1724 CHESTER COURTHOUSE

412 AVENUE OF THE STATES
CHESTER, PA 19013

GENERAL NOTES

1. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE OWNER'S. OPERATION REQUIREMENTS AND THE PROJECT PROGRESS SCHEDULE.

2. CONTRACTORS ARE SOLELY RESPONSIBLE FOR THE HEALTH AND SAFETY OF ITS WORKERS DURING THE EXECUTION OF THIS CONTRACT. CONTRACTOR SHALL COMPLY WITH THE MOST CURRENT CONSTRUCTION SAFETY REGULATIONS OF OSHA AND REQUIREMENTS OF THE GENERAL CONDITIONS TO THE CONSTRUCTION CONTRACT.

3. CONTRACTOR RESPONSIBLE FOR PROTECTING ALL ADJACENT NON-WORK AREAS FROM DAMAGE. PROTECTION METHODS AT THE CONTRACTORS DISCRETION. ALL EXISTING CONSTRUCTION, EQUIPMENT, FINISHES, ETC. TO REMAIN THAT ARE DAMAGED, DISTURBED OR REMOVED IN THE COURSE OF THE WORK SHALL BE REPAIRED OR RESTORED TO THEIR PRE-EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER. REPAIRS TO ANY DAMAGED ITEMS MUST BE MADE IN-KIND PER THE GENERAL CONDITIONS TO THE CONSTRUCTION CONTRACT.

4. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND SHALL NOTIFY THE PROFESSIONAL OF ANY CONFLICTS AND DISCREPANCIES IN THE PLANS AND SPECIFICATIONS RELATIVE TO SAID CONDITIONS.

5. UPON REMOVAL OF MATERIALS DURING ALL WORK, CONTRACTOR SHALL NOTIFY THE PROFESSIONAL FOR INSPECTION OF EXPOSED CONDITIONS FOR REVIEW OF EXISTING ELEMENTS THAT WERE CONCEALED DURING THE PROFESSIONAL'S DESIGN PHASE.

6. ALL CONSTRUCTION SHALL BE PERFORMED IN A GOOD, WORKMANLIKE MANNER FOLLOWING ACCEPTED CONSTRUCTION PRACTICES AND TOLERANCES. DEFECTIVE OR DAMAGED MATERIALS SHALL NOT BE USED AND SHALL BE REPLACED.

7. CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS ON-SITE AND WITHIN CLOSE PROXIMITY TO ANY WORK REQUIRING TORCHES OR SOLDERING EQUIPMENT.

8. CONTRACTOR RESPONSIBLE FOR MAINTAINING A CLEAN AND ORDERLY JOB SITE AT ALL TIMES.

9. MEANS AND METHODS FOR SCAFFOLDING AND OVERHEAD PROTECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. STAGING AND CONSTRUCTION SEQUENCING PLAN SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO COMMENCING WORK.

10. ANY DAMAGE CAUSED TO GROUNDS, TURF, LANDSCAPE FEATURES, AND ROADWAYS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER PER THE GENERAL CONDITIONS TO THE CONSTRUCTION CONTRACT.

11. OWNER SHALL PROVIDE CONTRACTOR WITH POWER TO FACILITATE CONSTRUCTION ACTIVITIES. OWNER MAKES NO GUARANTEES THAT POWER AND ELECTRIC SUPPLIED WILL MEET ALL CONSTRUCTION ACTIVITY NEEDS.WATER SERVICE SHALL NOT BE TURNED ON UNTIL MECHANICAL SYSTEM IS FULLY FUNCTIONAL (BY OTHERS).

12. CONTRACTOR SHALL PROVIDE RESTROOM FACILITIES ON-SITE FOR CONSTRUCTION PERSONNEL INCLUDING POTABLE WATER.

13. MASONRY POINTING WORK SHALL NOT BE CONDUCTED IN TEMPERATURES LESS THAN 40-DEGREES FAHRENHEIT AND RISING OVER A 24-HOUR PERIOD.

14. THE ORGANIZATION OF THE KEYNOTES ON THE DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN ORGANIZING THE DIVISION OF WORK AMONG THEIR SUBCONTRACTORS.

15. CONTRACTOR SHALL PROVIDE FINAL CLEANING OF INTERIOR AND EXTERIOR OF JOB SITE SO BUILDING CAN OPEN FOR OPERATION. CLEANING INCLUDES BROOM SWEEPING, VACUUMING AND WIPING DOWN ALL SURFACES OF DIRT AND DUST. WINDOWS SHALL BE CLEANED. KITCHENETTE AND RESTROOMS SHALL BE CLEANED IF WORK IS COMPLETED.

16. THE 1724 CHESTER COURTHOUSE IS ON THE NATIONAL REGISTER FOR ITS ARCHITECTURAL AND HISTORIC SIGNIFICANCE. IT IS CONSIDERED TO HAVE IRREPLACEABLE CULTURAL, MATERIAL, AND AESTHETIC VALUE. THE WORK IS FUNDED BY THE HISTORIC PRESERVATION FUND, ADMINISTERED BY THE NATIONAL PARK SERVICE, DEPARTMENT OF THE INTERIOR. THE FUNDING OF WHICH IS SUBJECT TO HAVING ALL WORK ITEMS MEET THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.

SITE PLAN NOTES:

1. SITE PLAN TAKEN FROM DEED DESCRIPTIONS ONLY. NO ATTEMPT HAS BEEN MADE TO VERIFY CLOSURE. NO PHYSICAL SURVEY WAS PERFORMED. LOCATION OF #406-408 AVENUE OF THE STATES BUILDING TO THE SOUTH IS FOR REFERENCE ONLY AND IS APPROXIMATE BASED UPON PREVIOUS RECORDS.

1.1. TAX MAP: 49-16-158:000
FOLIO NUMBER: 49-03-00680-00
DEED JANUARY 20,1977
DEED BOOK 2597
PAGE 697

LIST OF DRAWINGS:

CS COVER PAGE
G1.0 GENERAL: KEY PLAN, PHOTOS, AND CODE REVIEW
A1.1 FIRST FLOOR PLAN
A1.2 SECOND FLOOR PLAN
A1.3 ATTIC FLOOR AND ROOF PLAN
A1.4 ROOF FRAMING DIAGRAM AND CUPOLA DETAILS
A2.1 ELEVATIONS: NORTH AND EAST
A2.2 ELEVATIONS: SOUTH AND WEST
A3.1 KITCHENETTE DETAILS
A4.1 WINDOW DETAILS
A4.2 LOUVER DETAILS
A5.1 TYPICAL WALL DETAILS
A6.1 SCHEDULES

P000 PLUMBING COVER SHEET
P211 FLOOR PLAN - LEVEL 01 - PLUMBING
P213 FLOOR PLAN - LEVEL 03 - PLUMBING
P600 PLUMBING SCHEDULES

M000 HVAC COVER SHEET
M212 FLOOR PLAN - LEVEL 02 - HVAC
M213 FLOOR PLAN - ATTIC - HVAC
M400 MECHANICAL DETAILS
M600 MECHANICAL SCHEDULES

E000 ELECTRICAL COVER SHEET
E101 ELECTRICAL DEMOLITION PLAN- LEVEL 01
E102 ELECTRICAL DEMOLITION PLAN- LEVEL 02
E103 ELECTRICAL DEMOLITION PLAN- ATTIC
E201 ELECTRICAL FLOOR PLAN - LEVEL 01- LIGHTING
E202 ELECTRICAL FLOOR PLAN - LEVEL 02- LIGHTING
E211 ELECTRICAL FLOOR PLAN - LEVEL 01 - POWER AND SYSTEMS
E212 ELECTRICAL FLOOR PLAN - LEVEL 02 - POWER AND SYSTEMS
E213 ELECTRICAL FLOOR PLAN - ATTIC - POWER AND SYSTEMS
E400 ELECTRICAL DETAILS
E600 ELECTRICAL SCHEDULES

ALLOWANCES

1. PROVIDE ALLOWANCE TO REPLACE 15 LF OF SANITARY PIPING AND 15 LF OF DOMESTIC WATER PIPING.

DESIGN CRITERIA

LOCAL JURISDICTION: CITY OF CHESTER
ZONING: CBD- CENTRAL BUSINESS DISTRICT

DATE OF CONSTRUCTION: 1724

LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
ALL WORK SHALL CONFORM TO THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.

OWNER: PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION.
USING AGENCY: COUNTY OF DELAWARE

SITE COORDINATES: 39.847612, -75.359709

CONSTRUCTION CODES: PA UCC, IBC 2018, IPC 2018, IEBC 2018, ASCE 7-16

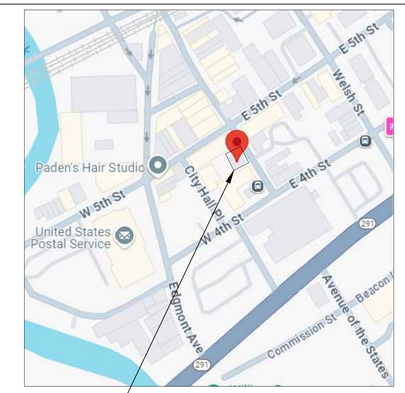
DESIGN ITEM	CRITERIA	CODE REFERENCE
USE GROUPS:		
FIRST FLOOR	A-3 (MUSEUM)	IBC 303
SECOND FLOOR	B- BUSINESS	IBC 304
NUMBER OF EX'G STORIES	2 (PLUS CUPOLA AND ATTIC)	
CONSTRUCTION TYPE	IIIB	IBC 602.3
FIRE RESISTANCE REQ.		
- EXTERIOR WALLS	2 HOUR	IBC 601
- ROOF	0 HOUR	IBC 601
EXISTING FIRE PROTECTION SYSTEMS		IBC 903
- FIRE DETECTION INSTALLED IN ALL LEVELS		903.2.1.3
- INSTALL ONE FIRE EXTINGUISHER PER LEVEL		
ROOF ASSEMBLY	CLASS C (MIN)	IBC 1505.1
BASIC WIND SPEED (RISK CATEGORY II)	112 MPH	ASCE-7
GROUND SNOW LOAD	25 PSF	ASCE-7, FIG 7-1
GROSS SF OF BLDG:	2,520 SF	
SF OF WORK AREAS:		
FIRST FLOOR:	1,260 SF	
SECOND FLOOR:	1,260 SF	

UNIT PRICES:

UNIT PRICE 1: REPOINTING PSF
UNIT PRICE 2: DOMESTIC WATER REPLACEMENT PIPING PLF

BID ALTERNATES:

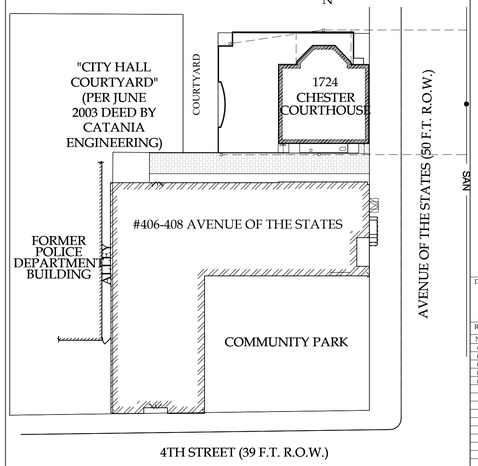
BID ALT 1: REMOVE THE NON- HISTORIC FIRST FLOOR PARTITION WALLS. REPAIR PLASTER AND PAINT WHERE PARTITION WALLS INTERSECTED PERIMETER WALLS.
BID ALT 2: REPAIR THE FIRST FLOOR -FLOOR BOARDS PER SCHEDULE ON SHEET A6.1.
BID ALT 3: REMOVE AND REPLACE EXTERIOR STORM WINDOWS FOR THE SECOND FLOOR.
BID ALT 4: REMOVE AND REPLACE EX'G MORTAR BEYOND BASE BID SCOPE OF WORK. SEE SHEETS A2.1 & A2.2.
BID ALT 5: INSTALL KITCHENETTE CABINETRY AND APPLIANCES.
BID ALT 6: REMOVE AND REPLACE FLAGSTONE WITH BRICK.
BID ALT 7: RESTORE 2ND FLOOR WINDOWS BEYOND BASE SCOPE, BY TEMPORARY REMOVAL, PREPARING, AND RE-GLAZING PER SPECIFICATION. FOR RESTORATION, TEMPORARY PROTECTION IN WINDOW OPENINGS REQUIRED WHILE SASHES ARE REMOVED. TEMPORARY PLYWOOD PROTECTION SHALL NOT DAMAGE EX'G FABRIC. SEE SHEET A6.1.



CHESTER COURTHOUSE

2 CS LOCATION MAP

N



1 CS SITE PLAN

PROJECT NORTH

SYMBOLS

- PHOTO (1 / A4)
- DETAIL ID (1 / A-1.1)
- DOOR ID (1 / 1)
- WINDOW ID (1)
- REVISION ID (1)
- SECTION (A / A-1.1)
- ELEVATION
- KEYNOTE (1)
- COL/BEAM GRID\ (1)
- JOIST/RAFTER DIRECTION

ABBREVIATIONS

D	DOWNSPOUT
EX'G	EXISTING
ga.	GAUGE
HDG	HOT-DIPPED GALVANIZED
HHB	HEX HEAD BOLT
L/C	LIMIT-OF-CONTRACT
LF	LINEAR FOOT
L.P	LOW POINT
MPH	MILES PER HOUR
NEC.	NECESSARY
NHL	NATURALLY HYDRAULIC LIME
NIC	NOT INCLUDED IN CONTRACT
NTS	NOT TO SCALE
PSF	POUNDS PER SQUARE FOOT
PT	PRESSURE TREATED
REQ	REQUIRED
S	STACK
SF	SQUARE FOOT
SST	STAINLESS STEEL
TYP	TYPICAL
VIF	VERIFY IN FIELD

SCOPE OF WORK:

EXTERIOR BUILDING ENVELOPE REPAIRS:
1. LOCALIZED STONE WALL REPAIRS INVOLVING VEGETATION REMOVAL, STONE PATCHING AND REPOINTING WITH MORTAR SPECIFIED BY MORTAR ANALYSIS.
2. REPAIR THE EXTERIOR WOOD TRIM, FASCIAS, SOFFITS, EAVES, AND THE CUPOLA.
3. REPAIRS TO THE SECOND FLOOR WINDOWS PER THE PROPOSED SCHEDULE ON PAGE A6.1.

INTERIOR BUILDING REPAIRS:
1. REMOVE THE NON HISTORIC WALLS ON THE SECOND FLOOR.
2. PLASTER REPAIRS AND INTERIOR PANTING THROUGHOUT THE BUILDING.
3. SECOND FLOOR CARPET REMOVAL.
4. SCRAPE, PRIME AND PAINT, INCLUDING BUT NOT LIMITED TO, EX'G CASEWORK, BENCHES, WAINSCOTING, COLUMNS, BALUSTERS, STAIR STRINGER. PAINT ANALYSIS REQUIRED TO VERIFY COLOR PRIOR TO PAINTING INTERIOR WOODWORK ON THE FIRST FLOOR.

HVAC SYSTEMS:
1. INSTALL A TEMPERATURE-BASED EXHAUST FAN AND EXHAUST LOUVERS IN THE ATTIC TO MINIMIZE SUMMER TEMPERATURE.

PLUMBING SYSTEMS:
1. SANITARY DRAINAGE AND VENTING FOR KITCHENETTE FIXTURES.
2. INSTALL ROUGH-IN PLUMBING FOR A KITCHENETTE AREA ON THE SECOND FLOOR.

ELECTRICAL SYSTEMS:
1. REPLACE UNGROUNDED ELECTRICAL CIRCUITS AS IDENTIFIED.
2. UPGRADE FIRE ALARM DETECTION SYSTEM.
3. REPLACE SECOND FLOOR LIGHT FIXTURES
4. REPLACE EXTERIOR LIGHTS BELOW PENT EAVE.

LIGHTNING PROTECTION SYSTEM:
1. INSTALL LIGHTNING PROTECTION SYSTEM PER SPECIFICATIONS.

1724 CHESTER COURTHOUSE
REHABILITATION
412 AVE OF THE STATES
CHESTER, PA 19013
CONTRACT # eDPW-040225

J&M PRESERVATION STUDIO
105 RUTGERS AVENUE, #244
SWARTHMORE, PA 19081
PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

NOT FOR CONSTRUCTION

DRAWING NAME:
COVER PAGE

REVISIONS:

NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	06.30.24
0.2	DD SUBMISSION	10.23.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25

DRAWN BY: AGS
REVIEWED BY: J&M

CS

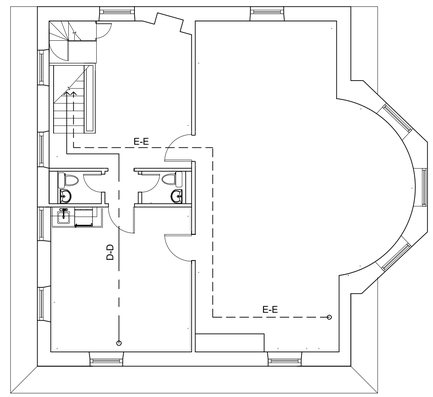
BUILDING CODE SUMMARY	
Classification of Work: IEBC Chapter 12 Historic Buildings & Chapter 7 Alterations Level 1, Chapter 8 Alterations Level 2 (for Attic only).	All work in occupied spaces classified as repairs "Level 1 alterations as described in Section 602, which includes replacement or covering of existing materials, elements, equipment or fixtures using new materials for the same purpose." Attic exhaust fan installation is Level 2 alteration, with less than 50% of work area with the addition of new equipment system.
Historic Building Designation: National Register of Historic Places	Added to NRHP: May 27, 1971
	NRHP Reference Number: 71000702
Occupancy Classification: IBC 303.4	Group A-3 first floor, B-use second floor
- Section 303.1.2 Small assembly spaces: A room or a space used for assembly purposes with an occupant load of less than 50 persons and accessory to another occupancy shall be classified as a Group B occupancy or as part of that occupancy.	No change of occupancy
Type of Construction: IBC Table 503	IIIB
Fire ratings: IBC 601 & 602	
- Primary structural frame	0 Hours
- Bearing walls	
-- Exterior	2 Hours
-- Interior	0 Hours
- Nonbearing walls and partitions - Exterior	0 Hours
- Nonbearing walls and partitions - Interior	0 Hours
- Floor construction and associated secondary members	0 Hours
- Roof construction and associated secondary members	0 Hours
IEBC Chapter 7 - Fire Protection	
IEBC 703.1 Alterations shall be done in a manner that maintains the level of fire protection provided.	Existing fire safety detection devices to be updated.
IEBC 803.2.2 Groups A, B, ... Work areas that have exits or corridors shared by more than one tenant of that have exits or corridors serving and occupant load greater than 30 shall be provide with automatic sprinkler protection where; the work are is required to be provided with an automatic sprinkler per the IBC for new construction AND the work area exceeds 50-percent of the floor area. **Exception:** If the building does not have sufficient municipal water supply for design of a fire sprinkler system available to the floor without installation of a new fire pump, work areas shall be protected by an automatic smoke detection system throughout all occupiable spaces other than sleeping units of individual dwelling units that activates the occupant notification system in accordance with Section 907 of the IBC.	Not required.
Automatic Sprinkler Systems: IBC 903.2.1.3	
- Group A-3 requires an automatic sprinkler system throughout stories containing Group A-3 occupancies and throughout all stories from the Group A-3 occupancy to and including the levels of exit discharge serving that occupancy where: *the fire area is located on a floor other than a level of exit discharge serving such occupancies.*	Not required.
IBC - F Table 906.3.1(1) Fire Extinguishers for Class A Fire Hazards	
Rating for Ordinary hazard occupancy: Min rated single extinguisher 2-A, 1500 sf per unit, 75 travel distance to extinguisher	Provide one per floor.
IBC - F 907.2.1 Group A. A manual fire alarm system is that activates the occupant notification system in accordance with section 907.5 shall be installed in Group A occupancies where the occupant load due to the assembly occupancy is 300 or more, or where the Group A occupant load is more than 100 persons above or below the lowest level of exit discharge.	Not required.
Exception: Manual fire alarm boxes are not required where the building is equipped with an automatic sprinkler system per 903.3.1.1 and the occupant notification appliances will activate throughout the notification zones upon sprinkler water flow.	
Maximum floor area allowances: IBC Table 1004.5	
Max Floor Area Allowances per Occupant	
No basement	
First floor - Total area (Gross)	1260 SF
First floor - Total area (Net)	
First floor - Existing Fixed Seating - benches (18" per person) IBC 1004.6= 90 LF	60
First floor - Concentrated chairs - not fixed (7 SF net)= 458 SF	65
First floor - Existing Platform unconcentrated tables & chairs (15 SF net)= 184 SF	12
TOTAL FIRST FLOOR OCCUPANCY	**138**
Second floor - total area (NET)	1170 SF
Second floor - Exhibit (30 net)	39
TOTAL SECOND FLOOR OCCUPANCY	**Max occupants: 29 (see below)**
Attic - Not occupied	0
Means of Egress Sizing (Existing)	
IBC 1005.3.1 Stairways (0.3 inch per occupant) = 41"	137
IBC 1005.3.2 Other egress components (0.2 inch per occupant) = 46" x 2; 40"	230
IBC Table 1006.2.1. Spaces with one exit or exit access doorway	
For A use: Without a sprinkler system 75 ft, max occupants 49	Three exits available. Max occupants see above.
See below for second story	
Table 1006.3.3 (2) Stories with one exit or access to one exit for the other occupancies	
First story above or below grade plane (A-3)	Three exits available: compliant
Second story above grade plane (B only) Max occupants = 29, max travel distance = 75 feet.	Max occupants 2nd floor: 29 persons; does not comply with travel distance. Code official reviewed on 11/26/24 per IEBC 1203.12 and noted <50% work area; no variance needed.
Exit Travel Distance 1017.2	
A-group, without sprinkler = 200' (at grade plane)	see egress diagrams
B-group without sprinkler, see above.	
IEBC Chapter 12: Historic Buildings	
Section 1202 Repairs:	
1202.2 Replacement or existing or missing features using original materials shall be permitted. Partial replacement of repairs that match the original configuration, height, and size shall be permitted.	

