

ALTERATION LEGEND	
TAG	REMARK
0 - ROOF	
0A	REMOVE PORTION OF EXISTING ROOF DECK, ROOFING MEMBRANE SYSTEM, FASCIA, SOFFIT AND GUTTER IN THEIR ENTIRETY FOR NEW CONSTRUCTION
0B	REMOVE PORTION OF GUTTER AND FASCIA IN THEIR ENTIRETY AND CUT BACK ROOFING FOR NEW CONSTRUCTION
0C	REMOVE AND RELOCATE DOWNSPOUT. PATCH AND PREPARE EXPOSED SURFACE FOR NEW WORK.
0D	REMOVE SECTION OF GUTTER, DOWNSPOUT, AND ALL ASSOCIATED COMPONENTS. PATCH AND PREPARE EXPOSED SURFACE FOR NEW WORK.
1 - WALL	
1A	REMOVE EXISTING WALL AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. WHERE WALLS CONTINUE BELOW THE EXISTING CONCRETE SLAB, REMOVE WALL TO MINIMUM DEPTH OF 8" BELOW EXISTING FINISHED FLOOR ELEVATION. PATCH AND PREPARE ADJACENT WALL, FLOOR & CEILING SURFACES FOR NEW CONSTRUCTION/FINISHES AS SCHEDULED. EXISTING COLUMNS AND OTHER STRUCTURAL COMPONENTS SHALL REMAIN, UNLESS OTHERWISE INDICATED ON STRUCTURAL DOCUMENTS.
1B	REMOVE PORTION OF EXISTING WALL AS INDICATED TO ACCOMMODATE NEW WORK AS SCHEDULED WHERE NEW OPENING IN WALL CONTINUES BELOW THE TOP OF EXISTING CONCRETE SLAB, REMOVE WALL TO MINIMUM DEPTH OF 8" BELOW EXISTING FINISHED FLOOR ELEVATION. PATCH AND PREPARE ADJACENT WALL, FLOOR & CEILING SURFACES FOR NEW CONSTRUCTION/FINISHES AS SCHEDULED.
1C	EXISTING OPENING TRIM TO BE REMOVED. PREPARE ADJACENT WALL AREAS FOR NEW FINISHES AS SCHEDULED. PATCH ALL HOLES, OPENINGS AND OTHER DAMAGED UNITS.
1D	REMOVE EXISTING WALL TILE (AND / OR BASE TILE) AND ALL ADHESIVES IN THEIR ENTIRETY. PATCH AND PREPARE ALL REMAINING FLOOR AND WALL SURFACES TO ACCOMMODATE NEW CONSTRUCTION AND FINISHES AS SCHEDULED.
1E	REMOVE EXISTING EXTERIOR BRICK FACE AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH AND PREPARE THE REMAINING SURFACES TO RECEIVE NEW WORK AS SCHEDULED.
1F	REMOVE EXISTING WALL PANELS AND ALL RELATED COMPONENTS IN THEIR ENTIRETY. PATCH AND PREPARE WALL, FLOOR & CEILING SURFACES FOR NEW CONSTRUCTION/FINISHES AS SCHEDULED.
1G	REMOVE PORTION OF EXISTING WALL AS INDICATED TO ACCOMMODATE NEW WORK AS SCHEDULED WHERE NEW OPENING IN WALL CONTINUES BELOW THE TOP OF EXISTING CONCRETE SLAB, REMOVE WALL TO MINIMUM DEPTH OF 8" BELOW EXISTING FINISHED FLOOR ELEVATION. SALVAGE STONE VENEER TO TOOTH IN AROUND NEW OPENING. PATCH AND PREPARE ADJACENT WALL, FLOOR & CEILING SURFACES FOR NEW CONSTRUCTION/FINISHES AS SCHEDULED. CONTRACTOR TO REMOVE LEFT-OVER STONE AT COMPLETION OF PROJECT.
1H	REMOVE EXISTING MOVABLE DIVIDER WALL AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH AND PREPARE THE REMAINING SURFACES TO RECEIVE NEW WORK AS SCHEDULED.
1J	REMOVE EXISTING WOOD TRIM AND ANY PROTRUDING OBJECTS ON WALL TO CREATE AN EVEN SUBSTRATE TO ATTACH NEW GYPSUM WALL BOARD. PATCH AND PREPARE THE REMAINING SURFACES TO RECEIVE NEW WORK AS SCHEDULED.
2 - WINDOW	
2A	REMOVE EXISTING WINDOW FRAMING SYSTEM AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREPARE ADJACENT REMAINING WALL, FLOOR & CEILING SURFACES FOR NEW OPENING FRAMING OR OTHER CONSTRUCTION & FINISHES AS SCHEDULED.
2B	REMOVE EXISTING FRAMING SYSTEM, INCLUDING SIDELITES, TRANSOMS, HARDWARE, BLINDS OR OTHER WINDOW TREATMENTS, STOOLS AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREPARE ADJACENT REMAINING WALL OPENING, FLOOR & CEILING SURFACES FOR NEW OPENING FRAMING OR OTHER CONSTRUCTION & FINISHES AS SCHEDULED.
3 - DOOR	
3A	REMOVE EXISTING DOOR(S) AND/OR WINDOW, FRAME, HARDWARE AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREPARE ADJACENT REMAINING WALL, FLOOR & CEILING SURFACES FOR NEW CONSTRUCTION/INFILL & FINISHES AS SCHEDULED.
3B	REMOVE EXISTING DOOR, HARDWARE AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EXISTING DOOR FRAME TO REMAIN FOR REUSE. PREPARE EXISTING FRAME FOR NEW DOOR(S), HARDWARE AND FINISHES AS SCHEDULED. FILL ALL HOLES THAT WILL REMAIN EXPOSED UPON INSTALLATION OF NEW DOOR(S) & HARDWARE, GRIND SMOOTH AND PREPARE FOR NEW FINISH.
3D	REMOVE EXISTING COILING DOOR, OPERABLE PANEL PARTITION OR ACCORDION PARTITION ASSEMBLY IN ITS ENTIRETY. PATCH AND PREPARE WALL SURFACES TO ACCOMMODATE NEW FINISHES AS SCHEDULED.
4 - FLOOR	
4A	REMOVE EXISTING BASE INCLUDING ALL ADHESIVES. PATCH AND PREPARE FLOOR AND WALL SUBSTRATES TO ACCOMMODATE NEW FINISHES AS SCHEDULED.
4B	REMOVE EXISTING FLOOR FINISH AND RESIDUAL ADHESIVE IN THEIR ENTIRETY. PREPARE SURFACE TO RECEIVE NEW FINISH AS SCHEDULED.
4C	EXISTING SLAB DEPRESSION TO BE FILLED WITH SELF-LEVELING, CEMENTITIOUS FLOOR UNDERLAYMENT (OR OTHER SUITABLE, APPROVED FILL MATERIAL), FLUSH WITH EXISTING ADJACENT FINISH FLOOR SUBSTRATE ELEVATION. PREPARE SURFACES AS NEEDED TO ACCOMMODATE NEW FINISH FLOOR SYSTEM AS SCHEDULED.
4D	REMOVE EXISTING WOOD FLOOR SYSTEM AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREPARE SURFACE TO RECEIVE NEW FINISH AS SCHEDULED.
4E	REMOVE EXISTING FLOOR SLAB IN ITS ENTIRETY. PREPARE AREA FOR NEW SCHEDULED WORK.
4F	PATCH AND PREPARE FLOOR TO RECEIVE NEW FLOOR FINISH AS SCHEDULED.
4G	REMOVE PORTION OF EXISTING FLOOR FINISH AND RESIDUAL ADHESIVE IN THEIR ENTIRETY TO THE NEAREST FULL TILE PAST DEMOLISHED WALL. PREPARE SURFACE TO RECEIVE NEW FINISH AS SCHEDULED. REFER TO INTERIORS DRAWINGS FOR FLOOR FINISHES.
4H	DRILL THROUGH EXISTING FLOOR SLAB TO CREATE DRAINAGE HOLES EVERY 10 SQUARE FEET. EXISTING SLAB DEPRESSION TO BE FILLED WITH STONE FLUSH WITH EXISTING ADJACENT FINISH FLOOR SUBSTRATE ELEVATION. PREPARE SURFACES AS NEEDED TO ACCOMMODATE NEW FINISH FLOOR SYSTEM AS SCHEDULED.
5 - CEILING	
