8'-8"		--	ETR	--	--	01T	--	--	DOOR AND FRAME ETR.
B115	--	F	WD	--	3'-0"		7'-0"	1 3/4"	--	ETR	--	--	03K	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
B116A	--	F	WD	--	3'-0"		7'-0"	1 3/4"	--	ETR	--	--	03K	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
B116B	--	F	--	--	3'-0"		3'-0"	1 3/4"	--	ETR	--	--	03C	--	--	DOOR AND FRAME ETR.
B118	--	F	WD	--	3'-0"		7'-0"	1 3/4"	H1	HM	18/A6.6	19/A6.6	07A	--	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
B119	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	H1	HM	20/A6.6	21/A6.6	03W	--	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
B120	--	F	WD	--	3'-0"		7'-0"	1 3/4"	--	ETR	--	--	07A	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
B121A	--	FG2	ALUM	IG, LG	3'-0"	3'-0"	7'-0"	2 1/2"	W4	ALUM	--	--	01F	18	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD. CARD READER. SEE ELEVATIONS FOR DETAILS.
B121B	--	FG2	WD	TG	3'-0"	3'-0"	7'-2"	1 3/4"	H7	HM	--	--	06B	--	--	CARD READER. SEE ELEVATIONS FOR DETAILS.
B122	--	FG2	WD	TG	3'-0"		7'-2"	1 3/4"	H12	HM	--	--	03C	--	--	SEE ELEVATIONS FOR DETAILS.
B123A	--	FG2	WD	TG	3'-0"	3'-0"	7'-2"	1 3/4"	H8	HM	--	--	06B	--	--	SEE ELEVATIONS FOR DETAILS.
B123B	--	FG2	WD	TG	3'-0"	3'-0"	7'-2"	1 3/4"	H8	HM	--	--	06B	--	--	SEE ELEVATIONS FOR DETAILS.
B123C	--	FG2	WD	TG	3'-0"	3'-0"	7'-2"	1 3/4"	H1	HM	22/A6.6	23/A6.6	06B	--	--	
B124A	--	F	ALUM	--	3'-0"	3'-0"	7'-2"	1 3/4"	--	ETR	--	--	01H	20	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
B124B	--	F	ALUM	--	3'-0"	3'-0"	7'-2"	1 3/4"	--	ETR	--	--	01L	19	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD, CARD READER BOTH SIDES
B124C	--	N	WD	TG	3'-0"	3'-0"	7'-0"	1 3/4"	H1	ETR	18/A6.6	19/A6.6	06A	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
B125	--	F	WD	--	3'-0"	3'-0"	7'-2"	1 3/4"	--	ETR	--	--	02B	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD. FREE EGRESS FROM B124. LOCKABLE FROM B125.
B126A	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	30/A6.6	03L	--	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
B126B	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	15/A6.6	05B	--	--	NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
B127A	--	N	--	--	3'-0"	3'-0"	7'-2"	1 3/4"	--	ETR	--	--	01U	13	--	DOOR AND FRAME ETR., CARD READER, NEW ELECTRIC STRIKE
B127B	--	N	--	--	3'-0"	3'-0"	7'-2"	1 3/4"	--	ETR	--	--	01U	13	--	DOOR AND FRAME ETR.
B127C	--	FG2	ALUM	LG	3'-0"	3'-0"	7'-2"	2 1/2"	W13	ALUM	--	--	01K	--	--	SEE ELEVATIONS FOR DETAILS.
B127D	--	FG2	ALUM	LG	3'-0"	3'-0"	7'-2"	2 1/2"	W13	ALUM	--	--	01G	--	--	CARD READER. SEE ELEVATIONS FOR DETAILS.
B129	--	F	--	--	3'-0"	3'-0"	7'-2"	1 3/4"	--	ETR	--	--	01V	17	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD, CARD READER
B130A	--	F	--	--	3'-6"	2'-6"	7'-2"	1 3/4"	--	ETR	--	--	01Q	16	--	DOOR AND FRAME ETR., CARD READER, NEW ELECTRIC STRIKE
B130B	--	F	HM	--	3'-0"		7'-0"	1 3/4"	--	ETR	--	--	03D	--	--	NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
B131	--	O	STL	--	17'-4"		8'-0"		--	STL	4/A6.5	5/A6.5	01T	--	--	
B132A	--	N	--	--	3'-0"	3'-0"	7'-0"	2 1/2"	--	ETR	--	--	01U	15	--	DOOR AND FRAME ETR., CARD READER, NEW ELECTRIC STRIKE
B132B	--	F	WD	--	3'-0"	3'-0"	7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03M	--	--	
B132C	--	O	INSUL STL	--	6'-0"		8'-0"		O	STL	1/A6.5	2/A6.5	01T	15	3/A6.5	MOTORIZED, INSULATED COILING DOOR
B133	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03H	--	--	
B134	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03T	--	--	
B135	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	07A	--	--	
B136	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03T	--	--	
B137	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H10	HM	--	--	03G	--	--	SEE ELEVATIONS FOR DETAILS.
B138	--	N	ETR	--	3'-0"	3'-0"	7'-2"	1 3/4"	--	ETR	--	--	01S	14	--	DOOR AND FRAME ETR., CARD READER, NEW ELECTRIC STRIKE
B141	--	O	STL	--	4'-0"		4'-6"		--							

DOOR SCHEDULE - UNIT C

OPENING NUMBER	DOOR & FRAME UL RATING	DOOR TYPE	DOOR MATERIAL	GLAZING TYPE	DOOR DIMENSIONS				FRAME				HARDWARE SET	SECURITY NUMBER	SPECIAL DETAIL	REMARKS
					WIDTH		HEIGHT	THICKNESS	FRAME TYPE	FRAME MATERIAL	DETAILS					
					LEAF 1	LEAF 2					HEAD	JAMB				
C101	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	H1	HM	5/A6.6	6/A6.6	03A	--		
C102	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	H1	HM	5/A6.6	6/A6.6	03A	--		
C103	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	ETR	--	--	03A	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C104	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	ETR	--	--	03A	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C105	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	ETR	--	--	03A	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C106	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	ETR	--	--	03A	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C107	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	ETR	--	--	03A	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C108	--	N	WD	TG	3'-0"		7'-0"	1 3/4"	--	ETR	--	--	03A	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C109	--	F	WD	--	4'-0"	4'-0"	7'-10"	1 3/4"	H1	HM	1/A6.6	2/A6.6	02D	--		ELECTROMAGNETIC HOLD OPENS, LOCKDOWN FROM ADMIN, CARD READER
C110	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	5/A6.6	6/A6.6	03Q	--		
C111	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	--	ETR	--	--	03N	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C112	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	30/A6.6	03E	--		NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD
C113	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	5/A6.6	6/A6.6, 24/A6.6	03E	--		
C114	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	30/A6.6	03A	--		NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD
C115A	--	FG2	ALUM	IG, TG	3'-0"	3'-0"	7'-2"	2 1/2"	W14	ALUM	--	--	01L	21		CARD READER, BOTH SIDES - TIED INTO FIRE ALARM FOR AUTOMATIC UNLOCK. SEE ELEVATIONS FOR DETAILS.
C115B	--	FG2	WD	TG	3'-0"	3'-0"	7'-2"	1 3/4"	W15	ALUM	--	--	02C	--		SEE ELEVATIONS FOR DETAILS.
C117	--	F	WD	--	3'-0"		7'-2"	1 3/4"	--	ETR	--	--	09B	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C118	--	F	WD	--	3'-0"		7'-2"	1 3/4"	--	ETR	--	--	09B	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C119	--	F	WD	--	4'-0"		7'-2"	1 3/4"	H1	HM	5/A6.6	6/A6.6	03R	--		
C120	--	F	WD	--	3'-0"		7'-0"	1 3/4"	--	--	--	--	03X	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C121	--	F	WD	--	3'-0"	3'-0"	7'-2"	1 3/4"	H1	ETR	5/A6.6	6/A6.6	03S	--		
C122	--	F	WD	--	3'-0"		7'-2"	1 3/4"	--	ETR	--	--	03T	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C123	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	--	ETR	--	--	03N	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
C124	--	N	WD	TG	3'-0"	3'-0"	7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	06C	--		CARD READER
C124B	--	FG2	ALUM	IG, LG	3'-0"	3'-0"	6'-11 1/2"	2 1/2"	W19	ALUM	--	--	01A	12	3/A6.13	SEE ELEVATIONS FOR DETAILS.
C124C	--	FG2	ALUM	IG, LG	3'-0"	3'-0"	6'-11 1/2"	2 1/2"	W19	ALUM	--	--	01A	11	3/A6.13	CARD READER. SEE ELEVATIONS FOR DETAILS.
C125	--	F	WD	--	3'-0"		7'-0"	1 3/4"	H3	HM	25/A6.6	26/A6.6	03G	--		SEE ELEVATIONS FOR DETAILS.
C127A	--	F	WD	--	3'-0"	3'-0"	7'-0"	1 3/4"	H1	HM	25/A6.6	26/A6.6	03M	--		
C127B	--	F	WD	--	3'-0"	3'-0"	7'-0"	1 3/4"	--	ETR	--	--	01U	10		DOOR AND FRAME ETR.
C128A	--	N	--	--	3'-0"	3'-0"	7'-2"	2 1/2"	--	ETR	--	--	01U	9		DOOR AND FRAME ETR, CARD READER
C128B	--	FG2	--	--	3'-0"	3'-0"	7'-2"	2 1/2"	--	ETR	--	--	01U	--		DOOR AND FRAME ETR.
C129	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	30/A6.6, 24/A6.6	03E	--		NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
C130A	--	--	--	--	3'-0"		8'-0"	1 1/2"	--	--	--	--	01R	--		GATE BY FENCE MFR. PROVIDE PANIC HARDWARE WITH METAL BACKER PLATE, CARD READER
C130B	--	--	--	--	3'-0"		8'-0"	1 1/2"	--	--	--	--	01R	--		GATE BY FENCE MFR. PROVIDE PANIC HARDWARE WITH METAL BACKER PLATE, CARD READER
C218	--	F	--	--	2'-8"		7'-2"	1 3/4"	--	ETR	--	--	--	--		DOOR AND FRAME ETR.
C220	--	F	--	--	2'-8"		7'-2"	1 3/4"	--	ETR	--	--	--	--		DOOR AND FRAME ETR.

DOOR TYPES

* - RECOMMENDED MOUNTING HEIGHT FROM FINISHED FLOOR TO CENTER LINE OF FIRE EXIT DEVICE
** - COORDINATE WITH DOOR MANUFACTURE REQUIREMENTS



DOOR SCHEDULE - UNIT D

OPENING NUMBER	DOOR & FRAME UL RATING	DOOR TYPE	DOOR MATERIAL	GLAZING TYPE	DOOR DIMENSIONS				FRAME				HARDWARE SET	SECURITY NUMBER	SPECIAL DETAIL	REMARKS
					WIDTH		HEIGHT	THICKNESS	FRAME TYPE	FRAME MATERIAL	DETAILS					
					LEAF 1	LEAF 2					HEAD	JAMB				
D101	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	5/A6.6	6/A6.6	03X	--		
D102	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	--	14/A6.6	30/A6.6	03X	--		NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD
D103	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	5/A6.6	6/A6.6	03T	--		CARD READER
D104	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	--	ETR	--	--	03F	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
D105	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	30/A6.6	03A	--		NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
D107	90 MIN	N	WD	--	4'-0"	4'-0"	7'-10"	1 3/4"	H1	HM	16/A6.6	17/A6.6	02A	--		ELECTROMAGNETIC HOLD OPEN - TIE INTO FIRE ALARM FOR AUTOMATIC CLOSING.
D108	--	F	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	30/A6.6	03A	--		NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
D109	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	30/A6.6	03A	--		NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
D111	--	F	WD	TG	3'-0"		7'-2"	1 3/4"	H3	HM	7/A6.6	8/A6.6	03B	--		
D112	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H3	HM	7/A6.6	8/A6.6	03B	--		
D113	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03T	--		
D114	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	09A	--		
D115	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	09A	--		
D116	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03T	--		
D117	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	07A	--		
D118	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	07A	--		
D119	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03P	--		
D120	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H2	HM	7/A6.6	8/A6.6	03B	--		
D121	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H3	HM	7/A6.6	8/A6.6	03B	--		
D122	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03T	--		SEE ELEVATIONS FOR DETAILS.
D123	--	FG2	ALUM	IG, LG	3'-0"	3'-0"	7'-2"	2 1/2"	W19	ALUM	--	--	01A	4		CARD READER. SEE ELEVATIONS FOR DETAILS.
D124	--	F	WD	TG	3'-0"		7'-2"	1 3/4"	H3	HM	7/A6.6	8/A6.6	03B	--		
D125A	--	FG2	ALUM	--	3'-0"		7'-2"	2 1/2"	W20	ALUM	--	--	01J	5		CARD READER. SEE ELEVATIONS FOR DETAILS.
D125B	--	F	WD	--	2'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03C	--		

DOOR SCHEDULE - UNIT E

OPENING NUMBER	DOOR & FRAME UL RATING	DOOR TYPE	DOOR MATERIAL	GLAZING TYPE	DOOR DIMENSIONS				FRAME				HARDWARE SET	SECURITY NUMBER	SPECIAL DETAIL	REMARKS
					WIDTH		HEIGHT	THICKNESS	FRAME TYPE	FRAME MATERIAL	DETAILS					
					LEAF 1	LEAF 2					HEAD	JAMB				
E101	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	30/A6.6	03A	--		NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
E102	--	F	WD	--	3'-0"		7'-2"	1 3/4"	--	ETR	--	--	09B	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
E103	--	F	WD	--	3'-0"		7'-2"	1 3/4"	--	ETR	--	--	09B	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
E104	--	F	WD	--	3'-0"		7'-2"	1 3/4"	--	ETR	--	--	03V	--		NEW DOOR IN EXISTING FRAME - VERIFY DOOR & FRAME SIZE IN FIELD
E105	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	30/A6.6	03A	--		NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
E106	--	N	WD	TG	3'-0"		7'-2"	1 3/4"	H1	HM	14/A6.6	30/A6.6	03A	--		NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD.
E107	90 MIN	F	WD	--	4'-0"	4'-0"	7'-10"	1 3/4"	H1	HM	7/A6.6	8/A6.6	02D	--		ELECTROMAGNETIC HOLD OPEN - TIE INTO FIRE ALARM FOR AUTOMATIC CLOSING, LOCKDOWN FROM ADMIN
E109	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03T	--		
E110	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	07A	--		
E111	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	07A	--		
E112	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03T	--		
E113	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03T	--		
E114A	45 MIN	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03T	--		
E114B	--	F	INSUL HM	--	3'-0"		7'-2"	1 3/4"	H1	HM	27/A6.6	28/A6.6	01M	8		CARD READER. SEE ELEVATIONS FOR DETAILS.
E115	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03T	--		
E116	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H1	HM	7/A6.6	8/A6.6	03N	--		
E117	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H3	HM	7/A6.6	8/A6.6	03B	--		
E118	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H2	HM	7/A6.6	8/A6.6	03B	--		
E119	--	F	WD	TG	3'-0"		7'-2"	1 3/4"	H2	HM	7/A6.6	8/A6.6	03B	--		
E120	--	F	WD	TG	3'-0"		7'-2"	1 3/4"	H3	HM	7/A6.6	8/A6.6	03B	--		
E121A	--	FG2	ALUM	IG, LG	3'-0"	3'-0"	7'-2"	2 1/2"	W19	ALUM	--	--	01A	7		CARD READER. SEE ELEVATIONS FOR DETAILS.
E122	--	F	WD	--	3'-0"		7'-2"	1 3/4"	H2	HM	7/A6.6	8/A6.6	03B	--		
E123	--	F	WD	TG	3'-0"		7'-2"	1 3/4"	H3	HM	7/A6.6	8/A6.6	03B	--		
E124	--	FG2	ALUM	IG, LG	3'-0"		7'-2"	2 1/2"	W22	ALUM	--	--	01J	6		CARD READER. SEE ELEVATIONS FOR DETAILS.

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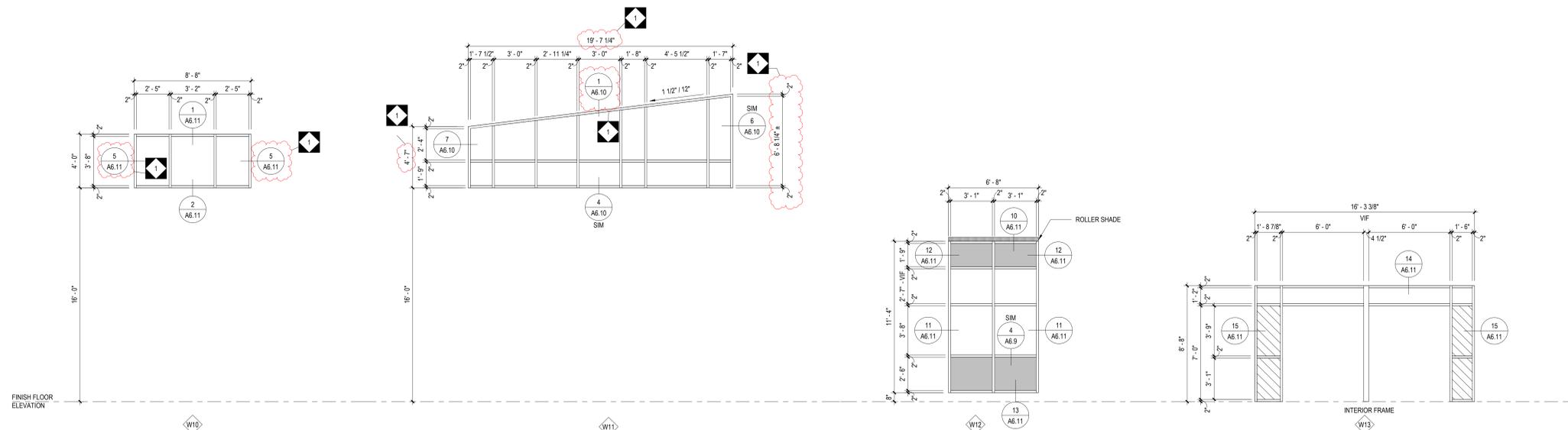
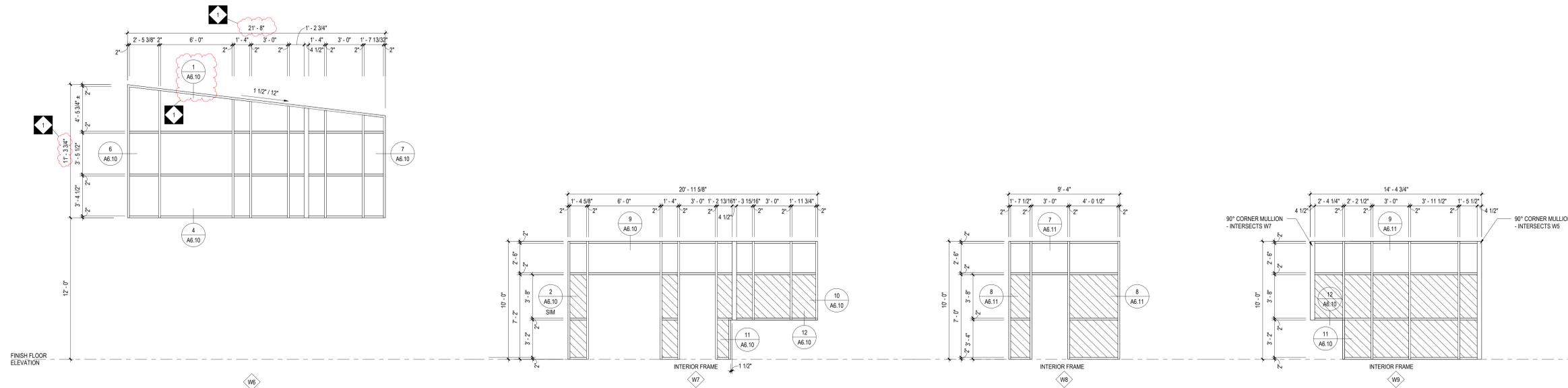
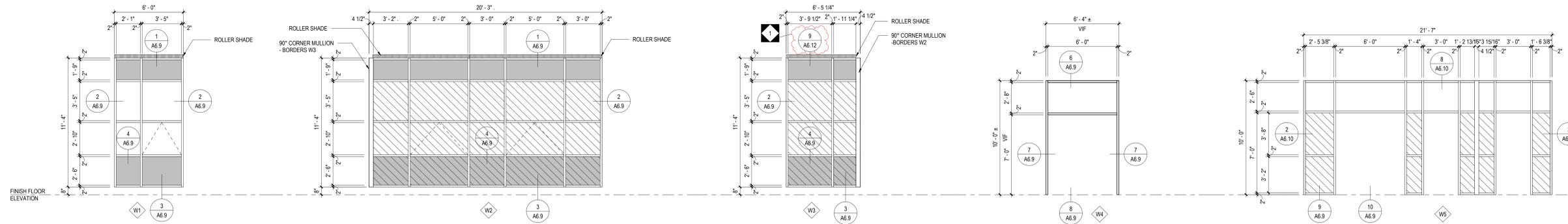
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MECHANICSBURG PA 17055

ALUMINUM STOREFRONT FRAME ELEVATIONS

NOTE: 1. ALL GLASS TO BE TEMPERED ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OR EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 2. GLASS LITES GREATER THAN 9 SQUARE FEET WHERE THE BOTTOM EDGE IS WITHIN 18 INCHES OF THE FINISHED FLOOR AND THE TOP EDGE EXTENDS ABOVE 36 INCHES SHALL BE TEMPERED.
 3. GLASS WHERE THE FINISHED FLOOR OR GRADE ON THE OPPOSING SIDE OF GLASS IS GREATER THAN 30 INCHES SHALL BE TEMPERED.
 4. ANY PORTION OF GLASS WITHIN CONSTRAINTS OF ABOVE REQUIREMENTS THE ENTIRE PANEL SHALL BE TEMPERED.
 5. VERIFY IN FIELD DIMENSIONS OF ALL EXISTING FRAMES TO BE MODIFIED.



GLAZING LEGEND	
[Empty Box]	CLEAR GLAZING
[Patterned Box]	NEW FILM (3M CERAMIC ARCHITECTURAL 80 OR SIMILAR) APPLIED TO EXISTING WINDOW - EXISTING WINDOW FRAME TO REMAIN
[Patterned Box]	REPLACE EXISTING PANEL AND VENT/LOUVER PANELS WITH CLEAR GLAZING AND WINDOW FILM
[Patterned Box]	SPANDREL PANEL
[Patterned Box]	REPLACE EXISTING PANEL WITH SPANDREL PANEL
[Patterned Box]	LAMINATED GLAZING

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ALUMINUM STOREFRONT
 FRAME ELEVATIONS

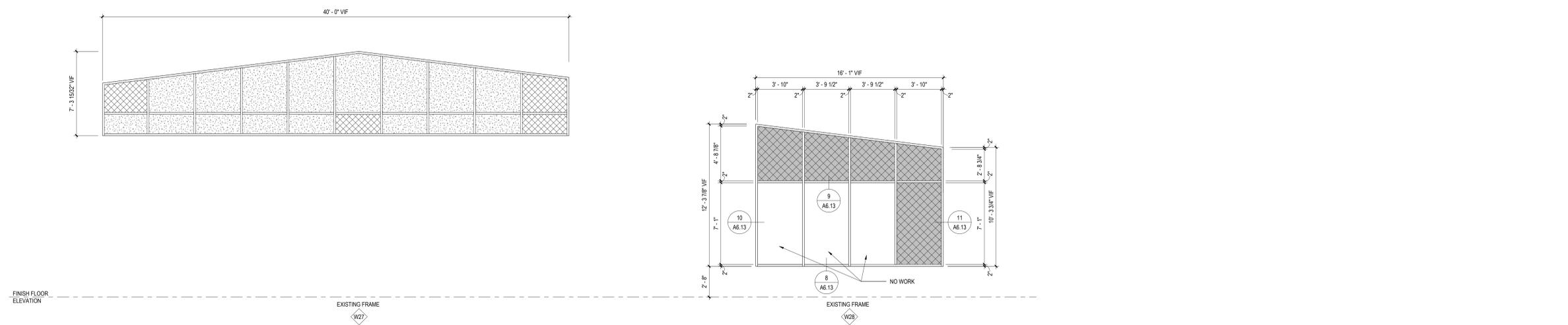
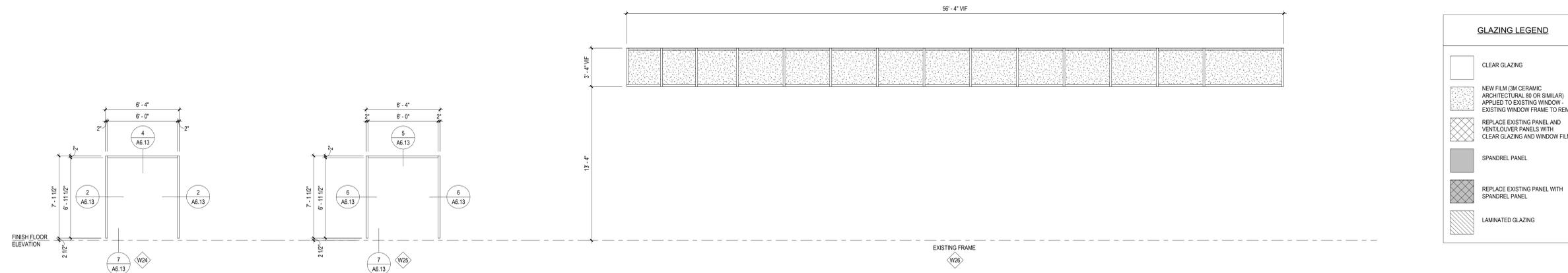
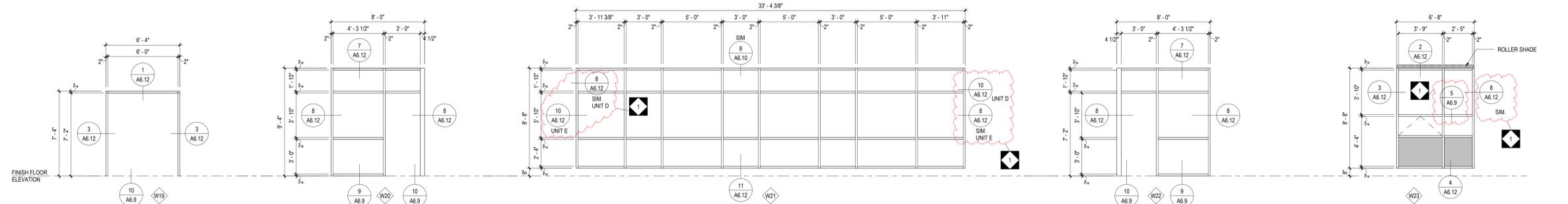
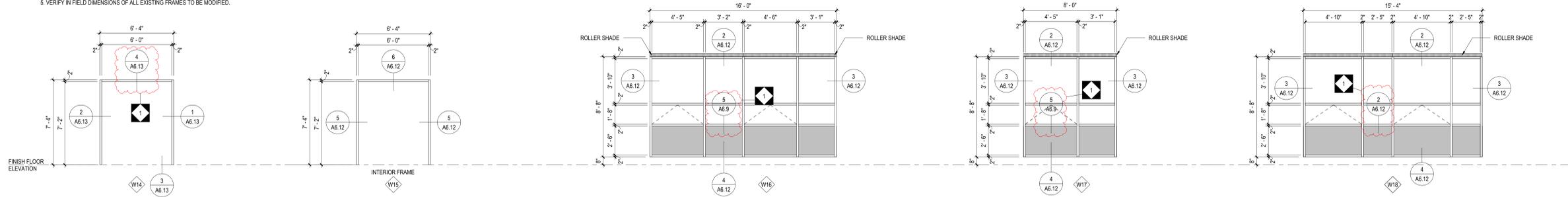
PROJECT
 3758

PLOT SCALE:
 1/4" = 1'-0"
 FILENAME:
 DATE:
 MARCH 30, 2025

A6.7

ALUMINUM STOREFRONT FRAME ELEVATIONS

NOTE: 1. ALL GLASS TO BE TEMPERED ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OR EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.
 2. GLASS LITES GREATER THAN 9 SQUARE FEET WHERE THE BOTTOM EDGE IS WITHIN 18 INCHES OF THE FINISHED FLOOR AND THE TOP EDGE EXTENDS ABOVE 36 INCHES AFF SHALL BE TEMPERED.
 3. GLASS WHERE THE FINISHED FLOOR OR GRADE ON THE OPPOSING SIDE OF GLASS IS GREATER THAN 30 INCHES SHALL BE TEMPERED TO A HEIGHT OF 42 INCHES AFF.
 4. ANY PORTION OF GLASS WITHIN CONSTRAINTS OF ABOVE REQUIREMENTS THE ENTIRE PANEL SHALL BE TEMPERED.
 5. VERIFY IN FIELD DIMENSIONS OF ALL EXISTING FRAMES TO BE MODIFIED.