EGRESS SCHEDULE		
	TOTAL LENGTH	DISTANCE TO NEAREST EXIT *
EXIT PATH A-A	58.5'	29.5'
EXIT PATH B-B	53.5'	26.75'
EXIT PATH C-C	31.25'	31.25'
EXIT PATH D-D	69.5'	69.5'
EXIT PATH E-E	97.7'	97.7'
* THE CLOSEST EXIT ALONG THE EXIT ACCESS PATH WOULD BE AT THE MIDPOINT OF THE PATH; THEREFORE, TOTAL LENGH/2 = DISTANCE TO NEAREST EXIT		

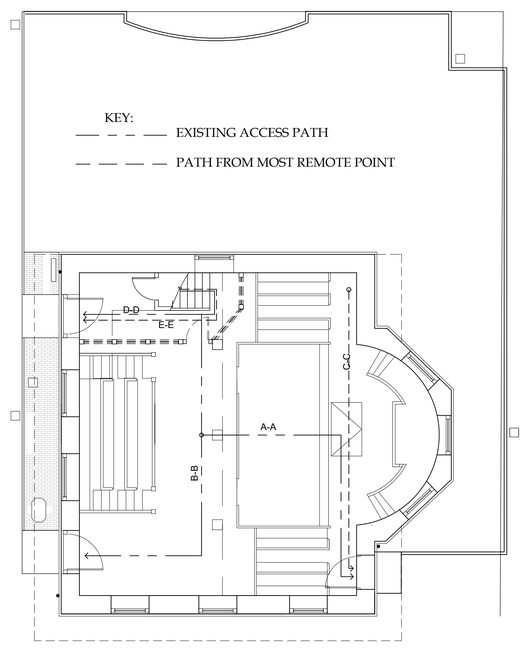
KEY:

EXISTING ACCESS PATH

PATH FROM MOST REMOTE POINT



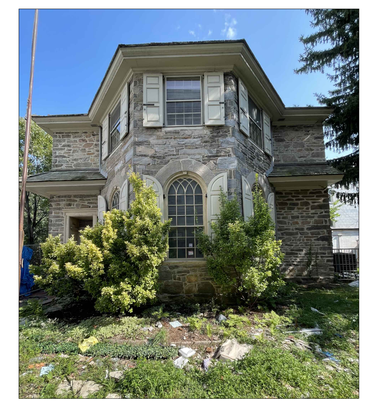
7 G1.0 SECOND FLOOR EGRESS DIAGRAM



6 G1.0 FIRST FLOOR EGRESS DIAGRAM

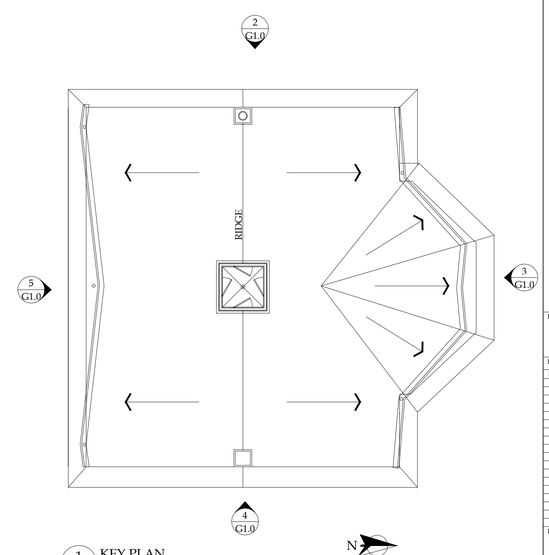
5 G1.0 PHOTO: SOUTH ELEVATION

4 G1.0 PHOTO: EAST ELEVATION



3 G1.0 PHOTO: NORTH ELEVATION

2 G1.0 PHOTO:WEST ELEVATION



1 G1.0 KEY PLAN

SCALE: 1/16"=1'-0"

1724 CHESTER COURTHOUSE REHABILITATION

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DRAWING NAME:
KEY PLAN, PHOTO AND CODE REVIEW

REVISIONS:

NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.25.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25

DRAWN BY: AGS

REVIEWED BY: J&M

G1.0

DEMOLITION NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH IBC AND IEBC 2018, CITY CODES, AND ACCEPTABLE CONSTRUCTION PRACTICES.

2. THE BUILDING SHALL NOT BE LEFT OPEN TO WEATHER, ANIMALS OR INTRUDERS AND CARE SHALL BE TAKEN DURING CONSTRUCTION. THE OWNER AND CONTRACTOR SHALL COMMUNICATE ON ACCEPTABLE METHODS.

3. ALL INSPECTIONS SHALL OCCUR PER CODE AND CITY REQUIREMENTS.

4. CONTRACTOR AND/OR WASTE HAULER SHALL FOLLOW ALL LOCAL CODE REQUIREMENTS RELATIVE TO RESPONSIBLE WASTE REMOVAL AND DISPOSAL.

GENERAL NOTES

1. CONTRACTOR SHALL REPAIR PLASTER WALLS AND CEILINGS. SEE SCHEDULE.

2. CONTRACTOR SHALL PREP, PRIME, AND PAINT PER SCHEDULES ON A6.1.

3. CONTRACTOR SHALL SCRAPE, PRIME AND PAINT, INCLUDING BUT NOT LIMITED TO, EX'G CASEWORK, BENCHES, WAINSCOTING, COLUMNS, BALUSTERS, STAIR STRINGER. CONTRACTOR SHALL PROCURE PAINT ANALYSIS TO VERIFY HISTORIC COLOR OF WOODWORK ON FIRST FLOOR. SEE PAINT SPEC FOR REQUIREMENTS.

4. THE COUNTY OF DELAWARE, PUBLIC WORKS DEPARTMENT SHALL DETERMINE THE STORAGE LOCATION FOR THE EX'G FURNITURE/ EXHIBITS. ANY FURNISHING REMAINING IN THE BUILDING DURING CONSTRUCTION SHALL BE TIGHTLY TARPED/ WRAPPED AND PROTECTED FROM DAMAGE.

BID ALT 1: REMOVE THE NON- HISTORIC FIRST FLOOR PARTITION WALLS.

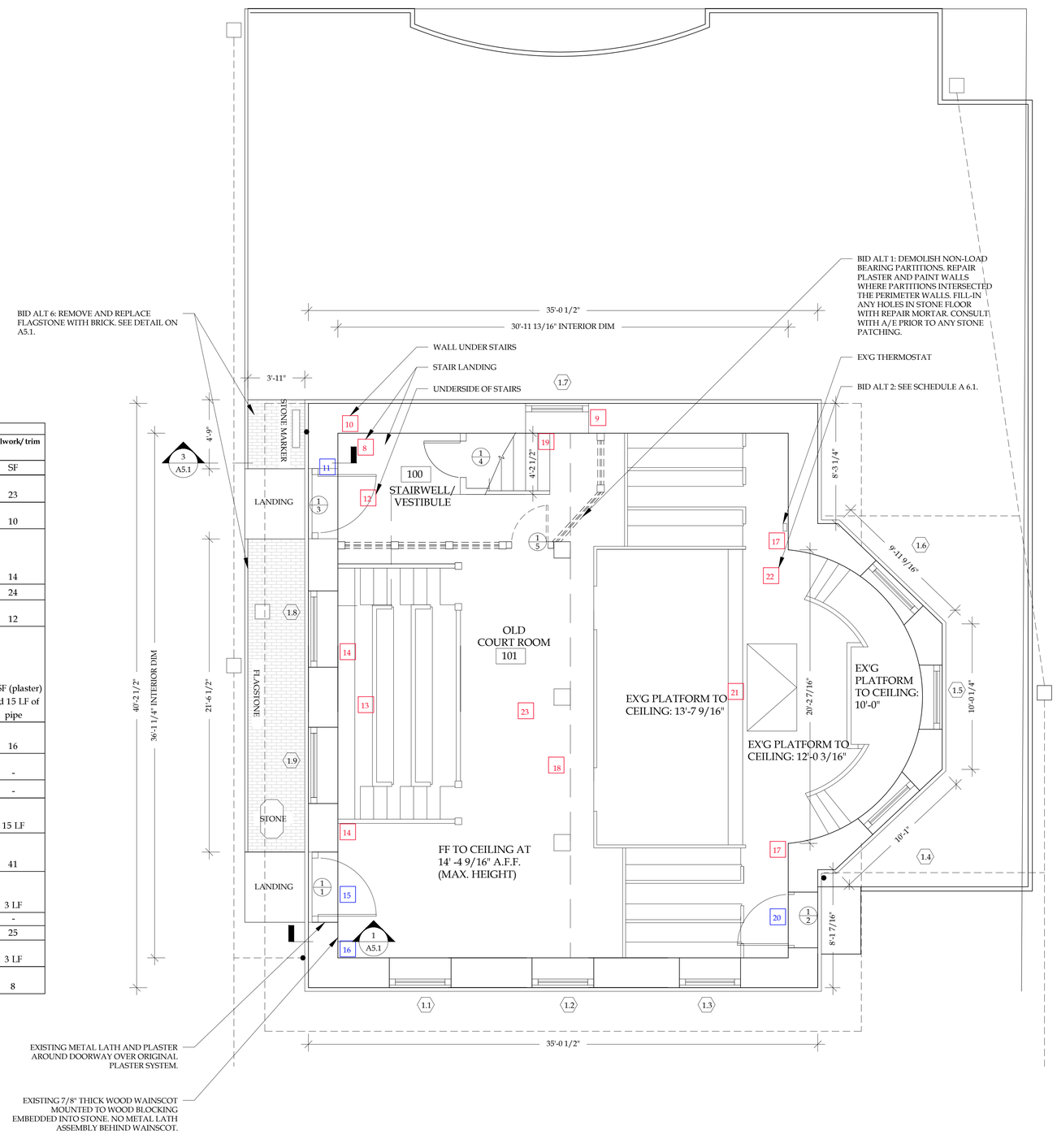
BID ALT 2: REPAIR THE FIRST FLOOR -FLOOR BOARDS PER SCHEDULE ON SHEET A6.1.

BID ALT 6: REMOVE AND REPLACE FLAGSTONE WITH BRICK. SEE A5.1.

INTERIOR PLASTER REPAIR SCHEDULE

Typ Note All Rooms: Any outlets, fixtures, equip., wiremold, etc removed or to be removed as part of this project shall have all holes filled, sanded, primed and painted. All wood millwork/ trim to be filled where necessary to repair cracks, gouges, splits, etc. prior to repainting.

KEY NOTE	LOCATION	CONDITION	SCOPE OF WORK	AREA	SF
8	Room 100 @ Landing	Plaster damage on walls at landing.	Cut out and replace damaged plaster.	29"x63"; 24"x63"	23
9	Room 100	Minor plaster damaged around window jamb 1.7	Scrape damaged material and refloat finish coat for plaster repair.	(2) 17x84"	10
10	Room 100	Plaster damage under staircase along the wall and ceiling	Cut out and replace damaged plaster	30x16" along ceiling; 30"x30-1/2"; 20"x 30-1/2" walls	14
11	Room 100	Plaster damage within door jamb, both sides	Work by others.	(2) 17" x 102"	24
12	Room 100	Minor plaster damage under the stair	Scrape damaged material and refloat finish coat for plaster repair.	36"x 48"	12
13	Room 101	Minor plaster damage on ceiling between windows 1.8 and 1.9 (water damage)	an evaluation of the existing piping below the second floor bathrooms. Provide allowance to repair/ replace existing piping if it is found that the pipes are in poor condition, coordinate with MEP drawing. Replace removed plaster.	16'-0" x 4'-0"	64 SF (plaster) and 15 LF of pipe
14	Room 101	Minor plaster damage on walls between windows 1.8-1.9, and door	Scrape damaged material and refloat finish coat for plaster repair.	(2) 24" x 48"	16
15	Room 101	Plaster damage on either side of door with exposed metal lath	Work by others.	-	-
16	Room 101	Plaster cracking/damage at wall	Work by others.	-	-
17	Room 101	Gaps in plaster @ arched trim/ casing @ platform.	Fill gaps in plaster.		15 LF
18	Room 101	Minor rot/ checking on ceiling beam and bubbled paint.	Fill any rot with epoxy. Sand, prime and repaint.	L= 36'-1 1/4"	41
19	Room 101	Termite damage on stair stringer. Termite treatment by others.	Remove termite damaged wood and fill with epoxy. Sand, prime, and repaint.	2.5 LF	3 LF
20	Room 101	Water infiltration through door threshold	Work by others.	-	-
21	Room 101	Large stain above platform on ceiling.	Clean ceiling.	60" x 60"	25
22	Room 101	BID ALT: Crack in wood floor board (10-3/4x77")	BID ALT: Crack L=31" to be repaired with wood epoxy.	L=31"	3 LF
23	Room 101	Minor plaster damage on ceiling.	Scrape damaged material and refloat finish coat for plaster repair.	24x48"	8



1 A1.1 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

N PROJECT NORTH

1724 CHESTER COURTHOUSE REHABILITATION

412 AVE OF THE STATES
CHESTER, PA 19013
CONTRACT # eDPW-040225

J&M PRESERVATION STUDIO

105 RUTGERS AVENUE, #244
SWARTHMORE, PA 19081
PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:
FIRST FLOOR PLAN

REVISIONS:

NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.25.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25

DRAWN BY: AGS

REVIEWED BY: J&M

A1.1

GENERAL NOTES

1. REMOVE EX'G CARPET TILES AND LIGHTLY SAND FLOORS TO REMOVE RESIDUE.
2. CONTRACTOR SHALL REPAIR PLASTER WALLS AND CEILINGS.
3. CONTRACTOR SHALL PREP, PRIME, AND PAINT PER SCHEDULES ON A6.1.
4. REMOVE PARTIAL HEIGHT PARTITIONS AND REPAIR HOLES IN FINISHES.
5. SEE WINDOW AND DOOR SCHEDULE FOR REPAIRS ON SHEET A6.1.
6. ROUGH IN KITCHENETTE PLUMBING AND CAP OFF FOR FUTURE INSTALLATION.

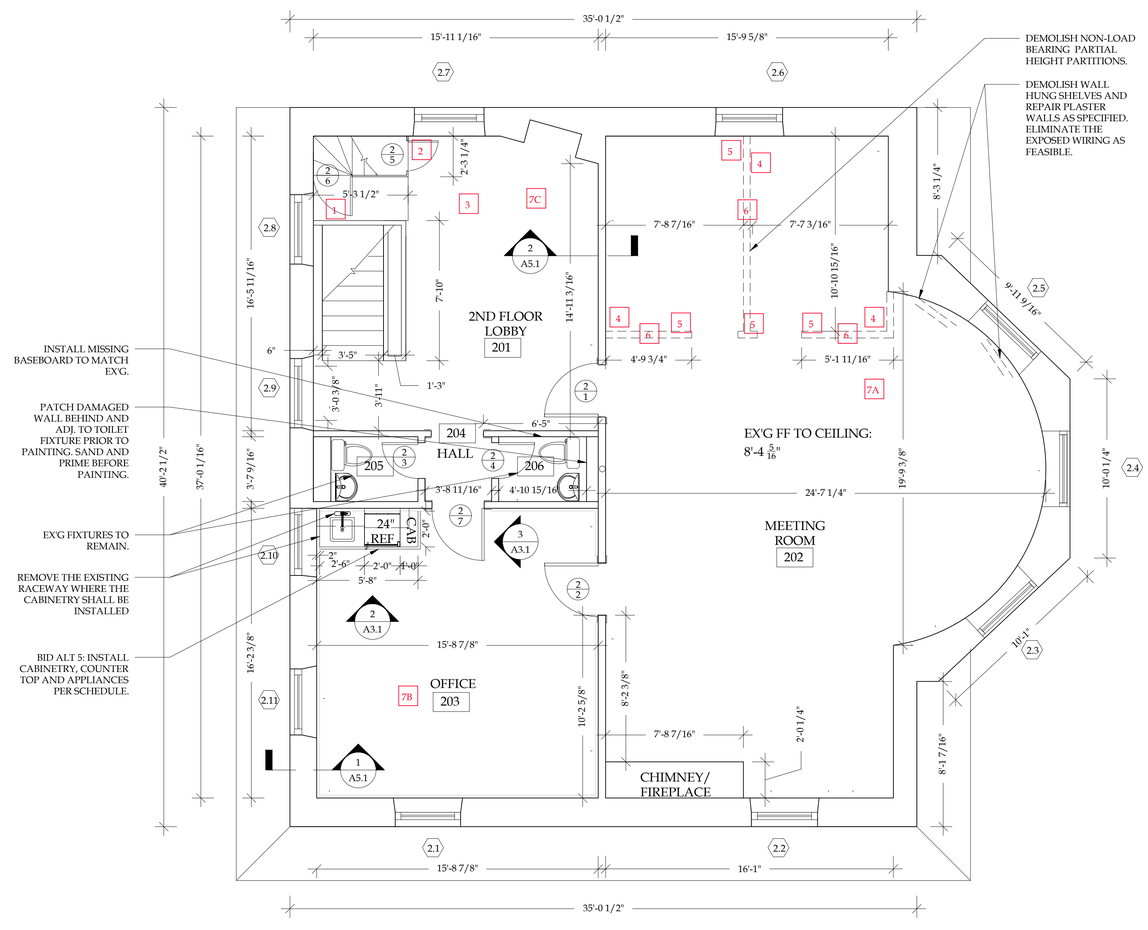
BID ALT 3: REMOVE AND REPLACE EXTERIOR STORM WINDOWS FOR THE SECOND FLOOR.

BID ALT 5: INSTALL KITCHENETTE CABINETRY AND APPLIANCES PER A3.1.

INTERIOR PLASTER REPAIR SCHEDULE

Typ Note All Rooms: Any outlets, fixtures, equip., wiremold, etc removed or to be removed as part of this project shall have all holes filled, sanded, primed and painted. All wood millwork/ trim to be filled where necessary to repair cracks, gouges, splits, etc. prior to repainting.

KEY NOTE	LOCATION	CONDITION	SCOPE OF WORK	AREA	SF
1	Room 201	Plaster damage below window 2.8	Cut-out and replace damaged plaster	40x28"	7.8
2	Room 201	Plaster damage below window 2.7	Cut-out and replace damaged plaster	20x26"	3.6
3	Room 201	Plaster damage along ceiling	Cut-out and replace damaged plaster	28x35"	6.8
4	Room 202	(3) partition walls to be demolished	Minor surface repair to walls after demolition of walls, and minor touch-ups on baseboards and chair-rail, typ.	(2) x 78" high; (1) x 36" high	19.5
5	Room 202	(3) partition walls to be demolished	Repair holes in ceiling after (4) steel posts are removed	4" diameter (x4)	1.5
6	Room 202	(3) partition walls to be demolished	Fill holes in wood floors from wall plate removal	LF= 29.65"	207.5
7A	Room 202	Misc. holes in walls from previously mounted items	Fill holes in walls and sand smooth, and prime prior to repainting, typ.	N/A	-
7B	Room 203	Misc. holes in walls from previously mounted items	Fill holes in walls and sand smooth, and prime prior to repainting, typ.	N/A	-
7C	Room 201	Misc. holes in walls from previously mounted items	Fill holes in walls and sand smooth, and prime prior to repainting, typ.	N/A	-



1 A1.2 SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

N PROJECT NORTH

1724 CHESTER COURTHOUSE REHABILITATION

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CHESTER, PA 19013
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J&M PRESERVATION STUDIO

105 RUTGERS AVENUE, #244
SWARTHMORE, PA 19081
PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:
SECOND FLOOR PLAN

REVISIONS:

NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.23.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25