5A	REMOVE EXISTING ACT TILE. EXISTING FRAMING & SUSPENSION COMPONENTS TO REMAIN. PATCH AND PREPARE ADJACENT WALL SURFACES AS NEEDED TO ACCOMMODATE NEW CONSTRUCTION AND FINISHES AS SCHEDULED.
5B	REMOVE EXISTING CEILING SYSTEM IN ITS ENTIRETY, INCLUDING ALL FRAMING & SUSPENSION COMPONENTS SO THE STRUCTURAL SYSTEM IS COMPLETELY EXPOSED. PATCH AND PREPARE ADJACENT WALL SURFACES AS NEEDED TO ACCOMMODATE NEW CONSTRUCTION AND FINISHES AS SCHEDULED.
5C	EXISTING CEILING SYSTEM TO REMAIN. REMOVE AND PATCH IN AREAS OF CEILING AROUND NEW CONSTRUCTION AS NEEDED.
5D	REMOVE EXISTING SOFFIT AND/OR BULKHEAD SYSTEM IN ITS ENTIRETY, INCLUDING ALL FRAMING & SUSPENSION COMPONENTS SO THE STRUCTURAL SYSTEM IS COMPLETELY EXPOSED. COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL DOCUMENTS FOR DEMOLITION PERTAINING TO EXISTING MECH SYSTEMS. WHERE EXISTING WALL/FASCIA SYSTEMS ARE SCHEDULED TO REMAIN (WHERE OCCUR), NEATLY CUT ALONG WALL-CEILING INTERSECTION PRIOR TO REMOVAL TO MINIMIZE DAMAGE TO THOSE FINISHES. PATCH AND PREPARE ADJACENT WALL SURFACES AS NEEDED TO ACCOMMODATE NEW CONSTRUCTION AND FINISHES AS SCHEDULED.
5E	REMOVE EXISTING CEILING MOUNTED ACCOUSTICAL BAFFLES AND ALL RELATED COMPONENTS IN THEIR ENTIRETY AND SALVAGE (20) FOR REUSE/REPLACEMENT OF EXISTING DAMAGED PANELS IN GYMNASIUM. PATCH AND PREPARE CEILING SURFACES FOR NEW CONSTRUCTION/FINISHES AS SCHEDULED.
6 - STAIR	
6A	REMOVE EXISTING STAIR TREADS AND HANDRAIL AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH AND PREPARE WALLS FOR NEW FINISHES AS SCHEDULED.
6B	CUT BACK / SELECTIVELY DEMOLISH EXISTING STAIR TO ALLOW FOR CONSTRUCTION OF NEW STAIR
6C	PATCH AND PREPARE EXISTING GUARDRAILS AND HANDRAILS TO RECEIVE NEW PAINT.
6D	REMOVE EXISTING METAL RAILING SYSTEM AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH AND PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES AS SCHEDULED.
7 - EQUIPMENT/CASEWORK	
7A	REMOVE EXISTING TOILET STALL PARTITIONS & SCREEN WALLS IN THEIR ENTIRETY. PREPARE REMAINING SURFACES FOR NEW CONSTRUCTION & FINISHES AS SCHEDULED.
7B	REMOVE EXISTING TOILET ROOM/SHOWER/CUSTODIAL ACCESSORIES IN THEIR ENTIRETY, INCLUDING, BUT NOT LIMITED TO, DISPENSERS, MIRRORS, SHELVES, GRAB BARS, CURTAINS/RODS, BUILT-IN SEATS, DISPOSAL UNITS, RACKS, ETC. PREPARE REMAINING SURFACES FOR NEW CONSTRUCTION & FINISHES AS SCHEDULED.
7C	REMOVE EXISTING SOAP DISPENSERS, PAPER TOWEL DISPENSERS, HAND SANITIZER DISPENSERS, AND ALL RELATED COMPONENTS IN THEIR ENTIRETY AND TURN OVER TO OWNER. PATCH AND PREPARE WALL SURFACE TO RECEIVE NEW WORK OR FINISHES AS SCHEDULED.
7D	REMOVE EXISTING WALL MOUNTED HOOKS AND ALL RELATED COMPONENTS IN THEIR ENTIRETY. PATCH AND PREPARE WALL SURFACES TO RECEIVE NEW WORK AND FINISHES AS SCHEDULED.
7E	REMOVE EXISTING COUNTER, BACKSPLASH, BRACKET SUPPORTS AND ALL ASSOCIATED ADHESIVES AND FASTENERS IN THEIR ENTIRETY. PATCH AND PREPARE WALL SURFACES TO RECEIVE NEW COUNTER AND FINISHES AS SCHEDULED.
7F	REMOVE EXISTING WALL PADS AND ALL ASSOCIATED COMPONENTS, INCLUDING MOUNTING HARDWARE, FASTENERS AND ADHESIVES. PATCH AND PREPARE WALL SURFACES TO ACCOMMODATE NEW FINISHES AS SCHEDULED.
7G	REMOVE EXISTING BASKETBALL BACKBOARD AND ASSOCIATED EQUIPMENT IN ITS ENTIRETY. COORDINATE WITH ELECTRICAL DOCUMENTS FOR DEMOLITION/DISCONNECTION OF EXISTING ELECTRICAL COMPONENTS. PATCH HOLES IN WALLS/CEILINGS FROM EQUIPMENT REMOVAL TO MATCH ADJACENT SURFACES/TEXTURES, IN PREPARATION FOR NEW FINISHES AS SCHEDULED.
7H	REMOVE EXISTING TV, SMARTBOARD, CEILING MOUNTED PROJECTOR, SCREEN, AND RELATED COMPONENTS IN THEIR ENTIRETY AND TURN OVER TO OWNER.
7J	REMOVE EXISTING TACKSTRIPS AND ALL RELATED COMPONENTS IN THEIR ENTIRETY. PATCH & PREPARE ALL REMAINING WALL SURFACES TO ACCOMMODATE NEW CONSTRUCTION AND FINISHES AS SCHEDULED.
7K	REMOVE EXISTING FLOOR AND WALL MOUNTED CASEWORK UNIT(S), FIXED STORAGE UNIT(S), TALL STORAGE, FIXED SHELVING AND ALL ASSOCIATED FASTENERS AND COMPONENTS IN THEIR ENTIRETY. PREPARE ALL ADJACENT REMAINING SURFACES FOR NEW CONSTRUCTION/FINISHES AS SCHEDULED.
7L	REMOVE EXISTING CHALKBOARDS/MARKERBOARDS/TACKBOARDS AND ALL COMPONENTS. PATCH & PREPARE ALL REMAINING WALL SURFACES TO ACCOMMODATE NEW CONSTRUCTION AND FINISHES AS SCHEDULED.
7M	REMOVE EXISTING FLOOR AND WALL MOUNTED CASEWORK UNIT(S), AND ALL ASSOCIATED FASTENERS AND COMPONENTS IN THEIR ENTIRETY. SALVAGE EXISTING SOLID SURFACE TOPS FOR REUSE AS REQUIRED. PREPARE ALL ADJACENT REMAINING SURFACES FOR NEW CONSTRUCTION/FINISHES AS SCHEDULED.
7N	EXISTING TACKBOARDS TO REMAIN IN PLACE THROUGH CONSTRUCTION; PROTECT AS REQUIRED.
8 - MISCELLANEOUS	
8A	REMOVE EXISTING ROLLER SHADES, HARDWARE, MOUNTING BRACKETS, AND ANY ASSOCIATED ELECTRICAL COMPONENTS IN THEIR ENTIRETY. PATCH AND PREPARE WALL SURFACES AS NEEDED TO ACCOMMODATE NEW CONSTRUCTION AND FINISHES AS SCHEDULED.
8B	REMOVE EXISTING ACOUSTICAL WALL PANELS AND ALL ASSOCIATED COMPONENTS, INCLUDING MOUNTING HARDWARE, FASTENERS AND ADHESIVES. PATCH AND PREPARE WALL SURFACES AS NEEDED TO ACCOMMODATE NEW CONSTRUCTION AND FINISHES AS SCHEDULED.
8C	REMOVE EXISTING "COOPERTOWN SCHOOL" ALUMINUM LETTERS, EXTERIOR SIGN LIGHTING, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH HOLES IN WALLS TO MATCH ADJACENT SURFACES/TEXTURES, IN PREPARATION FOR NEW FINISHES AS SCHEDULED.
8D	REMOVE EXISTING FOOD SERVICE EQUIPMENT IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO, DISHWASHING EQUIPMENT, SERVER EQUIPMENT, PREP TABLES, SCULLERY, POT & HAND SINKS, BUILT-IN SHELVING, HOODS (INCLUDING FIRE SUPPRESSION SYSTEMS), APPLIANCES (INCLUDING PORTABLE & STATIONARY COOLERS & WARMERS, OVENS