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 BRYN MAWR, PA. 19010

ALUMINUM STOREFRONT
 FRAME ELEVATIONS

PROJECT
 3758

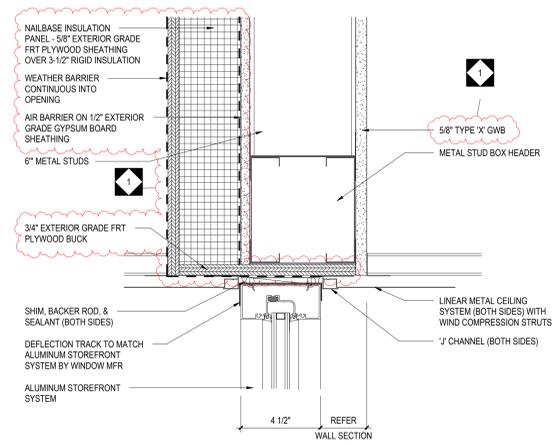
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FILENAME:
 DATE:
 MARCH 30, 2025

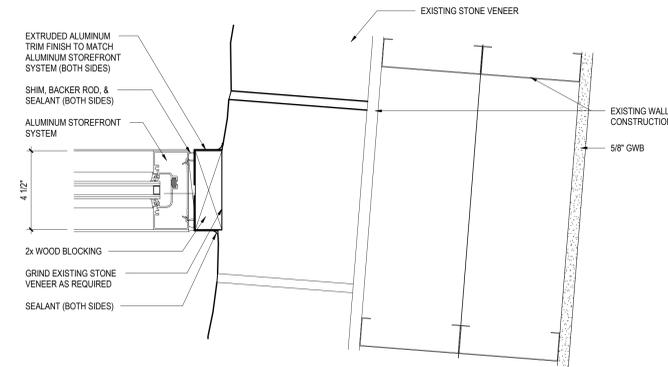
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ALUMINUM STOREFRONT DETAILS

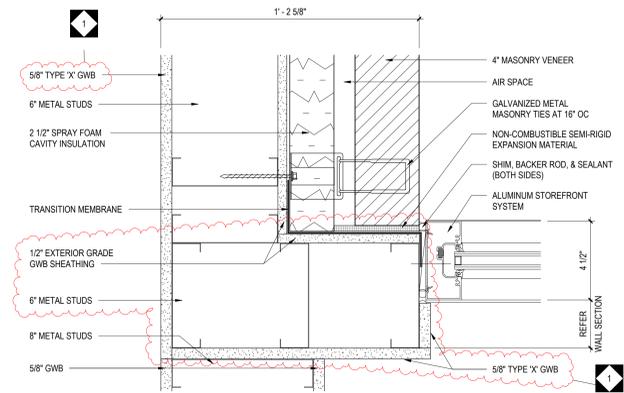
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2. LITELS INDICATED TO BE COORDINATED WITH STRUCTURAL DRAWINGS.



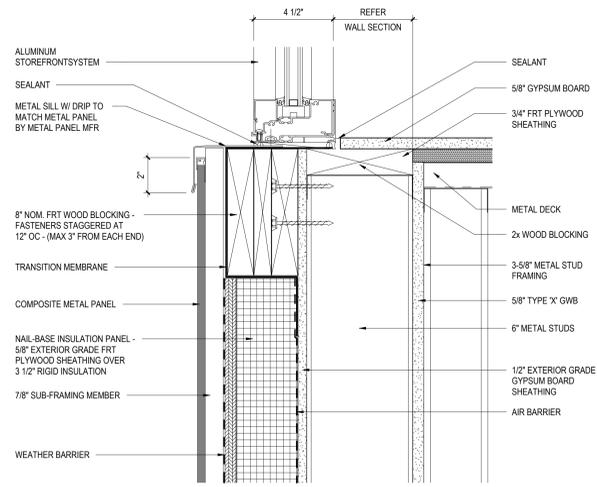
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A6.10 3" = 1'-0"



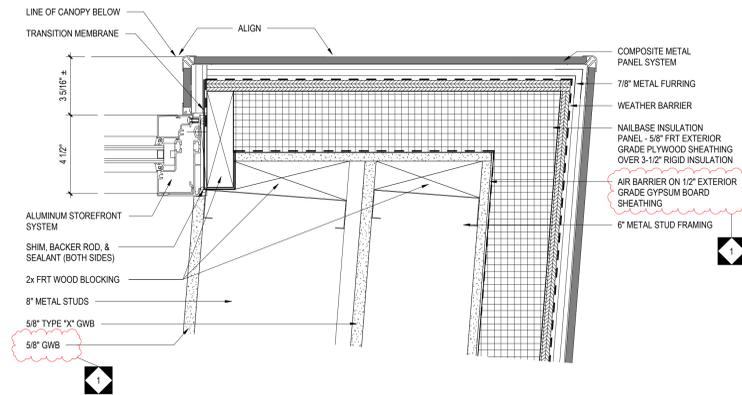
2 ALUMINUM STOREFRONT JAMB DETAIL - EXISTING STONE VENEER
A6.10 3" = 1'-0"



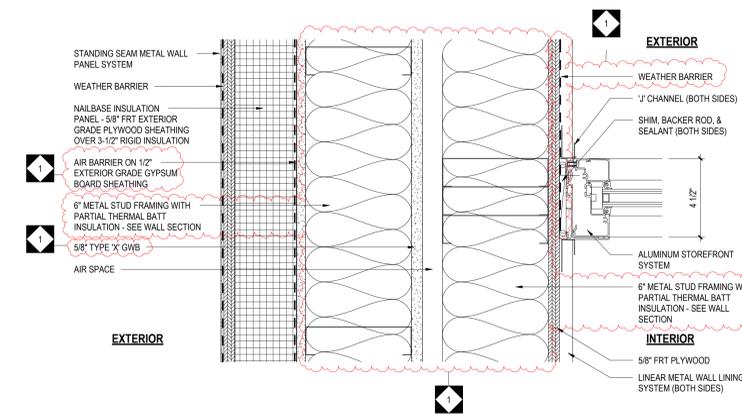
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A6.10 3" = 1'-0"



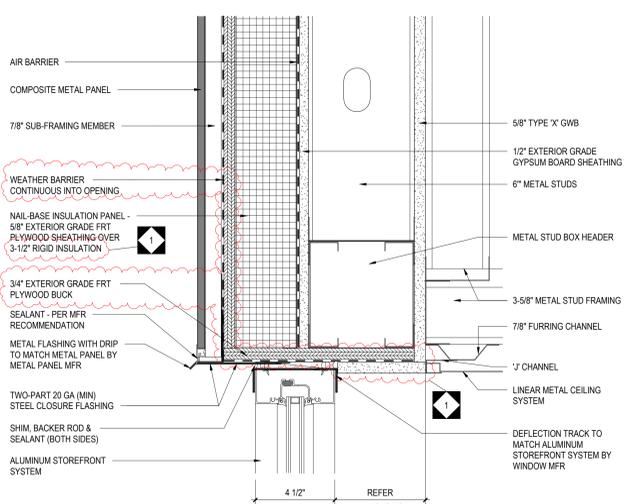
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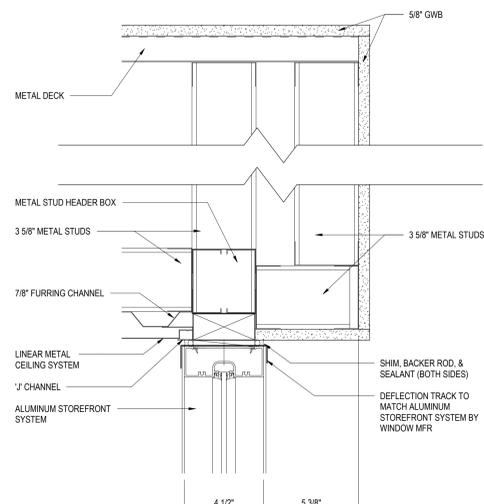
6 ALUMINUM STOREFRONT JAMB DETAIL - STANDING SEAM
A6.10 3" = 1'-0"



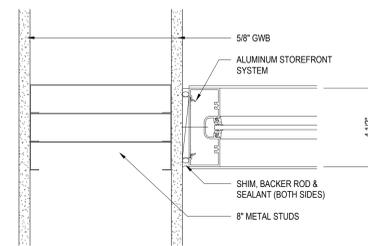
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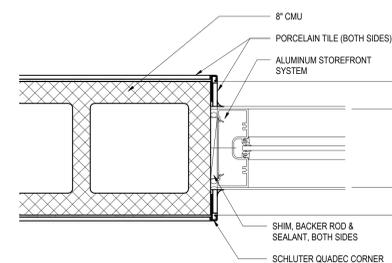
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A6.10 3" = 1'-0"



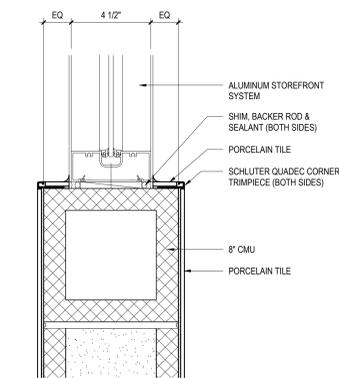
9 ALUMINUM STOREFRONT HEAD DETAIL
A6.10 3" = 1'-0"



10 ALUMINUM STOREFRONT JAMB DETAIL - INTERIOR
A6.10 3" = 1'-0"



11 ALUMINUM STOREFRONT JAMB DETAIL
A6.10 3" = 1'-0"



12 ALUMINUM STOREFRONT SILL DETAIL
A6.10 3" = 1'-0"

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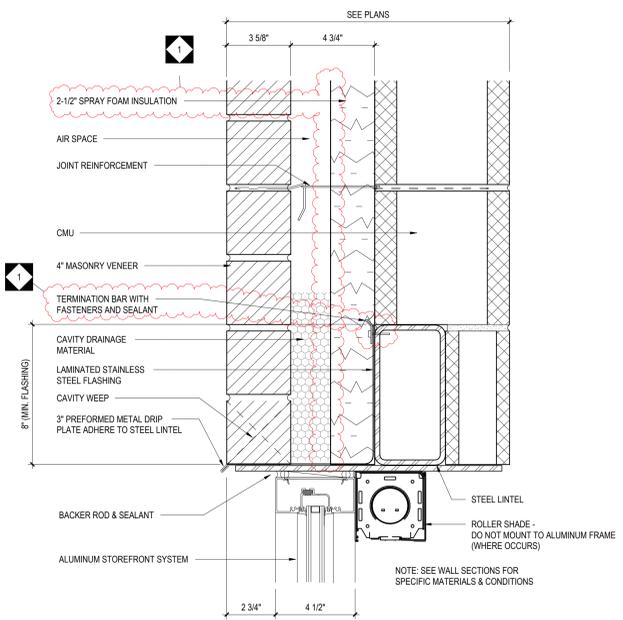


ALUMINUM STOREFRONT
DETAILS
PLOT SCALE:
3" = 1'-0"
FILENAME:
DATE:
MARCH 30, 2025

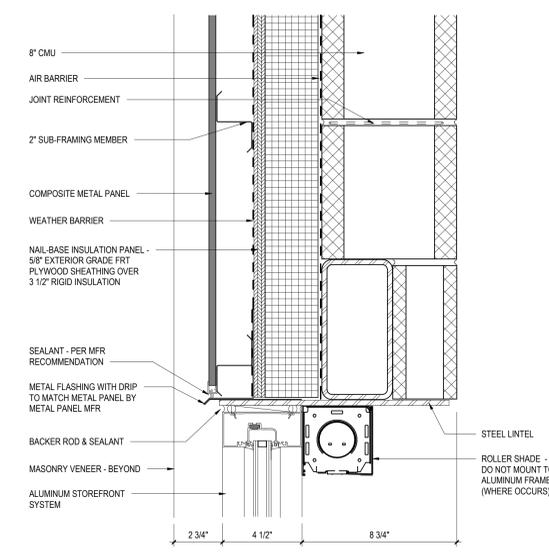
PROJECT
3758
A6.10

ALUMINUM STOREFRONT DETAILS

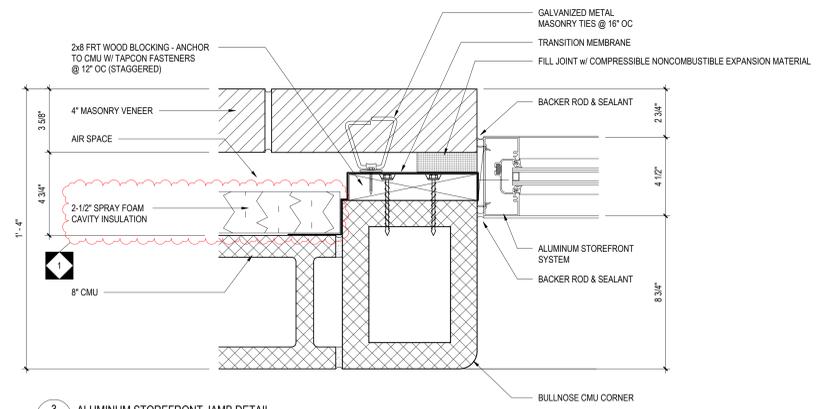
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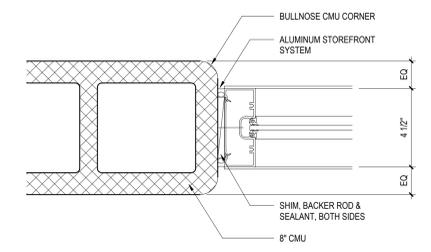
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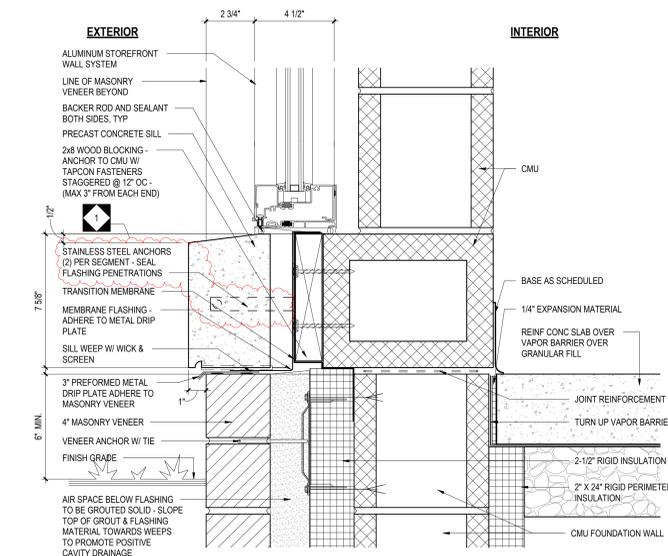
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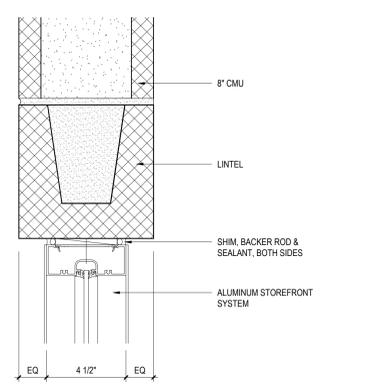
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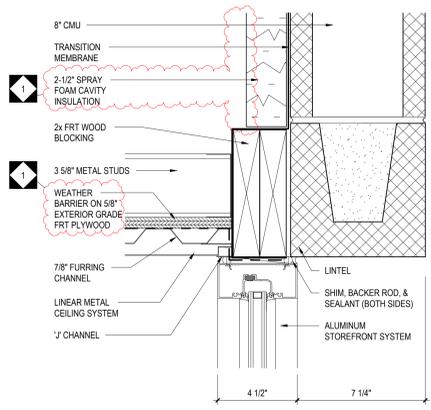
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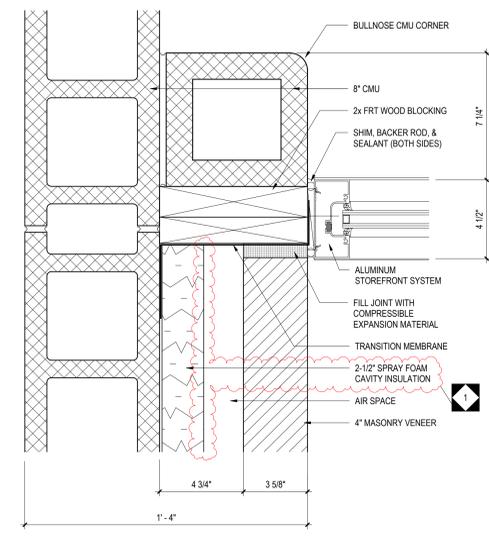
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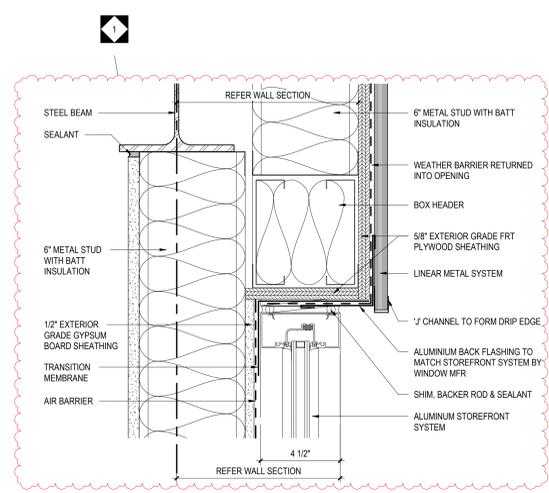
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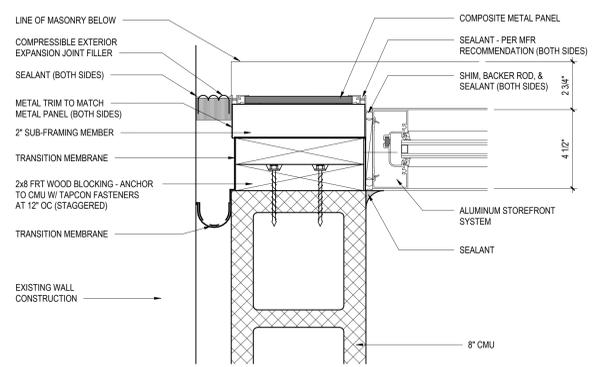
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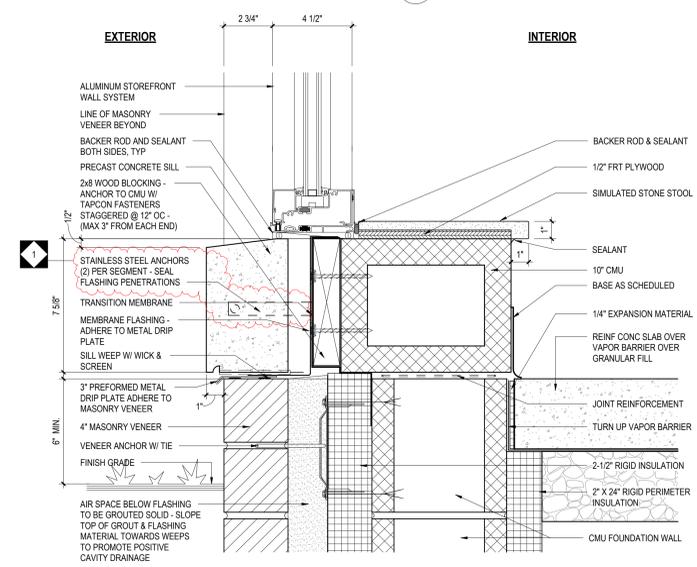
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9 ALUMINUM STOREFRONT HEAD DETAIL
A6.12 3" = 1'-0"



10 ALUMINUM STOREFRONT JAMB DETAIL
A6.12 3" = 1'-0"



11 ALUMINUM STOREFRONT SILL DETAIL
A6.12 3" = 1'-0"

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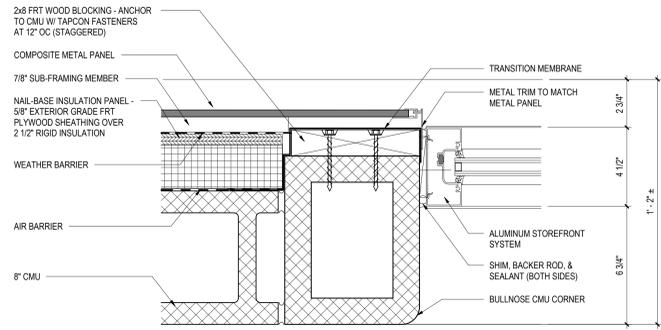
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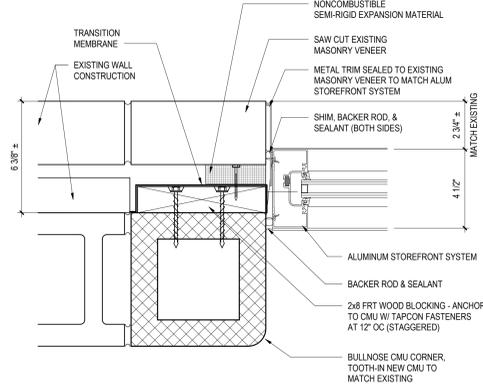
ALUMINUM STOREFRONT DETAILS
PROJECT 3758
PLOT SCALE: 3" = 1'-0"
FILENAME: A6.12
DATE: MARCH 10, 2025