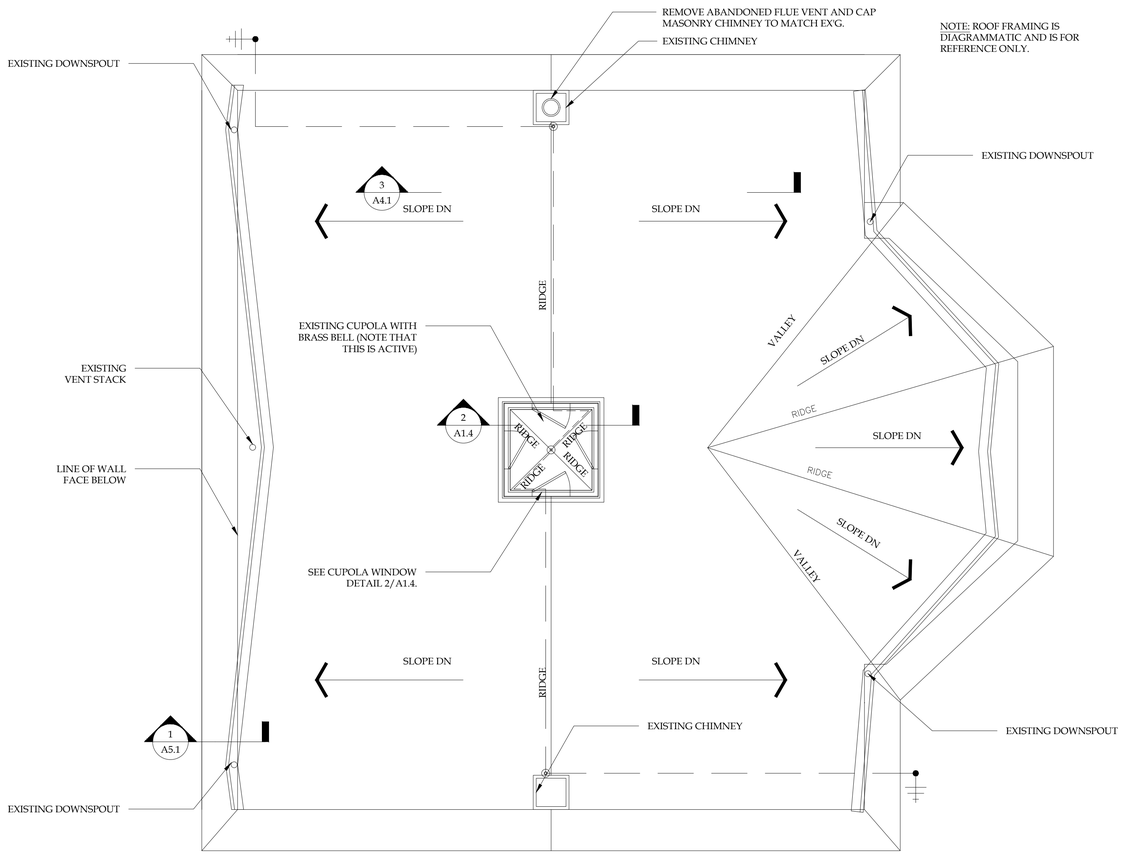
DRAWN BY: AGS

REVIEWED BY: J&M

A1.2

GENERAL NOTES

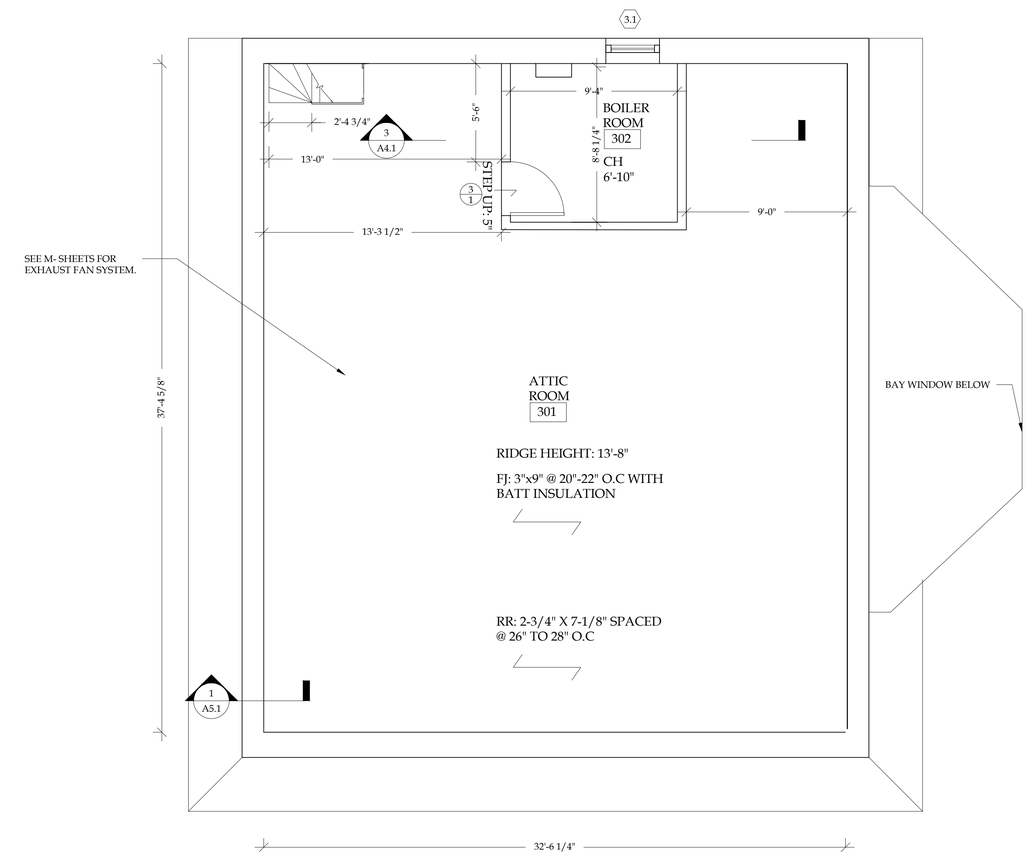
1. SEE WINDOW AND DOOR SCHEDULE FOR REPAIRS ON SHEET A6.1.
2. SEE MECHANICAL PLAN FOR VENTING SYSTEM INSTALLATION.
3. ALL LEADERS AND GUTTERS TO BE CLEANED OF DEBRIS. SCOPE LINES TO ENSURE PROPER DRAINAGE. INSPECT LEADERS AND GUTTERS FOR ANY OPEN SEAMS OR HOLES AND REPAIR AS REQ.
4. SHINGLE ROOFING WORK BY OTHERS.



2 A1.3 ROOF PLAN

SCALE: 1/4"=1'-0"

N PROJECT NORTH



1 A1.3 ATTIC FLOOR PLAN

SCALE: 1/4"=1'-0"

N PROJECT NORTH

1724 CHESTER COURTHOUSE REHABILITATION

412 AVE OF THE STATES
CHESTER, PA 19013
CONTRACT # eDPW-040225

J&M PRESERVATION STUDIO

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SWARTHMORE, PA 19081
PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:
ATTIC FLOOR AND ROOF PLAN

REVISIONS:

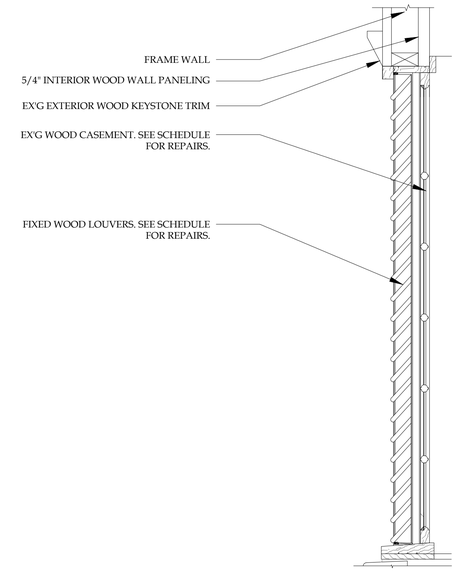
NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.23.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25

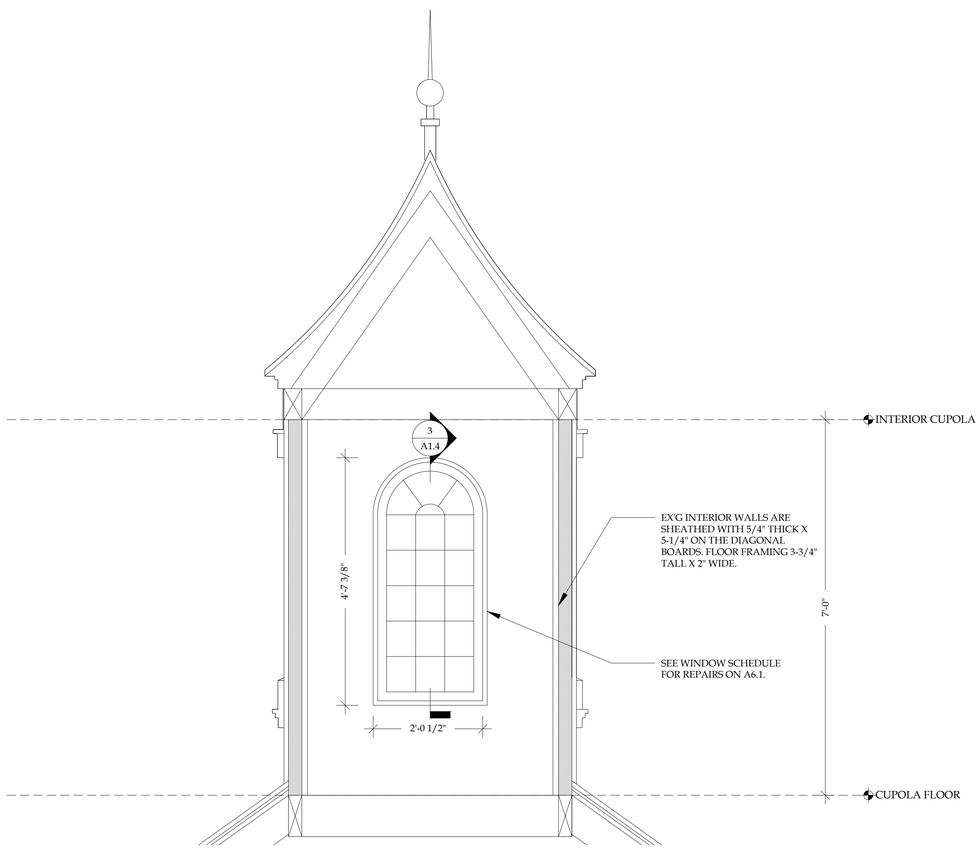
DRAWN BY: AGS

REVIEWED BY: J&M

A1.3

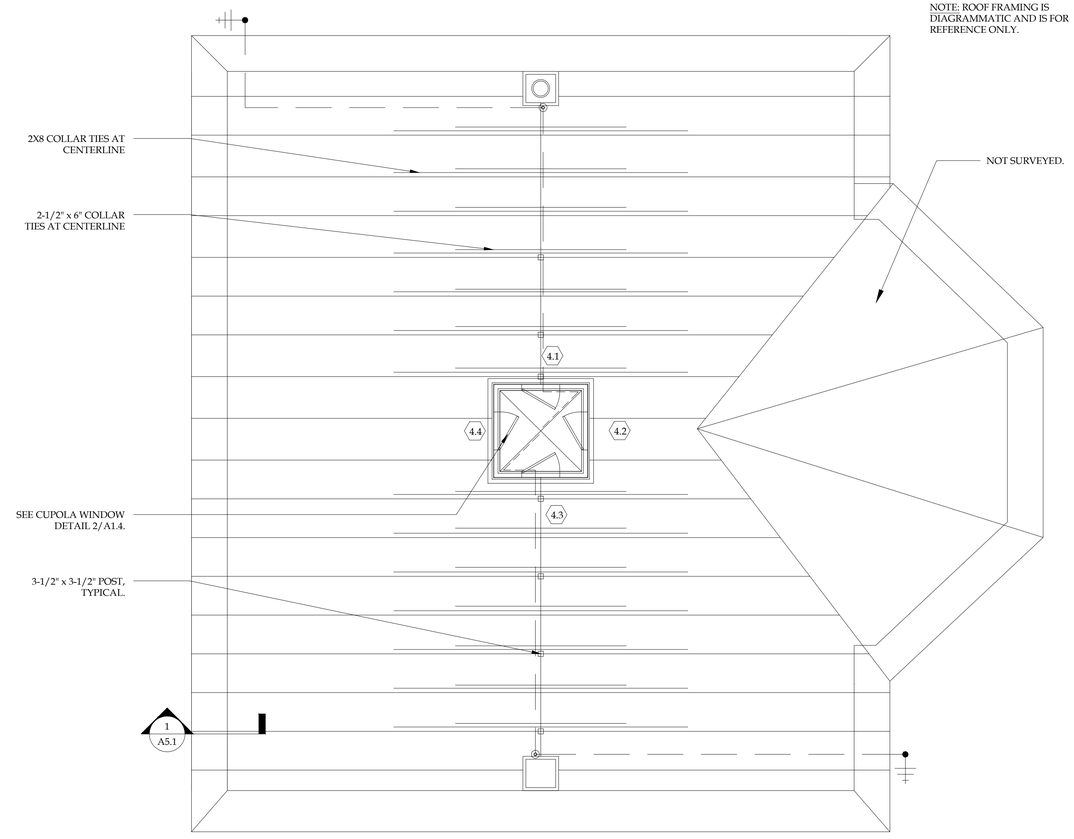


3 / A1.4 CUPOLA WINDOW SECTION DETAIL
SCALE: 1-1/2"=1'-0"



2 / A1.4 CUPOLA WINDOW INTERIOR ELEVATION
SCALE: 3/4"=1'-0"

NOTE: ROOF FRAMING IS DIAGRAMMATIC AND IS FOR REFERENCE ONLY.



1 / A1.4 ROOF FRAMING DIAGRAM
SCALE: 1/4"=1'-0"

N
PROJECT NORTH

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PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:
ROOF DIAGRAM AND CUPOLA DETAILS

REVISIONS:

NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.23.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

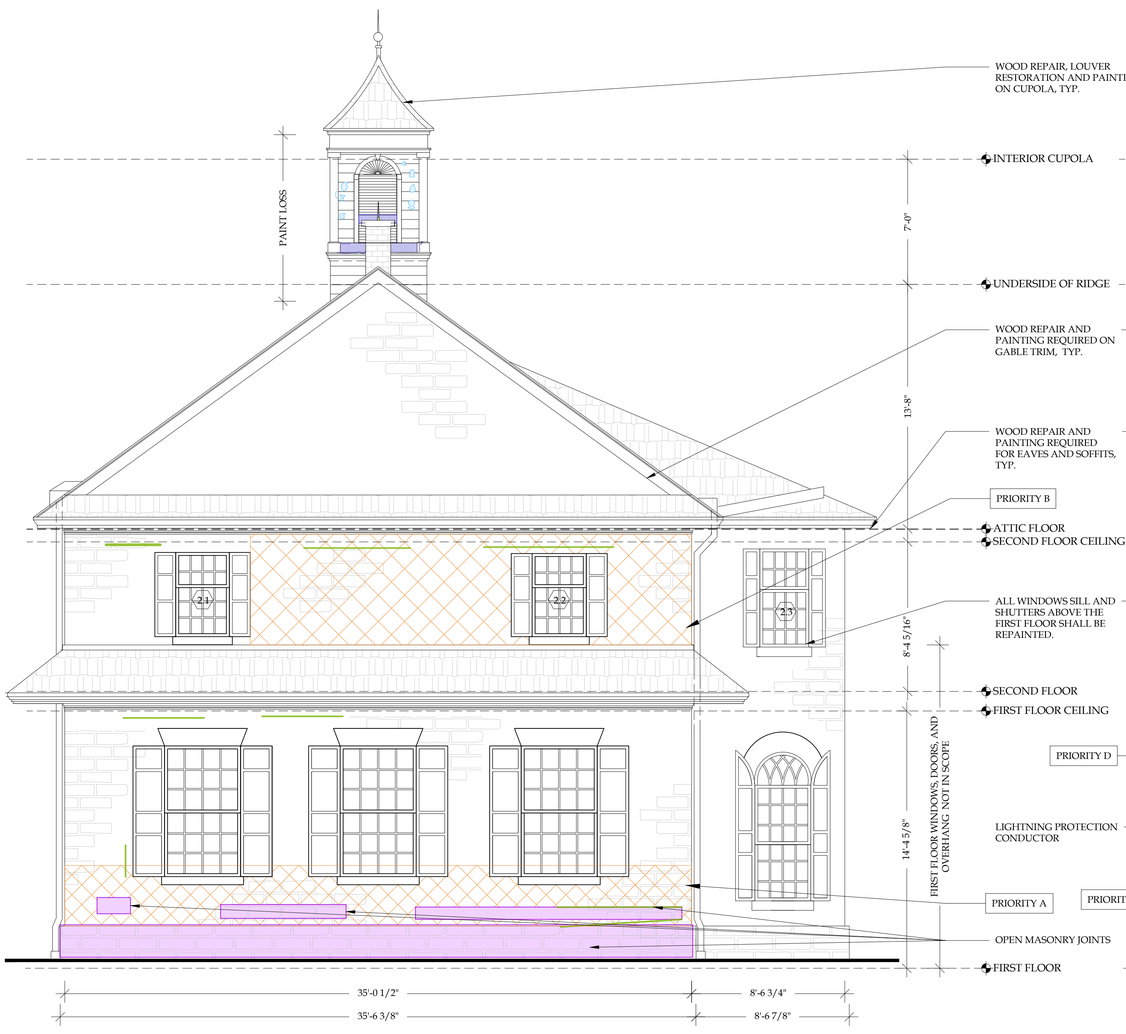
DATE: 01/24/25
DRAWN BY: AGS
REVIEWED BY: J&M
A1.4

GENERAL NOTES

1. SEE WINDOW AND DOOR SCHEDULE FOR REPAIRS ON SHEET A6.1.
2. FIRST FLOOR EXTERIOR PAINT BY OTHERS.
3. ROOFING WORK BY OTHERS.
4. SEE ROOF PLAN FOR DRAINAGE REPAIRS.
5. INSTALL URETHANE BASED JOINT SEALANT TO MATCH MORTAR COLOR AROUND ALL WINDOWS AND DOORS. TOOL CONCAVE TO RECESS JOINT, TYP.

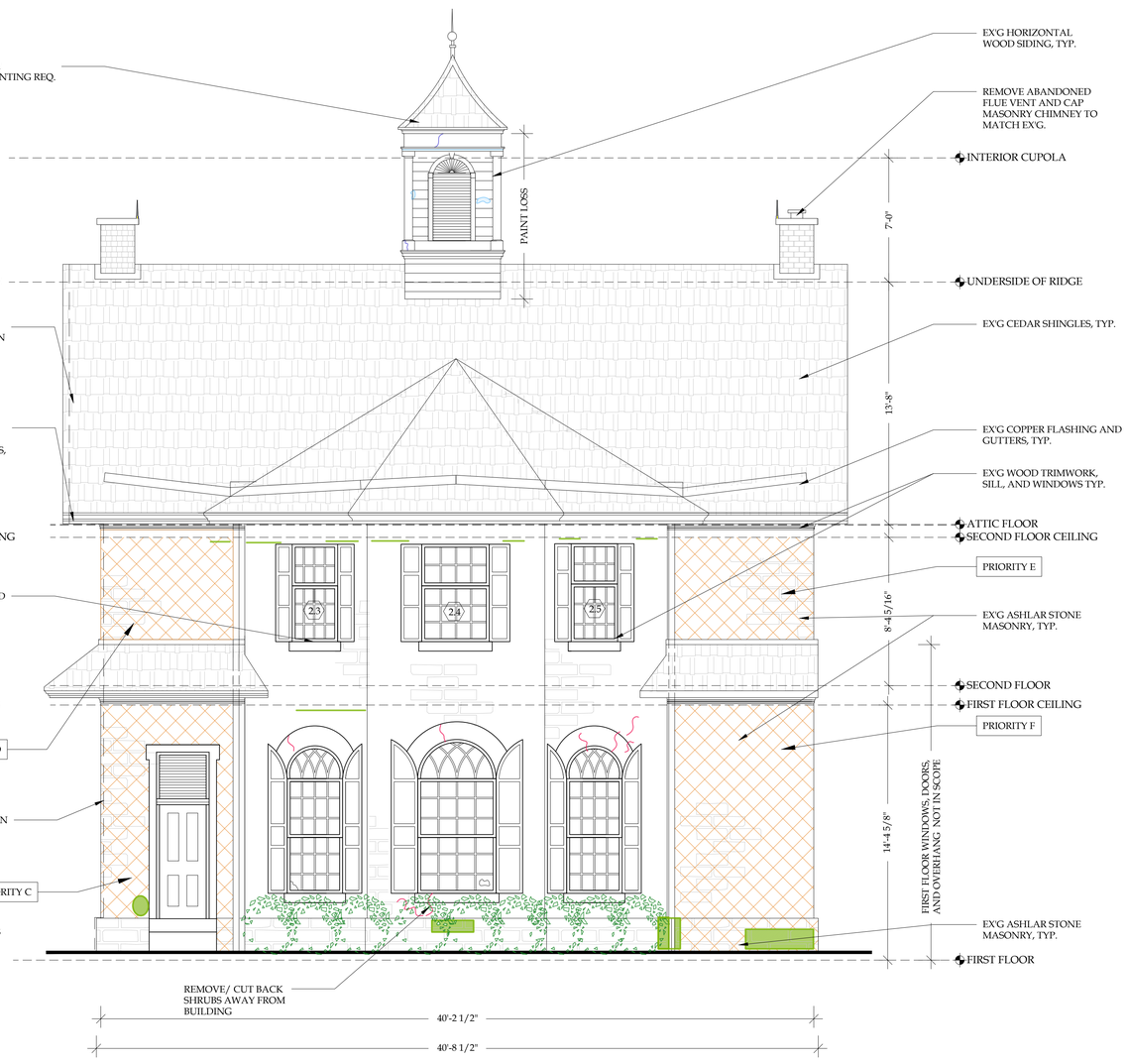
REPAIR LEGEND:

- PAINT FAILURE: CONTRACTOR SHALL ASSUME MINOR EPOXY REPAIR REQUIRED PRIOR TO PRIMING AND PAINTING
- CRACKING: CONTRACTOR SHALL CLEAN DEBRIS FROM MASONRY CRACK AND FILL WITH MORTAR. RAKE MORTAR FLUSH WITH ADJ. SURFACE
- WOOD ROT: CONTRACTOR SHALL REMOVE ROTTED WOOD AND INSTALL DUTCHMAN OR EPOXY REPAIR. VIF IN A/E.
- OPEN JOINT: ALL OPEN AND DETERIORATED JOINTS SHALL BE RAKED OUT AND REPOINTED
- SPALL (STONE): REMOVE LOOSE MATERIAL AND PATCH WITH JAHN REPAIR MORTARS.
- VEGETATION GROWTH: REMOVE IVY/VEGETATION AND LIGHTLY CLEAN SURFACE. ALL ROOTS SHALL BE DUG OUT/REMOVED. ASSUME LOCALIZED REPOINTING REQ. AFTER IVY IS REMOVED.
- BID ALT #4 REMOVE EX'G MORTAR & REPOINT. PRIORITY LEVELS LISTED FROM A (HIGH) TO J (LOW).
  - PRIORITY A
  - PRIORITY B
  - PRIORITY C
  - PRIORITY D
  - PRIORITY E
  - PRIORITY F
  - PRIORITY G
  - PRIORITY H
  - PRIORITY J



2 A2.1 EAST ELEVATION

SCALE: 1/4"=1'-0"



1 A2.1 NORTH ELEVATION

SCALE: 1/4"=1'-0"

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PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:
ELEVATIONS: NORTH & EAST

REVISIONS:

NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.23.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25

DRAWN BY: AGS

REVIEWED BY: J&M

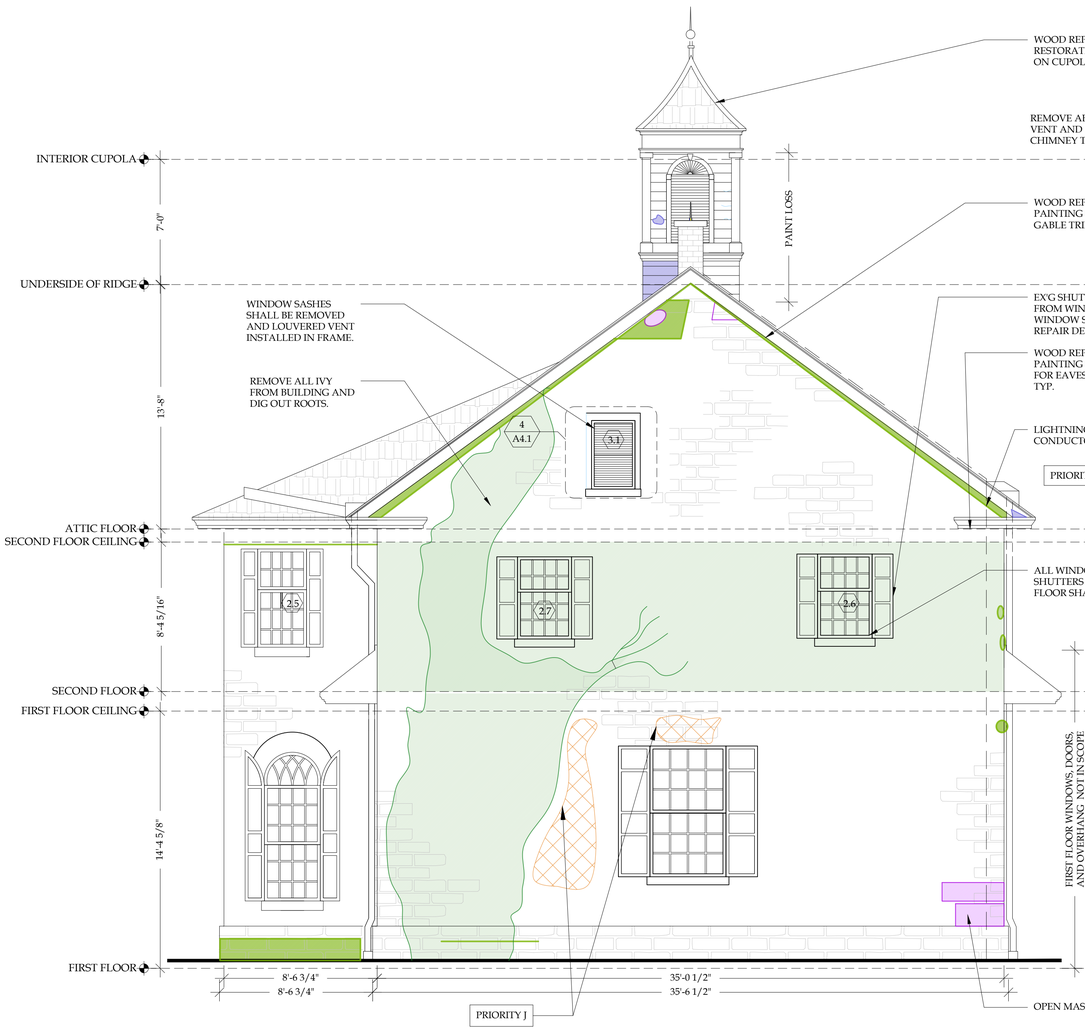
A2.1

GENERAL NOTES

1. SEE WINDOW AND DOOR SCHEDULE FOR REPAIRS ON SHEET A6.1.
2. FIRST FLOOR EXTERIOR PAINT BY OTHERS.
3. ROOFING WORK BY OTHERS.
4. SEE ROOF PLAN FOR DRAINAGE REPAIRS.
5. INSTALL URETHANE BASED JOINT SEALANT TO MATCH MORTAR COLOR AROUND ALL WINDOWS AND DOORS. TOOL CONCAVE TO RECESS JOINT, TYP.