GENERAL DEMOLITION NOTES:		
D1. DASHED LINES INDICATE GENERAL EXISTING CONSTRUCTION TO BE REMOVED. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS RELATING TO THE DEMOLITION REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION SHOWN ELSEWHERE.	D5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING BUILDING DIMENSIONS AND CONDITIONS, INCLUDING FINISHES AND MATERIALS, SYSTEMS SHOWN AND DESIGNATED AS EXISTING ON CONTRACT DRAWINGS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES IN INFORMATION INDICATED ON CONTRACT DRAWINGS SHALL BE DIRECTED IN WRITING TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING OF DEMOLITION AND CONSTRUCTION. VERIFICATION OF CLEARANCES REQUIRED FOR ALL NEW EQUIPMENT, PIPING, DUCTWORK AND RELATED COMPONENTS SHALL BE THE CONTRACTORS RESPONSIBILITY.	D9. DEMOLITION DRAWINGS INDICATE EXISTING SLABS TO BE REMOVED IN THEIR ENTIRETY. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ANY SAWCUTTING AND PATCHING OF CONCRETE SLABS THAT NEEDS TO OCCUR AS PART OF THEIR WORK. IN ADDITION, REFER TO STRUCTURAL DRAWINGS FOR SAWCUTTING AND PATCHING THAT NEEDS TO OCCUR TO ACCOMMODATE INSTALLATION OF NEW FOOTINGS, PIERS ETC.
D2. SEE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FOOD SERVICE DRAWINGS FOR OTHER DEMOLITION WORK REQUIRED. ANY DEMOLITION OF MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT SHOWN ON THESE DRAWINGS, IS FOR CORROSION ONLY. COORDINATE ALL WORK BY OTHER CONTRACTORS INCLUDING CAPPING AND DISCONNECTING OF BUILDING SERVICES SUCH AS WATER, WASTE, ELECTRIC, DUCTWORK, ETC.	D6. DEMOLITION WORK SHOWN ON THE DEMOLITION CONTRACT DRAWINGS SHALL BE FOR THE BUILDING RECEIVING MAJOR DEMOLITION WORK, AND DOES NOT REPRESENT THE DEMOLITION FOR THE PROJECT IN ITS ENTIRETY. REFER TO CONTRACT DRAWINGS FOR ADDITIONAL DEMOLITION WORK, IF ANY, FOR EACH ROOM OR BUILDING COMPONENT.	D10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING LOAD BEARING WALLS AND PROVIDE TEMPORARY SHORING AND SUPPORT UNTIL NEW STRUCTURE CAN BE INSTALLED.
D3. BEFORE DEMOLITION AND THROUGHOUT CONSTRUCTION, GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW WITH THE ARCHITECT ALL ITEMS REPRESENTATIVE ALL ITEMS BEING REMOVED BY THEIR TRADES. ALL ITEMS DESIGNATED DURING THIS REVIEW TO REMAIN OWNERS PROPERTY, SHALL BE MAINTAINED IN GOOD CONDITION AND TURNED OVER TO CIVILS MATERIALS ITEMS DESIGNATED TO BE REUSED AS PART OF NEW CONSTRUCTION SHALL BE MAINTAINED IN A REUSABLE CONDITION AND STORED ON SITE BY THE DEMOLITION CONTRACTOR. AFTER COMPLETION OF INSTALLATION, ALL REMAINING ITEMS AND MATERIALS DEEMED TO BE TRASH SHALL BE DISPOSED OF PROPERLY, BY LAW, OFF SITE BY THE RESPONSIBLE CONTRACTOR.	D7. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DEMOLITION CONDITIONS RELATED TO ACCEPTED ALTERNATE BIDS. INCLUDING FINISHES AND MATERIALS, SYSTEMS SHOWN AND DESIGNATED AS EXISTING OR NEW ON THE CONTRACT DRAWINGS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES IN INFORMATION INDICATED ON CONTRACT DRAWINGS SHALL BE DIRECTED IN WRITING TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING OF DEMOLITION AND CONSTRUCTION.	D11. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ASBESTOS CONTAINING MATERIALS AND DISPOSING OF THEM OFF SITE IN ACCORDANCE WITH STATE AND LOCAL LAWS.
D4. EXISTING CONDITIONS AS THEY APPEAR IN THESE CONTRACT DOCUMENTS MAY VARY WITH ACTUAL CONDITIONS BECAUSE OF WORK PERFORMED WITH OWNERS STAFF AND BY OTHER CONTRACTORS (I.E. ASBESTOS ABATEMENT CONTRACTOR) PRIOR TO CONTRACT. PORTIONS OF DEMOLITION WORK MAY BE INCLUDED IN THE SCOPE OF WORK OF ANOTHER CONTRACT AND NOT PART OF THIS PROJECT. GENERAL CONTRACTOR SHALL VERIFY THE ACTUAL SCOPE OF DEMOLITION IN THEIR CONTRACT PRIOR TO SUBMITTING A BID.	D8. OWNER RESERVES THE RIGHT TO SALVAGE AND REMOVE ANY EXISTING ITEMS BEFORE START OF DEMOLITION WORK.	D12. WHERE EXTERIOR WALLS ARE SCHEDULED TO BE REMOVED, THEY ARE TO BE REMOVED DOWN TO TOPS OF EXISTING FOOTINGS. REMOVE EXISTING FOOTINGS WHERE THEY INTERFERE WITH NEW CONSTRUCTION.