ALUMINUM STOREFRONT DETAILS

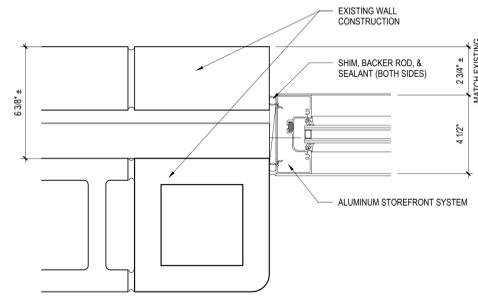
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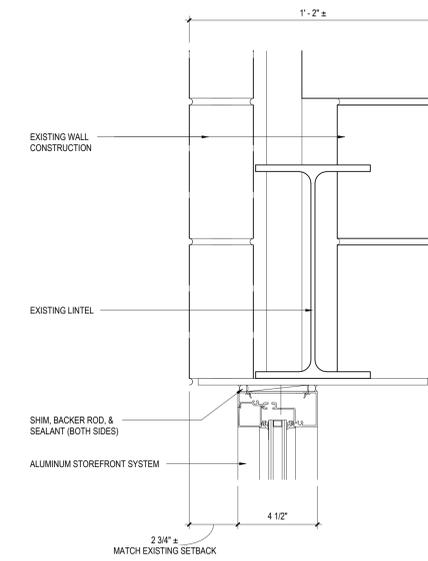
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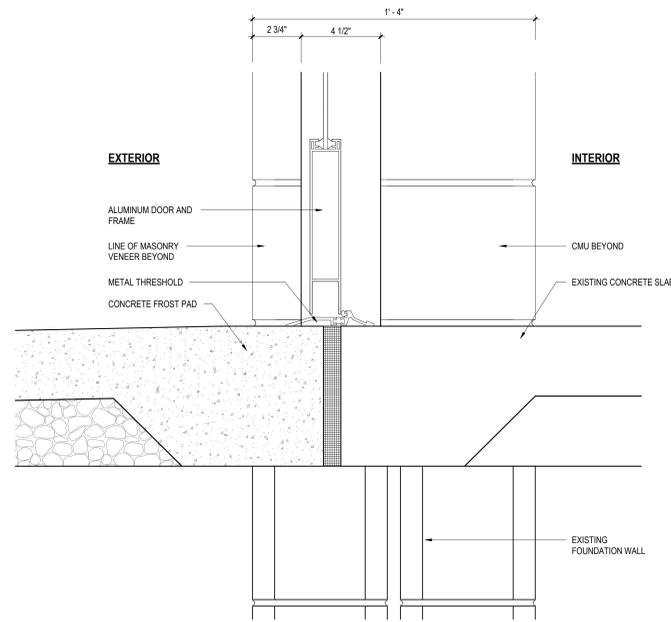
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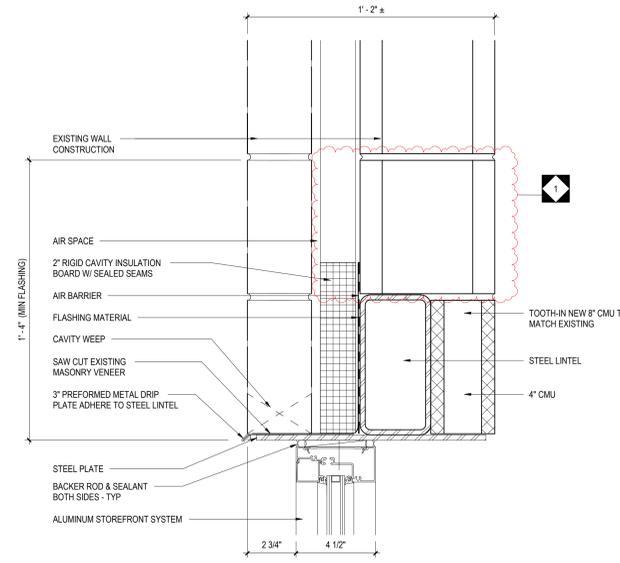
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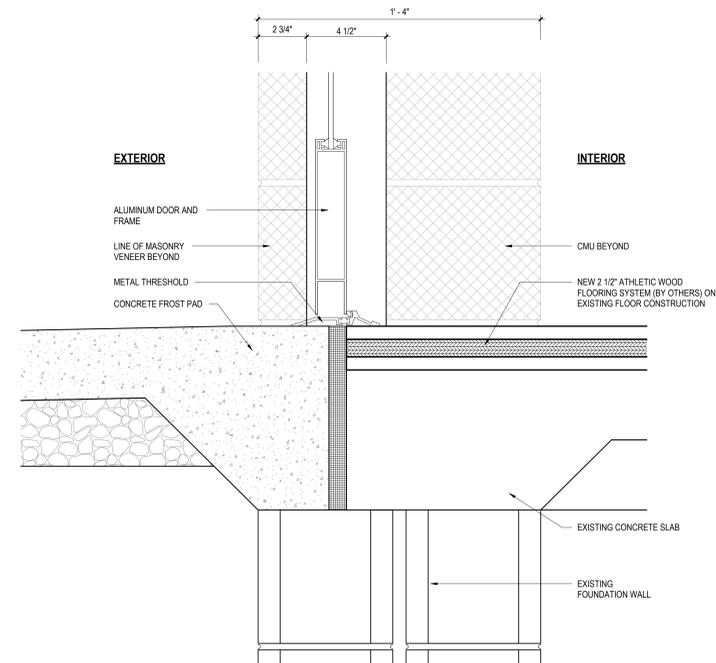
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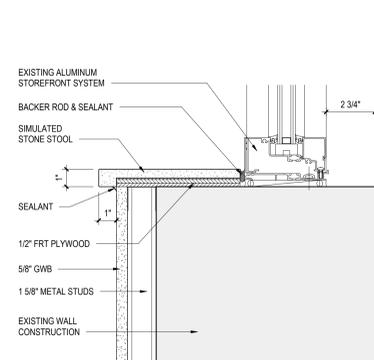
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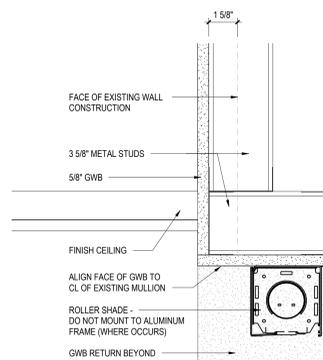
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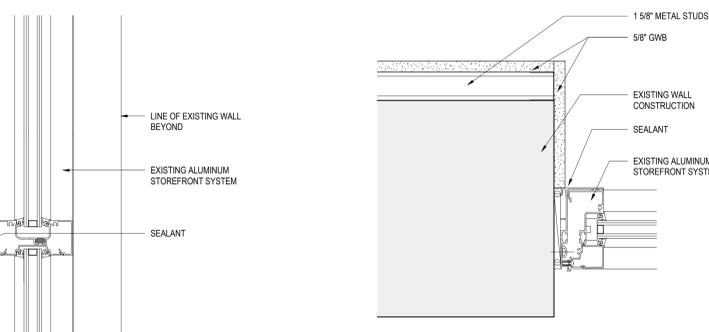
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A6.13 3" = 1'-0"



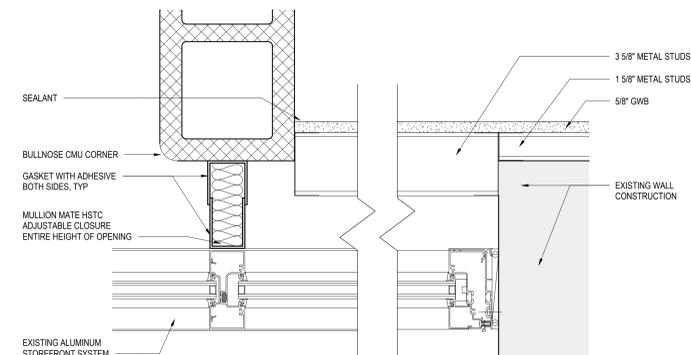
8 ALUMINUM STOREFRONT SILL DETAIL
A6.13 3" = 1'-0"



9 ALUMINUM STOREFRONT MULLION DETAIL
A6.13 3" = 1'-0"



10 ALUMINUM STOREFRONT SILL DETAIL
A6.13 3" = 1'-0"



11 ALUMINUM STOREFRONT SILL DETAIL
A6.13 3" = 1'-0"

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NO.	DATE	DESCRIPTION OF CHANGES
1	3/19/2025	ADDENDUM #1

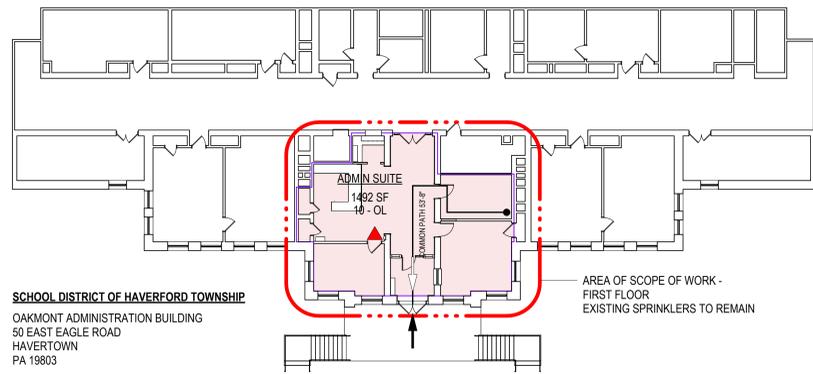
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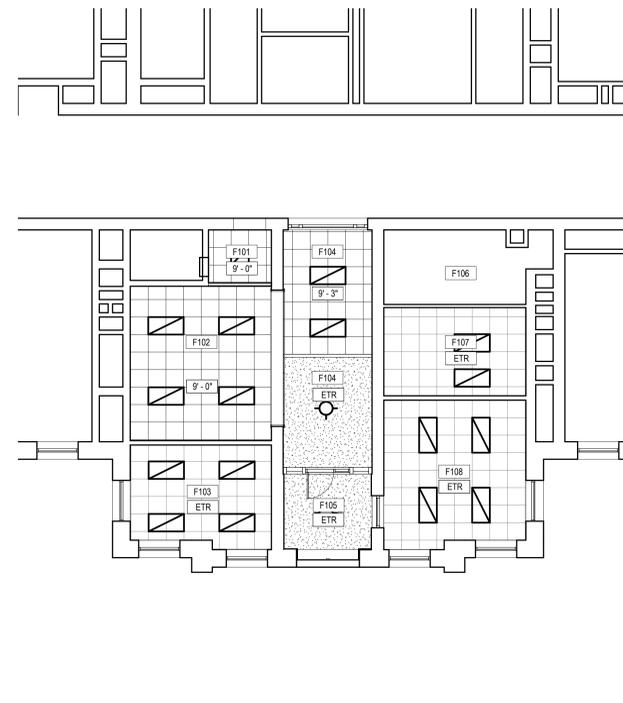
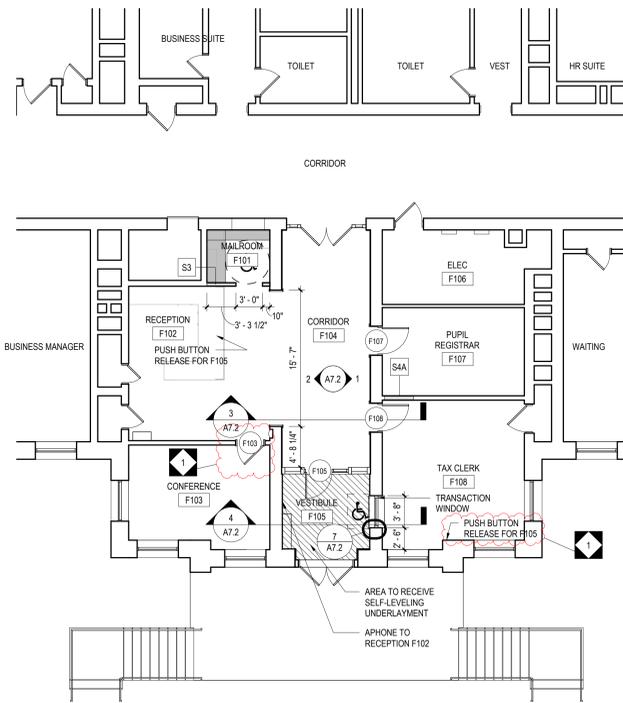
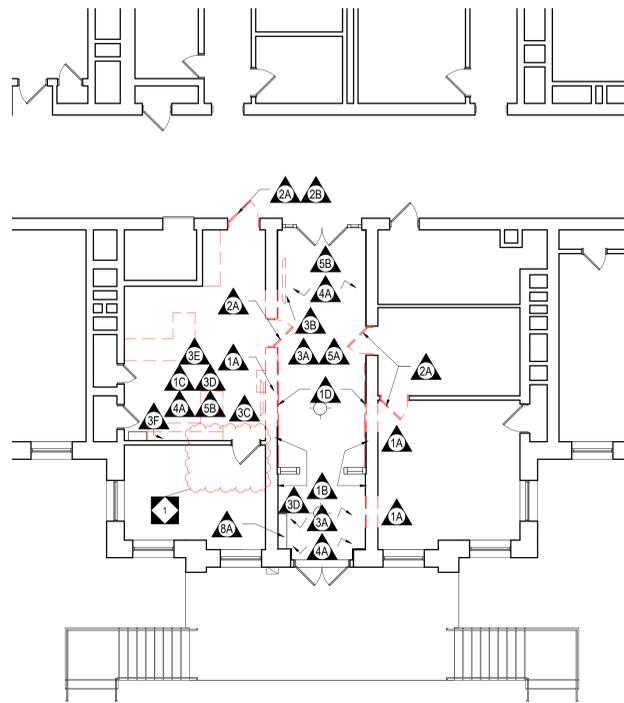
ADDITIONS AND RENOVATIONS TO
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ALUMINUM STOREFRONT DETAILS
PROJECT 3758
PLOT SCALE 3" = 1'-0"
FILENAME: A6.13
DATE: MARCH 30, 2025



1 OAKMONT DAO RENOVATION SCOPE & EGRESS PLAN
 A7.1 1/16" = 1'-0"



CODE COMPLIANCE LEGEND

- CONSTRUCTION RESISTING PASSAGE OF SMOKE
- 1 HOUR RATED FIRE BARRIER
- 2 HOUR RATED FIRE BARRIER
- 2 HOUR RATED FIRE WALL
- ACCESSIBLE ENTRANCE
- ACCESSIBLE MEANS OF EGRESS
- HORIZONTAL EXIT
- FIRE EXTINGUISHER LOCATIONS
- EVACUATION ROUTE
- RATED CEILING SYSTEM

ALTERATION NOTES:

- EXISTING CONDITIONS AS INDICATED ON THE ALTERATION DRAWING(S) MAY VARY WITH ACTUAL CONDITIONS. BEFORE START OF WORK, VERIFY EXISTING CONDITIONS AS RELATED TO COMPLETION OF NEW PROJECT AND/OR SITE IMPROVEMENTS.
- REFER TO CIVIL AND MEP DRAWINGS FOR ADDITIONAL ALTERATION WORK INCLUDING REMOVAL, DISCONNECT AND/OR CAPPING OF EXISTING SERVICES SUCH AS WATER, GAS, SEWER, ELECTRIC, ETC.
- BEFORE START OF ALTERATION WORK, REVIEW AND PREPARE AN OWNER APPROVED LIST OF EXISTING ITEMS TO REMAIN AS OWNER'S PROPERTY. DESIGNATED ITEMS TO BE REMOVED AND STORED IN SECURE, CLEAN, DRY ON-SITE LOCATION. ITEMS TO BE MAINTAINED AS EXISTING AND IN REUSABLE CONDITION.
- REMAINING DISTURBED CONSTRUCTION, MATERIALS OR FINISHES SHALL BE PATCHED, REPAIRED OR REPLACED AS REQUIRED TO MATCH THE ORIGINAL CONDITION AND AS IT IS RELATED TO COMPLETION OF NEW PROJECT AND/OR SITE IMPROVEMENTS.
- OWNER RESERVES THE RIGHT TO SALVAGE AND REMOVE ANY EXISTING ITEMS BEFORE START OF ALTERATION WORK.

GENERAL NOTES:

- ALL DOOR JAMBS SHALL BE LOCATED 4" FROM INSIDE CORNER OF WALL ON HINGE SIDE UNLESS OTHERWISE INDICATED.
- COORDINATE LOCATION OF MEP EQUIPMENT, DEVICES, OUTLET BOXES, ETC. WITH OTHER EQUIPMENT AND FINISH SCHEDULE PRIOR TO INSTALLATION.
- ALL EXTERIOR ENTRANCE PADS SHALL BE SLOPED 2% MAX AWAY FROM THE BUILDING TO EDGE OF PAD. REFER TO STRUCTURAL DRAWINGS.
- UNLESS NOTED OTHERWISE, ALL FLOOR DRAINS SHALL BE SET 1/4" MAX. BELOW FIN FLOOR. DISH FIN. FLOOR MIN. OF 2" RADIUS TO TOP OF FLOOR DRAIN. REFER TO PLUMBING DRAWINGS.
- UNLESS NOTED OTHERWISE, WHERE DIFFERENT FLOOR ELEVATIONS OCCUR ON OPPOSITE SIDES OF INTERIOR MASONRY WALLS, PROVIDE COLD FLUID APPLIED WATERPROOFING (CPAWP) ON THE BACKFILLED FACE OF WALL. APPLY CPAWP FROM UNDERSIDE OF CONC. SLAB TO TOP OF FOOTING BELOW. CPAWP NOT TO INTERFERE WITH INSTALLATION OF CONC. SLAB VAPOR BARRIER.
- GC TO PROVIDE ALL LOUVERS COORDINATE WITH MEP DRAWINGS.
- ALL WALL LAYOUT DIMENSIONS ARE FROM FACE OF STUD & FACE OF CMU UNLESS OTHERWISE NOTED.
- PROVIDE REQUIRED BLOCKING FOR ALL TV WALL MOUNTED BRACKETS.

REFLECTED CEILING PLAN GENERAL NOTES:

- UNLESS NOTED OTHERWISE, GYPSUM BULKHEADS TO BE 3/8" METAL STUDS AT 16" O.C. WITH 5/8" GWB EACH SIDE, EXTENDING MIN 2" BELOW ADJACENT CEILING.
- CEILING GRID SHALL BE COORDINATED WITH MEP EQUIPMENT AND DEVICES.
- UNLESS NOTED OTHERWISE, ALL VISIBLE STRUCTURAL STEEL, ROOF/FLOOR DECK, DUCTWORK, PIPING, CONDUIT, HANGER WIRES, ETC. AT EXPOSED LOCATIONS OR ABOVE CEILING CLOUDS SHALL BE PAINTED.
- REFER TO ROOM FINISH SCHEDULE FOR CEILING TYPES.
- ALL VISIBLE HANGER WIRES, STRUCTURE AND BRACING AT EXPOSED CEILING GRID OR CEILING CLOUD LOCATIONS SHALL BE INSTALLED PLUMB AND LEVEL.
- FOR WINDOWS THAT REQUIRE TWO OR MORE ROLLER SHADES, EACH ROLLER SHADE SHALL TERMINATE AT THE CENTER OF THE WINDOW MULLION. REFER TO HOLLOW METAL AND ALUMINUM FRAME ELEVATIONS FOR DIMENSIONS AND WINDOW MULLION DESIGN AND ROLLER SHADE BRAKES.

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ALTERATION LEGEND - OAKMONT DAO

TAG	REMARK
1A	REMOVE PORTION OF EXISTING WALL AS INDICATED TO ACCOMMODATE NEW WORK. PATCH AND PREPARE ADJACENT WALL, FLOOR & CEILING SURFACES FOR NEW CONSTRUCTION/FINISHES AS SCHEDULED.
1B	PATCH AND REPAIR EXISTING PLASTER WALL FOR NEW FINISHES AS SCHEDULED.
1C	REMOVE ALL CHAIR RAIL, WAINSCOTE AND BASE IN F102. PATCH AND PREPARE WALLS FOR NEW FINISHES AS SCHEDULED.
1D	REMOVE AND SALVAGE TILE MURAL AND STORE SECURELY FOR REINSTALLATION AT LOCATION TO BE DETERMINED BY OWNER.
2A	REMOVE EXISTING DOOR, FRAME, HARDWARE AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREPARE ADJACENT REMAINING WALL, FLOOR & CEILING SURFACES FOR NEW CONSTRUCTION/FINISHES AS SCHEDULED.
2B	SALVAGE TRIM FROM DEMOLISHED DOORS FOR REUSE ON NEW OPENINGS. REPAIR AND PREPARE FOR NEW FINISH AS SCHEDULED.
3A	REMOVE ALL EXISTING WALL MOUNTED ITEMS (SUCH AS CLOCKS AND PLAQUES) AND ALL RELATED COMPONENTS IN THEIR ENTIRETY. PATCH AND PREPARE WALL SURFACES TO RECEIVE NEW WORK AND FINISHES AS SCHEDULED. STORE AND PROTECT REMOVED ITEMS AND REINSTALL PER OWNER'S INSTRUCTIONS ON COMPLETION OF CONSTRUCTION WORK.
3B	REMOVE, PROTECT & STORE, AND REINSTALL TV
3C	REMOVE, PROTECT & STORE, AND REINSTALL SECURITY MONITOR IN NEW LOCATION - REFER TO PROPOSED ARCHITECTURAL AND ELECTRICAL DRAWINGS
3D	PROTECT AND MAINTAIN OPERATION OF ALL EXISTING FIRE SAFETY SYSTEMS AND COMPONENTS THROUGHOUT THE SCOPE OF WORK AREA DURING CONSTRUCTION
3E	TURN OVER ALL OFFICE FURNITURE TO OWNER
3F	REMOVE WALL MOUNTED MAILBOXES
4A	REMOVE FLOORING AND BASE IN F102, F104 AND F105. TEMPORARILY REMOVE AND REINSTALL FLOOR MOUNTED HEATER TO ALLOW FOR FLOORING REMOVAL.
5A	EXISTING PLASTER/GYPSUM BOARD CEILING TO REMAIN. PATCH AND REPAIR AREAS OF CEILING AROUND NEW CONSTRUCTION AS NEEDED.
5B	ACT CEILING GRID AND TILES TO BE REMOVED IN F102 AND F104. SALVAGE AND TURN OVER TO OWNER. MAINTAIN ALL SERVICES LOCATED IN THE CEILING AND INTEGRATE INTO NEW CEILING GRID. STORE AND PROTECT EXISTING LIGHTS AND REINSTALL IN NEW CEILING GRID.
8A	TEMPORARILY REMOVE EXISTING UNIT VENTILATOR TO ACCOMMODATE INSTALLATION OF NEW FLOORING. RECONNECT UNIT VENTILATOR AFTER INSTALLATION IS COMPLETE.