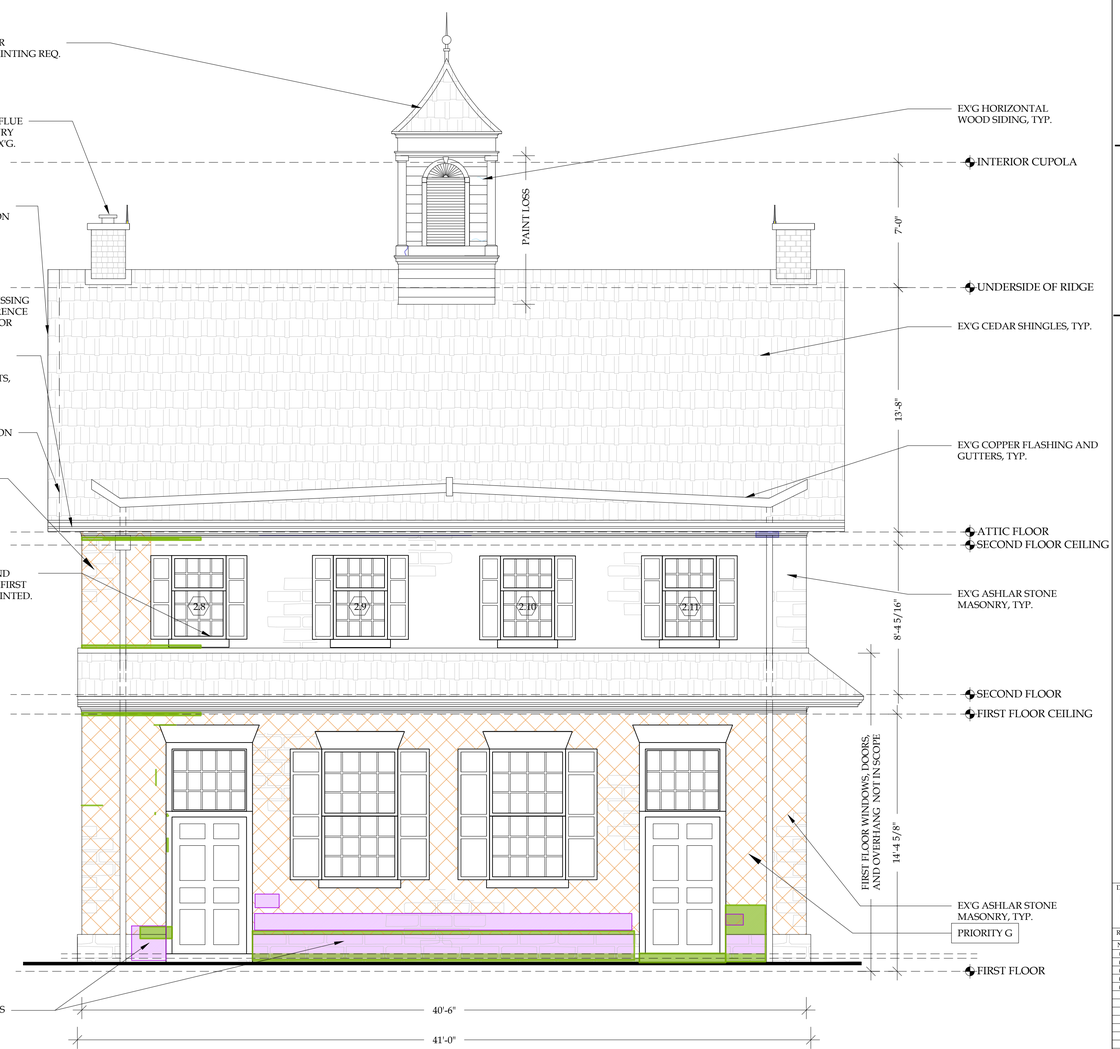
REPAIR LEGEND:

- PAINT FAILURE: CONTRACTOR SHALL ASSUME MINOR EPOXY REPAIR REQUIRED PRIOR TO PRIMING AND PAINTING
- CRACKING: CONTRACTOR SHALL CLEAN DEBRIS FROM MASONRY CRACK AND FILL WITH MORTAR. RAKE MORTAR FLUSH WITH ADJ. SURFACE
- WOOD ROT: CONTRACTOR SHALL REMOVE ROTTED WOOD AND INSTALL DUTCHMAN OR EPOXY REPAIR. VIF IN A/E.
- OPEN JOINT: ALL OPEN AND DETERIORATED JOINTS SHALL BE RAKED OUT AND REPOINTED
- SPALL (STONE): REMOVE LOOSE MATERIAL AND PATCH WITH JAHN REPAIR MORTARS.
- VEGETATION GROWTH: REMOVE IVY/VEGETATION AND LIGHTLY CLEAN SURFACE. ALL ROOTS SHALL BE DUG OUT/REMOVED. ASSUME LOCALIZED REPOINTING REQ. AFTER IVY IS REMOVED.
- BID ALT #4 REMOVE EX'G MORTAR & REPOINT. PRIORITY LEVELS LISTED FROM A (HIGH) TO J (LOW).
  - PRIORITY A
  - PRIORITY B
  - PRIORITY C
  - PRIORITY D
  - PRIORITY E
  - PRIORITY F
  - PRIORITY G
  - PRIORITY H
  - PRIORITY J



2 A2.2 WEST ELEVATION

SCALE: 1/4"=1'-0"



1 A2.2 SOUTH ELEVATION

SCALE: 1/4"=1'-0"

1724 CHESTER COURTHOUSE REHABILITATION

412 AVE OF THE STATES
CHESTER, PA 19013
CONTRACT # eDPW-040225

J&M PRESERVATION STUDIO

105 RUTGERS AVENUE, #244
SWARTHMORE, PA 19081
PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:
ELEVATIONS: SOUTH AND WEST

REVISIONS:

NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.25.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

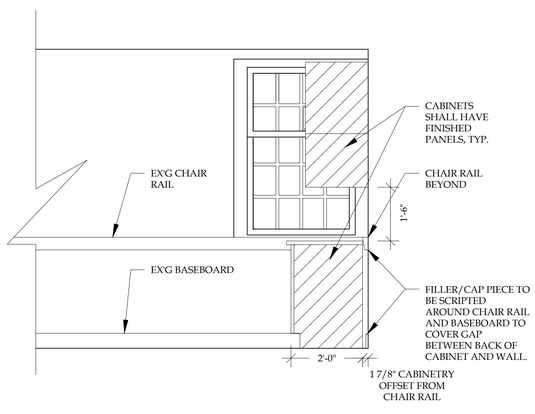
DATE: 01/24/25

DRAWN BY: AGS

REVIEWED BY: J&M

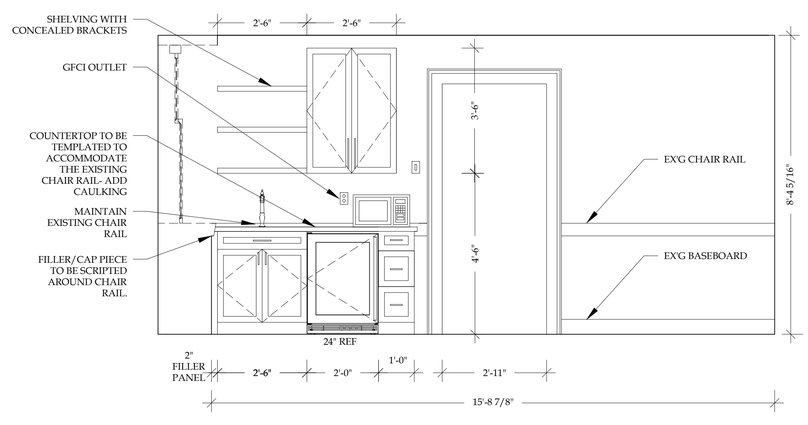
A2.2

SECOND FLOOR KITCHENNETTE: FIXTURE SCHEDULE						
ROOM	ITEM	MANUFACTURE	MAKE/MODEL	COLOR/FINISH	NOTES	LINKS
KITCHENETTE	CABINETRY	CONTRACTORS OPTION	SHAKER STYLE	CLEAR WOOD STAIN; FINAL COLOR TBD W/OWNER	CONTRACTORS OPTION FOR PRE-ASSEMBLED OR RTA, ALL PLYWOOD CONSTRUCTION	https://www.rtacabinetstore.com/RTA-Kitchen-Cabinets/florence-honey-shaker-kitchen-cabinets
						https://www.rtacabinetstore.com/RTA-Kitchen-Cabinets/timber-toffee-kitchen-cabinets
	HARDWARE	CONTRACTORS OPTION	PULLS	BLACK	OR SIM CONTRACTORS OPTION. 4" DRAWER PULLS AND 10" UPPER CABINETRY HANDLES.	https://www.build.com/emtek-86705/s1523338?uid=3595365
	COUNTERTOP	FORMICA/HAMPTON BAY	COUNTERTOP KIT WITH FULL WRAP OGEE EDGE	WILSONART STANDARD LAMINATE: OILED SOAPSTONE (#4882-38)	OR SIM CONTRACTORS OPTION	https://www.wilsonart.com/oiled-soapstone-4882
	BACKSPLASH				MAINTAIN EXISTING CHAIR RAIL	
	SINK	AMERICAN STANDARD	EDGWATER 25" DROP-IN SINGLE BASIN SINK WITH STRAINER	STAINLESS STEEL	OR SIM CONTRACTORS OPTION	https://www.build.com/american-standard-18sb-6252211/s1602776?uid=3826520&searchId=zoVNT75GF0
	FAUCET	DELTA	EMERY SINGLE HANDLE PULL DOWN SPRAYER WITH SHIELD SPRAY	SATIN NICKEL/STAINLESS	NO SOAP DISPENSER	https://www.deltafaucet.com/kitchen/product/19805Z-SD-DST.html
	SHELVING	OMEGA NATIONAL PRODUCTS	FS0130XUF1	SOLID RED OAK OR HICKORY- STAIN TO MATCH KITCHENETTE CABINETRY		https://www.cabinetparts.com/p/omega-national-products-shelf-hardware-floating-shelf-systems-ONPFS0130XUF1-p32952?srsltid=AfmBOoqXq0BZI0NVC8RckJwUfJY5wEi1TCVZ2Oyfbp5EDt0f3DZh_AHFxII#productinfo
	24" MINI REFRIGERATOR	SUMMIT	AL54	STAINLESS	BUILT IN UNDERCOUNTER REF OR SIM CONTRACTORS OPTION	https://www.homedepot.com/p/Summit-Appliance-24-in-W-5-5-cu-ft-Freezerless-Refrigerator-in-Black-FF63BK2/316803824
	21 3/4" MICROWAVE	WHIRLPOOL	W11510169A	Stainless Steel	COUNTER TOP OR SIM CONTRACTORS OPTION (VENTLESS)	https://www.lowes.com/pd/Whirlpool-1-6-cu-ft-1200-Watt-Countertop-Microwave-Black/5014712349?store=1670&cm_mmc=shp-_-c-_-prd-_-app-_-ggl-_-UIA_APP_186_Cooking-_-5014712349-_-local-_-0-_-0&ds_rl=1286890&gad_source=1&gclid=Cj0KCQiAuou6BhDhARIsAIfgrn7SCB6J2PtxT9RBKXT94gDORB9I0oO30GZ_oe_Ocz5bXWStzEeX-PoaAl_TEALw_wcB&gclsrc=aw.ds



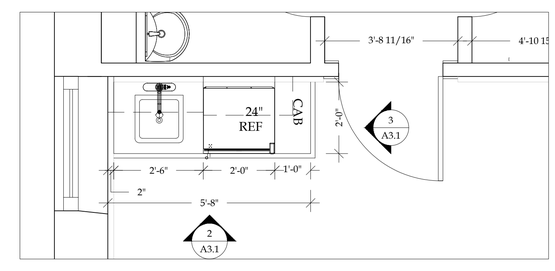
3 A3.1 BID ALT: KITCHENETTE SIDE ELEVATION

SCALE: 1/2"=1'-0"



2 A3.1 BID ALT: KITCHENETTE INTERIOR ELEVATION

SCALE: 1/2"=1'-0"



1 A3.1 BID ALT: KITCHENETTE FLOOR PLAN

SCALE: 1/2"=1'-0"

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SWARTHMORE, PA 19081
PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:
KITCHENETTE DETAILS

REVISIONS:

NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.23.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25

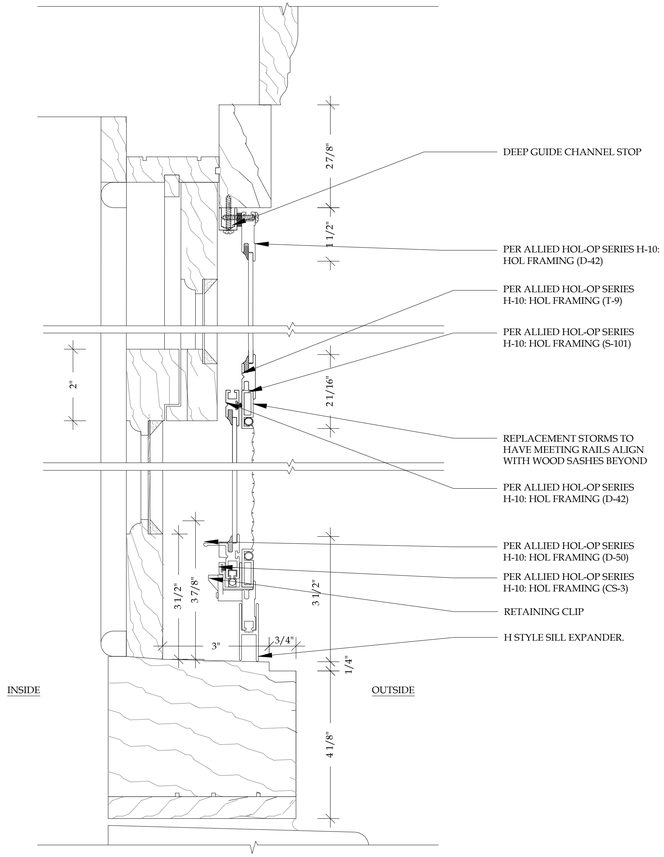
DRAWN BY: AGS

REVIEWED BY: J&M

A3.1

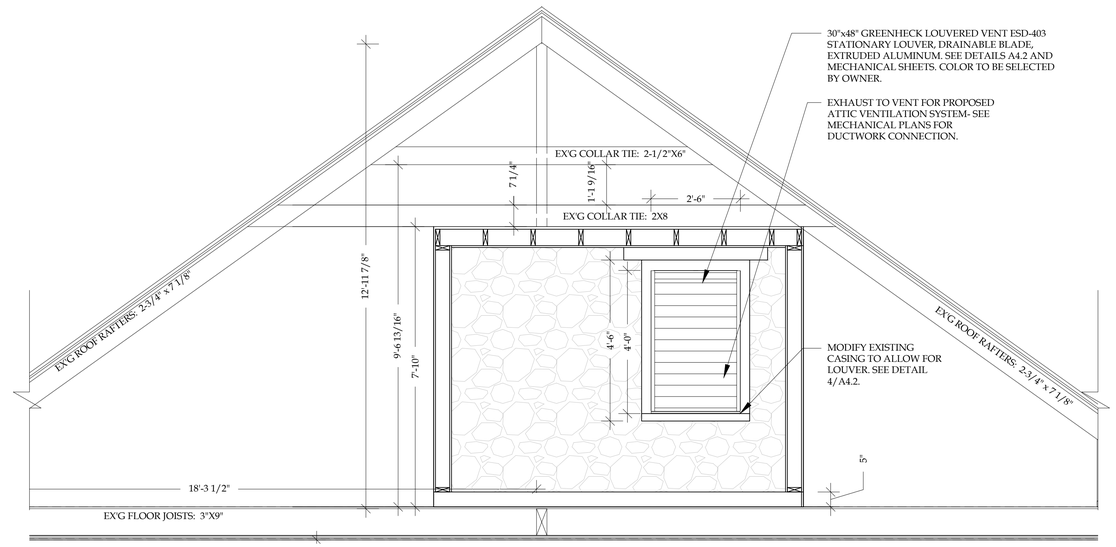
GENERAL NOTES

1. SEE WINDOW SCHEDULE FOR TYP. REPAIR/ RESTORATION NOTES.
2. EX'G STORM WINDOW FLANGE IS 3/4" AND IS FASTENED TO THE WOOD FRAME WITH WOOD SCREWS. EX'G STORM WINDOW BRAND BASED ON PREVIOUS DOCUMENTATION IS BELIEVED TO BE HARVEY TRU CHANNEL STORM WINDOW.
3. EX'G STORM WINDOW CAN BE REMOVED FROM THE INTERIOR, HOWEVER THE INTERIOR SASHES MAY INTERFERE AND MAY BECOME DAMAGED. CONTRACTOR SHALL REVIEW MEANS AND METHODS WITH A/E PRIOR TO COMMENCING WORK.