GENERAL ALTERATION NOTES:		
<p>R1. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND RECORDING OF ALL EXISTING BUILDING DIMENSIONS AND CONDITIONS RELATED TO THE WORK, INCLUDING BUT NOT LIMITED TO FINISHES, MATERIALS AND SYSTEMS SHOWN AND DESIGNATED AS EXISTING IN CONTRACT DOCUMENTS. ANY DISCREPANCIES FROM INFORMATION INDICATED ON CONTRACT DOCUMENTS SHALL BE DIRECTED TO THE ATTENTION OF THE ARCHITECT. VERIFICATION OF CLEARANCES REQUIRED FOR ALL NEW EQUIPMENT, PIPING, DUCTWORK, AND RELATED COMPONENTS SHALL BE THE CONTRACTORS RESPONSIBILITY.</p> <p>R2. GENERAL CONTRACTORS RESPONSIBILITY TO REVIEW WITH THE OWNERS REPRESENTATIVE, ALL ITEMS TO BE DEMOLISHED BEFORE THE START OF WORK. OWNER RESERVES THE RIGHT TO SALVAGE ANY ITEM. ALL REMAINING ITEMS SHALL BE DISPOSED OF OFF SITE.</p> <p>WHERE EXISTING WALL OPENINGS ARE INDICATED TO BE CLOSED, USE MATERIALS AND FINISHES TO MATCH ADJACENT EXISTING FINISHES. MASONRY SHALL BE TOOTHED INTO THE EXISTING COURSING TO ACHIEVE A UNIFORM JOINT PATTERN TO MATCH THE EXISTING.</p> <p>R4. ALL NEW MASONRY WALLS AND INFILLS THAT ARE IN CONTINUANCE WITH EXISTING MASONRY SHALL BE TOOTHED INTO THE EXISTING COURSING TO ACHIEVE A UNIFORM JOINT PATTERN TO MATCH THE EXISTING, FIELD VERIFY WALL THICKNESS.</p> <p>R5. IN ALL RENOVATED AREAS OF THE WORK, THE INTENT OF THESE CONTRACT DOCUMENTS IS TO PROVIDE A LEVEL OF QUALITY FOR ALL PATCHED SURFACES EQUAL TO THAT OF NEW FINISHES, INCLUDING BUT NOT LIMITED TO PLASTER, GYPSUM WALL BOARD AND MASONRY.</p>	<p>R6. ALL EXISTING MATERIALS AND FINISHES DISTURBED OR INTERRUPTED BY THE WORK SHALL BE REPLACED AND FINISHED TO ACHIEVE UNIFORM COLOR, TEXTURE, PATTERN AND APPEARANCE TO MATCHING ADJACENT MATERIALS AND FINISHES. TRANSITIONS BETWEEN EXISTING TO EXISTING AND NEW TO EXISTING MATERIALS AND FINISHES SHALL BE ACHIEVED IN STRAIGHT HORIZONTAL AND OR VERTICAL LINES BETWEEN DIFFERENT AND OR NEW MATERIALS AND FINISHES.</p> <p>R7. PATCH ALL HOLES IN FLOORS, WALLS AND CEILINGS, LEVEL WITH EXISTING ADJACENT FINISHES TO RECEIVE NEW FINISHES AND/OR CONSTRUCTION TO COMPLETE THE WORK. MATCH THE EXISTING ADJACENT MATERIALS, PATTERNS AND FINISHES.</p> <p>R8. PATCH, REPAIR OR REPLACE ALL EXISTING FINISHES AND MATERIALS DISTURBED DURING CONSTRUCTION OR AS A RESULT OF DEMOLITION OR REMOVAL OF AN ITEM. ALL PATCH OR REPAIR OR REPLACE SHALL MATCH ADJACENT EXISTING AND/OR NEW FINISHES. PATTERNS AND MATERIALS. SEE ROOM FINISH SCHEDULE FOR NEW FINISHES.</p> <p>R9. PREPARE EXISTING REMAINING WORK SUBSTRATES TO RECEIVE NEW FINISHES AS INDICATED IN THE FINISH SCHEDULE. THE PREPARATION SHALL BE IN CONFORMANCE WITH THE INSTALLATION REQUIREMENTS OF EACH NEW FINISH.</p> <p>R10. ALL WALLS SHOWN WITH MASONRY HATCHING WITHIN THE EXISTING BUILDING SHALL BE NEW AND TOOTHED INTO EXISTING MASONRY. MATCH EXISTING COURSING, JOINT PATTERN AND THICKNESS UNLESS NOTED OTHERWISE.</p> <p>R11. MASONRY WALLS AND INFILLS THAT ARE IN CONTINUANCE WITH EXISTING MASONRY WALLS SHALL BE TOOTHED INTO THE EXISTING COURSING TO ACHIEVE A UNIFORM JOINT PATTERN TO MATCH THE EXISTING WORK. MATCH EXISTING WALL THICKNESS.</p>	<p>R12. AT THE DEMOLITION OF AN EXISTING ITEM, REMOVE ALL TRACES OF THE DEMOLISHED ITEMS. CONSIDERS THE REMOVAL OF THE EXISTING FLOOR, WALLS AND CEILING. AT THE REMOVED FASTENERS IN ALL EXISTING MASONRY WALLS AND FLOORS, PATCH HOLE WITH GROUT LEVEL WITH EXISTING ADJACENT SURFACES IN ORDER TO RECEIVE NEW FINISHES.</p> <p>R13. AT EXISTING FLOORS, CUT IN PLACE CONSTRUCTION TO RECEIVE NEW WORK. REPLACE WITH MATERIALS TO MATCH EXISTING REMAINING MATERIALS. PATCH FLUSH TO ADJACENT EXISTING ELEVATIONS. APPLY CEMENTITIOUS UNDERLAYMENT TO PRODUCE A UNIFORM SURFACE IN ALL AREAS RECEIVING NEW FINISHES AS INDICATED IN THE FINISH SCHEDULE. PATCHED JOINTS SHALL NOT TELEGRAPH THRU THE NEW FINISH. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND OTHER FINISHES.</p> <p>R14. AT EXISTING FLOORS: WHERE WALLS ARE SCHEDULED FOR DEMOLITION AND EXTEND TO BELOW THE CONTINUOUS CONCRETE FLOOR SLAB, THE WALL SHALL BE DEMOLISHED TO THE FINISH FLOOR THICKNESS. THE FLOOR SHALL BE PATCHED WITH CONCRETE AND GRANULAR FILL TO MATCH THE EXISTING THICKNESS. PROVIDE NEW VAPOR BARRIER TO THE PATCHED AREA. PATCH SHALL BE TOOTHED INTO EXISTING MASONRY TO ACHIEVE A UNIFORM UNDERLAYMENT TO PRODUCE A UNIFORM SURFACE IN ALL AREAS RECEIVING NEW FINISH AS INDICATED ON ROOM FINISH SCHEDULE. PATCHED JOINTS SHALL NOT TELEGRAPH THRU THE NEW FINISH.</p> <p>R15. PATCH EXISTING WALLS: AT EXISTING DOOR FRAMES TO REMAIN AND OTHER PAINTED METAL COMPONENTS INDICATED, REMOVE ALL DIRT, LOOSE PAINT AND RUST, SAND ENTIRE FRAME, PRIME AND PAINT, COLOR SELECTION BY ARCHITECT, WHERE THE EXISTING PAINT IS INCOMPATIBLE WITH NEW PAINT COATINGS, THE EXISTING PAINT SHALL BE COMPLETELY REMOVED.</p>