DOOR SCHEDULE - OAKMONT RENOVATION (UNIT F)

OPENING NUMBER	DOOR & FRAME UL RATING	DOOR				FRAME		DETAILS		HARDWARE SET	SPECIAL DETAIL	REMARKS
		DOOR TYPE	DOOR MATERIAL	GLAZING TYPE	WIDTH	HEIGHT	THICKNESS	FRAME TYPE	FRAME MATERIAL			
F103	F	ETR			3'-0"	7'-0"	1 3/4"	ETR	ETR			DOOR TO BE PRIMED AND PAINTED TO MATCH TRIM IN FIELD
F105		FG2	HM		3'-0"	8'-3 1/2"	1 3/4"	A1	HM			NEW DOOR AND FRAME IN EXISTING OPENING - VERIFY SIZE IN FIELD. CARD READER, ELECTRIC STRIKE, PUSH BUTTON RELEASE FROM F102 & F108
F107	F	WD			3'-0"	7'-0"	1 3/4"	H1	HM	9/A7.2	10/A7.2	DOOR TO BE PRIMED TO RECEIVE PAINT TO MATCH TRIM IN FIELD. VERIFY EXISTING OPENING SIZE IN FIELD
F108	F	WD			3'-0"	7'-0"	1 3/4"	H1	HM	8/A7.2	10/A7.2	DOOR TO BE PRIMED TO RECEIVE PAINT TO MATCH TRIM IN FIELD

LEGEND

	2' x 4' SUSPENDED CEILING SYSTEM		2' x 4' LIGHT FIXTURE
	NEW ACT TILE ON EXISTING ACT GRID		1' x 4' LIGHT FIXTURE
	2' x 2' SUSPENDED CEILING SYSTEM		2' x 2' LIGHT FIXTURE
	GYPSUM WALLBOARD		SEE MEP DRAWINGS
	LINEAR METAL SOFFIT		SEE MEP DRAWINGS
	STEEL LINTEL - PAINTED		RECESSED DOWN LIGHT
			PENDANT LIGHT FIXTURES
			ROLLER SHADE - MANUAL
			ROLLER SHADE - MANUAL BLACKOUT W/ DUAL ROLLER
			ROLLER SHADE - MOTORIZED
			ROLLER SHADE - MOTORIZED BLACKOUT W/ DUAL ROLLER
			EXISTING ROLLER SHADE TO REMAIN

ALTERNATE - OAKMONT DAO RENOVATION

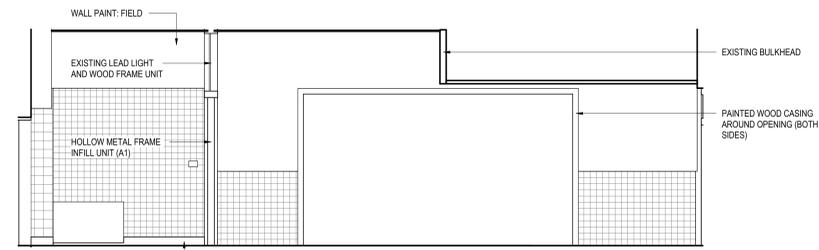
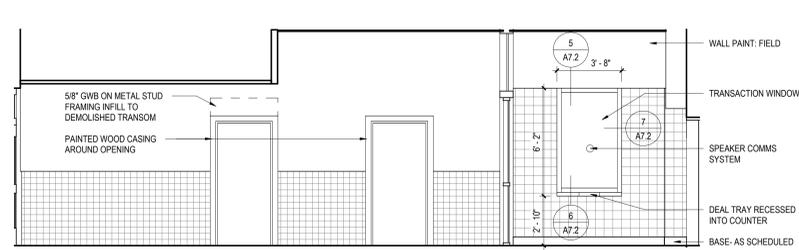
PROJECT 3758

DATE: MARCH 10, 2025

As indicated

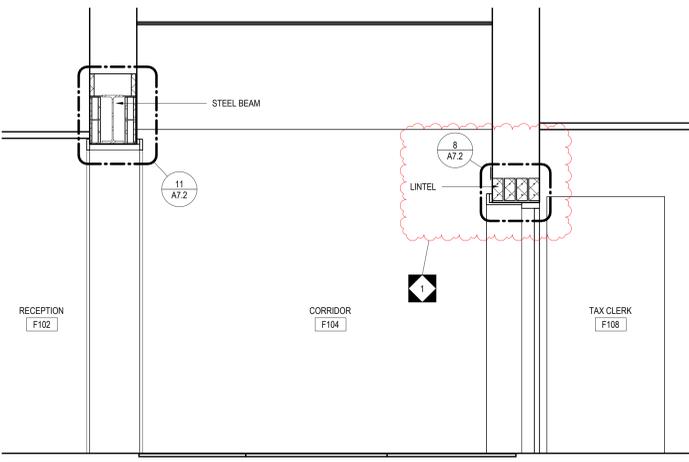
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A7.1

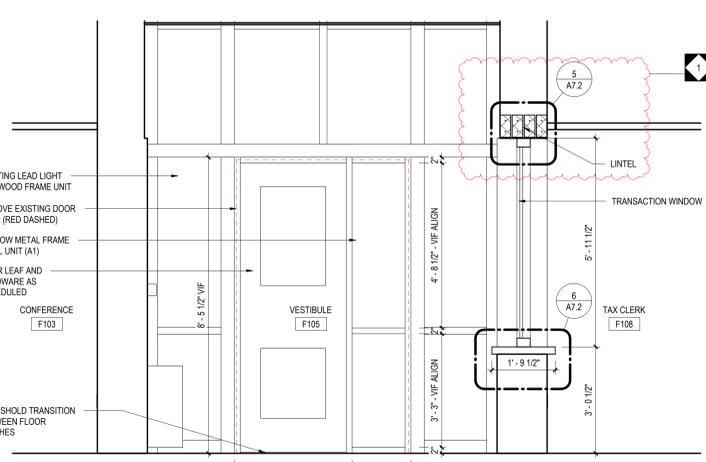


1 INTERIOR ELEVATION - OAKMONT CORRIDOR
1/4" = 1'-0"

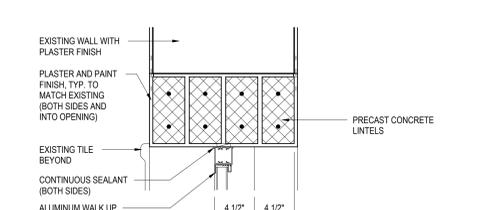
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1/4" = 1'-0"



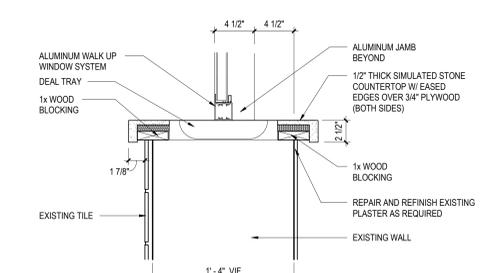
3 DETAIL SECTION
1/2" = 1'-0"



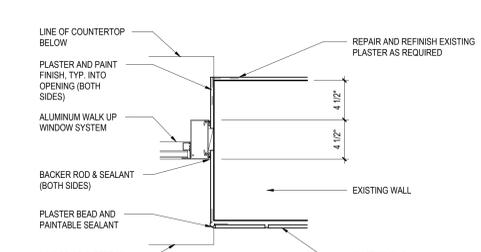
4 DETAIL SECTION
1/2" = 1'-0"



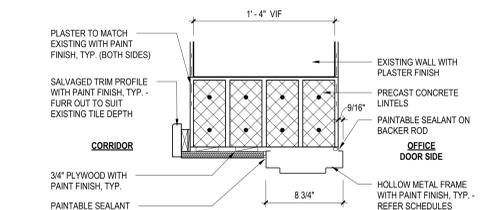
5 INTERIOR HEAD DETAIL
1 1/2" = 1'-0"



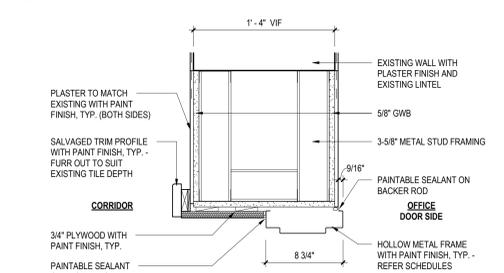
6 INTERIOR SILL DETAIL
1 1/2" = 1'-0"



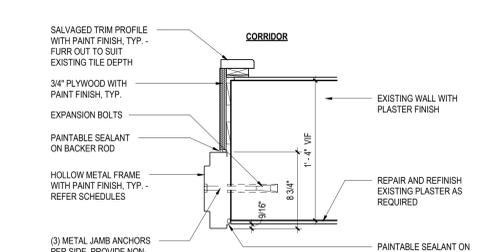
7 INTERIOR JAMB DETAIL
1 1/2" = 1'-0"



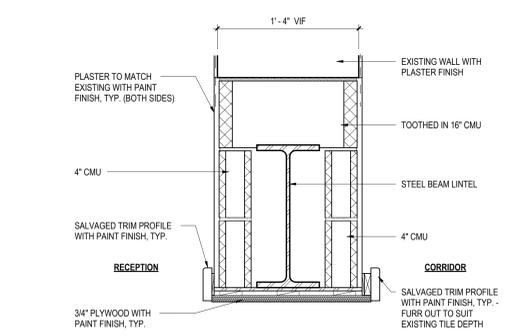
8 INTERIOR DOOR HEAD DETAIL
1 1/2" = 1'-0"



9 INTERIOR DOOR HEAD DETAIL
1 1/2" = 1'-0"



10 INTERIOR DOOR JAMB DETAIL
1 1/2" = 1'-0"



11 INTERIOR OPENING HEAD DETAIL
1 1/2" = 1'-0"

A101

NAME
NAME
BRAILLE (NUMBER & NAME)

PAPER INSERT

TYPE 1A | SIZE: 8"x8"
NOT TO SCALE

A101

NAME
NAME
BRAILLE (NUMBER & NAME)

VACANT IN USE

TYPE 1B | SIZE: 8"x8"
NOT TO SCALE

A101

NAME
NAME
BRAILLE (NUMBER & NAME)

TYPE 1C | SIZE: 8"x4"
NOT TO SCALE

A101

NAME
NAME
BRAILLE (NUMBER & NAME)

EXIT
BRAILLE

TYPE 2A | SIZE: 8"x10"
NOT TO SCALE

ROOM FINISH SCHEDULE LEGEND- ALTERNATE

FLOOR FINISH	
CPT	CARPET
PT	PORCELAIN TILE
BASE FINISH	
RB	RUBBER
WALL FINISH	
PNT	PAINT
CEILING FINISH	
ACT	ACOUSTICAL CEILING TILE
PNT	PAINTED GYPSUM WALLBOARD
GENERAL NOTES	
1.	REFER TO SPECIFICATIONS FOR DETAILED DESCRIPTION OF FINISH SYSTEM TYPES.
2.	REFER TO WALL TYPES FOR MASONRY LOCATIONS AND DETAILS.
3.	GYPSUM WALLBOARD BULKHEADS AND SOFFITS SHALL BE PAINTED.
4.	ALL INTERIOR AND EXTERIOR FERROUS METAL SHALL BE PAINTED INCLUDING LINTELS, RAILINGS, GRILLES AND LOUVERS. DOES NOT INCLUDE FACTORY OR PRE-FINISHED ITEMS.
5.	SEE IT DRAWINGS FOR MATERIAL TRANSITIONS & FLOOR PATTERN PLANS.
6.	ETR = EXISTING TO REMAIN

ROOM FINISH SCHEDULE - ALTERNATE

NUMBER	NAME	COLOR SCHEME	FLOOR	BASE	WALLS			CEILING FINISH	REMARKS
					WALL FINISH	WAINSCOT FINISH	HEIGHT		
F101	MAILROOM		CPT2	RB	PNT	--	--	ACT3	ALTERNATE
F102	RECEPTION		CPT2	RB	PNT	--	--	ACT3	ALTERNATE - PROVIDE ACCENT WALL.
F103	CONFERENCE		CPT2	RB	PNT	--	--	ETR	ALTERNATE - PROVIDE ACCENT WALL.
F104	CORRIDOR		CPT1	RB	PNT	--	--	ETR/PNT	ALTERNATE - PAINT ABOVE EXISTING TILE. REFER TO RCP FOR VARYING MATERIALS
F105	VESTIBULE		EM	RB	ETR/PNT	--	--	PNT	ALTERNATE - PAINT ABOVE EXISTING TILE
F106	ELEC		ETR	ETR	ETR	--	--	ETR	--
F107	PUPIL REGISTRAR		CPT2	RB	PNT	--	--	ETR	ALTERNATE - PROVIDE ACCENT WALL.
F108	TAX CLERK		CPT2	RB	PNT	--	--	ETR	ALTERNATE - PROVIDE ACCENT WALL.

SIGNAGE SCHEDULE- ALTERNATE

ROOM#	ROOM NAME	ROOM#	ROOM NAME	SIGN TYPE	QTY	REMARKS
FIRST FLOOR						
F101	MAILROOM	TBD	MAILROOM	1C	1	ALTERNATE
F102	RECEPTION	TBD	MAIN OFFICE	1C	1	ALTERNATE
F103	CONFERENCE	TBD	CONFERENCE	1B	1	ALTERNATE
F104	CORRIDOR	TBD	CORRIDOR	1C	1	ALTERNATE
F105	VESTIBULE	TBD	VESTIBULE	1C	1	ALTERNATE
F106	ELEC	--	--	--	0	--
F107	PUPIL REGISTRAR	TBD	PUPIL REGISTRAR OFFICE	1A	1	ALTERNATE
F108	TAX CLERK	TBD	TAX CLERK	1A	1	ALTERNATE

GENERAL NOTE IN REFERENCE TO A7.2 DRAWING - ALTERNATE

- TACTILE CHARACTERS SHALL BE 48 INCHES MINIMUM ABOVE THE FLOOR, MEASURED TO THE BASELINE OF THE LOWEST TACTILE CHARACTER AND 60 INCHES MAXIMUM ABOVE THE FLOOR, MEASURED TO THE BASELINE OF THE HIGHEST TACTILE CHARACTER.
- WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE ALONGSIDE THE DOOR AT THE LATCH SIDE, WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF, WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAVES, THE SIGN SHALL BE TO THE RIGHT OF THE RIGHT-HAND DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL.
- SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR AREA 18 INCHES MINIMUM BY 18 INCHES MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.
 - EXCEPTION:** SIGNS WITH TACTILE CHARACTERS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD OPEN DEVICES.
- IN ADDITION TO THE SIGNAGE SCHEDULE PLEASE PROVIDE THE FOLLOWING SIGN TYPES: SIGN TYPE 2A: F104 & F105

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ALTERNATE - OAKMONT DAO RENOVATION

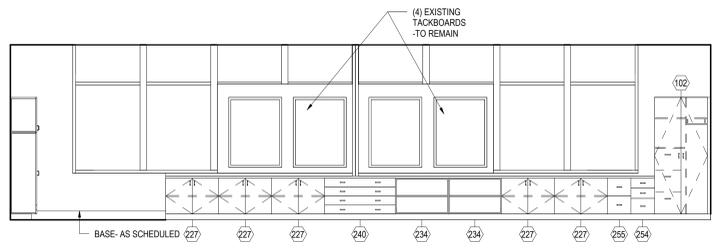
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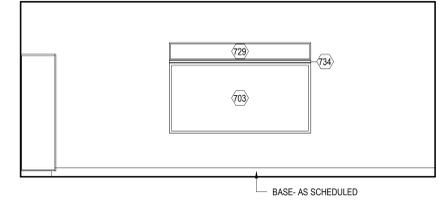
MARCH 30, 2025

A7.2

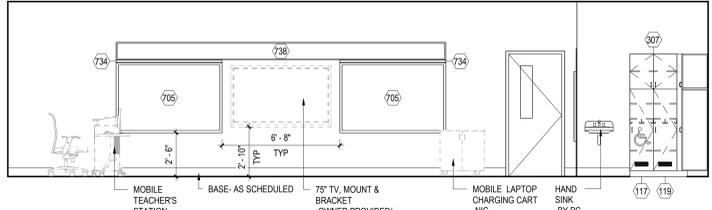
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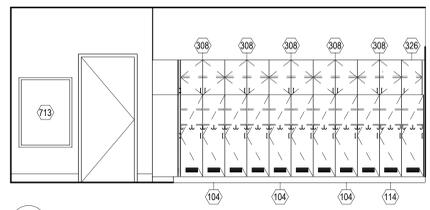
A INTERIOR ELEVATION A
14.3S 1/4" = 1'-0"



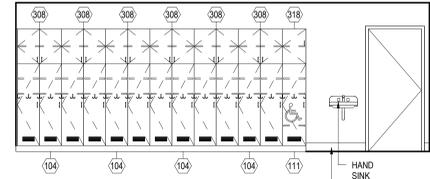
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14.3S 1/4" = 1'-0"



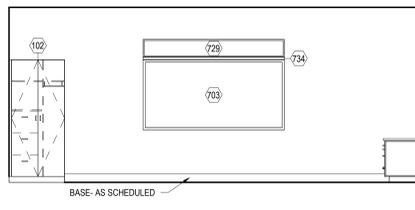
C INTERIOR ELEVATION C
14.3S 1/4" = 1'-0"



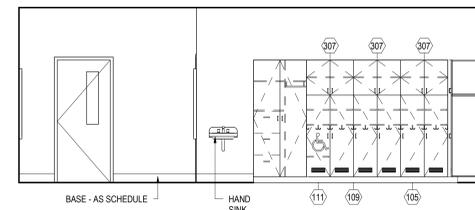
D INTERIOR ELEVATION D
14.3S 1/4" = 1'-0"



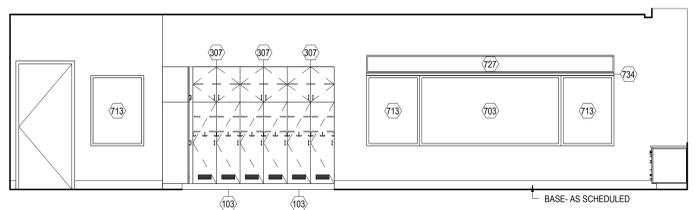
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14.3S 1/4" = 1'-0"



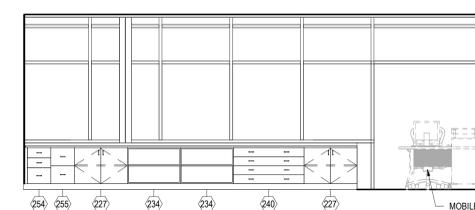
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14.3S 1/4" = 1'-0"



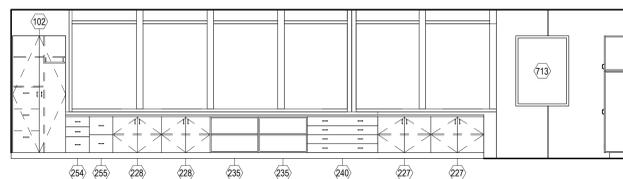
G INTERIOR ELEVATION G
14.3S 1/4" = 1'-0"



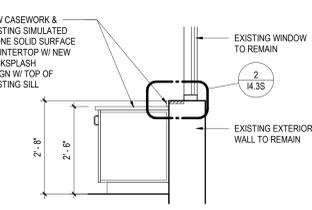
H INTERIOR ELEVATION H
14.3S 1/4" = 1'-0"



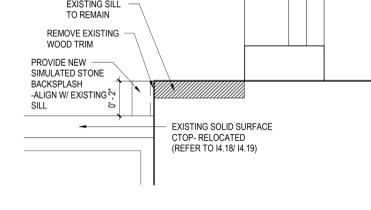
J INTERIOR ELEVATION J
14.3S 1/4" = 1'-0"



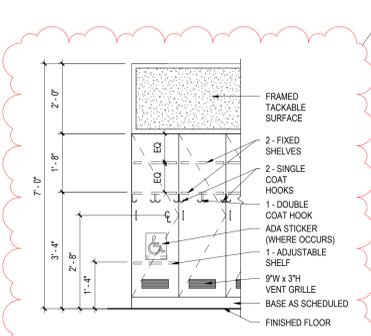
K INTERIOR ELEVATION K
14.3S 1/4" = 1'-0"



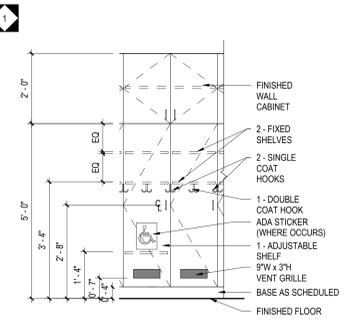
1 NEW CASEWORK @ EXISTING SILL
14.3S 1/2" = 1'-0"



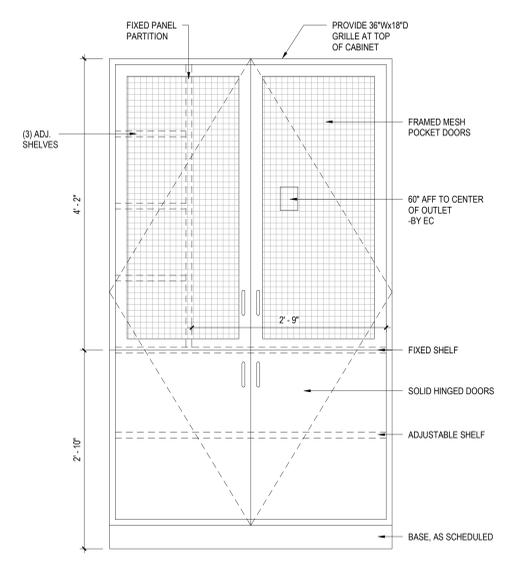
2 NEW BACKSPLASH DETAIL
14.3S 3" = 1'-0"



3 TYPICAL WARDROBE DETAIL W/ TACKBOARD
14.3S 1/2" = 1'-0"



4 TYPICAL WARDROBE DETAIL W/ WALL CABINET
14.3S 1/2" = 1'-0"



5 MULTI-MEDIA CABINET DETAIL
14.3S 1" = 1'-0"

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NO.	DESCRIPTION OF CHANGES
1	ADD TO PER 3/19/2025
	ADDENDUM #1

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REGISTERED ARCHITECT
 PENNSYLVANIA

INTERIOR ELEVATIONS - FIRST GRADE & DETAILS

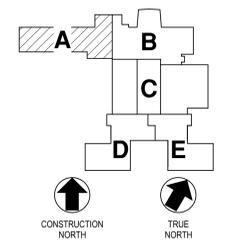
PROJECT 3758

14.3S

DATE: MARCH 30, 2025

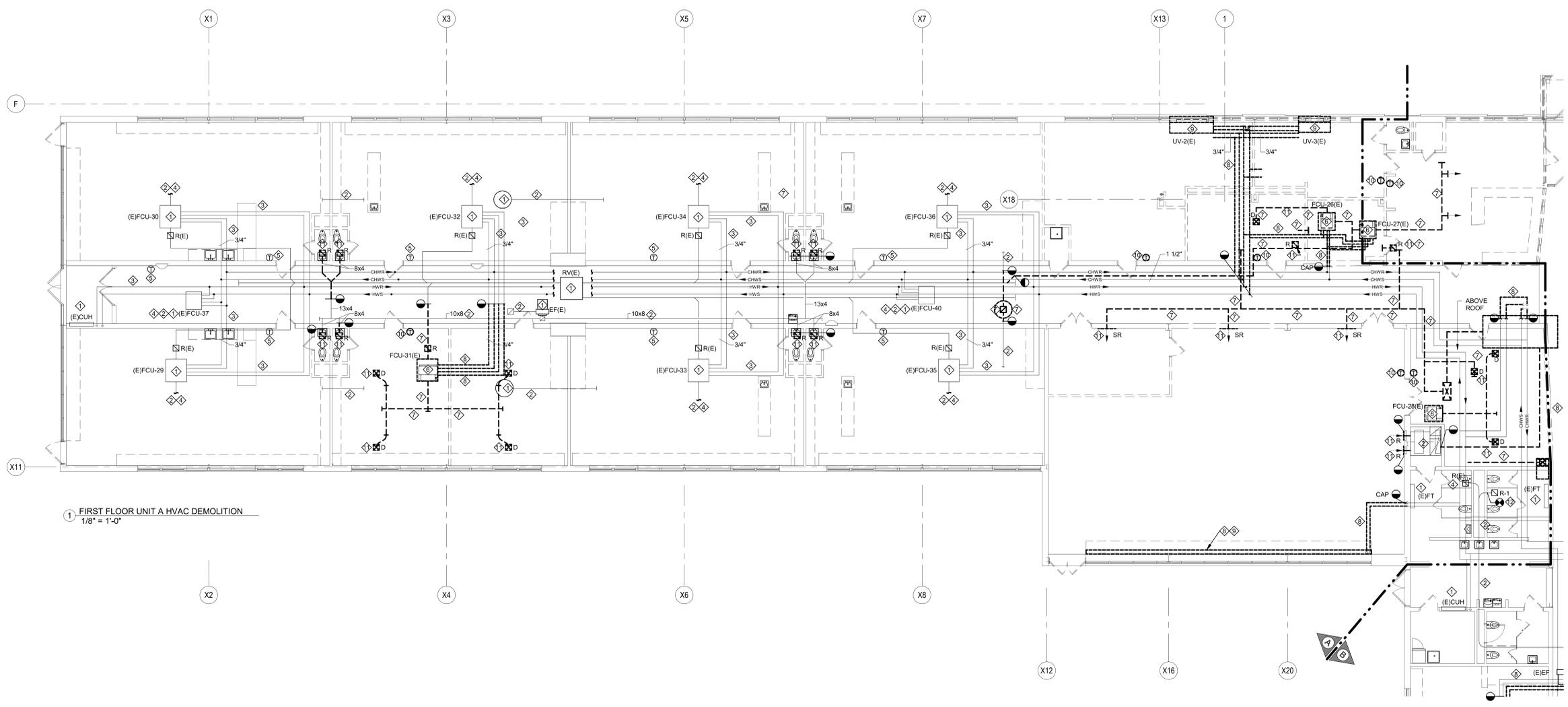
- DRAWING NOTES:**
- EXISTING HVAC EQUIPMENT TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING DUCTWORK TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING PIPING TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING AIR DEVICE TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING CONTROL DEVICE TO REMAIN IN PLACE AND IN SERVICE.
 - REMOVE AND RETAIN FAN COIL UNIT FOR RELOCATION OR TURN OVER TO OWNER.
 - REMOVE AND DISCARD DUCTWORK AND ASSOCIATED COMPONENTS.
 - REMOVE AND DISCARD PIPING AND ASSOCIATED COMPONENTS.
 - REMOVE HVAC EQUIPMENT AND ASSOCIATED COMPONENTS. TURN OVER EQUIPMENT TO OWNER. DISCARD EQUIPMENT INSTALL PRIOR TO 2020.
 - REMOVE CONTROL DEVICE AND ASSOCIATED COMPONENTS. WHERE REQUIRED PATCH OPENING TO MATCH EXISTING. TURN OVER JCI CONTROL DEVICES TO OWNER.
 - REMOVE AND DISCARD AIR DEVICE AND ASSOCIATED COMPONENTS.
 - PROVIDE MISSING REGISTER.