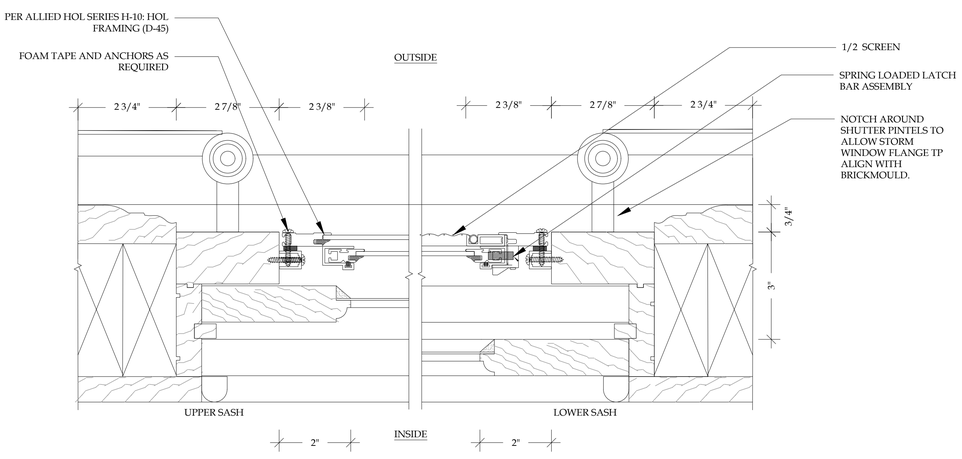
4 A4.1 REPLACEMENT STORM WINDOW SECTION DETAIL W/ EX'G WINDOW

SCALE: 6"=1'-0"



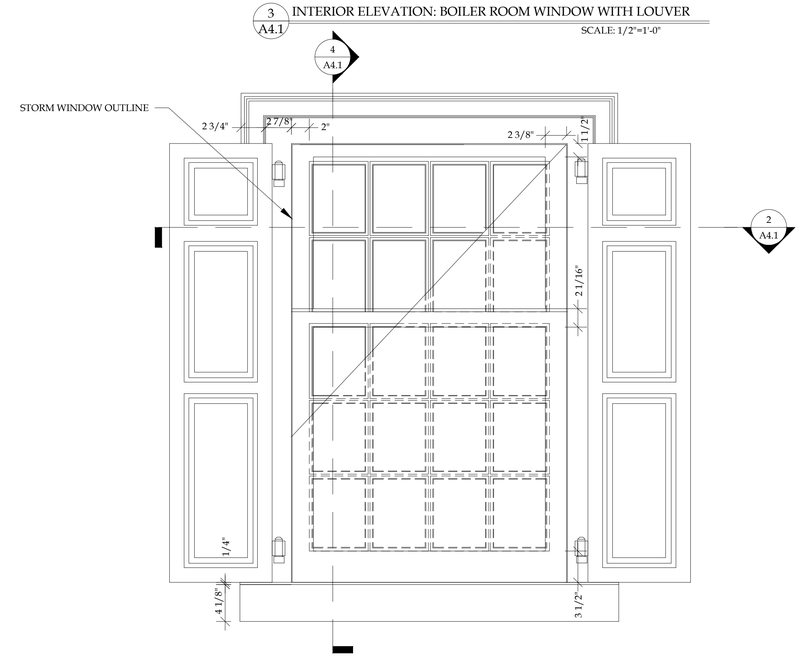
3 A4.1 INTERIOR ELEVATION: BOILER ROOM WINDOW WITH LOUVER

SCALE: 1/2"=1'-0"



2 A4.1 REPLACEMENT STORM WINDOW SECTION DETAIL W/ EX'G WINDOW

SCALE: 6"=1'-0"



1 A4.1 BID ALT: EX'G WINDOW WITH REPLACEMENT STORM WINDOW APPLIED

SCALE: 1-1/2"=1'-0"

1724 CHESTER COURTHOUSE REHABILITATION

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SWARTHMORE, PA 19081
PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:

WINDOW DETAILS

REVISIONS:

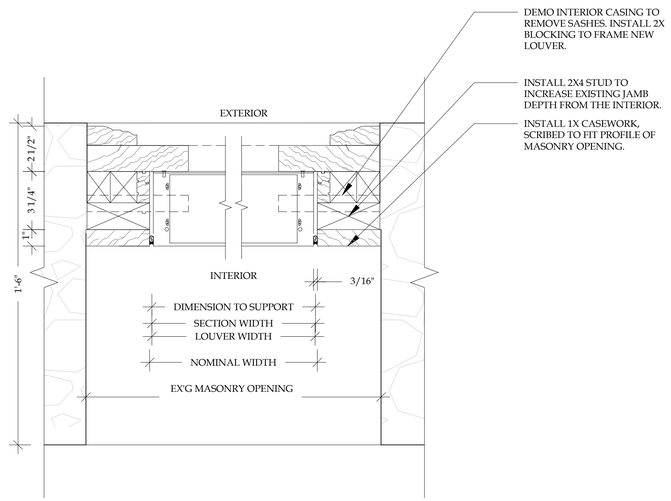
NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.23.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25

DRAWN BY: AGS

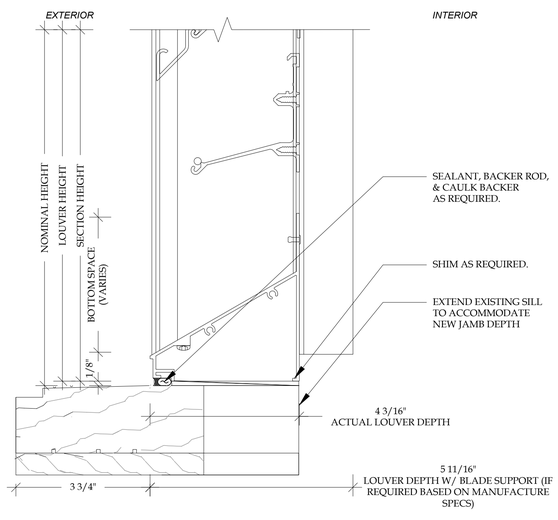
REVIEWED BY: J&M

A4.1



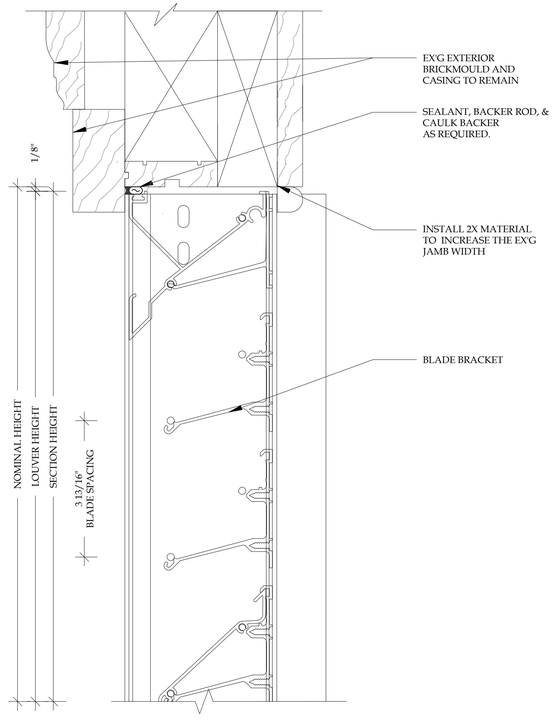
4 A4.2 LOUVER SECTION: JAMB DETAIL

SCALE: 3"=1'-0"



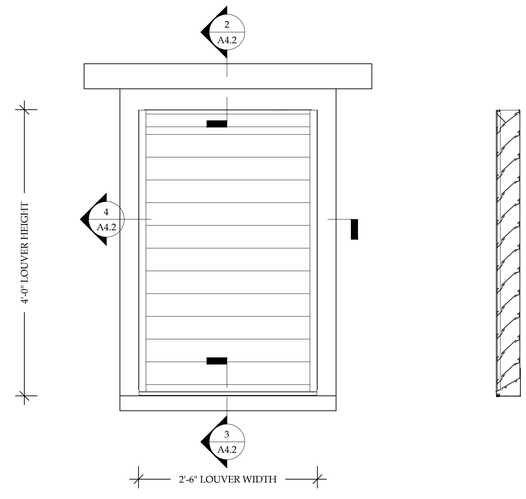
3 A4.2 LOUVER SECTION: SILL DETAIL

SCALE: 6"=1'-0"



2 A4.2 LOUVER SECTION: HEADER DETAIL

SCALE: 6"=1'-0"



1 A4.2 WINDOW LOUVER ELEVATION DETAIL

SCALE: 1"=1'-0"

1724 CHESTER COURTHOUSE REHABILITATION

412 AVE OF THE STATES
CHESTER, PA 19013
CONTRACT # eDPW-040225

J&M PRESERVATION STUDIO

105 RUTGERS AVENUE, #244
SWARTHMORE, PA 19081
PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:

LOUVER DETAILS

REVISIONS:

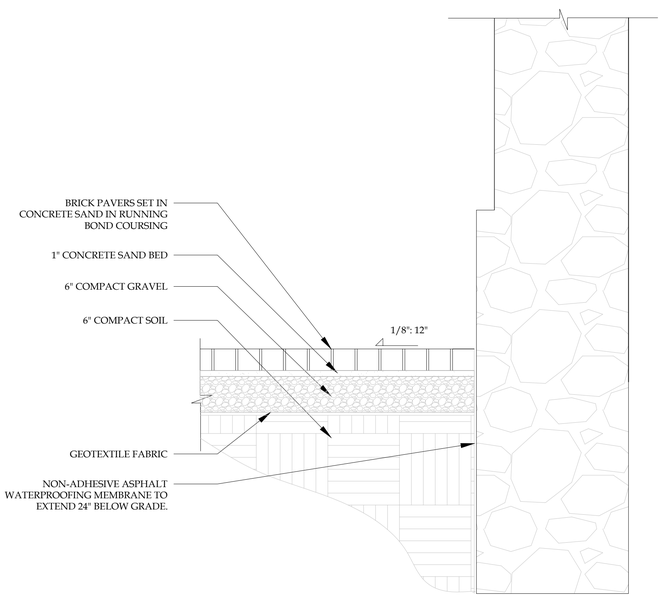
NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.23.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25

DRAWN BY: AGS

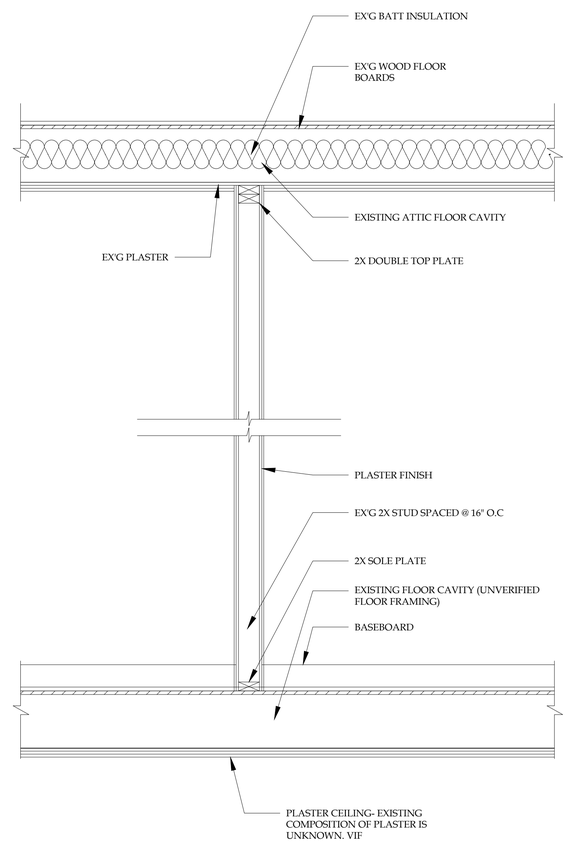
REVIEWED BY: J&M

A4.2



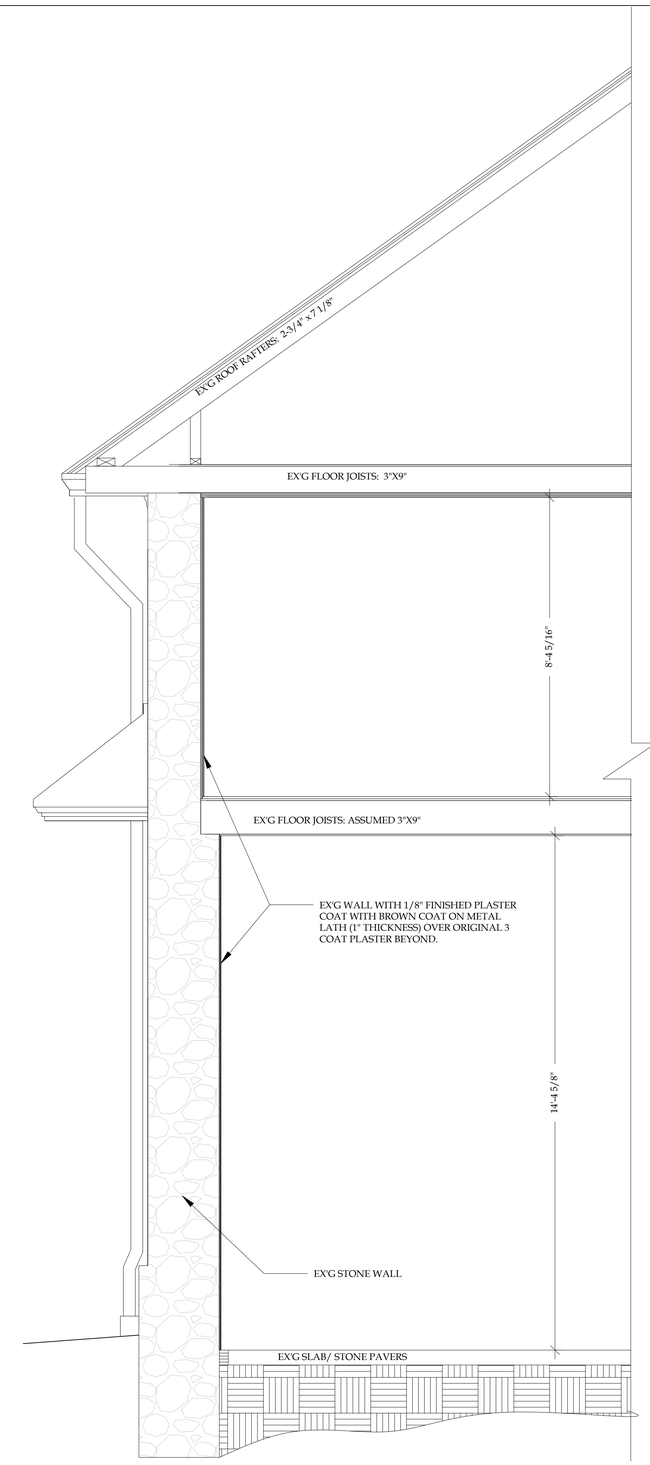
3 A5.1 BID ALT: BRICK PAVER DETAIL

SCALE: 1" = 1'-0"



2 A5.1 FOR REFERENCE: EX'G PARTITION WALL SECTION @ 2ND FLOOR

SCALE: 1" = 1'-0"



1 A5.1 FOR REFERENCE: EXTERIOR WALL SECTION

SCALE: 1" = 1'-0"

1724 CHESTER COURTHOUSE REHABILITATION

412 AVE OF THE STATES
CHESTER, PA 19013
CONTRACT # eDPW-040225

J&M PRESERVATION STUDIO

105 RUTGERS AVENUE, #244
SWARTHMORE, PA 19081
PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:

TYPICAL DETAILS

REVISIONS:

NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.23.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25

DRAWN BY: AGS

REVIEWED BY: J&M

A5.1

WINDOW SCHEDULE

Base Bid Window Repair Notes: Windows shall be repaired in-situ. Sashes, trim, sills, etc. repairs noted in schedules. All deteriorated exterior glazing putty shall be replaced. Any replacement glass shall be restoration type (see specifications). All window sashes, frames (interior and exterior) sills, casing, aprons, shall be primed and painted. Painted surfaces shall be prepped according to specifications with sound substrates to receive finishes.

Bid Alt Window Notes: Window sashes to removed and temporary plywood installed to restore sashes. Sashes require repairs as noted in the schedule. All exterior glazing putty shall be replaced. Any replacement glass shall be restoration type (see specifications). All window sashes, frames (interior and exterior) sills, casing, aprons, shall be primed and painted. Painted surfaces shall be prepped according to specifications with sound substrates to receive finishes.

FIRST FLOOR WINDOWS AND SHUTTERS BY WORK BY OTHERS

NO	LOCATION	ROOM	EX'G DESCRIPTION	MASONRY OPENING (MO)			WINDOW DIMENSIONS		EXISTING CONDITIONS - INTERIOR	EXISTING CONDITIONS - EXTERIOR	REPAIR NOTES	BID ALT 3
				WIDTH	SILL HEIGHT	HEIGHT @ Jamb	WIDTH	HEIGHT	-			

SECOND FLOOR WINDOWS AND SHUTTERS

NO	LOCATION	ROOM	EX'G DESCRIPTION	MASONRY OPENING (MO) WIDTH	SILL HEIGHT	HEIGHT @ Jamb	WINDOW DIMENSIONS WIDTH	HEIGHT	EXISTING CONDITIONS - INTERIOR	EXISTING CONDITIONS - EXTERIOR	REPAIR NOTES	BID ALT 3
2.1	EAST	203	Single Hung 8/12	46-1/2"	36-3/4"	61"	36"	56-1/4"	Top rail of bottom sash is partially rotted and missing sash pegs.	Minor damage to shutter, some wood rot on header.	Epoxy the wood header and top rail of bottom sash. Minor epoxy repair to shutter. Replace missing sash pegs.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.
2.2	EAST	202	Single Hung 8/12	46 3/8"	36-3/4"	62"	36-3/8"	55-3/4"	Missing sash pegs	Some wood rot on header.	Epoxy the wood header. Replace missing sash pegs.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.
2.3	NORTH	202	Single Hung 8/12	49 1/2"	29-3/4"	69"	45"	65-7/8"	Missing sash pegs	Minor rot on bottom rails on both shutters and stile of west side shutters.	Epoxy the rot on bottom rails and stile on both shutters. Replace missing sash pegs.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.
2.4	NORTH	202	Single Hung 8/12	50-3/4"	29-3/4"	68"	45-3/4"	66"	Missing sash pegs	Large check through the wood sill.	Epoxy the check in the sill. Replace missing sash pegs.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.
2.5	NORTH	202	Single Hung 8/12	49-1/4"	29-3/4"	68"	45-3/8"	66-1/4"	Missing sash pegs	Minor damage on top of both shutters.	Epoxy the top of the shutters. Replace missing sash pegs.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.
2.6	WEST	202	Single Hung 8/12	46- 3/8"	35-1/4"	59-1/2"	36-1/4"	55-1/4"	Missing sash pegs	Shutters need partial reconstruction, big hole in top right of window frame.	Reconstruct shutters. Install wood dutchman and epoxy wood hole in window frame. Replace missing sash pegs.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.
2.7	WEST	201	Single Hung 8/12	48-1/4"	35 -3/4"	60"	36-5/8"	56-1/2"	Broken pane 7-3/16" wide x 9-5/16" tall. Missing chains, and sash pegs. Rot on bottom rail of the bottom sash. A large gap between the parting beads therefore making the bottom sash misaligned.	Reattach missing shutters (extra salvaged shutters: 18-3/8" x 56 5/8"), giant hole in sill and frame, (1) pintle on shutter other 3 on window, rotted head.	Epoxy the wood rot or Dutchman frame repair. Wood header replacement. Replace existing window pane. Replace sash pegs. Minor epoxy repairs required on both shutters.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.
2.8	SOUTH	201	Single Hung 8/12	49-1/2"	27-3/4"	61"	36-1/2"	56-1/8"	Missing sash pegs. The parting bead on the south side is broken.	Bottom sash is not functional and therefore can not evaluate the exterior.	Replace missing sash pegs and parting bead. See typ. Base bid window repair notes. Epoxy any rotted wood prior to painting.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.
2.9	SOUTH	201	Single Hung 8/12		37-1/8"	60"	36-3/8"	56-1/4"	Missing sash pegs. Small gauges on the bottom rail of the bottom sash.	Wood segment missing from stile of shutter.	Dutchman repair req. on stile of shutter. Replace missing sash pegs and epoxy bottom rail of bottom sash.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.
2.10	SOUTH	203	Single Hung 8/12	46-1/8"	36-3/4"	60-1/4"	36-1/4"	56-1/4"	Broken pane 7-5/16" wide x 9-1/4" tall. Missing sash pegs.	No notes.	Replace broken pane and missing sash pegs.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.
2.11	SOUTH	203	Single Hung 8/12	48-3/8"	36-3/4"	60-1/4"	36-1/4"	56-3/8"	Missing sash pegs	No notes.	Replace missing sash pegs.	Remove and replace exterior storm window with HOL-OP single hung series - from Allied storm windows with screen per details on pg A4.1. Custom color to match ex'g sashes req.

THIRD FLOOR (ATTIC) WINDOWS AND SHUTTERS

3.1	WEST	301	Single Hung 6/6	36-1/4		54"	29-1/8"	46"	Sill is partially rotted. One pane is broken (7-3/8" x 9-1/2"). Bottom 3 panes of glass are louvered vents.	Sill is rotted.	Replace the existing sill. Remove sashes and install louvered vent per details and specifications salvage sashes for owner. Louver make/ model: Greenheck ESD-403 (30x48) Louver color: Cambridge White GF110.	

CUPOLA WINDOWS AND LOUVERS

4.1	CUPOLA	301	Casement	N/A			2'-1 1/2"	4'-7 3/8"	Minor wood rot and separation of rails/stiles. Failing hook & eye locks. Stile size: 1-3/4" wide. Bottom Rail size: 3". Arched top.	Glazing putty loss and missing panes. Exterior wood louvers are missing or need wood repair.	Remove all glass. Repair wood rot and casement locks. Epoxy wood louvers that need repair and replace missing louvers 20%. Install bird screen within opening between casement sash and fixed louvers. All sashes and louvers to be painted interior and exterior.	
4.2	CUPOLA	301	Casement	N/A			2'-1 1/2"	4'-7 3/8"	Same as above.	Same as above.	Same as above.	
4.3	CUPOLA	301	Casement	N/A			2'-1 1/2"	4'-7 3/8"	Same as above.	Same as above.	Same as above.	
4.4	CUPOLA	301	Casement	N/A			2'-1 1/2"	4'-7 3/8"	Same as above.	Same as above.	Same as above.	