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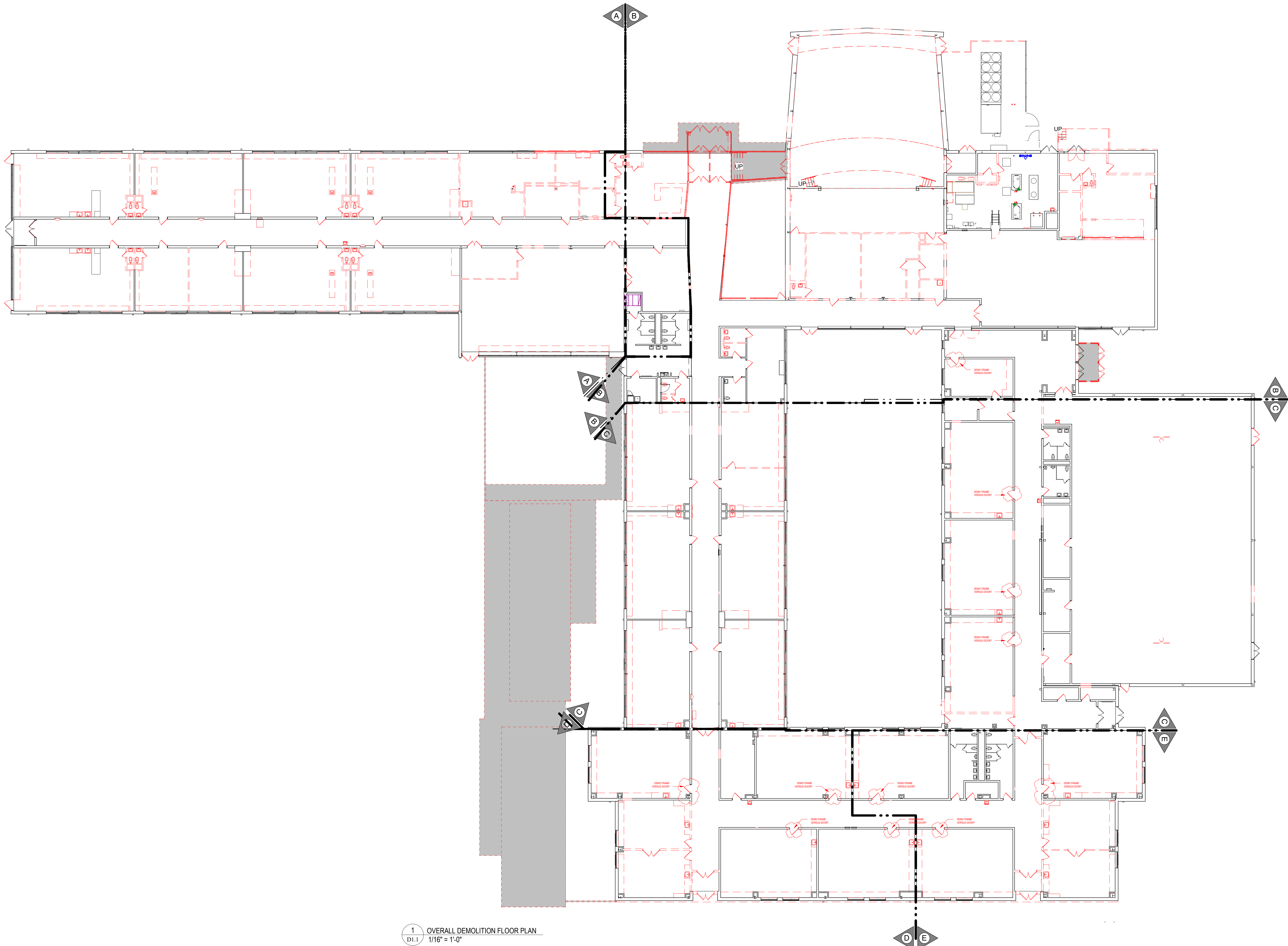
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The image is a composite of three distinct visual elements. On the left is a solid blue square featuring a large, white, sans-serif 'ON' logo. In the center is a circular seal of the University of North Carolina at Chapel Hill, which includes a classical building illustration and the text 'THE UNIVERSITY OF NORTH CAROLINA' and 'CHAPEL HILL, N.C.'. On the right is a white rectangular card. The card has a header section with a blue background and the text 'ALTERATION NOTES & LEGEND' in white. Below this is a table with two rows: the first row contains 'PLOT SCALE:' and '1/8" = 1'-0"', and the second row contains 'FILENAME:'. At the bottom of the card, the text 'DATE:' is visible. To the right of the table, the word 'PROJECT' is written in bold black letters, followed by the number '3758'. At the bottom right of the card is a large, bold, black 'D1.0' label.



1 OVERALL DEMOLITION FLOOR PLAN
D1.1 1/16" = 1'-0"

ALTERATION NOTES:

- EXISTING CONDITIONS AS INDICATED ON THE ALTERATION DRAWING(S) MAY VARY WITH ACTUAL CONDITIONS. BEFORE START OF WORK, VERIFY EXISTING CONDITIONS AS RELATED TO COMPLETION OF NEW PROJECT AND/OR SITE IMPROVEMENTS.
- REFER TO CIVIL AND MEP DRAWINGS FOR ADDITIONAL ALTERATION WORK INCLUDING REMOVAL, DISCONNECT AND/OR CAPPING OF EXISTING SERVICES SUCH AS WATER, GAS, SEWER, ELECTRIC, ETC.
- BEFORE START OF ALTERATION WORK, REVIEW AND PREPARE AN OWNER APPROVED LIST OF EXISTING ITEMS TO REMAIN AS OWNER'S PROPERTY. DESIGNATED ITEMS TO BE REMOVED AND STORED IN SECURE, CLEAN, DRY ON-SITE LOCATION. ITEMS TO BE MAINTAINED AS EXISTING AND IN REUSABLE CONDITION.
- REMAINING DISTURBED CONSTRUCTION, MATERIALS OR FINISHES SHALL BE PATCHED, REPAIRED OR REPLACED AS REQUIRED TO MATCH THE ORIGINAL CONDITION AND AS IT IS RELATED TO COMPLETION OF NEW PROJECT AND/OR SITE IMPROVEMENTS.
- OWNER RESERVES THE RIGHT TO SALVAGE AND REMOVE ANY EXISTING ITEMS BEFORE START OF ALTERATION WORK.

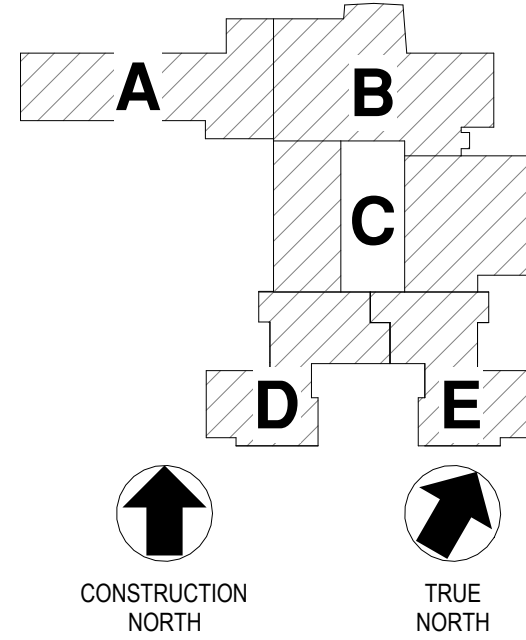
DEMOLITION GRAPHICS LEGEND



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KEY PLAN



REVISIONS

NO.	DATE	BY	NAME	DESCRIPTION OF CHANGES
1	Date 1		Revision 1	

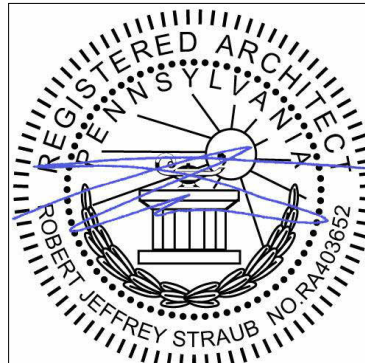
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OVERALL DEMOLITION
FLOOR PLAN

PLOT SCALE:
As indicated
FILENAME:

DATE:
MARCH 10, 2025

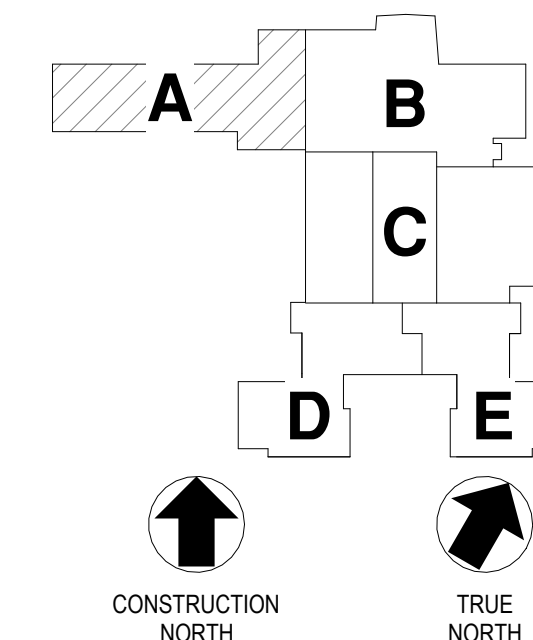
PROJECT
3758

D1.1



1. EXISTING CONDITIONS AS INDICATED ON THE ALTERATION DRAWING(S) MAY VARY WITH ACTUAL CONDITIONS. BEFORE START OF WORK, VERIFY EXISTING CONDITIONS AS RELATED TO COMPLETION OF NEW PROJECT AND/OR SITE IMPROVEMENTS.
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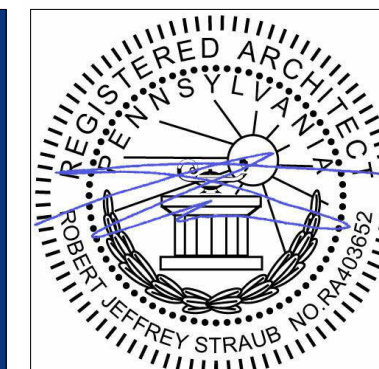
TOWSON, MARYLAND

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PROJECT
3758

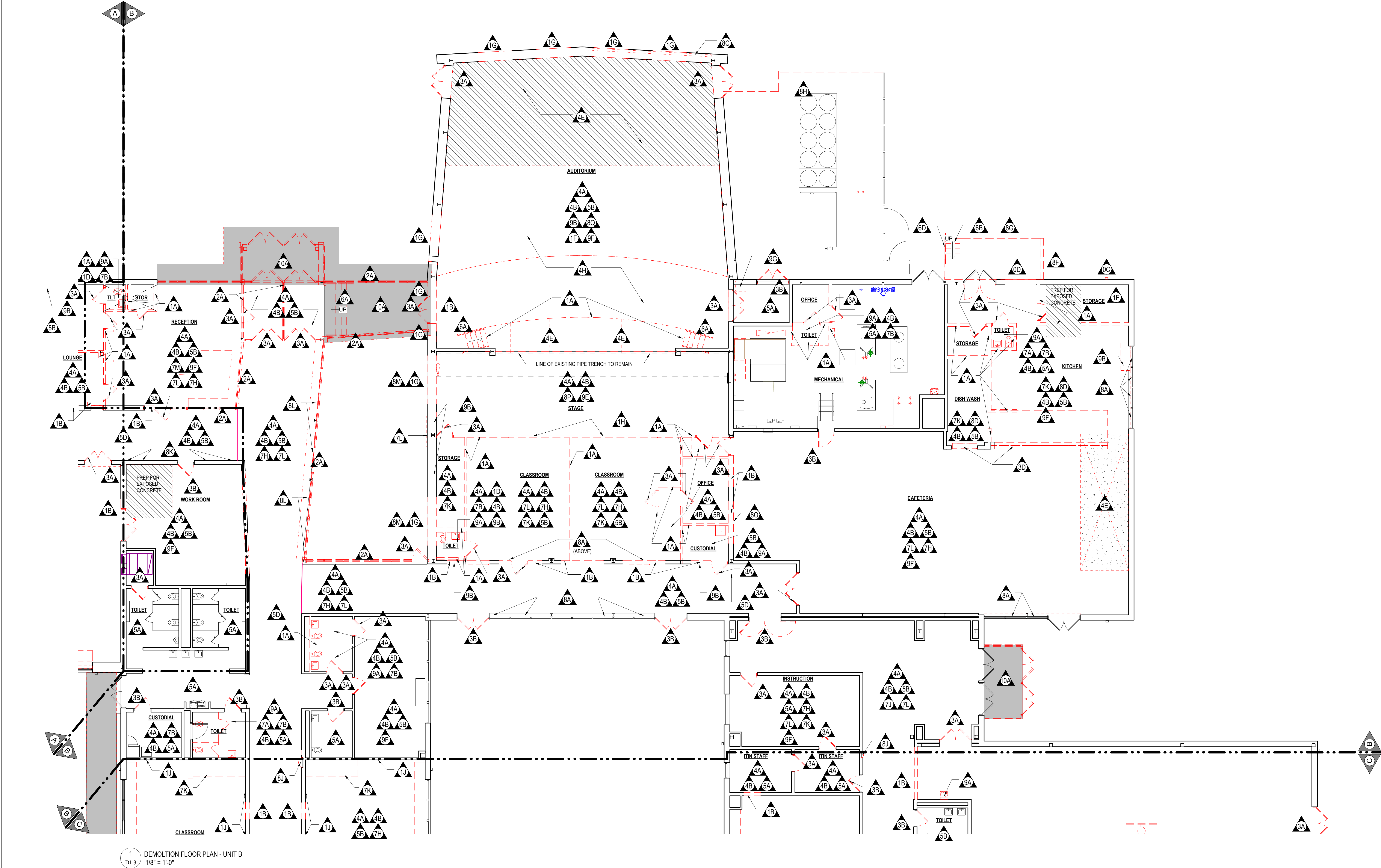
D1.2



DEMOLITION FLOOR PLAN -
UNIT A

PLOT SCALE:
1/8" = 1'-0"
FILENAME:

DATE: MARCH 10, 2025



ALTERATION NOTES:

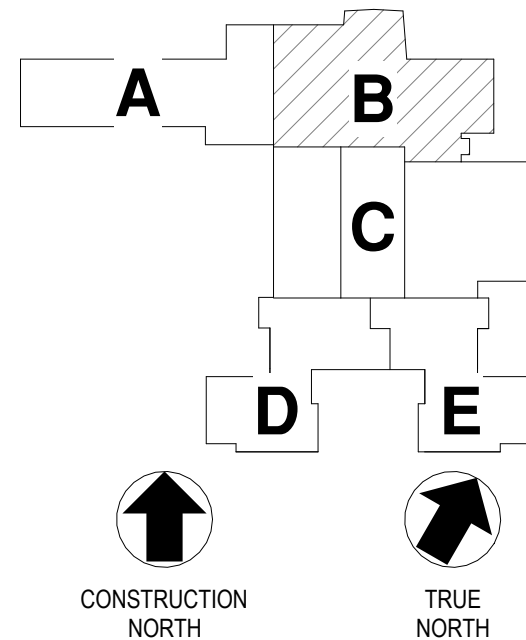
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KEY PLAN



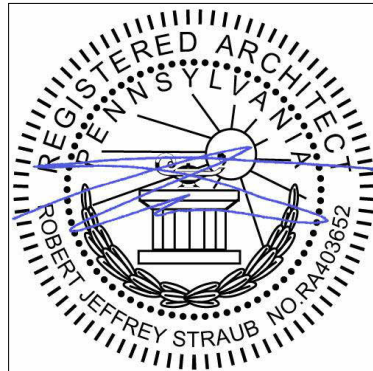
REVISIONS

NO.	DATE	NAME	DESCRIPTION OF CHANGES

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DEMOLITION FLOOR PLAN - UNIT B