KEY PLAN



REVISIONS

NO.	DATE	NAME	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1



1 FIRST FLOOR UNIT A HVAC DEMOLITION
1/8" = 1'-0"

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FIRST FLOOR UNIT A HVAC
DEMOLITION

PLOT SCALE:
1/8" = 1'-0"

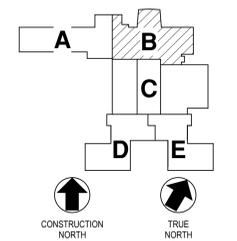
FILENAME:
24066

DATE:
MARCH 10, 2025

PROJECT
3758

M1.1

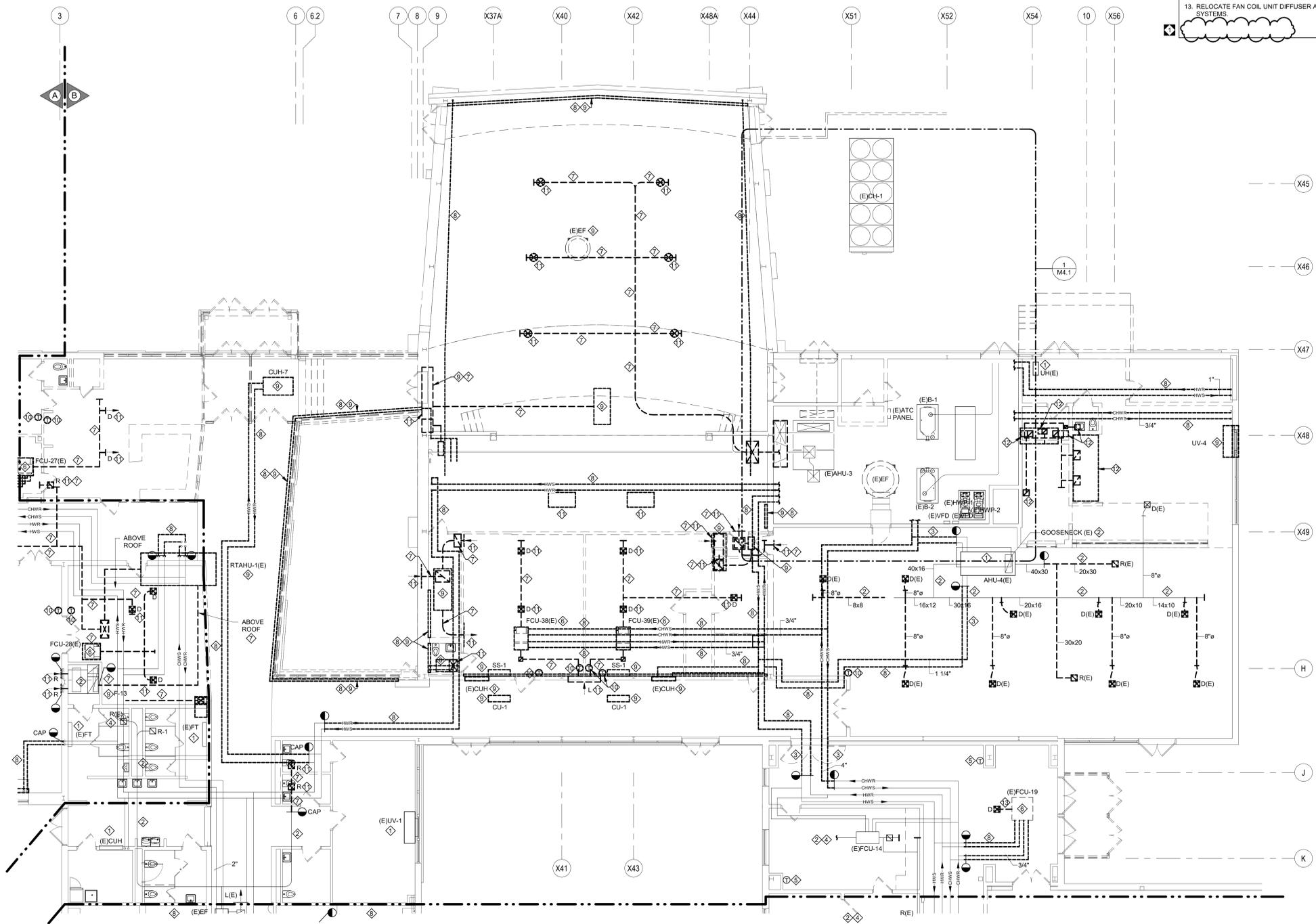
KEY PLAN



REVISIONS

NO.	DATE	NAME	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1

- DRAWING NOTES:**
- EXISTING HVAC EQUIPMENT TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING DUCTWORK TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING PIPING TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING AIR DEVICE TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING CONTROL DEVICE TO REMAIN IN PLACE AND IN SERVICE.
 - REMOVE AND RETAIN FAN COIL UNIT FOR RELOCATION OR TURN OVER TO OWNER.
 - REMOVE AND DISCARD DUCTWORK AND ASSOCIATED COMPONENTS.
 - REMOVE AND DISCARD PIPING AND ASSOCIATED COMPONENTS.
 - REMOVE HVAC EQUIPMENT AND ASSOCIATED COMPONENTS. TURN OVER EQUIPMENT TO OWNER. DISCARD EQUIPMENT INSTALL PRIOR TO 2026.
 - REMOVE CONTROL DEVICE AND ASSOCIATED COMPONENTS. WHERE REQUIRED PATCH OPENING TO MATCH EXISTING. TURN OVER JCI CONTROL DEVICES TO OWNER.
 - REMOVE AND DISCARD AIR DEVICE AND ASSOCIATED COMPONENTS.
 - REMOVE AND DISCARD EXHAUST FANS, ROOF VENTILATOR, DUCTWORK, REGISTERS, HOODS, AND ASSOCIATED COMPONENTS.
 - RELOCATE FAN COIL UNIT DIFFUSER AND DUCTWORK AND PIPING SYSTEMS.



1 FIRST FLOOR UNIT B HVAC DEMOLITION
1/8" = 1'-0"

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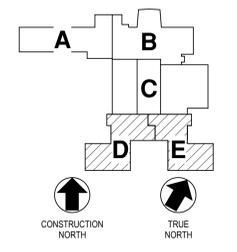


FIRST FLOOR UNIT B HVAC
DEMOLITION
PLOT SCALE
1/8" = 1'-0"
FILENAME
24066
DATE
MARCH 10, 2025

PROJECT
3758
M1.2

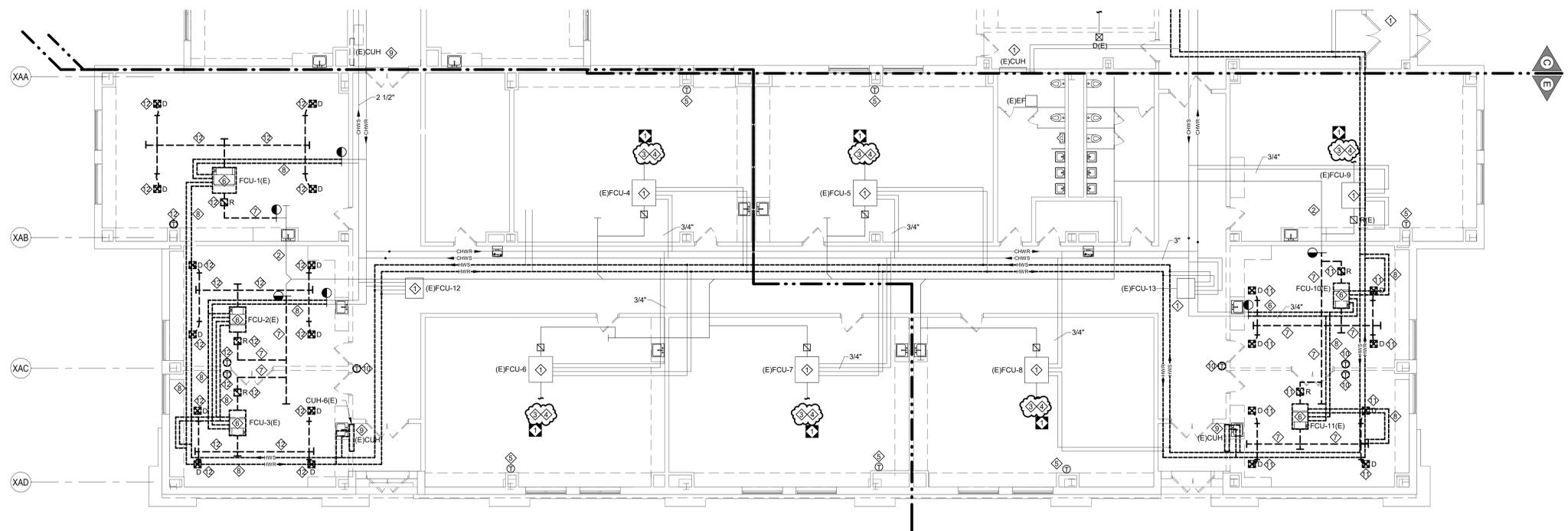
- DRAWING NOTES:**
- EXISTING HVAC EQUIPMENT TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING DUCTWORK TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING PIPING TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING AIR DEVICE TO REMAIN IN PLACE AND IN SERVICE.
 - EXISTING CONTROL DEVICE TO REMAIN IN PLACE AND IN SERVICE.
 - REMOVE AND RETAIN FAN COIL UNIT FOR RELOCATION OR TURN OVER TO OWNER.
 - REMOVE AND DISCARD DUCTWORK AND ASSOCIATED COMPONENTS.
 - REMOVE AND DISCARD PIPING AND ASSOCIATED COMPONENTS.
 - REMOVE HVAC EQUIPMENT AND ASSOCIATED COMPONENTS. TURN OVER EQUIPMENT TO OWNER.
 - REMOVE CONTROL DEVICE AND ASSOCIATED COMPONENTS, WHERE REQUIRED PATCH OPENING TO MATCH EXISTING. TURN OVER JCI CONTROL DEVICES TO OWNER.
 - REMOVE AND DISCARD AIR DEVICE AND ASSOCIATED COMPONENTS.
 - RELOCATE FAN COIL UNIT, DUCTWORK, DIFFUSERS, REGISTERS, AND CONTROL DEVICES.

KEY PLAN



REVISIONS

NO.	DATE	NAME	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1



1 FIRST FLOOR UNIT D & E HVAC DEMOLITION
1/8" = 1'-0"

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FIRST FLOOR UNIT D & E
HVAC DEMOLITION

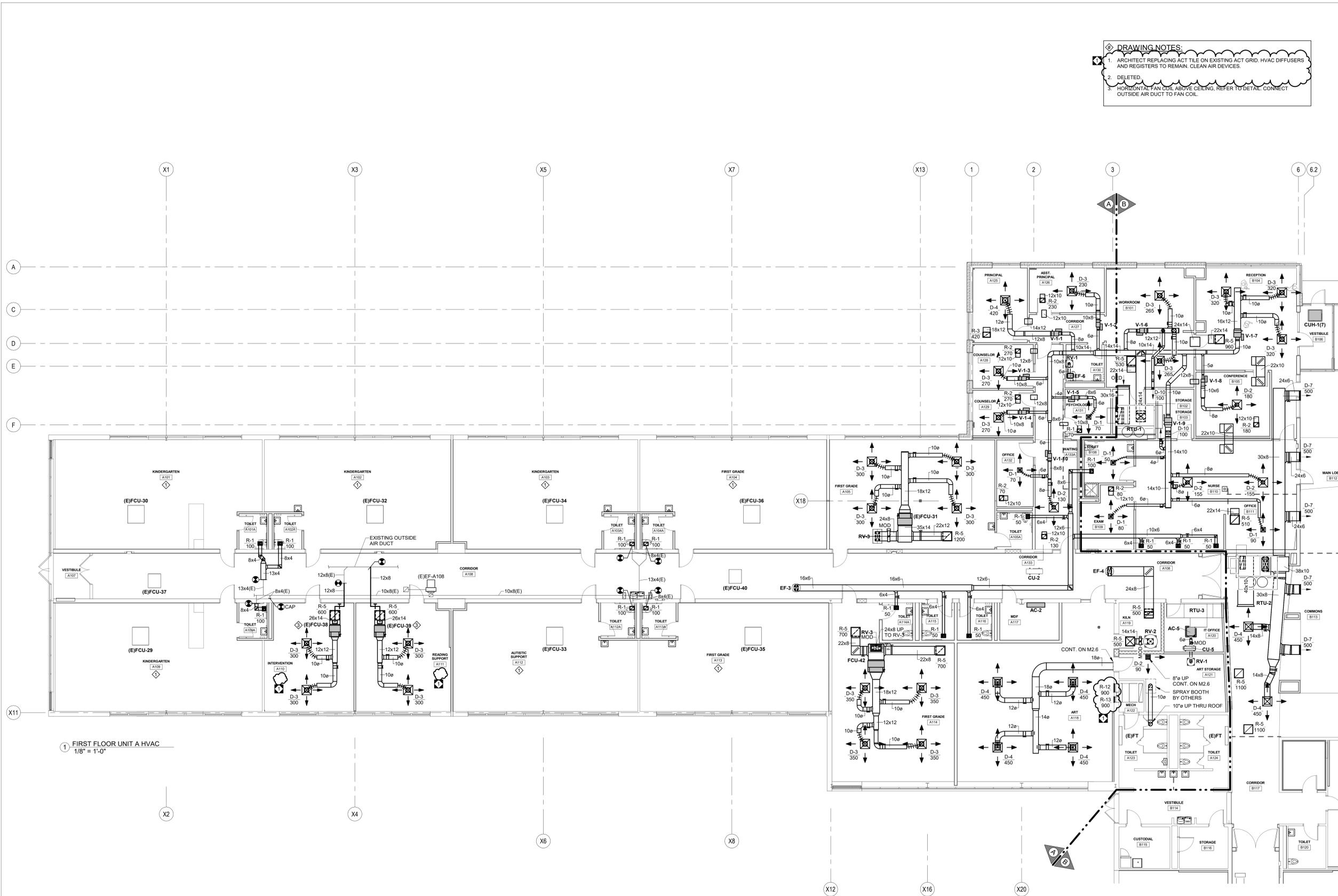
PLOT SCALE
1/8" = 1'-0"

FILENAME
24066

DATE
MARCH 10, 2025

PROJECT
3758

M1.4



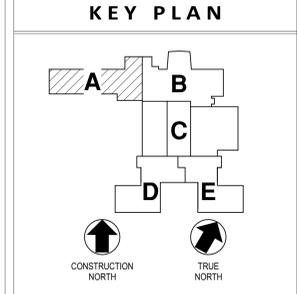
DRAWING NOTES:

1. ARCHITECT REPLACING ACT TILE ON EXISTING ACT GRID. HVAC DIFFUSERS AND REGISTERS TO REMAIN. CLEAN AIR DEVICES.
2. DELETED.
3. HORIZONTAL FAN COIL ABOVE CEILING. REFER TO DETAIL. CONNECT OUTSIDE AIR DUCT TO FAN COIL.

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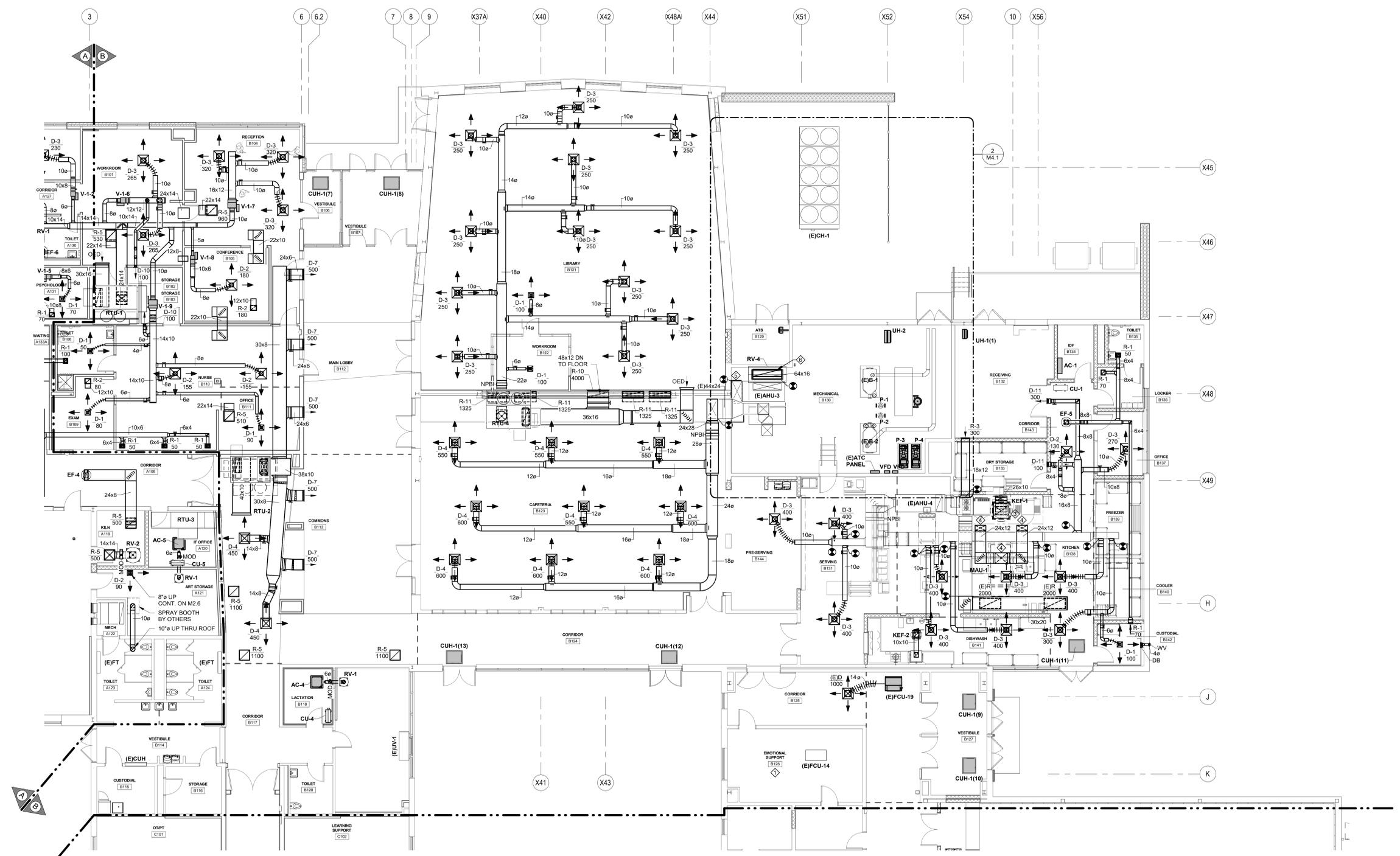
FIRST FLOOR UNIT A HVAC
PLOT SCALE: 1/8" = 1'-0"
FILENAME: 24066
DATE: MARCH 30, 2025

PROJECT
3758
M2.1

1 FIRST FLOOR UNIT A HVAC
1/8" = 1'-0"

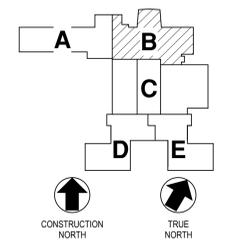
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- DRAWING NOTES:**
- 1 ARCHITECT REPLACING ACT TILE ON EXISTING ACT GRID, HVAC DIFFUSERS AND REGISTERS TO REMAIN. CLEAN AIR DEVICES.
 - 2 DELETED.
 - 3 26X10 DN TO HOOD EXHAUST CONNECTION, 26X18 UP TO KEF-1.
 - 4 24X12 DN TO HOOD SUPPLY AIR CONNECTION, 2 PLACES, 28X14 UP TO MAU-1.
 - 5 PROVIDE NEW PLENUM RETURN BOX/DUCT OVER EXISTING TUNNEL EQUAL TO EXISTING SIZE. CONNECT AHU-3 RETURN DUCT TO NEW PLENUM BOX.
 - 6 64X16 OUTSIDE AIR DUCT UP FROM (E)AHU-3 TO RV-4 ON ROOF.



1 FIRST FLOOR UNIT B HVAC
1/8" = 1'-0"

KEY PLAN



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NO.	DATE	BY	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1

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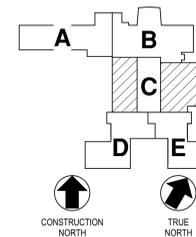
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FIRST FLOOR UNIT B HVAC
PLOT SCALE
1/8" = 1'-0"
FILENAME:
24066
DATE:
MARCH 10, 2025

PROJECT
3758
M2.2

KEY PLAN



REVISIONS

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1	3/19/2025		ADDENDUM 1

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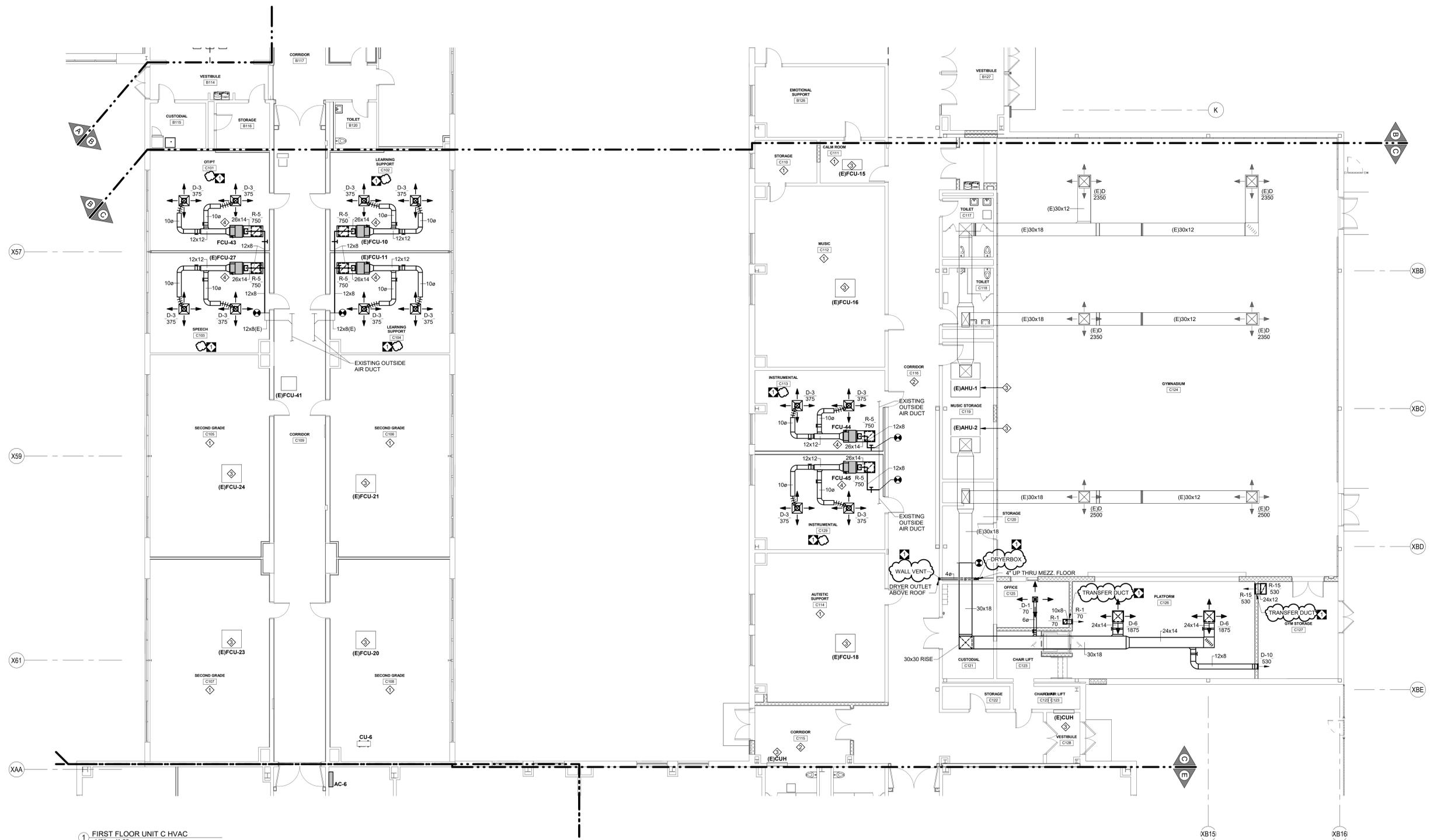
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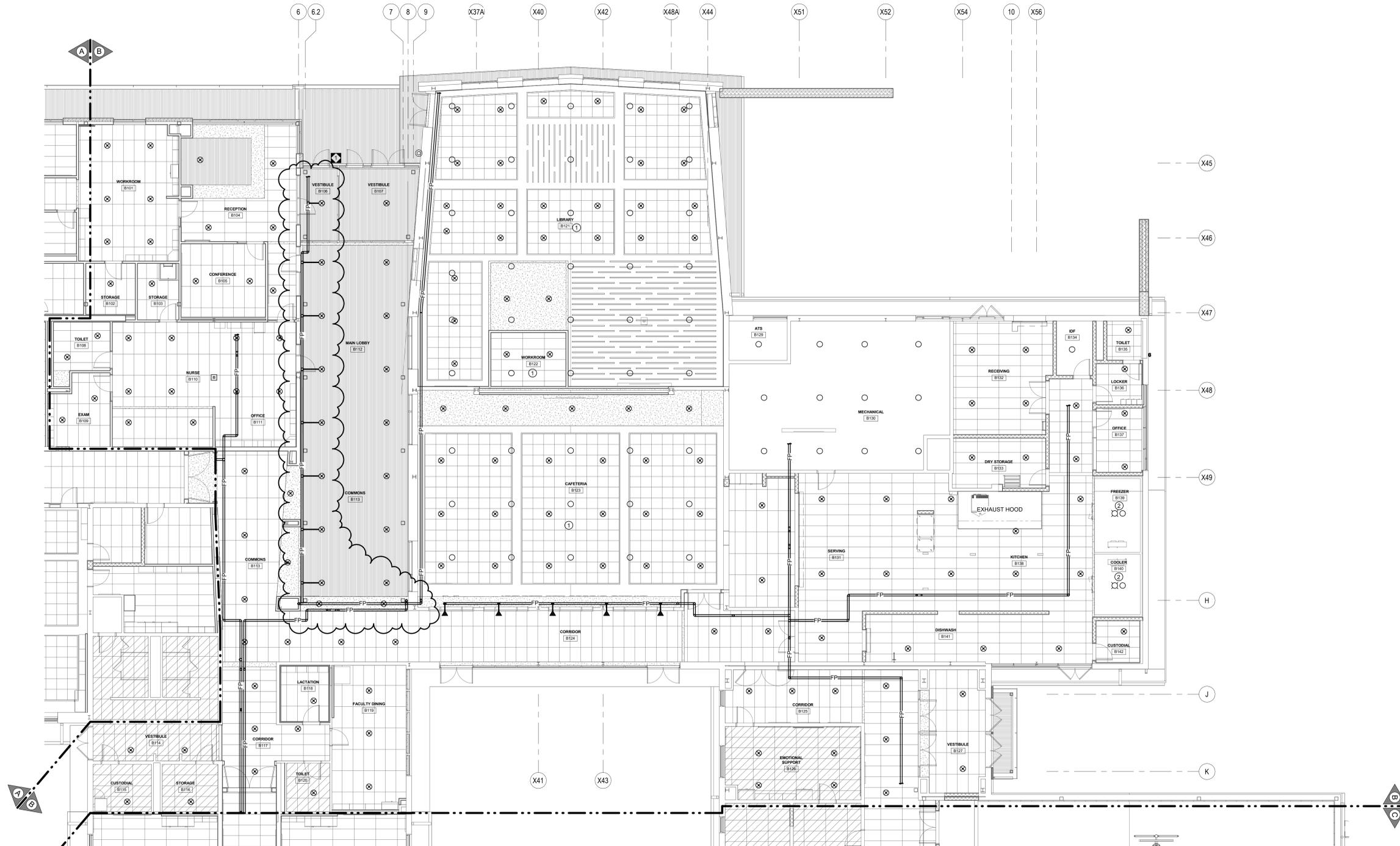
FIRST FLOOR UNIT C HVAC
 PLOT SCALE:
 1/8" = 1'-0"
 FILENAME:
 24066
 DATE:
 MARCH 10, 2025

PROJECT
 3758
M2.3

- DRAWING NOTES:**
1. ARCHITECT REPLACING ACT TILE ON EXISTING ACT GRID. HVAC DIFFUSERS AND REGISTERS TO REMAIN. CLEAN AIR DEVICES.
 2. DELETED.
 3. EXISTING HVAC SYSTEM TO REMAIN.
 4. HORIZONTAL FAN COIL ABOVE CEILING. REFER TO DETAIL. CONNECT OUTSIDE AIR DUCT TO FAN COIL.