DOOR SCHEDULE

NO	LOCATION	ROOM	DOOR DIMENSIONS WIDTH	HEIGHT	EXISTING CONDITIONS - INTERIOR	EXISTING CONDITIONS - EXTERIOR	REPAIR NOTES
1/1	101	Courtroom	48"	90"		Work by others	Prime and Paint interior
1/2	101	Courtroom	42"	82"		Work by others	Prime and Paint interior
1/3	101	Courtroom	48"	89-1/2"		Work by others	Prime and Paint interior
1/4	101	Courtroom	34-1/8"	34-1/8"		Work by others	Prime and Paint interior
2/1	201	Lobby	35"	79"		N/A	Prime and Paint interior
2/2	203	Office	35"	79"		N/A	Prime and Paint interior
2/3	205	Restroom	24"	78-1/2"		N/A	Prime and Paint interior
2/4	206	Restroom	24"	78-1/2"		N/A	Prime and Paint interior
2/5	201	Lobby	24"	68"		N/A	Prime and Paint interior
2/6	201	Lobby	28"	78"	Missing cast iron keeper for door latch	N/A	Install missing cast iron keeper. (L=3-1/8") Model: Suffolk Latch (Product code: LAT01), Prime and paint.
2/7	203	Office	35"	79"		N/A	Prime and Paint interior

INTERIOR FINISH SCHEDULE

ROOM	WALL	FLOOR	CEILING	TRIM (frames/chairail)	TRIM (baseboard)	DOORS
FIRST FLOOR	COLOR TO MATCH EX'G: FLAT	EXISTING TO REMAIN	FLAT. COLOR TO MATCH EX'G	COLOR TBD: SEMI-GLOSS	PAINT ANALYSIS REQ.	PAINT ANALYSIS REQ.
SECOND FLOOR	COLOR TO MATCH EX'G: FLAT	WOOD BOARDS: CLEAN AND LIGHTLY SAND TO REMOVE RESIDUE	FLAT. COLOR TO MATCH EX'G	COLOR TBD: SEMI-GLOSS	COLOR TO MATCH EX'G: SEMI-GLOSS	COLOR TO MATCH EX'G: SEMI-GLOSS

EXTERIOR PAINT SCHEDULE

ITEM	COLOR	EXTERIOR CUSTOM COLOR PAINT BREAKDWON				
		CCE*Color Cast	OZ	32	64	128
WINDOWS (SECOND AND THIRD FLOOR), GABLE TRIM, CUPOLA, SHUTTERS ETC. ALL EXTERIOR WOODWORK.	Sherwin Williams Co. Beige Latex Custom Color (K33W251)	B1- Black	-	22	1	1
		R2- Maroon	-	3	-	-
		Y3- Deep Gold	-	41	-	-
DOORS	BY OTHERS					

1724 CHESTER COURTHOUSE REHABILITATION
412 AVE OF THE STATES
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J&M PRESERVATION STUDIO
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SWARTHMORE, PA 19081
PHONE: 215.769.1133
EMAIL: Info@JMPreservation.com

DRAWING NAME:
SCHEDULES

REVISIONS:

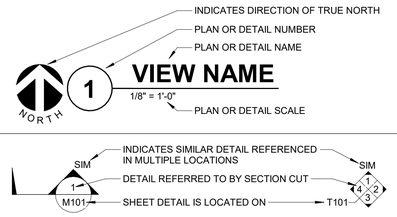
NO.	REVISION / ISSUE	DATE
0.1	SCHEMATIC SUBMISSION	08.30.24
0.2	DD SUBMISSION	10.23.24
0.3	75% SUBMISSION	11.18.24
0.4	90% SUBMISSION	12.19.24
0.5	100% SUBMISSION	01.24.25

DATE: 01/24/25
DRAWN BY: AGS
REVIEWED BY: J&M
A6.1

VIEW KEY

NAME — LEVEL NAME
10'-0" — HEIGHT ABOVE PROJECT 0'-0"

1 — KEYNOTE: INDICATES NOTE USED TO DESCRIBE ADDITIONAL INFORMATION ABOUT WORK REQUIRED, SPECIFIC TO THE SHEET AND/OR DETAIL



LINE TYPE AND TAG KEY:

NEW WORK BY THIS CONTRACTOR (WIDE LINE)
- NEW
- EXISTING TO BE REMOVED (SHORT DASHED PATTERN)
- NEW UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

EXISTING TO REMAIN OR WORK BY OTHERS (NARROW LINE)
- EXISTING
- EXISTING TO BE REMOVED BY OTHERS (SHORT DASHED PATTERN)
- EXISTING UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

HALFTONING DOES NOT MODIFY SCOPE.

'TAG'-E — TAGS WITH DASH 'E' INDICATES THE REFERENCED OBJECT IS EXISTING

TAG-1 — UNDERLINED TAG INDICATES OBJECT IS IN-SCOPE. IF NEW, ADDITIONAL INFORMATION IS AVAILABLE IN A SCHEDULE, MATERIAL LIST, OR SYMBOL LIST

INDICATES AN EXISTING SYSTEM'S POINT OF CONNECTION/REMOVAL

APPLICABLE CODES

CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND LOCAL AMENDMENTS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

BUILDING CODE:	IBC 2018 EDITION
FIRE CODE:	IEBC 2018
PLUMBING CODE:	IPC 2018 EDITION
MECHANICAL CODE:	IMC 2018 EDITION
ELECTRICAL CODE:	NFPA 70 (NEC) 2017 EDITION
ENERGY CONSERVATION CODE:	IECC 2018
HEALTH DEPARTMENT CODE:	CURRENT EDITION
LOCAL BUILDING CODE:	CURRENT EDITION

CONTRACTOR ABBREVIATION KEY

ABBR:	DESCRIPTION:
C.C.	CIVIL CONTRACTOR
C.M.	CONSTRUCTION MANAGER
E.C.	ELECTRICAL CONTRACTOR
G.C.	GENERAL CONTRACTOR
M.C.	MECHANICAL CONTRACTOR
P.C.	PLUMBING CONTRACTOR
T.C.C.	TEMPERATURE CONTROLS CONTRACTOR

PLUMBING SYMBOL LIST

NOT ALL SYMBOLS MAY APPLY.

SYMBOL:	DESCRIPTION:
CW	COLD WATER - POTABLE
D	DRAIN
G	NATURAL GAS
HW	HOT WATER - POTABLE
HWC	HOT WATER CIRCULATING - POTABLE
HW140	HOT WATER - POTABLE NUMBER INDICATES TEMP
HWC140	HOT WATER CIRC. - POTABLE NUMBER INDICATES TEMP
SAN	SANITARY DRAINAGE
ST(1,000)	STORM DRAINAGE (ROOF SQUARE FOOTAGE)
STS	STORM DRAINAGE (SECONDARY)
V	VENT
	PIPE CONTINUATION
	PIPE CAP
	PIPE DOWN
	PIPE UP OR UP/DOWN
FD	PIPE SERVING FIXTURE ON FLOOR ABOVE (EXAMPLE: FD = FLOOR DRAIN)
	PITCH PIPE IN DIRECTION
	DIRECTION OF FLOW IN PIPE
	ROUTE TO DRAIN
RD-1 6"(1000)	ROOF DRAIN PROPERTIES — SYMBOL; SIZE (ROOF SQ. FT.)
	DIELECTRIC CONNECTION
	UNION/FLANGE
	SHUTOFF VALVE NORMALLY OPEN
	SHUTOFF VALVE NORMALLY CLOSED
GPM	BALANCING VALVE (NUMBER INDICATES GPM)
	CHECK VALVE
	BACKFLOW PREVENTER
	SOLENOID VALVE
	SAFETY/RELIEF VALVE
	SAFETY RELIEF VALVE W/ DRIP PAN ELBOW
	VACUUM BREAKER
P	PRESSURE GAUGE (FURNISHED WITH BALL VALVE)
P	PRESSURE SENSOR (FURNISHED WITH BALL VALVE)
T	TEMPERATURE SENSOR WITH WELL
T	THERMOMETER WITH WELL (DIAL TYPE)
	THERMOMETER WITH WELL (FILLED TYPE)
	REDUCER - REFERENCE SPECIFICATION FOR CONCENTRIC/ECCENTRIC AND FOT/FOB
	PRESSURE REDUCING VALVE (LIQUID/GAS)
	PUMP
M	METER
	ALIGNMENT GUIDE
	PIPE ANCHOR
EJ-# (#.#")	EXPANSION JOINT #.#" IS THE EXPANSION TRAVEL INCHES
	AIR ADMITTANCE VALVE

PLUMBING ABBREVIATION KEY

ABBR:	DESCRIPTION:
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
BFP	BACKFLOW PREVENTER
BT	BATHTUB
CB	CATCH BASIN
CI	CAST IRON
CO	CLEANOUT
CS	CLINICAL SINK
DB	DIALYSIS BOX
DF	DRINKING FOUNTAIN
DI	DUCTILE IRON
DN	DOWN
E	EXISTING
EE	EMERGENCY EYEWASH
ES	EMERGENCY SHOWER
ESE	EMERGENCY SHOWER/EYEWASH
EWC	ELECTRIC WATER COOLER
FCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FM	FLOW METER
FS	FLOOR SINK
GD	GARBAGE DISPOSER
GI	GREASE INTERCEPTOR
HB	HOSE BIBB
I.E.	INVERT ELEVATION (FOR REFERENCE ONLY)
L or LAV	LAVATORY
MB	MOP BASIN
MH	MANHOLE
MV	MIXING VALVE
NIC	NOT IN CONTRACT
NT	NEUTRALIZATION TANK
OS	OIL SEPARATOR
RD	ROOF DRAIN
SCCR	SHORT CIRCUIT CURRENT RATING
SH	SHOWER
SK	SINK
SS	SERVICE SINK
TD	TRENCH DRAIN
TP	TRAP PRIMER
TYP	TYPICAL
UR	URINAL
VTR	VENT THROUGH ROOF
WC	WATER CLOSET
WCO	WALL CLEANOUT
WF	WASH FOUNTAIN
WH	WATER HEATER
WMF	WASHING MACHINE FIXTURE
WM	WATER METER
WS	WATER SOFTENER
UB	UTILITY BOX
UON	UNLESS OTHERWISE NOTED
YCO	YARD CLEANOUT

PLUMBING SLOPE REQUIREMENTS:

BASED ON PLUMBING CODE: IPC-2018

INTERIOR:	
SANITARY WASTE:	≤2-1/2"ø=1/4" PER FOOT ≥3"ø = 1/8" PER FOOT ≥8"ø = 1/16" PER FOOT
GREASE WASTE:	1/4" PER FOOT
STORM (GRAVITY):	1/8" PER FOOT
CONDENSATE AND INDIRECT DRAINAGE:	1/8" PER FOOT
SANITARY AND GREASE VENT:	NO SPECIFIC PITCH, PITCH TO FIXTURES
DOMESTIC WATER:	NO SPECIFIC PITCH, PITCH TO FIXTURES

PLUMBING ROUGH-IN SCHEDULE

NOTES: (APPLIES TO ALL PLUMBING FIXTURES LISTED BELOW)
1) SIZES SHOWN ARE MINIMUMS. LARGER SIZES SHOWN ON THE DRAWING SHALL DICTATE THE ROUGH-IN SIZE. 2) SANITARY RISERS UP IN WALL TO FIXTURES SHALL BE A MINUMUM OF 2". 3) DOMESTIC WATER BRANCH PIPING OUTSIDE OF THE WALL/CHASE SHALL BE A MINIMUM OF 3/4" UNLESS NOTED OTHERWISE. ONLY THE FINAL RISE-DROP SHALL BE SMALLER. 4) FINAL SANITARY SIZE SHALL MATCH P-TRAP SIZE (REFER TO MATERIAL LIST).

TAG NAME	DESCRIPTION	COLD WATER	HOT WATER	SANITARY	VENT
SK-1	SINK	1/2"	1/2"	1 1/2"	1 1/2"

PLUMBING SHEET INDEX

P000	PLUMBING COVERSHEET
P211	FLOOR PLAN - LEVEL 01 - PLUMBING
P213	FLOOR PLAN - LEVEL 03 - PLUMBING
P600	PLUMBING SCHEDULES

GRAND TOTAL: 4

MECHANICAL RENOVATION NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO, PLUMBING, VENTILATION, PIPING AND TEMPERATURE CONTROL.

1. EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS, EXISTING BUILDING DOCUMENTS, AND STAFF. VERIFY EXISTING CONDITIONS AND REPORT ANY CONFLICTS BEFORE PROCEEDING.
2. NOT ALL EXISTING DUCTWORK AND PIPING IS SHOWN. VERIFY EXISTING CONDITIONS BEFORE STARTING WORK. NOTIFY ENGINEER OF ANY CONFLICTS WITH NEW WORK.
3. FIELD VERIFY THE AVAILABLE CLEARANCES FOR DUCTWORK AND PIPING BEFORE FABRICATION. RISES AND DROPS MAY BE NECESSARY BECAUSE OF EXISTING FIELD CONDITIONS.
4. EACH CONTRACTOR SHALL CUT AND PATCH ROOFS, WALLS, AND FLOORS ASSOCIATED WITH THEIR WORK.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILINGS, CEILING TILES, AND CEILING GRIDS ASSOCIATED WITH AREAS OF WORK BY ALL CONTRACTORS. NOTIFY THE GENERAL CONTRACTOR OF AFFECTED AREAS PRIOR TO BIDDING.
6. WHERE EXISTING MECHANICAL SYSTEMS ARE LOCATED IN AREAS THAT CONFLICT WITH NEW EQUIPMENT, PIPING, OR DUCTWORK TO BE INSTALLED, EACH CONTRACTOR SHALL EITHER ARRANGE NEW EQUIPMENT, PIPING, OR DUCTWORK IN SUCH A FASHION THAT IT DOES NOT CONFLICT WITH EXISTING SYSTEMS, OR REWORK EXISTING MECHANICAL SYSTEMS TO ALLOW FOR INSTALLATION OF NEW EQUIPMENT, PIPING, OR DUCTWORK.
7. PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SYSTEMS IN SERVICE DURING CONSTRUCTION. MAINTAIN ACCESS TO EXISTING MECHANICAL INSTALLATIONS THAT REMAIN ACTIVE.
8. OBTAIN PERMISSION FROM OWNER BEFORE SHUTTING DOWN ANY SYSTEM FOR ANY REASON. MAINTAIN SERVICE TO ALL COMPONENTS THAT ARE TO REMAIN UNTIL NEW SYSTEMS ARE INSTALLED.
9. MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS COMPLETE AND READY FOR TIE IN AND SWITCHOVER. DRAIN SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. OBTAIN PERMISSION FROM OWNER BEFORE PARTIALLY OR COMPLETELY DRAINING SYSTEM. MAKE CHANGEOVER TO NEW SYSTEMS WITH MINIMUM OUTAGE.

PLUMBING GENERAL NOTES:

1. THE SYMBOLS AND THE MATERIAL LIST ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY QUANTITIES AND FURNISH ALL MATERIALS REQUIRED FOR FULLY OPERATIONAL SYSTEMS, WHETHER SPECIFIED OR NOT.
2. CATALOG NUMBERS SHALL NOT BE CONSIDERED COMPLETE, BUT ARE GIVEN AS AN AID TO THE CONTRACTOR AND TO INDICATE THE QUALITY REQUIRED. CONTRACTOR IS RESPONSIBLE FOR A COMPLETE DESCRIPTION OF MATERIAL ON THESE DRAWINGS AND IN THE SPECIFICATIONS BEFORE ORDERING. THE DESCRIPTION OF THE MATERIAL TAKES PRECEDENCE OVER THE CATALOG NUMBER. THE FIRST MANUFACTURER LISTED IS THE BASIS OF DESIGN.
3. CONTRACTOR SHALL VERIFY THAT FIXTURES SUPPLIED ARE APPROVED PER ALL APPLICABLE STATE, LOCAL AND GOVERNING AUTHORITIES.
4. ALL FIXTURES SHALL CONFORM TO FEDERAL ACT S.3874
5. REFER TO THE PLUMBING ROUGH-IN SCHEDULE FOR THE SIZES OF BRANCH PIPES TO PLUMBING FIXTURES.
6. P.C. SHALL CUT AND PATCH EXISTING AS REQUIRED FOR NEW OR DEMOLITION WORK UNLESS NOTED OTHERWISE.

MECHANICAL GENERAL NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO PLUMBING, VENTILATION, PIPING AND TEMPERATURE CONTROL.

1. DRAWINGS SHOWING LOCATIONS OF EQUIPMENT, DUCTWORK, PIPING, ETC. ARE DIAGRAMMATIC AND MAY NOT ALWAYS REFLECT EXACT INSTALLATION CONDITIONS. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF DUCTWORK, PIPING, EQUIPMENT, ETC., AND MAY NOT INCLUDE ALL OFFSETS AND FITTINGS REQUIRED FOR COMPLETE INSTALLATION. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHERS WILL PERMIT.
2. CATALOG AND MODEL NUMBERS SHALL NOT BE CONSIDERED COMPLETE, BUT ARE GIVEN AS AN AID TO THE CONTRACTOR AND TO INDICATE THE QUALITY REQUIRED. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE DESCRIPTION OF MATERIAL SCHEDULED ON THESE DRAWINGS AND IN THE SPECIFICATIONS BEFORE ORDERING. THE DESCRIPTION OF THE MATERIAL AND SCHEDULED PERFORMANCE TAKES PRECEDENCE OVER THE MODEL NUMBER. THE FIRST MANUFACTURER SCHEDULED IS THE BASIS OF DESIGN.
3. DETERMINATION OF QUANTITIES OF MATERIAL AND EQUIPMENT REQUIRED SHALL BE MADE BY THE CONTRACTOR FROM THE DOCUMENTS. WHERE MATERIAL AND/OR QUANTITY DISCREPANCIES ARISE BETWEEN DRAWINGS, SCHEDULES AND/OR SPECIFICATIONS, THE HIGHER QUALITY/ GREATER NUMBER SHALL GOVERN.
4. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CLEARANCES FROM ARCHITECTURAL, STRUCTURAL, SUBMITTALS, AND OTHER APPROPRIATE DRAWINGS OR PHYSICALLY AT SITE. REVIEW ALL DRAWINGS, INCLUDING THOSE OF OTHER TRADES.
5. COORDINATE ALL WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO PROVIDE CLEARANCES REQUIRED FOR OPERATION, MAINTENANCE, CODE COMPLIANCE, AND TO VERIFY NON-INTERFERENCE WITH OTHER WORK. DO NOT FABRICATE PRIOR TO VERIFICATION OF NECESSARY CLEARANCES FOR ALL TRADES. BRING ANY INTERFERENCES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH FABRICATION OR EQUIPMENT ORDERS.
6. REVIEW SPACE REQUIREMENTS OF EQUIPMENT SPECIFIED OR SUBSTITUTED AND MAKE REASONABLE ACCOMMODATIONS IN LAYOUT AND POSITIONING TO PROVIDE PROPER ACCESS.
7. ANY CHANGES REQUIRED TO ELIMINATE CONFLICTS OR THAT RESULT FROM A FAILURE TO COORDINATE SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR EXPENSE TO OTHERS.
8. EACH CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ELECTRICAL CHANGES REQUIRED FOR EQUIPMENT PROPOSED THAT DIFFERS FROM THE BASIS OF DESIGN.
9. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN, ELECTRICAL, TECHNOLOGY AUDIO/VISUAL, AND OTHER MECHANICAL PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES, OTHER THAN SPRINKLERS.
10. EACH CONTRACTOR IS RESPONSIBLE FOR DAMAGE CAUSED BY THEIR ACTIONS TO WALLS, FLOORS, CEILINGS, AND ROOFS. THE CONTRACTOR WHOSE WORK CAUSES DAMAGE IS RESPONSIBLE FOR PATCHING TO MATCH ORIGINAL CONSTRUCTION, FIRE RATING, AND FINISH.
11. IN AREAS WITH DRYWALL CEILINGS COORDINATE LOCATIONS OF ACCESS PANELS WITH THE GC FOR ACCESS TO VALVES, DUCTWORK ACCESSORIES, DAMPERS, ETC. COORDINATE PANEL TYPE AND COLOR WITH ARCHITECT. NOTIFY THE GC OF THE REQUIRED ACCESS PANELS PRIOR TO BIDDING.
12. SEAL ALL FLOOR, WALL, AND ROOF PENETRATIONS AIRTIGHT WHERE CONDUITS, PIPING, AND DUCTS PENETRATE. PENETRATIONS THROUGH EXTERIOR WALLS AND ROOF SHALL BE SEALED AIRTIGHT WITH WATERPROOFING MATERIALS RECOMMENDED BY MANUFACTURER FOR OUTDOOR USE.
13. CAULK ALL PIPE AND DUCT PENETRATIONS OF FULL HEIGHT NON-FIRE RATED WALL, PARTITION, FLOOR, AND ROOF ASSEMBLIES. THIS IS ESSENTIAL TO PREVENT NOISE TRANSMISSION FROM ONE ROOM TO ANOTHER AND TO PROVIDE THE DESIRED NC LEVELS WITHIN ROOMS.
14. WHERE PIPES AND DUCTS ARE SHOWN TO PENETRATE FLOORS, PROVIDE SLEEVED OPENINGS WITH THE TOP EDGE RAISED ABOVE FLOOR SURFACE IN ACCORDANCE WITH ALL RELEVANT SPEC SECTIONS. SEAL SLEEVE PERIMETER TO BE WATERTIGHT.
15. EQUIPMENT SIZES AND SERVICE CLEARANCE REQUIREMENTS VARY AMONG DIFFERENT MANUFACTURERS. CONSULT APPROVED SHOP DRAWINGS FOR EQUIPMENT SIZES AND REQUIRED SERVICE CLEARANCES. COORDINATE WITH LAYOUT OF EQUIPMENT PADS, PIPING, DUCTWORK, ETC.
16. DO NOT BLOCK EQUIPMENT SERVICE CLEARANCES.
17. MAINTAIN A MINIMUM WORKING CLEARANCE OF 3'-6" IN FRONT OF ALL ELECTRICAL EQUIPMENT REQUIRING MAINTENANCE, INSPECTION, AND TESTING INCLUDING BUT NOT LIMITED TO PANELS, DISTRIBUTION PANELS, SWITCHBOARDS, MOTOR CONTROL CENTERS, TRANSFORMERS, EQUIPMENT DISCONNECTS AND STARTERS.
18. MAINTAIN THE DEDICATED ELECTRICAL EQUIPMENT SPACE DEFINED BY THE WIDTH / DEPTH OF ELECTRICAL EQUIPMENT MEASURED FROM THE FLOOR TO A HEIGHT 6'-0" ABOVE THE EQUIPMENT OR THE STRUCTURAL CEILING, WHICHEVER IS LOWER. SYSTEMS FOREIGN TO THE ELECTRICAL DISTRIBUTION SYSTEM ARE NOT ALLOWED IN THE DEDICATED ELECTRICAL SPACE INCLUDING: DUCTWORK, PIPING, ETC.