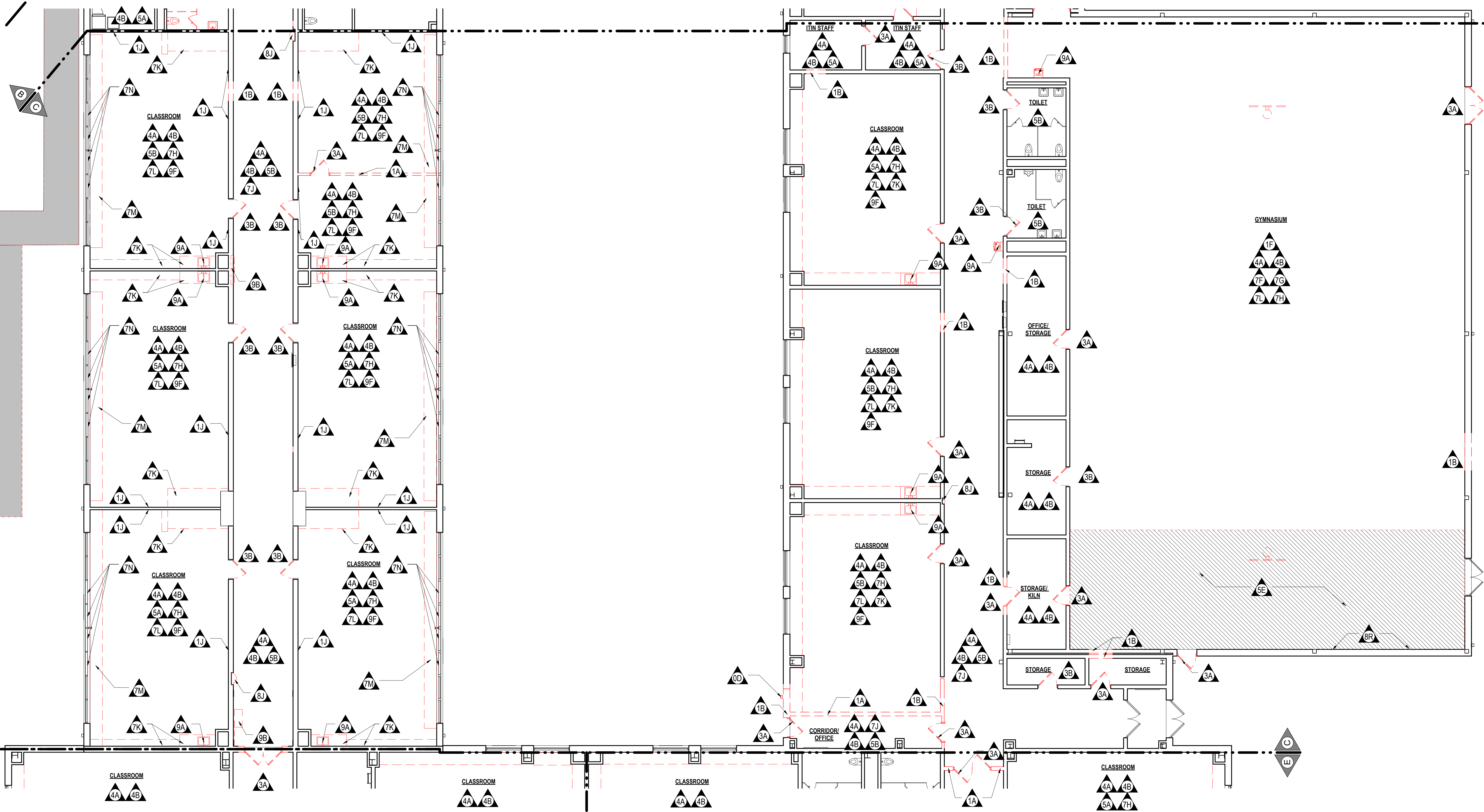
PLOT SCALE:
1/8" = 1'-0"

FILENAME:

DATE:
MARCH 10, 2025

PROJECT
3758

D1.3



1 DEMOLITION FLOOR PLAN - UNIT C
D1.4 1/8" = 1'-0"

ALTERATION NOTES:

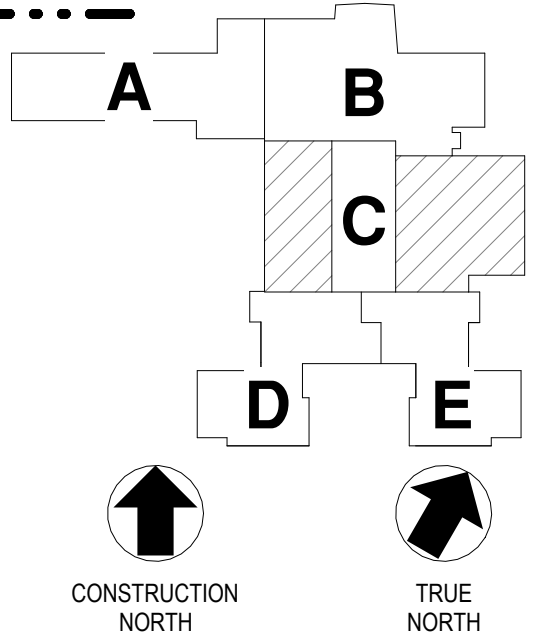
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KEY PLAN



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NO.	DATE	NAME	DESCRIPTION OF CHANGES

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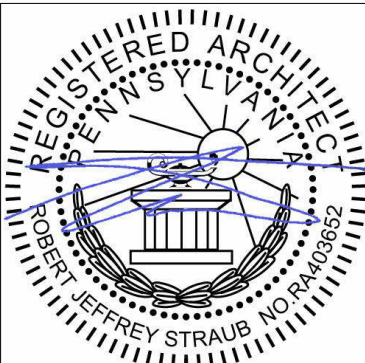
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ADDITIONS AND RENOVATIONS TO

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BRYN MAWR, PA. 19010

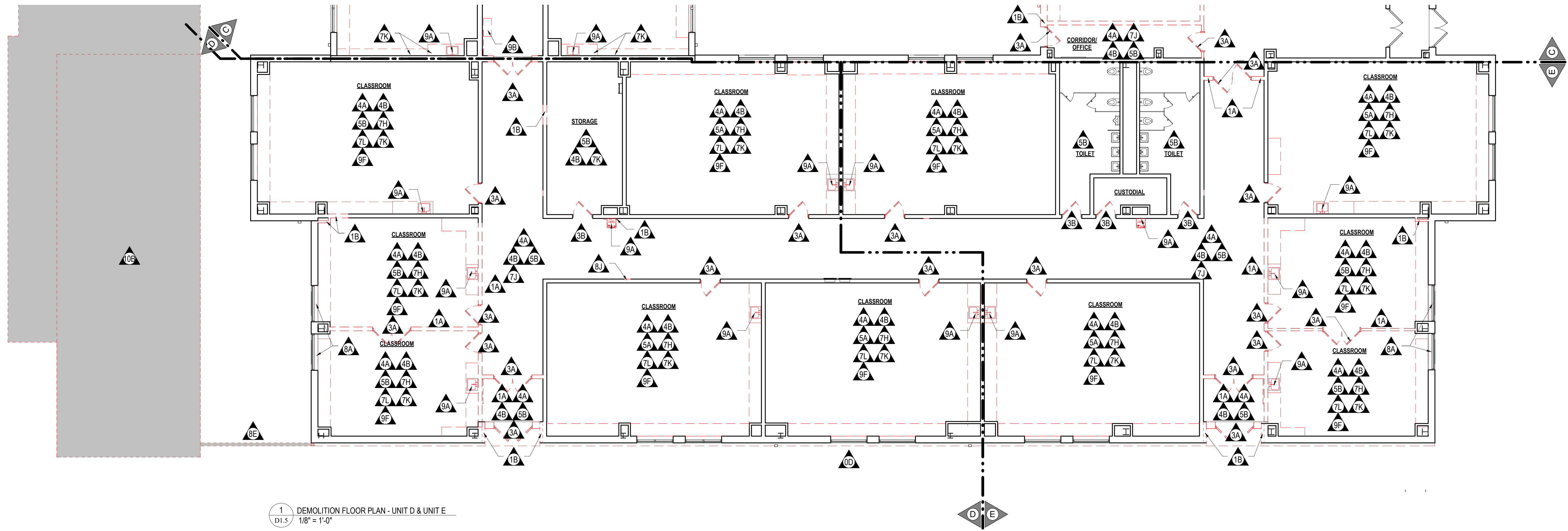


DEMOLITION FLOOR PLAN - UNIT C

PLOT SCALE:
1/8" = 1'-0"
FILENAME:
DATE:
MARCH 10, 2025

PROJECT
3758

D1.4



1
D1.5
DEMOLITION FLOOR PLAN - UNIT D & UNIT E
1/8" = 1'-0"

ALTERATION NOTES:

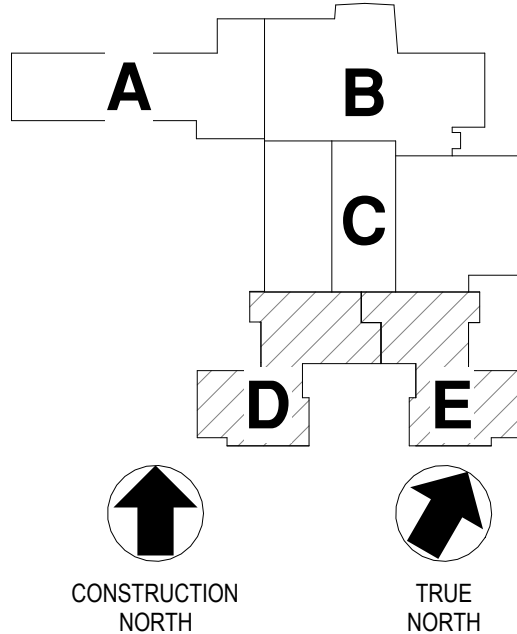
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NO.	DATE	BY	DESCRIPTION OF CHANGES

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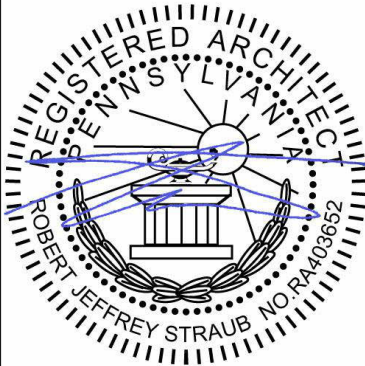
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DEMOLITION FLOOR PLAN -
UNIT D & UNIT E

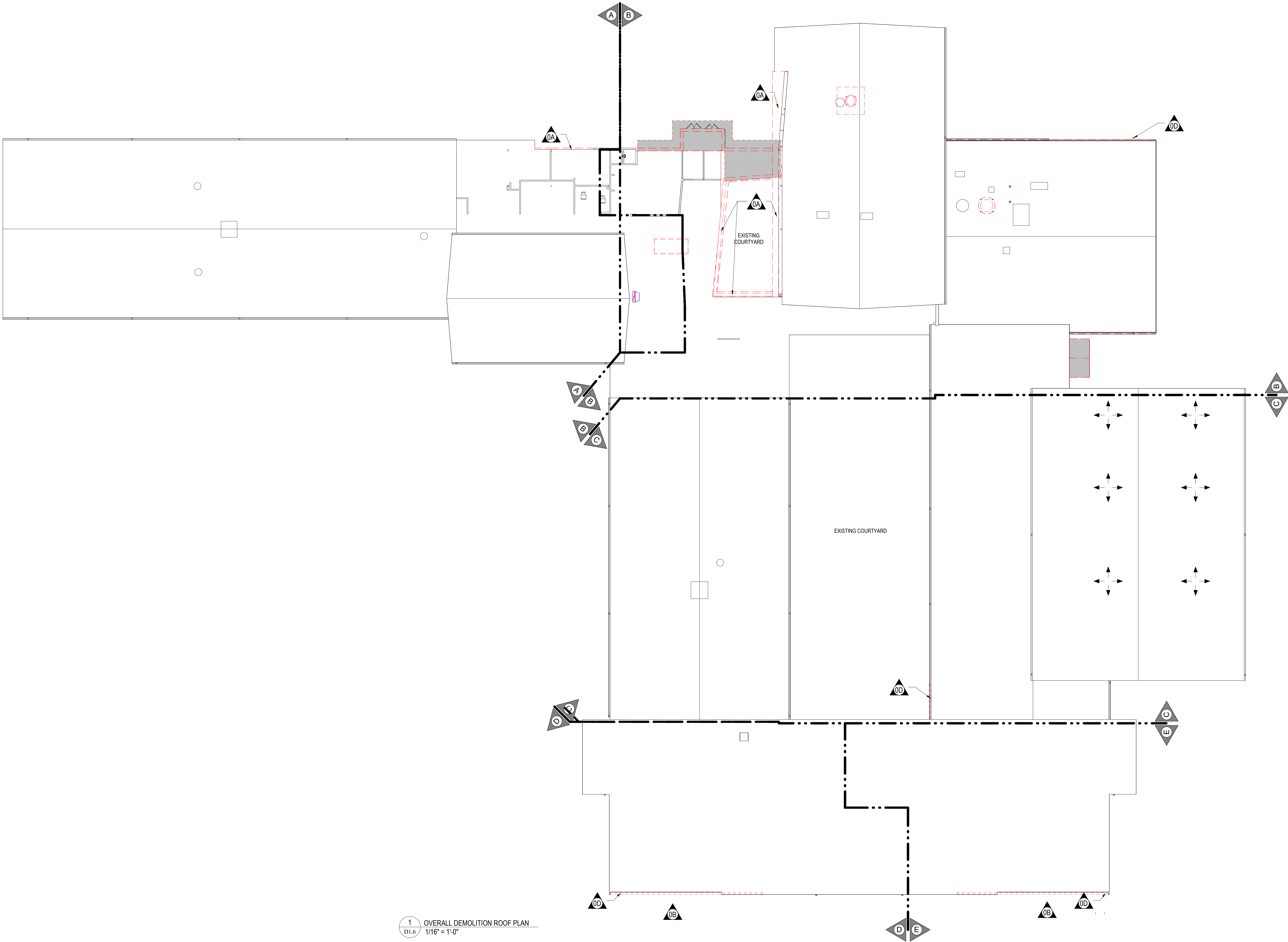
PLOT SCALE:
1/8" = 1'-0"

FILENAME:

DATE:
MARCH 10, 2025

PROJECT
3758

D1.5



1 OVERALL DEMOLITION ROOF PLAN
D1.6 1/16" = 1'-0"

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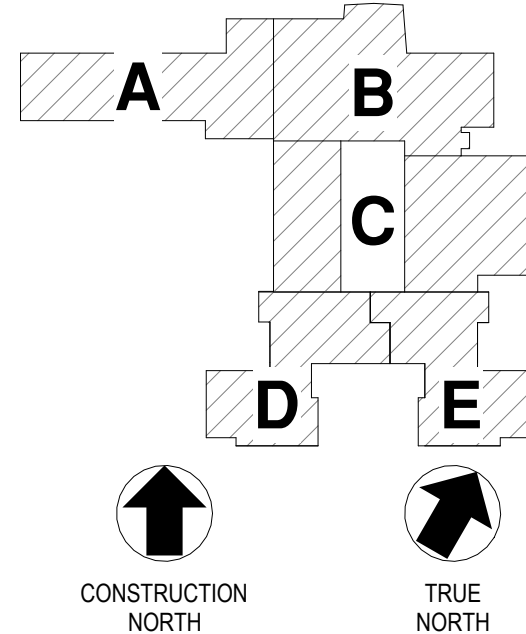
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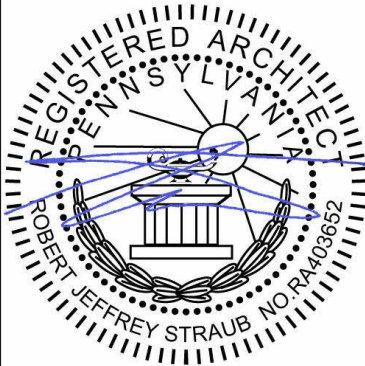
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OVERALL DEMOLITION ROOF PLAN

PLOT SCALE:
As indicated

FILENAME:

DATE:
MARCH 10, 2025

PROJECT
3758

D1.6