1 FIRST FLOOR UNIT C HVAC
 1/8" = 1'-0"



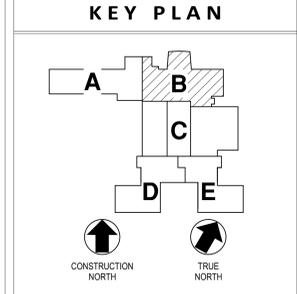
1 FIRST FLOOR UNIT B FIRE PROTECTION
1/8" = 1'-0"

- DRAWING NOTES:**
1. PROVIDE SPRINKLER HEADS IN CLOUD CEILINGS AND UPRIGHT SPRINKLER HEADS ABOVE IN THIS AREA.
 2. PROVIDE WET PROTECTION ABOVE AND DRY PROTECTION IN FREEZER AND REFRIGERATOR.

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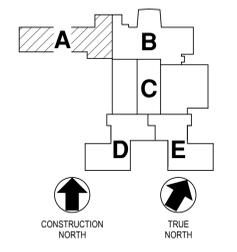
FIRST FLOOR UNIT B FIRE PROTECTION

PROJECT
3758

1/8" = 1'-0"
FILENAME: 24066
DATE: MARCH 10, 2025

FP2.2

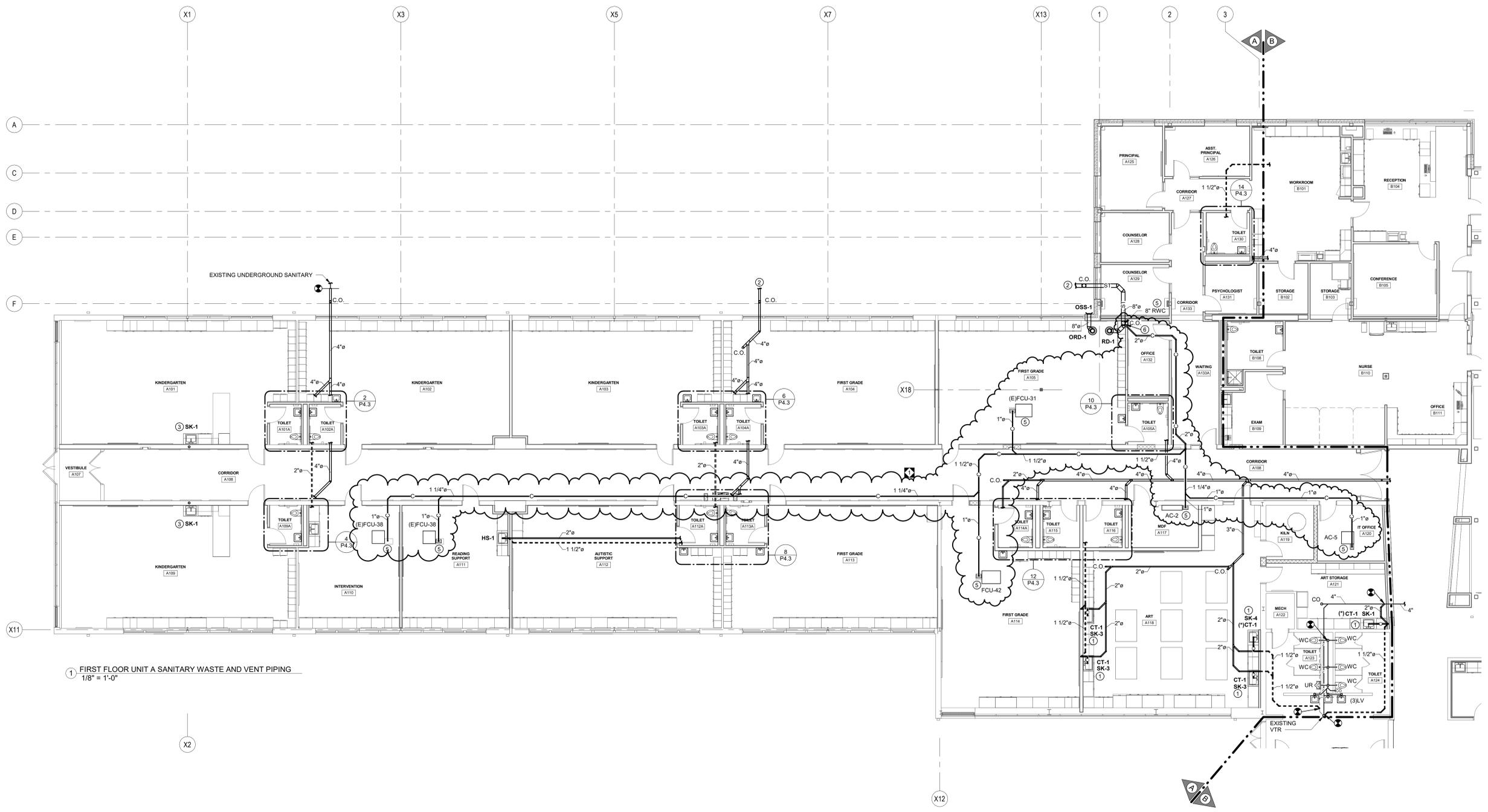
KEY PLAN



REVISIONS

NO.	DATE	NAME	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1

- DRAWING NOTES:**
- ALL ART CLASSROOM SINKS SHALL BE INTEGRAL WITH THE COUNTER TOP FURNISHED AND INSTALLED BY THE G.C. THE P.C SHALL BE RESPONSIBLE TO FURNISH AND INSTALL A SOLID INTERCEPTOR CT-1 TO ALL ART SINK. SOLIDS INTERCEPTOR FOR ADA SINK SHALL BE LOCATED IN ADJACENT CABINET NOTED WITH AN ASTERISK (*).
 - RUN SANITARY PIPING 5'-0" FROM BUILDING AND CONNECT TO SITE PIPING. PROVIDE CLEANOUT.
 - INSTALL NEW FIXTURE AND CONNECT TO EXISTING SANITARY AND VENT PIPING.
 - RUN STORM WATER (RWC) DOWN TO BELOW FLOOR. PROVIDE CLEANOUT AT BASE.
 - CONNECT CONDENSATE FROM UNIT TO A CONDENSATE PUMP AND RISE TO BOTTOM OF STRUCTURE. PROVIDE CLEANOUT. RUN PIPING AS HIGH AS POSSIBLE WITH SLOPE.
 - RUN CONDENSATE FROM CONDENSATE PUMP AND CONNECT TO A STORM RISER PER DETAIL.



1 FIRST FLOOR UNIT A SANITARY WASTE AND VENT PIPING
1/8" = 1'-0"

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FIRST FLOOR UNIT A
SANITARY WASTE & VENT
PIPING

PLOT SCALE:
1/8" = 1'-0"

FILENAME:
24066

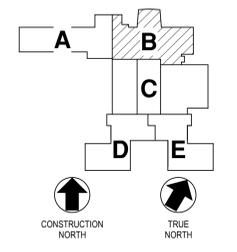
DATE:
MARCH 10, 2025

PROJECT
3758

P3.1

- DRAWING NOTES:**
- P.C. SHALL FIELD VERIFY EXISTING INVERT ELEVATION AND SIZE IN FIELD PRIOR TO ANY INSTALLATION.
 - RUN SANITARY PIPING 5'-0" FROM BUILDING AND CONNECT TO SITE PIPING. PROVIDE CLEANOUT.
 - RUN STORM PIPING 5'-0" FROM BUILDING AND CONNECT TO SITE PIPING. PROVIDE CLEANOUT.
 - RUN STORM WATER (RWC) DOWN TO BELOW FLOOR. PROVIDE CLEANOUT AT BASE.
 - CONNECT CONDENSATE FROM UNIT TO A CONDENSATE PUMP AND RISE TO BOTTOM OF STRUCTURE. PROVIDE CLEANOUT. RUN PIPING AS HIGH AS POSSIBLE WITH SLOPE.
 - DROP CONDENSATE IN WALL TO SPILL ON GRADE ONTO A SPLASH BLOCK. REFER TO DETAIL.

KEY PLAN



REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1

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FIRST FLOOR UNIT B
 SANITARY WASTE & VENT
 PIPING

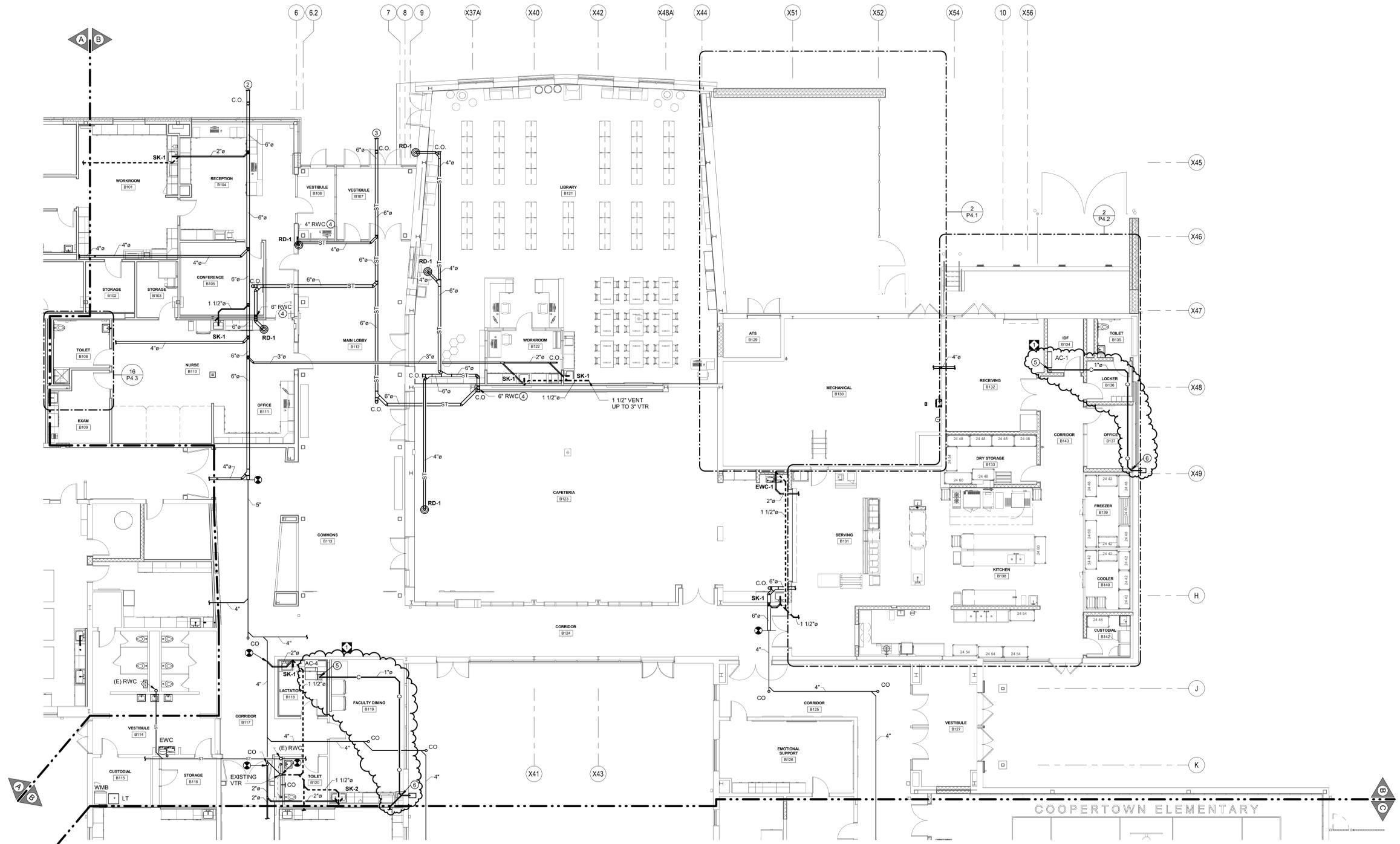
PLOT SCALE:
 1/8" = 1'-0"

FILENAME:
 24066

DATE:
 MARCH 10, 2025

PROJECT
 3758

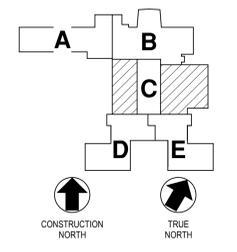
P3.2



1 FIRST FLOOR UNIT B SANITARY WASTE AND VENT PIPING
 1/8" = 1'-0"

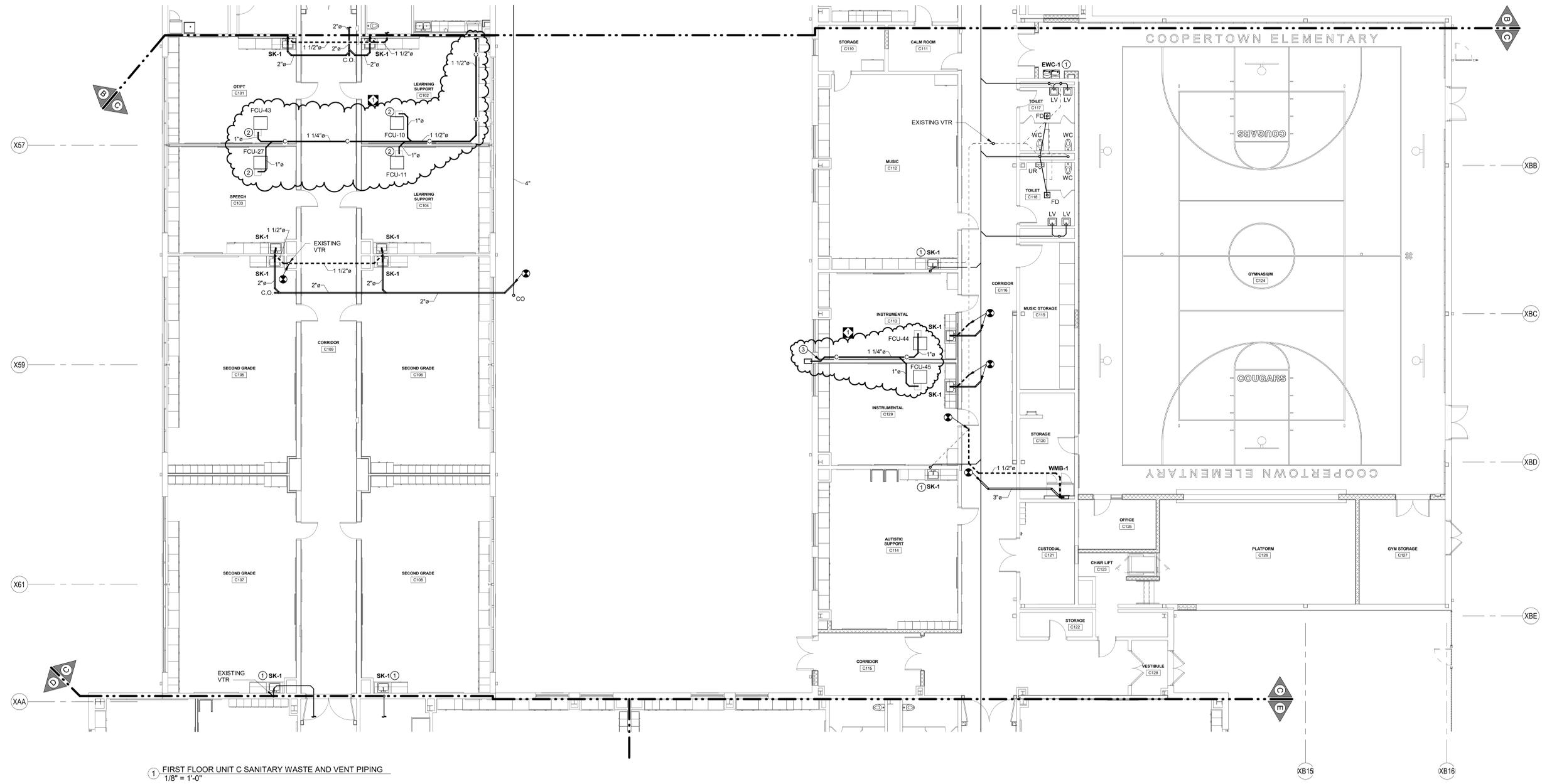
- DRAWING NOTES:**
1. INSTALL NEW FIXTURE AND CONNECT TO EXISTING SANITARY AND VENT PIPING.
 2. CONNECT CONDENSATE FROM UNIT TO A CONDENSATE PUMP AND RISE TO BOTTOM OF STRUCTURE. PROVIDE CLEANOUT. RUN PIPING AS HIGH AS POSSIBLE WITH SLOPE.
 3. DROP CONDENSATE IN WALL TO SPILL ON GRADE ONTO A SPLASH BLOCK. REFER TO DETAIL.

KEY PLAN



REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1



1 FIRST FLOOR UNIT C SANITARY WASTE AND VENT PIPING
1/8" = 1'-0"

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FIRST FLOOR UNIT C
SANITARY WASTE & VENT
PIPING

PLOT SCALE:
1/8" = 1'-0"

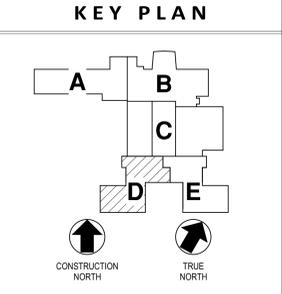
FILENAME:
24066

DATE:
MARCH 10, 2025

PROJECT
3758

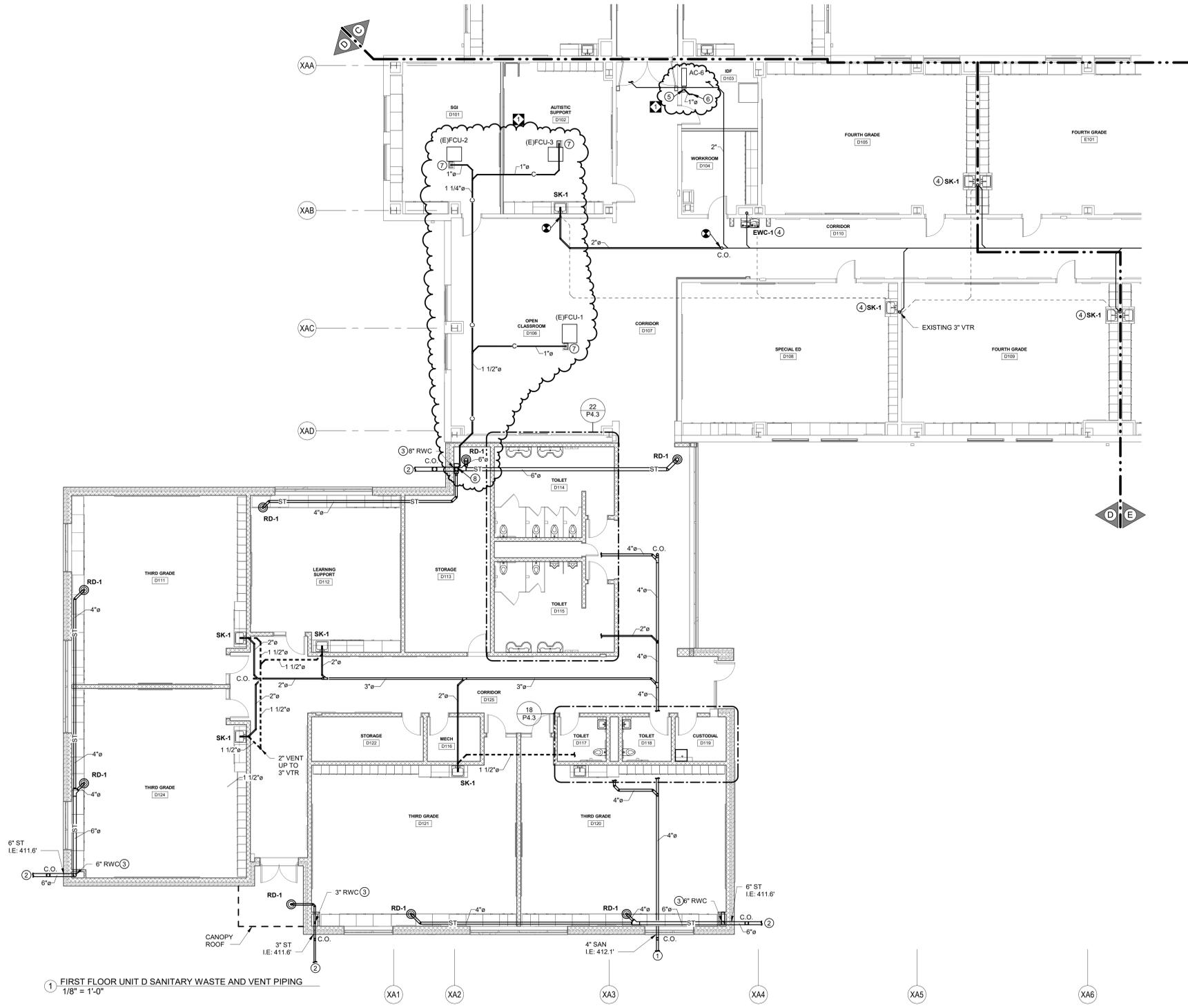
P3.3

- DRAWING NOTES:**
- RUN SANITARY PIPING 5'-0" FROM BUILDING AND CONNECT TO SITE PIPING PROVIDE CLEANOUT.
 - RUN STORM PIPING 5'-0" FROM BUILDING AND CONNECT TO SITE PIPING PROVIDE CLEANOUT.
 - RUN STORM WATER (RWC) DOWN TO BELOW FLOOR, PROVIDE CLEANOUT AT BASE.
 - INSTALL NEW FIXTURE AND CONNECT TO EXISTING SANITARY AND VENT PIPING.
 - CONNECT CONDENSATE FROM UNIT TO A CONDENSATE PUMP.
 - RUN CONDENSATE PIPE UP TO ROOF TO DISCHARGE ONTO A SPLASH BLOCK. PROVIDE SPLASH BLOCK.
 - CONNECT CONDENSATE FROM UNIT TO A CONDENSATE PUMP AND RISE TO BOTTOM OF STRUCTURE. PROVIDE CLEANOUT. RUN PIPING AS HIGH AS POSSIBLE WITH SLOPE.
 - DROP CONDENSATE IN WALL TO SPILL ON GRADE ONTO A SPLASH BLOCK. REFER TO DETAIL.



REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGES
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1 FIRST FLOOR UNIT D SANITARY WASTE AND VENT PIPING
1/8" = 1'-0"

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FIRST FLOOR UNIT D
SANITARY WASTE & VENT
PIPING

PLOT SCALE
1/8" = 1'-0"

FILENAME:
24066

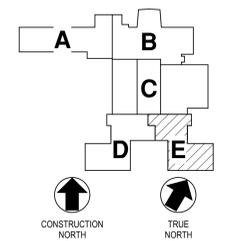
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MARCH 10, 2025

PROJECT
3758

P3.4

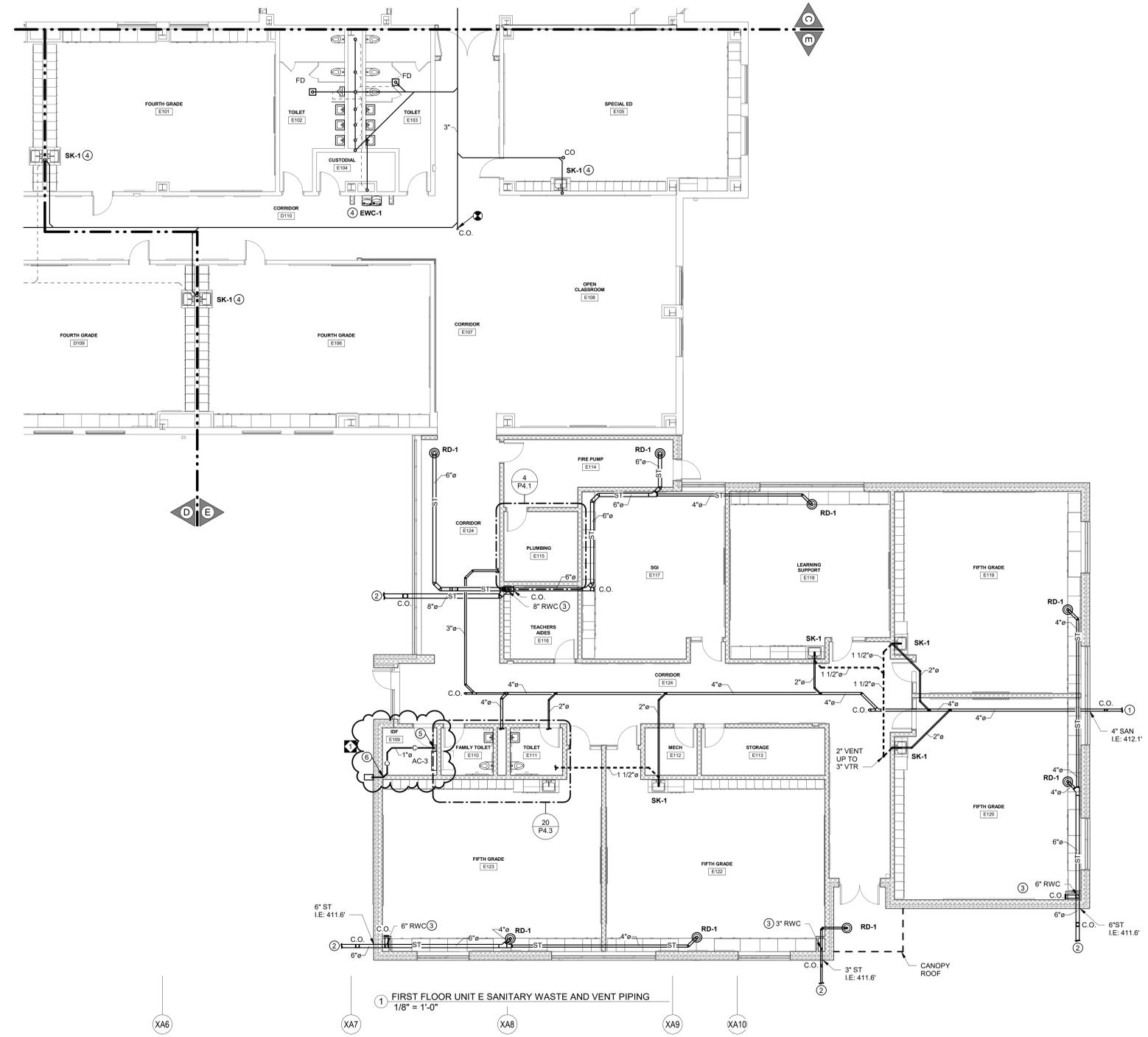
- DRAWING NOTES:**
1. RUN SANITARY PIPING 5'-0" FROM BUILDING AND CONNECT TO SITE PIPING. PROVIDE CLEANOUT.
 2. RUN STORM PIPING 5'-0" FROM BUILDING AND CONNECT TO SITE PIPING. PROVIDE CLEANOUT.
 3. RUN STORM WATER (RWC) DOWN TO BELOW FLOOR. PROVIDE CLEANOUT AT BASE.
 4. INSTALL NEW FIXTURE AND CONNECT TO EXISTING SANITARY AND VENT PIPING.
 5. CONNECT CONDENSATE FROM UNIT TO A CONDENSATE PUMP AND RISE TO BOTTOM OF STRUCTURE. PROVIDE CLEANOUT. RUN PIPING AS HIGH AS POSSIBLE WITH SLOPE.
 6. DROP CONDENSATE IN WALL TO SPILL ON GRADE ONTO A SPLASH BLOCK. REFER TO DETAIL.

KEY PLAN



REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1



1 FIRST FLOOR UNIT E SANITARY WASTE AND VENT PIPING
1/8" = 1'-0"

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FIRST FLOOR UNIT E
SANITARY WASTE & VENT
PIPING

PLOT SCALE
1/8" = 1'-0"

FILENAME:
24066

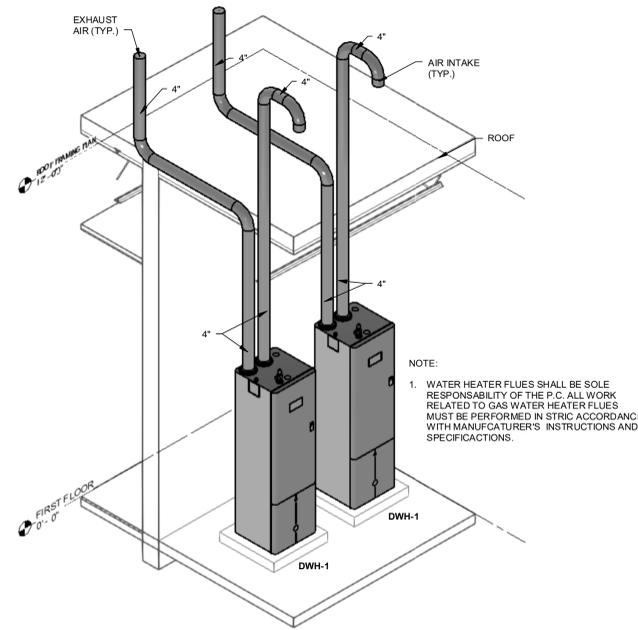
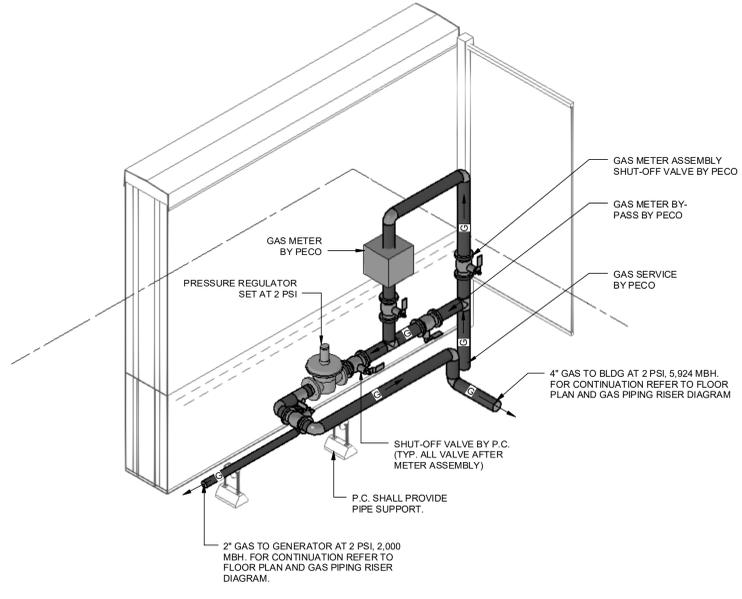
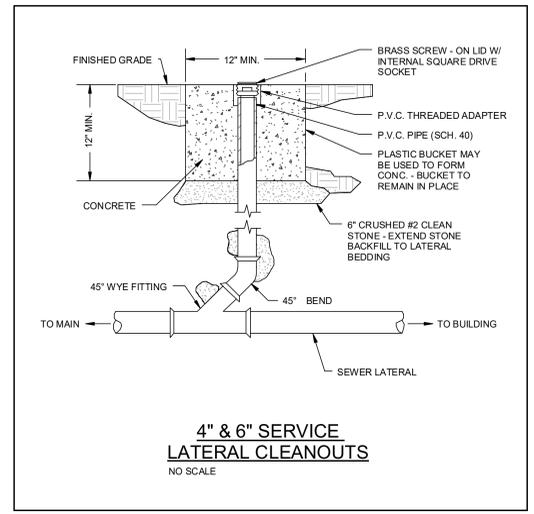
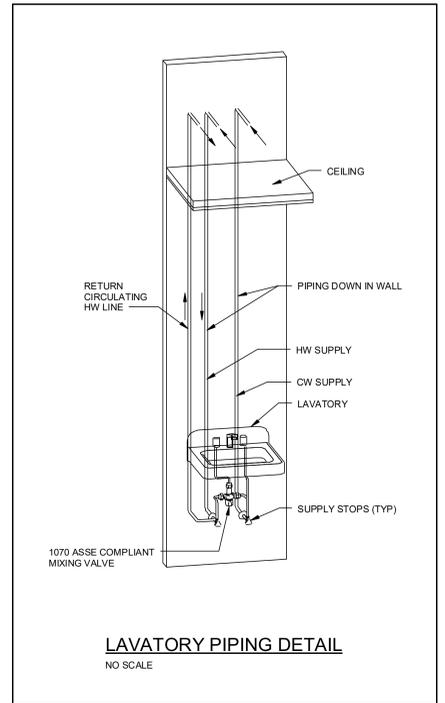
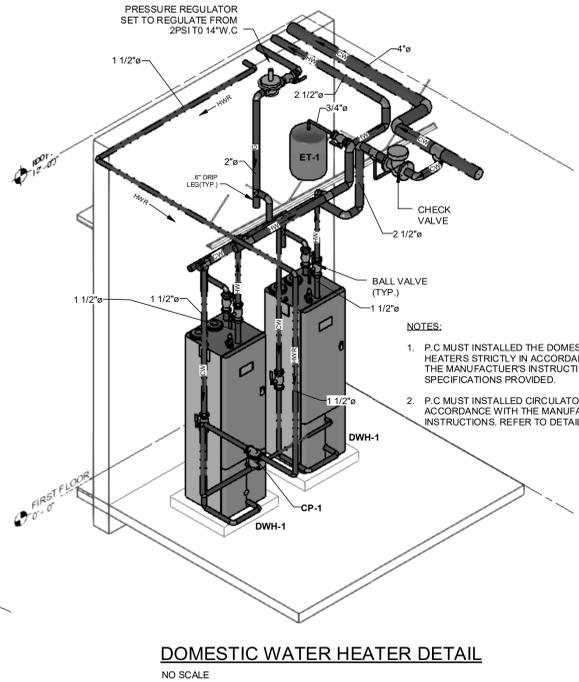
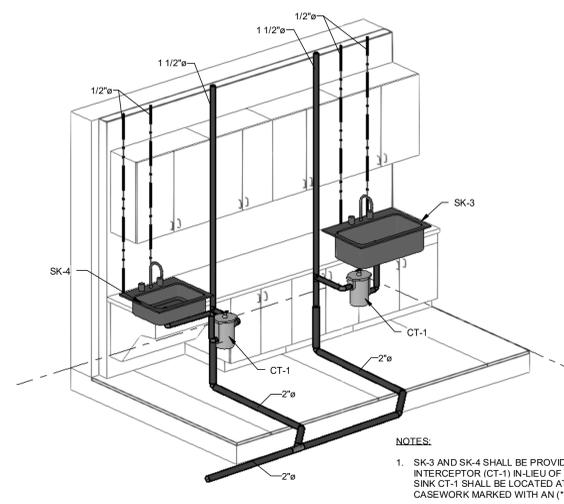
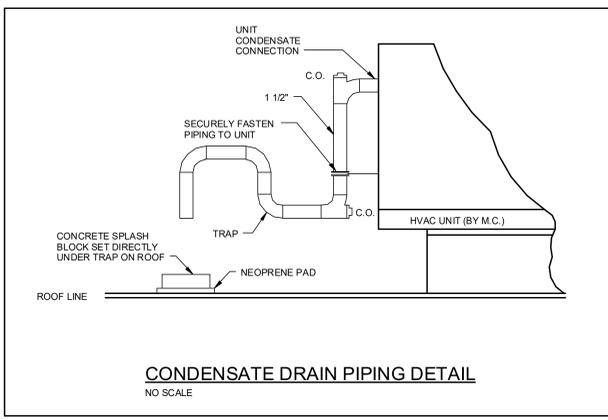
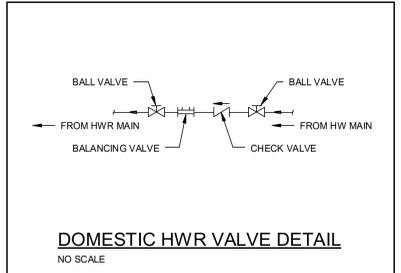
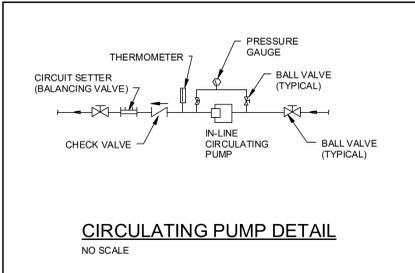
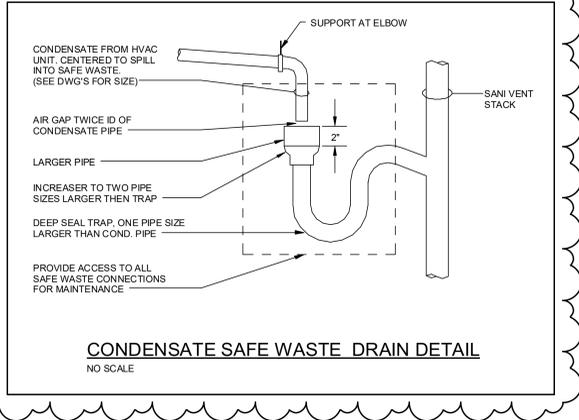
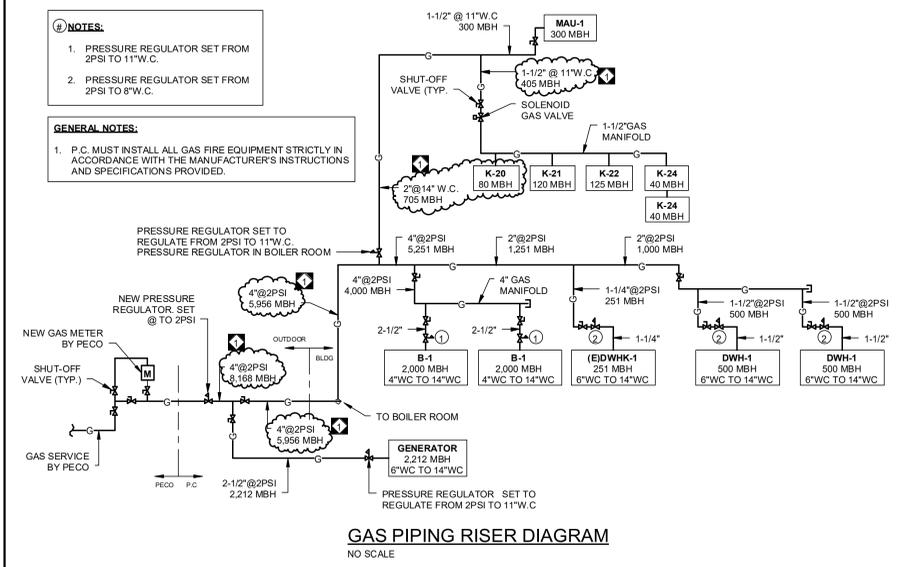
DATE:
MARCH 10, 2025

PROJECT
3758

P3.5

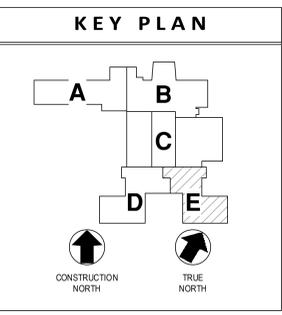
- NOTES:**
1. PRESSURE REGULATOR SET FROM 2PSI TO 11"W.C.
 2. PRESSURE REGULATOR SET FROM 2PSI TO 8"W.C.

- GENERAL NOTES:**
1. P.C. MUST INSTALL ALL GAS FIRE EQUIPMENT STRICTLY IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS PROVIDED.



MOORE
ENGINEERING COMPANY
3637 Columbia Avenue
Lancaster PA 17603
P. 717.295.3141
MooreEngineering.com

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REVISIONS

NO.	DATE	NAME	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1

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DETAILS	PROJECT 3758
PLOTS/SCALE As indicated	P5.1
FILENAME 240466	
DATE MARCH 10, 2025	



- GENERAL NOTES:**
1. PATCH AND RESTORE SITE TO MATCH EXISTING CONDITIONS WHERE EXCAVATION DISTURBS EXISTING TO REMAIN SURFACES.
 2. COORDINATE HANDHOLES AS REQUIRED WITH ARCHITECT/OWNER, NEW WORK PLANS AND EXISTING CONDITIONS.
 3. PROVIDE PULL STRINGS IN ALL UNUSED/SPARE CONDUITS AND CAP OFF FOR FUTURE USE.
 4. LIGHTING FIXTURES MUST BE COMPATIBLE WITH CONTROLS. PROVIDE ADDITIONAL CONTROLLERS, WIRING/CONDUIT AND DEVICES AS REQUIRED FOR COMPLETE AND OPERATIONAL SYSTEM.

- DRAWING NOTES:**
1. WIRE THROUGH RELAY PANEL LCPA TO CIRCUIT INDICATED.
 2. WIRE THROUGH RELAY PANEL LCPE TO CIRCUIT INDICATED.
 3. PROVIDE POLE BASE PER DETAIL 6/E9.1.
 4. 13" x 24" x 24" DEEP HANDHOLE.
 5. 13" x 13" x 13" DEEP HANDHOLE.
 6. 3#10 + 1#10 GND IN 1" CONDUIT PER DETAIL 1/E9.1.
 7. 3#10 + 1#10 GND IN 1" CONDUIT + 1" SPARE CONDUIT PER DETAIL 1/E9.2.
 8. 3#8 + 1#8 GND IN 1" CONDUIT PER DETAIL 1/E9.1.
 9. 3#8 + 1#8 GND IN 1" CONDUIT + 1" SPARE CONDUIT PER DETAIL 1/E9.2.



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NO.	DATE	BY	DESCRIPTION OF CHANGES
01	03-19-2025		ADDENDUM 1

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SITE PLAN - LIGHTING
 PLOT SCALE AS INDICATED
 FILENAME: 24066
 DATE: MARCH 10, 2025

PROJECT
 3758
E2.0

① SITE PLAN - LIGHTING
 1" = 40'-0"

GENERAL NOTES:

1. ALL EX1 EXIT SIGNS ARE EXISTING AND TO BE REMOVED/REINSTALLED AS REQUIRED FOR CONSTRUCTION. EX1A EXIT SIGNS ARE NEW. PROVIDE A NEW EXIT SIGN CIRCUIT AND CONNECT ALL EXIT SIGNS (EX1/EX1A) TO CIRCUIT ELA1-19.
2. LIGHTING ROOM CONTROLLER LOCATIONS SHOWN ON DRAWINGS ARE FOR REFERENCE ONLY. MOUNT LIGHTING ROOM CONTROLLERS ABOVE ACCESSIBLE CEILINGS AT OR CLOSE TO ROOM/AREA ENTRANCES WHERE POSSIBLE.
3. LIGHTING FIXTURES MUST BE COMPATIBLE WITH CONTROLS IN ALL SPACES. PROVIDE ADDITIONAL CONTROLLERS, WIRING/CONDUIT AND DEVICES AS REQUIRED FOR COMPLETE AND OPERABLE SYSTEM.

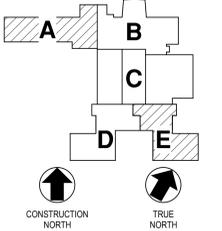
DRAWING NOTES:

1. REINSTALL EXISTING LIGHTING AS SHOWN. REWORK EXISTING WIRING/CONDUIT AND PROVIDE NEW AS REQUIRED FOR THE NEW LAYOUT.
2. LIGHTING AND CONTROLS IN THIS SPACE ARE EXISTING TO REMAIN. PROVIDE REWORK OF EXISTING WIRING/CONDUIT AS REQUIRED FOR CONSTRUCTION.
3. WIRE CIRCUIT THRU RELAY PANEL LCPA.
4. EXISTING EMERGENCY LIGHTING CONTROL RELAY(S)/CONTROLLER(S). REINSTALL IN ACCESSIBLE LOCATION TO BE COORDINATED WITH CONSTRUCTION AND OTHER TRADES.
5. EXISTING LIGHTING CONTROL RELAY(S)/CONTROLLERS. REINSTALL IN ACCESSIBLE LOCATION TO BE COORDINATED WITH CONSTRUCTION AND OTHER TRADES.
6. EXISTING LIGHTING AND CONTROLS TO REMAIN. HOMERUN TO CIRCUIT INDICATED.
7. EXISTING DISPLAY CASE LIGHT TO REMAIN. REWIRE AS SHOWN.
8. CONNECT TYPE OC1 FIXTURES IN CANOPY TO CANOPY ROOM CONTROLLER SHOWN ON DRAWING E2.2.
9. CONTINUED ON DRAWING E2.2 FOR TYPE OW2B FIXTURES.
10. DAYLIGHT ZONE.
11. CONNECT TO ROOM CONTROLLERS IN CORRIDOR A108.
12. SPACE TYPE OQ1 FIXTURES 120 DEGREES AROUND FLAG POLE.
13. REINSTALL EXISTING LIGHTS AND LIGHTING CONTROL DEVICES IN THIS SPACE. PROVIDE REWORK OF EXISTING WIRING/CONDUIT AND PROVIDE NEW AS REQUIRED FOR CONSTRUCTION.



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REVISIONS

NO.	DATE	NAME	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1

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FIRST FLOOR UNIT A
 LIGHTING

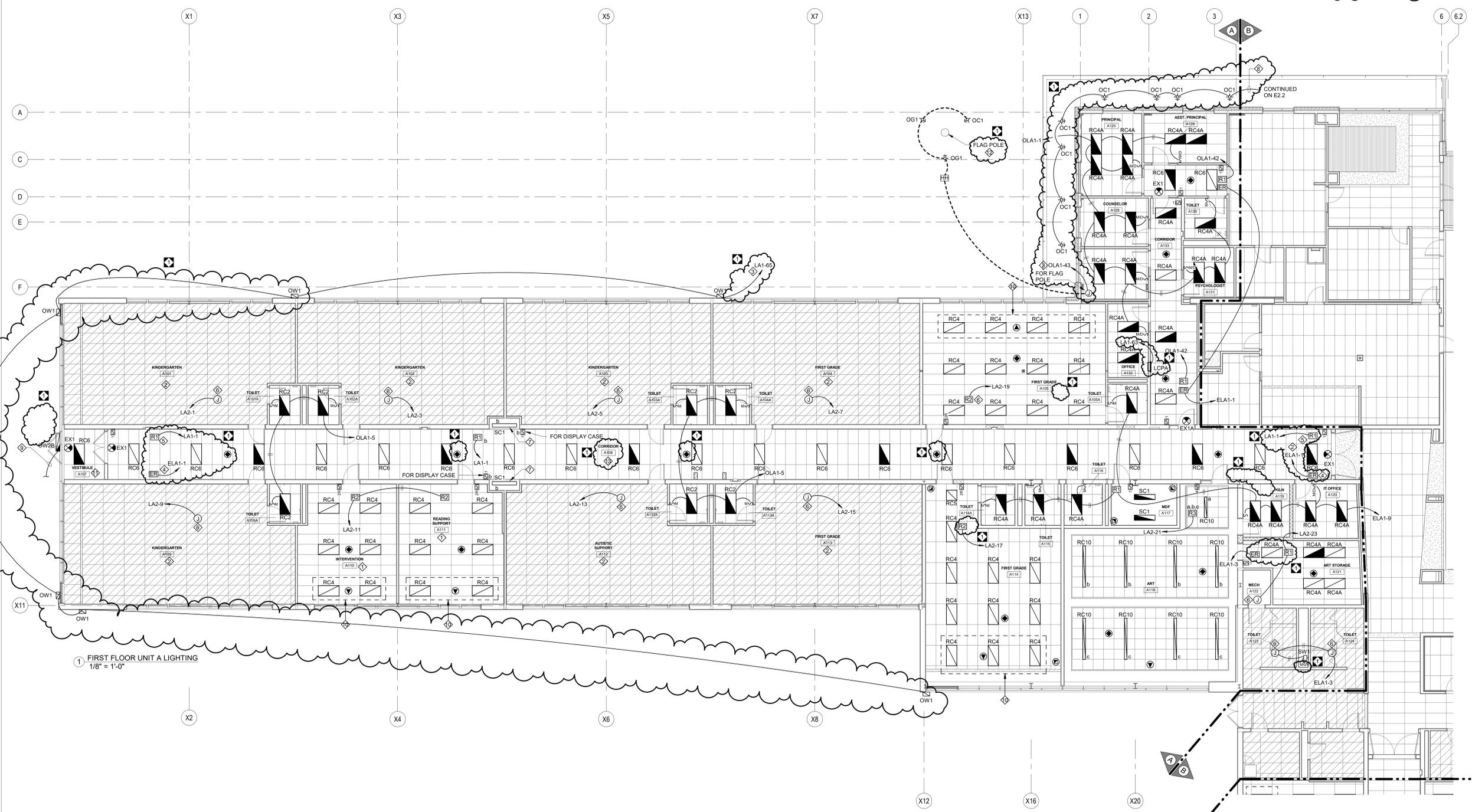
PLOT SCALE:
 1/8" = 1'-0"