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PROJECT #24004655.00

1724 CHESTER COURTHOUSE REHABILITATION
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CONTRACT # eDPW-040225

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SEAL

DRAWING NAME:
PLUMBING COVERSHEET

REVISIONS:

NO.	REVISION / ISSUE	DATE
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

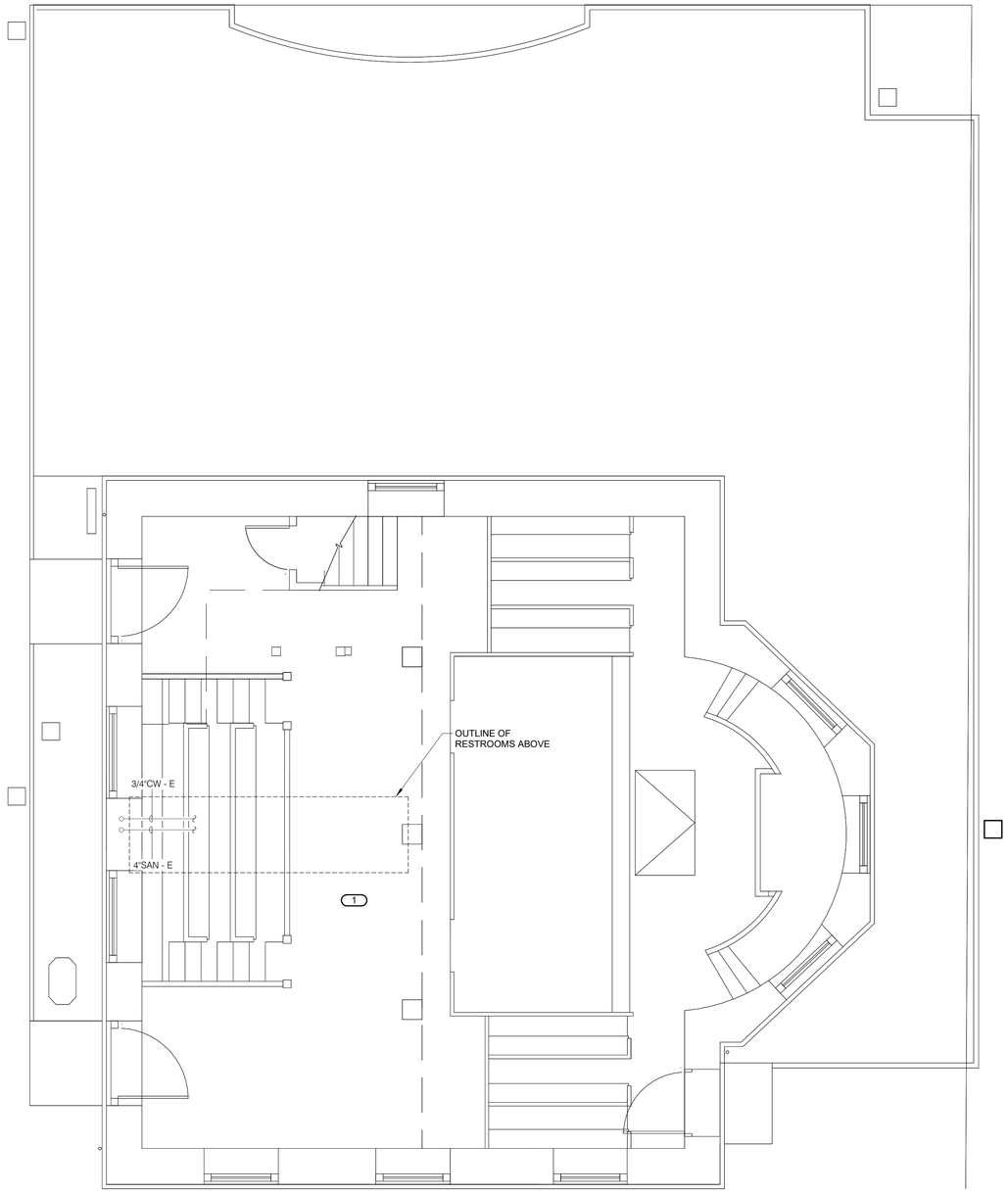
DATE: 2025-01-24

DRAWN BY: DSS
REVIEWED BY: KMR

P000

KEYNOTES:

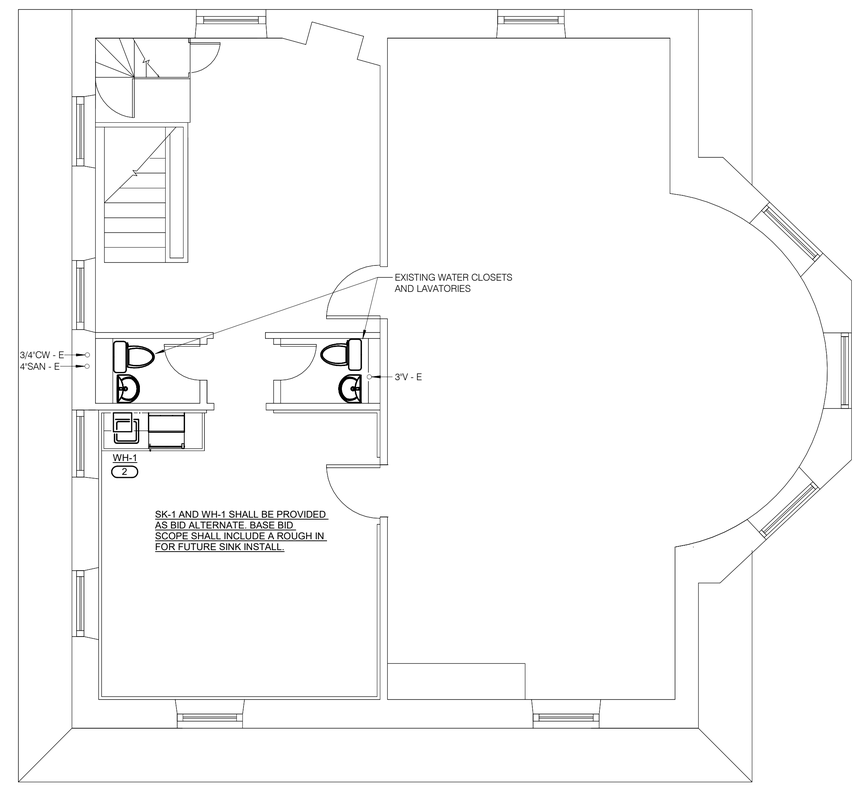
1. CONTRACTOR TO INVESTIGATE CAUSE OF WATER DAMAGE TO FIRST FLOOR CEILING. PROVIDE ALLOWANCE TO REPLACE 15FT OF SANITARY PIPING AND 15FT OF DOMESTIC WATER PIPING .
2. PLUMBING FOR SK-1 SHALL BE AS FOLLOWS: CONNECT TO 4" SAN IN FIRST FLOOR CEILING. CONNECT TO 3" V IN ATTIC. CONNECT TO CW IN EITHER WALL OF ADJACENT TOILET ROOM OR IN FIRST FLOOR CEILING.



NORTH

1 FLOOR PLAN - LEVEL 01 - PLUMBING

1/4" = 1'-0"



NORTH

2 FLOOR PLAN - LEVEL 02 - PLUMBING

1/4" = 1'-0"

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DRAWING NAME:
FLOOR PLAN - LEVEL 01 - PLUMBING

REVISIONS:

NO.	REVISION / ISSUE	DATE
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
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DATE: 2025-01-24

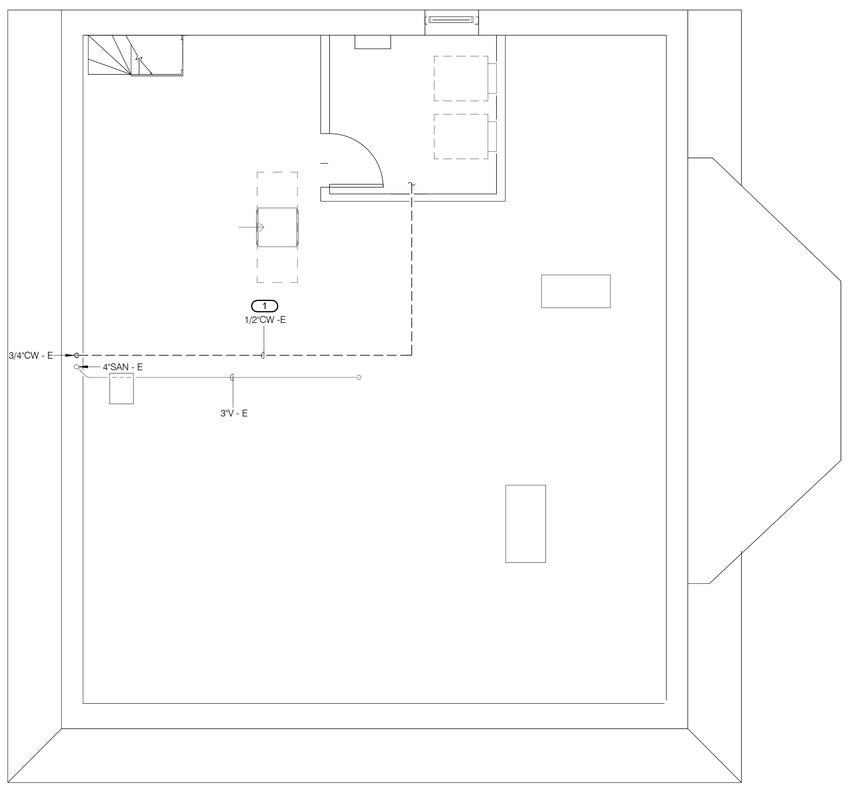
DRAWN BY: DSS

REVIEWED BY: KMR

P211

KEYNOTES:

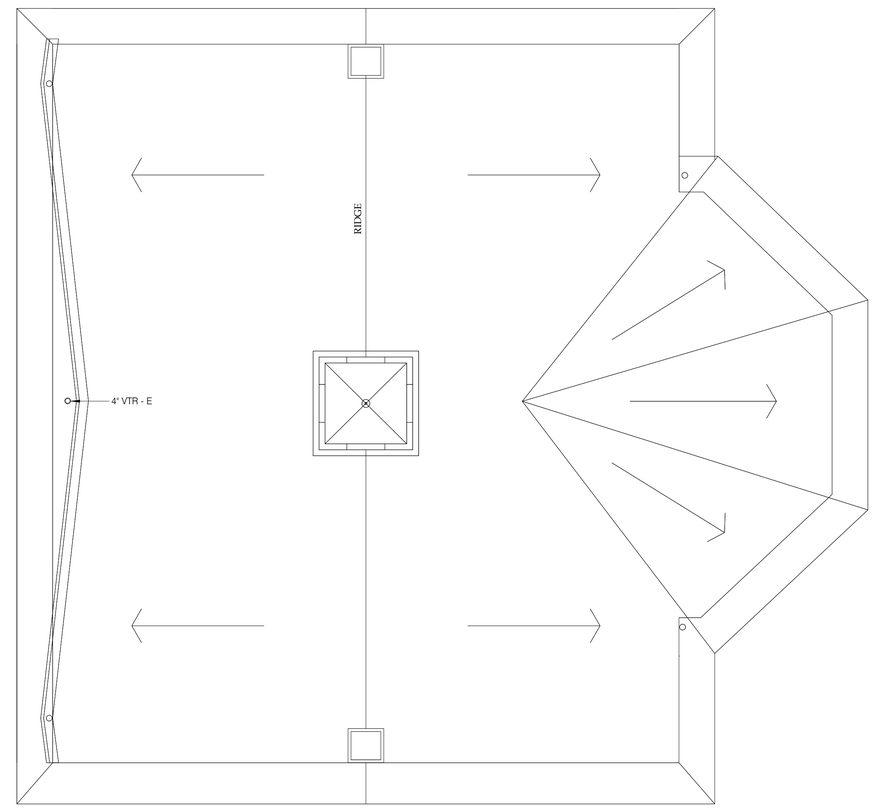
1. DEMOLISH EXISTING CW MAKEUP PIPING TO BOILER AND RELATED HEAT TRACE.



NORTH

1 FLOOR PLAN - ATTIC - PLUMBING

1/4" = 1'-0"



NORTH

2 FLOOR PLAN - ROOF - PLUMBING

1/4" = 1'-0"

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SEAL

DRAWING NAME:
FLOOR PLAN - LEVEL 03 - PLUMBING

REVISIONS:

NO.	REVISION / ISSUE	DATE
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DATE: 2025-01-24

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REVIEWED BY: KMR

P213

PLUMBING MATERIAL LIST - BID ALTERNATE

TAG NAME	DESCRIPTION	MANUFACTURER AND MODEL
SK-1	SINK - ACCESSIBLE, SELF-RIMMING SINGLE COMPARTMENT WITH FAUCET DECK, 18 GAUGE TYPE 304 STAINLESS STEEL, 22" (SIDE-TO-SIDE) x 17" (FRONT-TO-BACK) OVERALL SIZE, 25" x 15" x 6" DEEP BOWL, SOUND DEADENING ON BOTTOM OF BASIN, 3-1/2" DIAMETER DRAIN OUTLET LOCATION OFF-CENTERED REAR IN BOWL, REMOVABLE TYPE 304 STAINLESS STEEL BASKET STRAINER WITH NEOPRENE STOPPER. SINK TRIM - SINGLE HANDLE MIXING FAUCET, BRASS CONSTRUCTION, CHROME-PLATED FINISH, CONVENTIONAL SWING SPOUT, NOMINAL 8" REACH, AERATOR, LEVER HANDLE, SINGLE HOLE SUPPLIES. MAXIMUM FLOW TO BE 1.5 GPM IN COMPLIANCE WITH PROJECT WATER CONSERVATION REQUIREMENTS. FAUCET SHALL COMPLY WITH FEDERAL ACT S.3874. PROVIDE RESTRICTIVE DEVICE AND ESCUTCHEON PLATE AS REQUIRED. ACCESSORIES - 1-1/2" 17 GAUGE CHROME-PLATED BRASS TAILPIECE AND P-TRAP, QUARTER-TURN BALL VALVE TYPE 3/8" CHROME-PLATED BRASS ANGLE SUPPLIES WITH LOOSE KEY STOPS, CHROME-PLATED SOFT COPPER SUPPLY LINES.	SINK - AMERICAN STANDARD (18SB6252211.075), ELKAY, JUST, FRANKE SINK TRIM - DELTA 19805Z SD-DST

SK-1 SHALL BE PROVIDED AS A BID ALTERNATE.

PLUMBING (WITH POWER) MATERIAL LIST - BID ALTERNATE

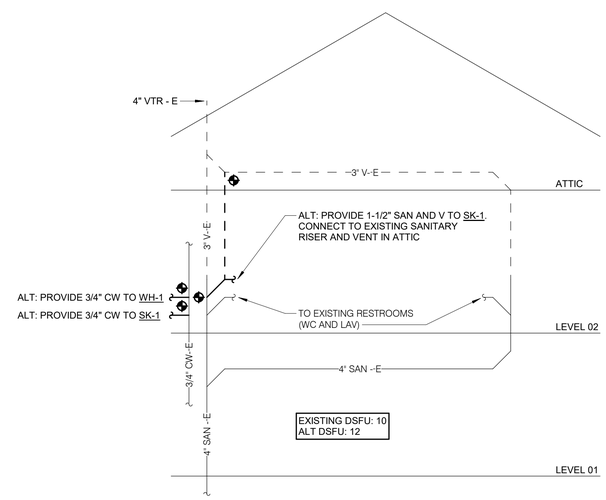
TAG NAME	DESCRIPTION	ELECTRICAL									MANUFACTURER AND MODEL
		WATTS	# OF STAGES	FLA	MCA	MOCP	VOLTAGE	PHASES	DISCONNECT BY (NOTE A)	DISCONNECT TYPE (NOTE B)	
WH-1	WATER HEATER - ELECTRIC, UNDERCABINET, GLASS-LINED WELDED STEEL TANK, 150 PSI WORKING PRESSURE, FIBERGLASS OR FOAM INSULATION, BRASS WATER CONNECTIONS AND DRAIN VALVE, ASME APPROVED T&P RELIEF VALVE, MAGNESIUM ANODE ROD, LOW WATT DENSITY IMMERSION ELEMENTS, AUTOMATIC THERMOSTAT WITH EXTERNAL ADJUSTMENT, HIGH TEMPERATURE CUTOFF SWITCH, ENCLOSED CONTROLS AND ELECTRICAL JUNCTION BOX, 1-YEAR WARRANTY, UL LISTED, COMPLIANT TO NAECA, ASHRAE 90.1 AND ASHRAE 90A. 4 GALLON CAPACITY, 24 MINUTE MAXIMUM RECOVERY. ELECTRICAL REQUIREMENTS - PLUG, 120V GROUNDED OUTLET. SET WATER TEMPERATURE AT 140°F.	1440	1	12	15	20	120	1	MFR	PLUG	WATER HEATER - EEMAX (EMT-4)

WH-1 SHALL BE PROVIDED AS A BID ALTERNATE.

PIPE INSULATION SCHEDULE (PLUMBING)

GENERAL NOTES:
1. REFER TO THE SPECIFICATIONS FOR TYPE DESCRIPTIONS AND JACKETING REQUIREMENTS.
2. TYPE A INSULATION IS NOT ALLOWED IN NON-AIR CONDITIONED SPACES, SUCH AS MECHANICAL ROOMS, EXTERIOR, ATTICS, ETC.
3. TYPE B INSULATION GREATER THAN 1" THICK SHALL BE INSTALLED USING MULTIPLE LAYERS OF 3/4" OR 1" WITH STAGGERED SEAMS.
4. TYPE E IS NOT ALLOWED IN RETURN AIR PLENUMS, UNLESS LISTED AND LABELED AS 25/50 RATED PER ASTM E84/UL723
5. TYPE G 4" SHALL BE INSTALLED IN TWO (2) 2" LAYERS WITH STAGGERED SEAMS.
6. PROVIDE RIGID INSERT AT HANGERS, EITHER PRE-MANUFACTURED COUPLINGS (REFER TO PIPE HANGER AND SUPPORTS SPECIFICATIONS) OR TYPE C, D, OR E INSULATION. SEE SPEC. FOR MORE DETAILS.
7. DIRECT BUIRED PIPING SHALL ONLY USE TYPE C OR TYPE E. REDUCTION IN THICKNESS FOR DIRECT BURED PIPING IS ALLOWED PER ASHRAE / IECC AS APPLICABLE.

SYMBOL	PIPE SYSTEM	INSULATION TYPE	INSULATION THICKNESS PER NOMINAL PIPE OR TUBE SIZE					NOTES
			< 1"	1" TO < 1.5"	1.5" TO < 4"	4" TO < 8"	≥ 8"	
22 PLUMBING - WASTE								
SAN	SANITARY DRAINAGE	A (GlsFbr), B (Elasto)	1/2"	1/2"	1"	1"	1"	APPLY INSULATION ONLY TO FLOOR DRAIN BODY, P-TRAP AND 10' DOWNSTREAM AT LOW TEMP DRAIN DISCHARGE (55 DEG AND LOWER IE: COOLING COIL CONDENSATE, ICE MACHINE DRAINS, ETC.)
V	VENT	A (GlsFbr), B (Elasto)	1/2"	1/2"	1"	1"	1"	APPLY INSULATION ONLY WITHIN 10' OF EXTERIOR PENETRATION
22 PLUMBING - WATER								
CW	COLD WATER - POTABLE	A (GlsFbr), B (Elasto)	1/2"	1/2"	1"	1"	1"	
HW	HOT WATER - POTABLE	A (GlsFbr), B (Elasto)	1"	1"	1 1/2"	1 1/2"	1 1/2"	



1 **PLUMBING RISER DIAGRAM**
NO SCALE

SCHEDULE GENERAL KEY

[A] DISCONNECT AND CNTLR/STARTER FURNISHED AND INSTALLED BY:
MFR = MANUFACTURER
EC = ELECTRICAL CONTRACTOR.
MC = FURNISHED BY MECHANICAL CONTRACTOR, INSTALLED BY ELECTRICAL CONTRACTOR.
MFR/EC = FURNISHED LOOSE BY MANUFACTURER INSTALLED BY ELECTRICAL CONTRACTOR.
TCC = TEMPERATURE CONTROL CONTRACTOR

[B] DISCONNECT TYPE:
CB = CIRCUIT BREAKER
F = FUSED
NF = NON-FUSED
PLUG = PLUG AND CORD

[C] CONTROLLER STARTER TYPE:
FV = FULL VOLTAGE
WYE = WYE-DELTA
SS = SOLID STATE (SOFT START)
MS = MANUAL STARTER
VFD = VARIABLE FREQUENCY DRIVE
VFD/B = VARIABLE FREQUENCY DRIVE WITH BYPASS
ECM = ELECTRONICALLY COMMUTATED MOTOR

NOTE: PROVIDE SHAFT GROUNDING ON MOTORS DRIVEN BY A VFD AS REQUIRED PER SPECIFICATIONS 22 05 13 AND 23 05 13.

[D] RPM LIMITATION
FAN RPM SHALL NOT EXCEED 110% OF SCHEDULED VALUE, WITH THE SCHEDULED WHEEL TYPE. SUBSTITUTION OF BI OR BIA FANS FOR FC IS ACCEPTABLE IF EFFICIENCY IS NOT LOWER.

[E] HORSEPOWER LIMITATION
NO EQUIPMENT SHALL BE SELECTED ABOVE 90% OF MOTOR NAME PLATE RATING.

[F] RPM DEVIATION
MUST BE WITHIN +/- 10% OF SCHEDULED RPM.

[G] CURB / PAD TYPE:
STD = STANDARD CURB
SAC = SOUND ATTENUATOR CURB
CONC = CONCRETE BASE (HOUSEKEEPING PAD)

[G] CURB / PAD BY:
MFR = MANUFACTURER
MC = MECHANICAL CONTRACTOR
GC = BY GENERAL CONTRACTOR

[H] CONTROL / SENSOR TYPE
1 = SENSOR ONLY
2 = SENSOR WITH ADJUSTMENT
3 = SENSOR WITH OVERRIDE
4 = SENSOR WITH ADJUSTMENT AND OVERRIDE.

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PROJECT #24004655.00

SEAL

DRAWING NAME:
PLUMBING SCHEDULES

REVISIONS:

NO.	REVISION / ISSUE	DATE
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	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24
DRAWN BY: DSS
REVIEWED BY: KMR
P600

VIEW KEY

NAME — LEVEL NAME
10'-0" — HEIGHT ABOVE PROJECT 0'-0"

1 — KEYNOTE: INDICATES NOTE USED TO DESCRIBE ADDITIONAL INFORMATION ABOUT WORK REQUIRED, SPECIFIC TO THE SHEET AND/OR DETAIL

NORTH

INDICATES DIRECTION OF TRUE NORTH
PLAN OR DETAIL NUMBER
PLAN OR DETAIL NAME

1 **VIEW NAME**
1/8" = 1'-0"
PLAN OR DETAIL SCALE

SIM — INDICATES SIMILAR DETAIL REFERENCED IN MULTIPLE LOCATIONS
1 M101 — DETAIL REFERRED TO BY SECTION CUT
SHEET DETAIL IS LOCATED ON — 1 4 2 3 T101

LINE TYPE AND TAG KEY:

NEW WORK BY THIS CONTRACTOR (WIDE LINE)
NEW
EXISTING TO BE REMOVED (SHORT DASHED PATTERN)
NEW UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

EXISTING TO REMAIN OR WORK BY OTHERS (NARROW LINE)
EXISTING
EXISTING TO BE REMOVED BY OTHERS (SHORT DASHED PATTERN)
EXISTING UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

HALFTONING DOES NOT MODIFY SCOPE.