FILENAME:
 24066

DATE:
 MARCH 10, 2025

PROJECT
 3758

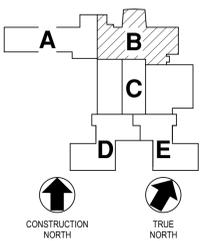
E2.1



1 FIRST FLOOR UNIT A LIGHTING
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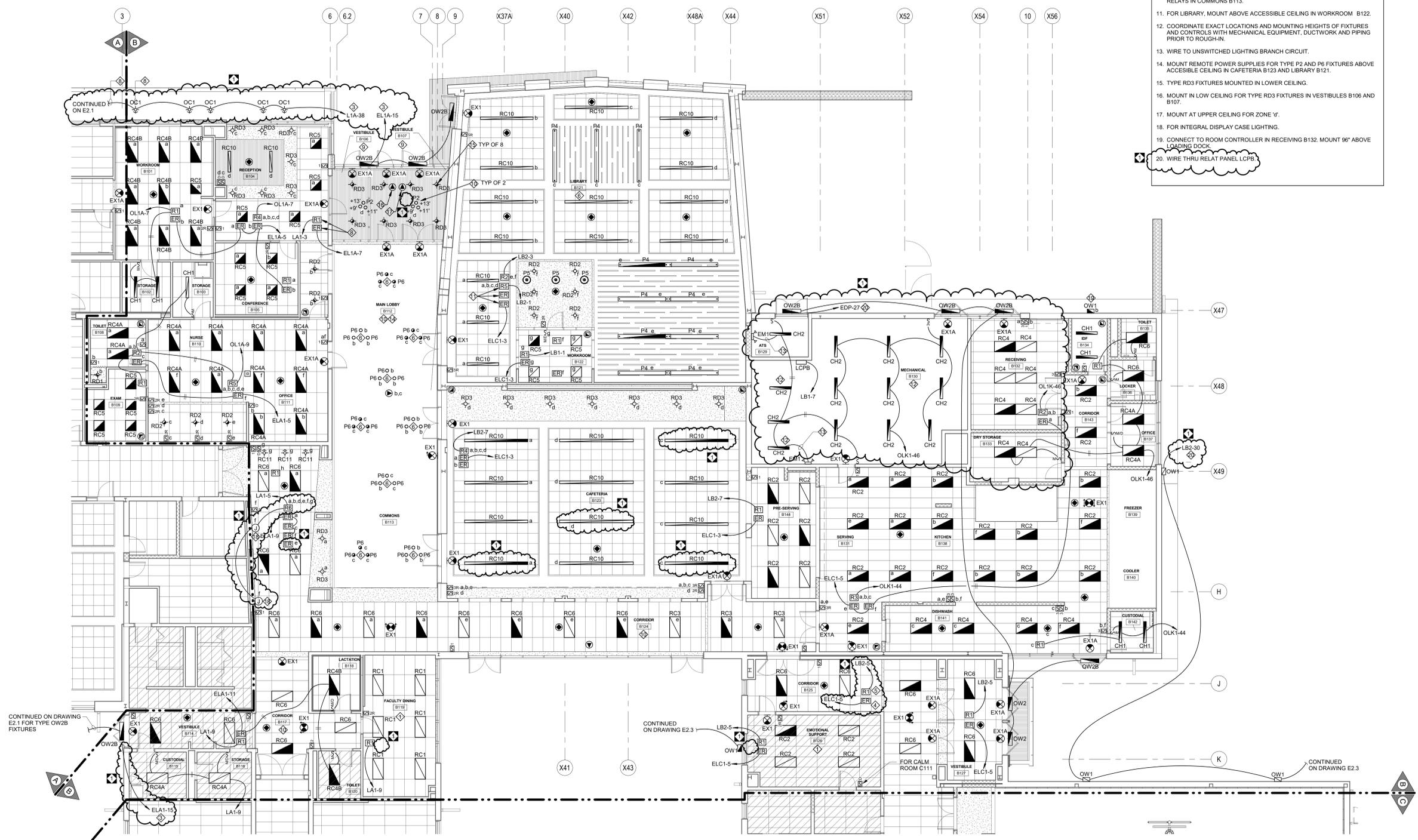
NO.	DATE	BY	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1

GENERAL NOTES:

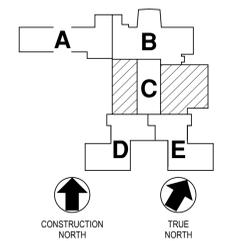
- ALL EX1 EXIT SIGNS ARE EXISTING AND TO BE REMOVED/REINSTALLED AS REQUIRED FOR CONSTRUCTION. EX1A EXIT SIGNS ARE NEW. PROVIDE NEW EXIT SIGN CIRCUITS AND CONNECT EXIT SIGNS (EX1/EX1A) WEST OF LIBRARY B121 AND CAFETERIA B123 TO ELA1-19 AND REMAINING AREA TO ELC1-18.
- LIGHTING ROOM CONTROLLER LOCATIONS SHOWN ON DRAWINGS ARE FOR REFERENCE ONLY. MOUNT LIGHTING ROOM CONTROLLERS ABOVE ACCESSIBLE CEILING AT OR CLOSE TO ROOM/AREA ENTRANCES WHERE POSSIBLE.
- LIGHTING FIXTURES MUST BE COMPATIBLE WITH CONTROLS IN ALL SPACES. PROVIDE ADDITIONAL CONTROLLERS, WIRING/CONDUIT AND DEVICES AS REQUIRED FOR COMPLETE AND OPERABLE SYSTEM.

DRAWING NOTES:

- REINSTALL EXISTING LIGHTING AS SHOWN. REWORK EXISTING WIRING/CONDUIT AND PROVIDE NEW AS REQUIRED FOR THE NEW LAYOUT.
- LIGHTING AND CONTROLS IN THIS SPACE ARE EXISTING TO REMAIN. PROVIDE REWORK OF EXISTING WIRING/CONDUIT AS REQUIRED FOR CONSTRUCTION.
- WIRE THRU RELAY LCPB.
- EXISTING EXISTING EMERGENCY LIGHTING CONTROL RELAY(S)/CONTROLLER(S). REINSTALL IN ACCESSIBLE LOCATION TO BE COORDINATED WITH CONSTRUCTION AND OTHER TRADES.
- EXISTING LIGHTING CONTROL RELAY(S)/CONTROLLERS. REINSTALL IN ACCESSIBLE LOCATION TO BE COORDINATED WITH CONSTRUCTION AND OTHER TRADES.
- WITHIN EACH CLUSTER OF P6 FIXTURES, ONE SHALL BE MOUNTED AT 11' AFF TO BOTTOM OF FIXTURE, ONE AT 13' AND ONE AT 15'. RANDOMIZE HEIGHTS BETWEEN CLUSTERS OF THREE. REFER TO ARCHITECTURAL ELEVATIONS OF SPACE.
- LOCATE ROOM CONTROLLER FOR CANOPY TYPE OC1 AND TYPE OW1 FIXTURES IN STORAGE ROOM B102. WIRE TYPE OC1 FIXTURES IN ONE ZONE AND TYPE OW1 FIXTURES TO SECOND ZONE.
- FOR VESTIBULE B106 AND B107, P2 FIXTURES.
- ROOM LIGHTING CONTROL FOR VESTIBULE B106 AND B107 LOCATED ABOVE ACCESSIBLE CEILING IN RECEPTION B104.
- CONNECT TO ROOM LIGHT CONTROLLERS AND EMERGENCY OVERRIDE RELAYS IN COMMONS B113.
- FOR LIBRARY, MOUNT ABOVE ACCESSIBLE CEILING IN WORKROOM B122.
- COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHTS OF FIXTURES AND CONTROLS WITH MECHANICAL EQUIPMENT, DUCTWORK AND PIPING PRIOR TO ROUGH-IN.
- WIRE TO UNSWITCHED LIGHTING BRANCH CIRCUIT.
- MOUNT REMOTE POWER SUPPLIES FOR TYPE P2 AND P6 FIXTURES ABOVE ACCESSIBLE CEILING IN CAFETERIA B123 AND LIBRARY B121.
- TYPE RD3 FIXTURES MOUNTED IN LOWER CEILING.
- MOUNT IN LOW CEILING FOR TYPE RD3 FIXTURES IN VESTIBULES B106 AND B107.
- MOUNT AT UPPER CEILING FOR ZONE 'f'.
- FOR INTEGRAL DISPLAY CASE LIGHTING.
- CONNECT TO ROOM CONTROLLER IN RECEIVING B132. MOUNT 96" ABOVE LOADING DOCK.
- WIRE THRU RELAT PANEL LCPB.



KEY PLAN



REVISIONS

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 - ROOM LIGHTING CONTROL IN EMOTIONAL SUPPORT B126. NO LIGHTING CONTROL IN THIS ROOM.
 - LIGHTING ROOM CONTROLLER LOCATIONS SHOWN ON DRAWINGS ARE FOR REFERENCE ONLY. MOUNT LIGHTING ROOM CONTROLLERS ABOVE ACCESSIBLE CEILING AT OR CLOSE TO ROOM/AREA ENTRANCES WHERE POSSIBLE.
 - LIGHTING FIXTURES MUST BE COMPATIBLE WITH CONTROLS IN ALL SPACES. PROVIDE ADDITIONAL CONTROLLERS, WIRING/CONDUIT AND DEVICES AS REQUIRED FOR COMPLETE AND OPERABLE SYSTEM.

- DRAWING NOTES:**
- REINSTALL EXISTING LIGHTING AS SHOWN. REWORK EXISTING WIRING/CONDUIT AND PROVIDE NEW AS REQUIRED FOR THE NEW LAYOUT.
 - UNLESS OTHERWISE NOTED, LIGHTING AND CONTROLS IN THIS SPACE ARE EXISTING TO REMAIN. PROVIDE REWORK OF EXISTING WIRING/CONDUIT AS REQUIRED FOR THE NEW LAYOUT.
 - WIRE THRU RELAY PANEL LC0D.
 - EXISTING EMERGENCY LIGHTING CONTROL RELAY(S)/CONTROLLER(S) REINSTALL IN ACCESSIBLE LOCATION TO BE COORDINATED WITH CONSTRUCTION AND OTHER TRADES.
 - EXISTING LIGHTING RELAY(S)/CONTROLLERS. REINSTALL IN ACCESSIBLE LOCATION TO BE COORDINATED WITH CONSTRUCTION AND OTHER TRADES.
 - MOUNT INSIDE FLUSH MOUNTED TELEPHONE CABINET WITH LOCKABLE HINGED COVER.
 - MOUNT ROOM CONTROLLERS FOR GYMNASIUM C124 IN STORAGE C120.
 - COORDINATE FINAL LOCATION AND MOUNTING HEIGHTS IN FIELD PRIOR TO ROUGH-IN. COORDINATE WITH THEATRICAL RIGGING, EQUIPMENT AND LIGHTING. MOUNT TYPE CH1 FIXTURES AT APPROXIMATELY 21' ABOVE PLATFORM.
 - LIGHTING AND LIGHTING CONTROLS IN ROOM CONTROLLED BY ROOM CONTROLLERS IN PLATFORM C126.
 - PROVIDE LIGHT IN EXISTING DISPLAY CASE. CONNECT DISPLAY CASE ROOM CONTROLLER TO CORRIDOR LIGHTING CIRCUIT AND CONTROL.
 - LIGHTS AND LIGHTING CONTROLS IN THIS CORRIDOR SHALL BE CONNECTED AND CONTROLLED BY ROOM CONTROLLERS AND EMERGENCY OVERRIDE RELAY IN CORRIDOR B125 SHOWN ON DWG. E2.2.
 - EXISTING LIGHTING AND CONTROLS TO REMAIN. HOMERUN TO CIRCUIT INDICATED.
 - THEATRICAL RELAY PANEL ND.
 - PROVIDE THEATRICAL FRONT-OF-HOUSE (FOH) CAGE PROTECTION. COORDINATE EXACT LOCATION OF FOH WITH GYMNASIUM BACKSTOP SUPPORTS. HVAC AND GENERAL AREA LIGHTING. PROVIDE FIXTURE SUPPORTS BETWEEN BEAMS AS REQUIRED.
 - MOUNT ROOM LIGHTING CONTROLLER AND CONTROLS IN EMOTIONAL SUPPORT B126. NO LIGHTING CONTROLS SHALL BE MOUNTED IN THIS ROOM.
 - NOT USED.
 - DAYLIGHT ZONE.
 - PROGRAM ZONE 'b' TO NOT SHUTOFF BY OCCUPANCY SENSOR.
 - REINSTALL EXISTING LIGHTS AND LIGHTING CONTROL DEVICES IN THIS SPACE. PROVIDE REWORK OF EXISTING WIRING/CONDUIT AND PROVIDE NEW AS REQUIRED FOR CONSTRUCTION.

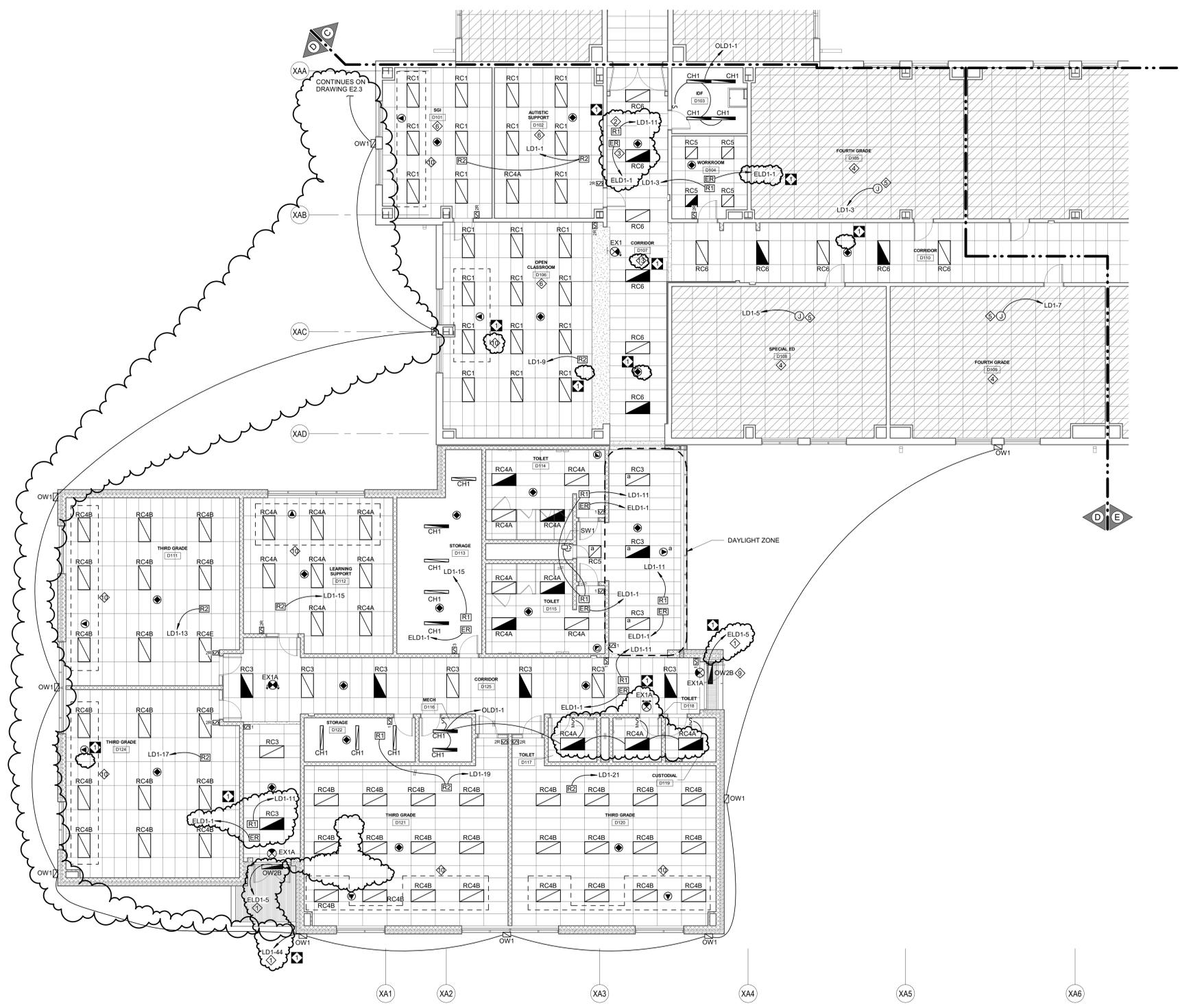


GENERAL NOTES:

1. ALL EX1 EXIT SIGNS ARE EXISTING AND TO BE REMOVED/REINSTALLED AS REQUIRED FOR CONSTRUCTION. EX1A EXIT SIGNS ARE NEW. PROVIDE A NEW EXIT SIGN CIRCUIT AND CONNECT ALL EXIT SIGNS (EX1/EX1A) IN THIS AREA TO CIRCUIT ELD1-3.
2. LIGHTING ROOM CONTROLLER LOCATIONS SHOWN ON DRAWINGS ARE FOR REFERENCE ONLY. MOUNT LIGHTING ROOM CONTROLLERS ABOVE ACCESSIBLE CEILING AT OR CLOSE TO ROOM/AREA ENTRANCES WHERE POSSIBLE.
3. LIGHTING FIXTURES MUST BE COMPATIBLE WITH CONTROLS IN ALL SPACES. PROVIDE ADDITIONAL CONTROLLERS, WIRING/CONDUIT AND DEVICES AS REQUIRED FOR COMPLETE AND OPERABLE SYSTEM.

DRAWING NOTES:

1. WIRE THRU RELAY PANEL LCPCD.
2. EXISTING EMERGENCY LIGHTING CONTROL RELAY(S)/CONTROLLER(S) REINSTALL IN ACCESSIBLE LOCATION TO BE COORDINATED WITH CONSTRUCTION AND OTHER TRADES.
3. EXISTING EXISTING LIGHTING CONTROL RELAY(S)/CONTROLLERS. REINSTALL IN ACCESSIBLE LOCATION TO BE COORDINATED WITH CONSTRUCTION AND OTHER TRADES.
4. LIGHTING AND CONTROLS IN THIS SPACE ARE EXISTING TO REMAIN. PROVIDE REWORK OF EXISTING WIRING/CONDUIT AS REQUIRED FOR CONSTRUCTION.
5. EXISTING LIGHTING AND CONTROLS TO REMAIN. HOMERUN TO CIRCUIT INDICATED.
6. REINSTALL EXISTING LIGHTING AS SHOWN. REWORK EXISTING WIRING/CONDUIT AND PROVIDE NEW AS REQUIRED FOR THE NEW LAYOUT.
7. NOT USED
8. NOT USED
9. NOT USED
10. DAYLIGHT ZONE
11. REINSTALL EXISTING LIGHTS AND LIGHTING CONTROL DEVICES IN THIS SPACE. PROVIDE REWORK OF EXISTING WIRING/CONDUIT AND PROVIDE NEW AS REQUIRED FOR CONSTRUCTION

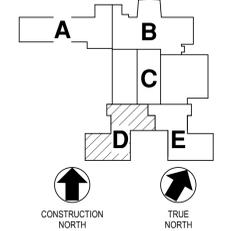


1 FIRST FLOOR UNIT D LIGHTING
1/8" = 1'-0"



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KEY PLAN



REVISIONS

NO.	DATE	BY	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1

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 401 EAST WINDING HILL ROAD
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TOWSON, MARYLAND
 CHARLOTTEVILLE, VIRGINIA
 WHITE SULPHUR SPRINGS, WEST VIRGINIA

ADDITIONS AND RENOVATIONS TO
COOPERTOWN ELEMENTARY SCHOOL
 SCHOOL DISTRICT OF HAVERFORD TOWNSHIP
 800 COOPERTOWN ROAD
 BRYN MAWR, PA. 19010



FIRST FLOOR UNIT D
 LIGHTING

PLOT SCALE
 1/8" = 1'-0"

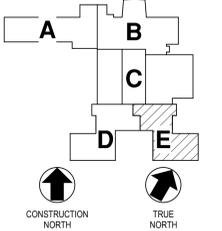
FILENAME
 24066

DATE
 MARCH 30, 2025

PROJECT
 3758

E2.4

KEY PLAN



REVISIONS

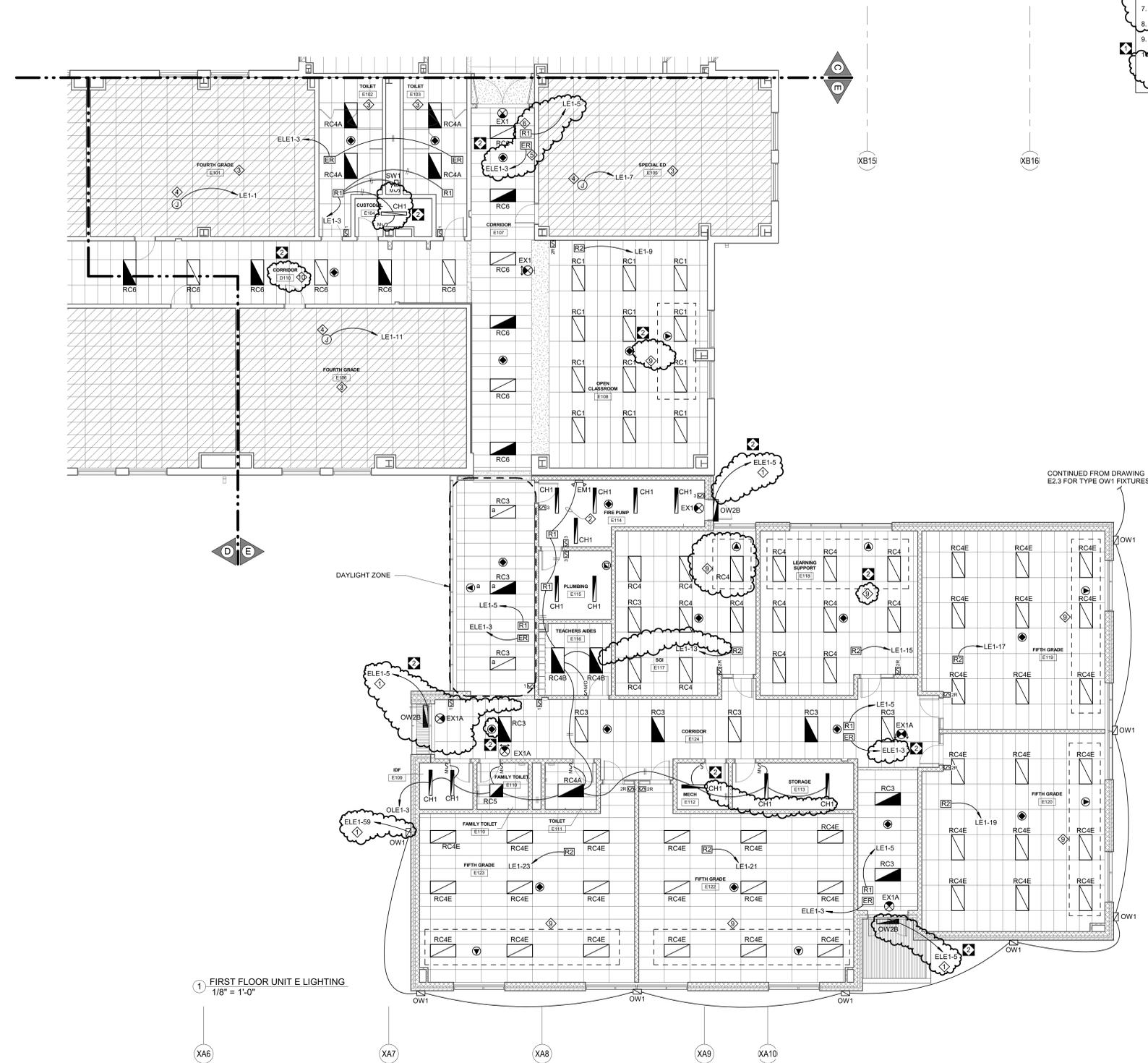
NO.	DATE	NAME	DESCRIPTION OF CHANGES
1	3/19/2025		ADDENDUM 1
2	3/30/2025		ADDENDUM 2

GENERAL NOTES:

- ALL EX1 EXIT SIGNS ARE EXISTING AND TO BE REMOVED/REINSTALLED AS REQUIRED FOR CONSTRUCTION. EX1A EXIT SIGNS ARE NEW. PROVIDE A NEW EXIT SIGN CIRCUIT AND CONNECT ALL EX1/EX1A IN THIS AREATO CIRCUIT ELE1-1.
- LIGHTING ROOM CONTROLLER LOCATIONS SHOWN ON DRAWINGS ARE FOR REFERENCE ONLY. MOUNT LIGHTING ROOM CONTROLLERS ABOVE ACCESSIBLE CEILINGS AT OR CLOSE TO ROOM/AREA ENTRANCES WHERE POSSIBLE.
- LIGHTING FIXTURES MUST BE COMPATIBLE WITH CONTROLS IN ALL SPACES. PROVIDE ADDITIONAL CONTROLLERS, WIRING/CONDUIT AND DEVICES AS REQUIRED FOR COMPLETE AND OPERABLE SYSTEM.

DRAWING NOTES:

- WIRE THRU RELAY PANEL LCPE.
- WIRE TO UNSWITCHED LIGHTING BRANCH CIRCUIT.
- LIGHTING AND CONTROLS IN THIS SPACE ARE EXISTING TO REMAIN. PROVIDE REWORK OF EXISTING WIRING/CONDUIT AS REQUIRED FOR CONSTRUCTION.
- EXISTING LIGHTING AND CONTROLS TO REMAIN. HOMERUN TO CIRCUIT INDICATED.
- EXISTING EMERGENCY LIGHTING CONTROL RELAY(S)/CONTROLLER(S); REINSTALL IN ACCESSIBLE LOCATION TO BE COORDINATED WITH CONSTRUCTION AND OTHER TRADES.
- EXISTING EMERGENCY LIGHTING CONTROL RELAY(S)/CONTROLLER(S); REINSTALL IN ACCESSIBLE LOCATION TO BE COORDINATED WITH CONSTRUCTION AND OTHER TRADES.
- NOT USED.
- NOT USED.
- DAYLIGHT ZONE.
- REINSTALL EXISTING LIGHT AND LIGHTING CONTROL DEVICES IN THIS SPACE. PROVIDE REWORK OF EXISTING WIRING/CONDUIT AND PROVIDE NEW AS REQUIRED FOR CONSTRUCTION.



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FIRST FLOOR UNIT E
LIGHTING

PLOT SCALE
1/8" = 1'-0"

FILENAME:
24066

DATE:
MARCH 30, 2025

PROJECT
3758

E2.5