'TAG'-E — TAGS WITH DASH 'E' INDICATES THE REFERENCED OBJECT IS EXISTING

TAG-1 — UNDERLINED TAG INDICATES OBJECT IS IN-SCOPE. IF NEW, ADDITIONAL INFORMATION IS AVAILABLE IN A SCHEDULE, MATERIAL LIST, OR SYMBOL LIST

INDICATES AN EXISTING SYSTEM'S POINT OF CONNECTION/REMOVAL

APPLICABLE CODES

CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND LOCAL AMENDMENTS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

BUILDING CODE:	IBC 2018 EDITION
FIRE CODE:	IEBC 2018
PLUMBING CODE:	IPC 2018 EDITION
MECHANICAL CODE:	IMC 2018 EDITION
ELECTRICAL CODE:	NFPA 70 (NEC) 2017 EDITION
ENERGY CONSERVATION CODE:	IECC 2018
HEALTH DEPARTMENT CODE:	CURRENT EDITION
LOCAL BUILDING CODE:	CURRENT EDITION

CONTRACTOR ABBREVIATION KEY

ABBR:	DESCRIPTION:
C.C.	CIVIL CONTRACTOR
C.M.	CONSTRUCTION MANAGER
E.C.	ELECTRICAL CONTRACTOR
G.C.	GENERAL CONTRACTOR
M.C.	MECHANICAL CONTRACTOR
P.C.	PLUMBING CONTRACTOR
T.C.C.	TEMPERATURE CONTROLS CONTRACTOR

HVAC SYMBOL LIST

NOT ALL SYMBOLS MAY APPLY.

SYMBOL:	DESCRIPTION:
CWR	CHILLED WATER RETURN
CWS	CHILLED WATER SUPPLY
DPP	DRAIN
G	NATURAL GAS
HWR	HEATING WATER RETURN
HWS	HEATING WATER SUPPLY
PC	PUMPED CONDENSATE
PCWS/PCWR	PROCESS COOLING WATER SUPPLY/RETURN
REF	REFRIGERANT
RWR	REHEAT WATER RETURN
RWS	REHEAT WATER SUPPLY
	PIPE CAP
	PIPE DOWN
	PIPE UP OR UP/DOWN
	PITCH PIPE IN DIRECTION
	DIRECTION OF FLOW IN PIPE
	DIELECTRIC CONNECTION
	UNION/FLANGE
	SHUTOFF VALVE NORMALLY OPEN
	SHUTOFF VALVE NORMALLY CLOSED
	THROTTLING VALVE
	BALANCING VALVE (NUMBER INDICATES GPM)
	AUTOMATIC BALANCING VALVE
	MIXING VALVE
	CONTROL VALVE (THREE-WAY)
	CONTROL VALVE (TWO-WAY)
	SOLENOID VALVE
	CHECK VALVE
	BACKFLOW PREVENTER
	SAFETY/RELIEF VALVE
	SAFETY RELIEF VALVE W/ DRIP PAN ELBOW
	PRESSURE REDUCING VALVE (LIQUID/GAS)
	PRESSURE REDUCING VALVE (STEAM)
	TRIPLE DUTY VALVE (ANGLE TYPE)
	TRIPLE DUTY VALVE (IN-LINE TYPE)
	PUMP
	VACUUM BREAKER
	"WYE" - STRAINER
	"WYE" - STRAINER W/SHUTOFF VALVE AND HOSE CONNECTION WITH CAP
	BASKET STRAINER
	FLEXIBLE CONNECTION
	PRESSURE/TEMPERATURE TEST PLUG
	REDUCER - REFERENCE SPECIFICATION FOR CONCENTRIC/ECCENTRIC AND FOT/FOB
	SUCTION DIFFUSER WITH SUPPORT FOOT
	AUTOMATIC AIR VENT
	MANUAL AIR VENT
	DRAIN VALVE WITH HOSE CONNECTION AND CAP
P	PRESSURE SENSOR (FURNISHED WITH BALL VALVE)
P	PRESSURE GAUGE (FURNISHED WITH BALL VALVE)
SP	STATIC SWITCH
FM	FLOW METER
F	FLOW SWITCH
FS	FLOW SENSOR
T T-*	STEAM TRAP (REFER TO SCHEDULE)
T-*	F&T STEAM TRAP (REFER TO SCHEDULE)
T-*	INVERTED BUCKET STEAM TRAP (REFER TO SCHEDULE)
	ALIGNMENT GUIDE
	PIPE ANCHOR
EJ-# (#.#")	EXPANSION JOINT #.#" IS THE EXPANSION TRAVEL INCHES
M	METER

HVAC SYMBOL LIST

NOT ALL SYMBOLS MAY APPLY.

SYMBOL:	DESCRIPTION:
	DIRECTION OF AIR FLOW
	FLEXIBLE DUCT
	MANUAL VOLUME DAMPER
R	RISE IN DIRECTION OF AIR FLOW
D	DROP IN DIRECTION OF AIR FLOW
	DUCT CAP
	DUCT DOWN
	DUCT UP
	SUPPLY/OUTSIDE AIR DUCT SECTION
	RETURN AIR DUCT SECTION
	EXHAUST/RELIEF AIR DUCT SECTION
	4-WAY DIFFUSER WITH BLANKOFF IN ONE DIRECTION
SD-1 6/115	AIR TERMINAL PROPERTIES SYMBOL NECK SIZE/CFM
###	TERMINAL AIR BOX (REFER TO SCHEDULE)
###	TERMINAL AIR BOX w/REHEAT COIL (REFER TO SCHEDULE)
	FAN POWERED TERMINAL AIR BOX w/REHEAT COIL (REFER TO SCHEDULE)
H	HUMIDIFIER
	OPPOSED BLADE DAMPER (REFER TO SCHEDULE)
	PARALLEL BLADE DAMPER (REFER TO SCHEDULE)
	DIFFERENTIAL PRESSURE SENSOR
H	HUMIDISTAT SENSOR
H	HUMIDISTAT / SENSOR (DUCT MOUNTED)
C	CARBON MONOXIDE SENSOR
C2	CARBON DIOXIDE SENSOR
C2	CARBON DIOXIDE SENSOR
O	OCCUPANCY SENSOR
P	PRESSURE SENSOR/MONITOR
P	PRESSURE SENSOR (DUCT MOUNTED)
T	THERMOSTAT/SENSOR
T	TEMPERATURE SENSOR (DUCT MOUNTED)
T	THERMOSTAT/SENSOR WITH HEAVY DUTY ENCLOSURE
T	TEMPERATURE SENSOR WITH WELL
T	THERMOMETER WITH WELL (DIAL TYPE)
	THERMOMETER WITH WELL (FILLED TYPE)
XX-Y	AIRFLOW MEASUREMENT SYMBOL XX - AHU SYMBOL Y - SEQUENTIAL NUMBER

HVAC ABBREVIATION KEY

ABBR:	DESCRIPTION:
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
C	COMMON
CO	CLEANOUT
CFSD	CONTROL/FIRE/SMOKE DAMPER
DN	DOWN
DPG (0-2")	DIFFERENTIAL PRESSURE GAUGE (RANGE)
DPS	DIFFERENTIAL PRESSURE SWITCH
EP	ELECTRICAL TO PNEUMATIC VALVE
FD	FIRE DAMPER
FOB	FLAT ON BOTTOM
FOT	FLAT ON TOP
FSD	FIRE/SMOKE DAMPER
MV	MIXING VALVE
N.C.	NORMALLY CLOSED
NIC	NOT IN CONTRACT
N.O.	NORMALLY OPEN
PS	PRESSURE SWITCH
SCCR	SHORT CIRCUIT CURRENT RATING
SD	SMOKE DAMPER
TAB	TERMINAL AIR BOX
TD	TRANSFER DUCT
TYP	TYPICAL
UC-1	DOOR UNDERCUT BY OTHERS (1" TYPICAL)
UON	UNLESS OTHERWISE NOTED

MECHANICAL RENOVATION NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO, PLUMBING, VENTILATION, PIPING AND TEMPERATURE CONTROL.

1. EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS, EXISTING BUILDING DOCUMENTS, AND STAFF. VERIFY EXISTING CONDITIONS AND REPORT ANY CONFLICTS BEFORE PROCEEDING.
2. NOT ALL EXISTING DUCTWORK AND PIPING IS SHOWN. VERIFY EXISTING CONDITIONS BEFORE STARTING WORK. NOTIFY ENGINEER OF ANY CONFLICTS WITH NEW WORK.
3. FIELD VERIFY THE AVAILABLE CLEARANCES FOR DUCTWORK AND PIPING BEFORE FABRICATION. RISES AND DROPS MAY BE NECESSARY BECAUSE OF EXISTING FIELD CONDITIONS.
4. EACH CONTRACTOR SHALL CUT AND PATCH ROOFS, WALLS, AND FLOORS ASSOCIATED WITH THEIR WORK.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILINGS, CEILING TILES, AND CEILING GRIDS ASSOCIATED WITH AREAS OF WORK BY ALL CONTRACTORS. NOTIFY THE GENERAL CONTRACTOR OF AFFECTED AREAS PRIOR TO BIDDING.
6. WHERE EXISTING MECHANICAL SYSTEMS ARE LOCATED IN AREAS THAT CONFLICT WITH NEW EQUIPMENT, PIPING, OR DUCTWORK TO BE INSTALLED, EACH CONTRACTOR SHALL EITHER ARRANGE NEW EQUIPMENT, PIPING, OR DUCTWORK IN SUCH A FASHION THAT IT DOES NOT CONFLICT WITH EXISTING SYSTEMS, OR REWORK EXISTING MECHANICAL SYSTEMS TO ALLOW FOR INSTALLATION OF NEW EQUIPMENT, PIPING, OR DUCTWORK.
7. PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SYSTEMS IN SERVICE DURING CONSTRUCTION. MAINTAIN ACCESS TO EXISTING MECHANICAL INSTALLATIONS THAT REMAIN ACTIVE.
8. OBTAIN PERMISSION FROM OWNER BEFORE SHUTTING DOWN ANY SYSTEM FOR ANY REASON. MAINTAIN SERVICE TO ALL COMPONENTS THAT ARE TO REMAIN UNTIL NEW SYSTEMS ARE INSTALLED.
9. MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS COMPLETE AND READY FOR TIE IN AND SWITCHOVER. DRAIN SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. OBTAIN PERMISSION FROM OWNER BEFORE PARTIALLY OR COMPLETELY DRAINING SYSTEM. MAKE CHANGEOVER TO NEW SYSTEMS WITH MINIMUM OUTAGE.

TAB PRE-DEMOLITION NOTES:

1. BEFORE ANY DEMOLITION WORK IS BEGUN A COMPLETE AIR BALANCE TEST SHALL BE PERFORMED BY THE TESTING, ADJUSTING AND BALANCING (TAB) CONTRACTOR ON EXISTING AIR HANDLERS AND EXHAUST FANS SERVING THE AREAS AFFECTED BY CONSTRUCTION. EQUIPMENT TO BE DEMOLISHED DOES NOT REQUIRE TESTING. PROVIDE AIR BALANCE TESTING ONLY ON EQUIPMENT THAT WILL CONTINUE TO BE USED TO SERVE RENOVATED AREAS AFTER THE CONSTRUCTION PHASE IS COMPLETED.
2. TAKE A DUCT STATIC PRESSURE READING AT EACH LOCATION WHERE A DUCT TRAVERSE READING IS TAKEN AND INCLUDE IN THE FINAL PRE-DEMOLITION TAB REPORT.
3. TAB CONTRACTOR SHALL COMPILE AND SUBMIT FOUR COPIES OF THE FINAL PRE-DEMOLITION REPORT WITHIN 10 WORKING DAYS AFTER THE FIELD MEASUREMENTS ARE COMPLETED. FINAL TAB REPORT SHALL BE SUBMITTED FOR REVIEW TO THE ARCHITECT/ENGINEER. TESTING SHALL INCLUDE ALL ITEMS REQUIRED IN THE SPECIFICATIONS.
4. BALANCING CONTRACTOR SHALL PRE-BALANCE ALL EXISTING SYSTEMS TO REMAIN PER SPECIFICATION SECTION 23 05 93. BALANCE READINGS WILL BE REQUIRED AT AIR OUTLETS AND DUCT TRAVERSES TO VERIFY EXISTING AIRFLOW TO UNAFFECTED SPACES.

TAB POST-CONSTRUCTION NOTES:

1. AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE, TESTING, ADJUSTING (TAB) AND BALANCING CONTRACTOR SHALL REBALANCE AIR HANDLING UNITS AND EXHAUST FANS AS REQUIRED TO ACHIEVE THE NEW AIRFLOW VALUES SHOWN ON THE CONSTRUCTION DRAWINGS.
2. AREAS SERVED BY THIS EQUIPMENT WHICH WERE NOT RENOVATED SHALL BE RE-BALANCED TO THE AIRFLOW RATES MEASURED BEFORE THE RENOVATION OCCURRED (REFER TO THE FINAL PRE- DEMOLITION REPORT).
3. A DUCT STATIC PRESSURE READING SHALL BE TAKEN AT EACH LOCATION WHERE A DUCT TRAVERSE READING IS TAKEN AND SHALL BE INCLUDED IN THE FINAL POST-CONSTRUCTION TAB REPORT.
4. TAB CONTRACTOR SHALL COMPILE AND SUBMIT COPIES OF THE FINAL POST-CONSTRUCTION TAB REPORT AS REQUIRED BY SECTION 23 05 93.
5. THE FINAL POST CONSTRUCTION REPORT SHALL INCLUDE ALL ITEMS REQUIRED IN THE SPECIFICATIONS.

VENTILATION GENERAL NOTES:

1. UNLESS NOTED OTHERWISE, THE SIZE OF EACH BRANCH DUCT TO A TERMINAL AIR BOX (TAB) SHALL MATCH THE INLET SIZE UNLESS THE BRANCH IS GREATER THAN 6 FEET IN LENGTH, IN WHICH CASE THE BRANCH DUCT SHALL BE SIZED AT A PRESSURE DROP OF 0.07" W.C. PER 100' OF DUCTWORK.
2. UNLESS NOTED OTHERWISE, THE SIZE OF EACH BRANCH DUCT TO AN AIR TERMINAL SHALL MATCH THE INLET SIZE.
3. PROVIDE ACCESS DOORS AT ALL DUCT MOUNTED EQUIPMENT.
4. EXISTING AIR INLET AND OUTLET CFM SHOWN ON DRAWINGS ARE FROM EXISTING DRAWINGS, AND ARE FOR REFERENCE ONLY. CONTRACTOR SHALL USE PRE-BALANCE VALUES, AND NOT EXISTING CFM SHOWN ON DRAWINGS.
5. CONTRACTOR MAY REUSE PORTIONS OF EXISTING DUCT PROVIDED SIZES AND PRESSURE CLASSES ARE CORRECT, DUCT IS THOROUGHLY CLEANED AND FREE OF DEFECTS, AND ALL TRANSVERSE JOINTS, LONGITUDINAL SEAMS, AND DUCT WALL PENETRATIONS ARE SEALED AS SPECIFIED FOR NEW DUCTWORK.

DUCT ABBREVIATION KEY

ABBR.	DESCRIPTION
EA	EXHAUST AIR
RA	RETURN/RELIEF AIR
SA	SUPPLY AIR

HVAC SHEET INDEX

M000	HVAC COVERSHEET
M212	FLOOR PLAN - LEVEL 02 - HVAC
M213	FLOOR PLAN - ATTIC - HVAC
M400	MECHANICAL DETAILS
M600	MECHANICAL SCHEDULES
GRAND TOTAL: 5	

MECHANICAL GENERAL NOTES:

THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO PLUMBING, VENTILATION, PIPING AND TEMPERATURE CONTROL.

1. DRAWINGS SHOWING LOCATIONS OF EQUIPMENT, DUCTWORK, PIPING, ETC. ARE DIAGRAMMATIC AND MAY NOT ALWAYS REFLECT EXACT INSTALLATION CONDITIONS. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF DUCTWORK, PIPING, EQUIPMENT, ETC., AND MAY NOT INCLUDE ALL OFFSETS AND FITTINGS REQUIRED FOR COMPLETE INSTALLATION. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHERS WILL PERMIT.
2. CATALOG AND MODEL NUMBERS SHALL NOT BE CONSIDERED COMPLETE, BUT ARE GIVEN AS AN AID TO THE CONTRACTOR AND TO INDICATE THE QUALITY REQUIRED. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE DESCRIPTION OF MATERIAL SCHEDULED ON THESE DRAWINGS AND IN THE SPECIFICATIONS BEFORE ORDERING. THE DESCRIPTION OF THE MATERIAL AND SCHEDULED PERFORMANCE TAKES PRECEDENCE OVER THE MODEL NUMBER. THE FIRST MANUFACTURER SCHEDULED IS THE BASIS OF DESIGN.
3. DETERMINATION OF QUANTITIES OF MATERIAL AND EQUIPMENT REQUIRED SHALL BE MADE BY THE CONTRACTOR FROM THE DOCUMENTS. WHERE MATERIAL AND/OR QUANTITY DISCREPANCIES ARISE BETWEEN DRAWINGS, SCHEDULES AND/OR SPECIFICATIONS, THE HIGHER QUALITY/ GREATER NUMBER SHALL GOVERN.
4. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CLEARANCES FROM ARCHITECTURAL, STRUCTURAL, SUBMITTALS, AND OTHER APPROPRIATE DRAWINGS OR PHYSICALLY AT SITE. REVIEW ALL DRAWINGS, INCLUDING THOSE OF OTHER TRADES.
5. COORDINATE ALL WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO PROVIDE CLEARANCES REQUIRED FOR OPERATION, MAINTENANCE, CODE COMPLIANCE, AND TO VERIFY NON-INTERFERENCE WITH OTHER WORK. DO NOT FABRICATE PRIOR TO VERIFICATION OF NECESSARY CLEARANCES FOR ALL TRADES. BRING ANY INTERFERENCES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH FABRICATION OR EQUIPMENT ORDERS.
6. REVIEW SPACE REQUIREMENTS OF EQUIPMENT SPECIFIED OR SUBSTITUTED AND MAKE REASONABLE ACCOMMODATIONS IN LAYOUT AND POSITIONING TO PROVIDE PROPER ACCESS.
7. ANY CHANGES REQUIRED TO ELIMINATE CONFLICTS OR THAT RESULT FROM A FAILURE TO COORDINATE SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR EXPENSE TO OTHERS.
8. EACH CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ELECTRICAL CHANGES REQUIRED FOR EQUIPMENT PROPOSED THAT DIFFERS FROM THE BASIS OF DESIGN.
9. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN, ELECTRICAL, TECHNOLOGY AUDIO/VISUAL, AND OTHER MECHANICAL PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES, OTHER THAN SPRINKLERS.
10. EACH CONTRACTOR IS RESPONSIBLE FOR DAMAGE CAUSED BY THEIR ACTIONS TO WALLS, FLOORS, CEILINGS, AND ROOFS. THE CONTRACTOR WHOSE WORK CAUSES DAMAGE IS RESPONSIBLE FOR PATCHING TO MATCH ORIGINAL CONSTRUCTION, FIRE RATING, AND FINISH.
11. IN AREAS WITH DRYWALL CEILINGS COORDINATE LOCATIONS OF ACCESS PANELS WITH THE GC FOR ACCESS TO VALVES, DUCTWORK ACCESSORIES, DAMPERS, ETC. COORDINATE PANEL TYPE AND COLOR WITH ARCHITECT. NOTIFY THE GC OF THE REQUIRED ACCESS PANELS PRIOR TO BIDDING.
12. SEAL ALL FLOOR, WALL, AND ROOF PENETRATIONS AIRTIGHT WHERE CONDUITS, PIPING, AND DUCTS PENETRATE. PENETRATIONS THROUGH EXTERIOR WALLS AND ROOF SHALL BE SEALED AIRTIGHT WITH WATERPROOFING MATERIALS RECOMMENDED BY MANUFACTURER FOR OUTDOOR USE.
13. CAULK ALL PIPE AND DUCT PENETRATIONS OF FULL HEIGHT NON-FIRE RATED WALL, PARTITION, FLOOR, AND ROOF ASSEMBLIES. THIS IS ESSENTIAL TO PREVENT NOISE TRANSMISSION FROM ONE ROOM TO ANOTHER AND TO PROVIDE THE DESIRED NC LEVELS WITHIN ROOMS.
14. WHERE PIPES AND DUCTS ARE SHOWN TO PENETRATE FLOORS, PROVIDE SLEEVED OPENINGS WITH THE TOP EDGE RAISED ABOVE FLOOR SURFACE IN ACCORDANCE WITH ALL RELEVANT SPEC SECTIONS. SEAL SLEEVE PERIMETER TO BE WATERTIGHT.
15. EQUIPMENT SIZES AND SERVICE CLEARANCE REQUIREMENTS VARY AMONG DIFFERENT MANUFACTURERS. CONSULT APPROVED SHOP DRAWINGS FOR EQUIPMENT SIZES AND REQUIRED SERVICE CLEARANCES. COORDINATE WITH LAYOUT OF EQUIPMENT PADS, PIPING, DUCTWORK, ETC.
16. DO NOT BLOCK EQUIPMENT SERVICE CLEARANCES.
17. MAINTAIN A MINIMUM WORKING CLEARANCE OF 3'-6" IN FRONT OF ALL ELECTRICAL EQUIPMENT REQUIRING MAINTENANCE, INSPECTION, AND TESTING INCLUDING BUT NOT LIMITED TO PANELS, DISTRIBUTION PANELS, SWITCHBOARDS, MOTOR CONTROL CENTERS, TRANSFORMERS, EQUIPMENT DISCONNECTS AND STARTERS.
18. MAINTAIN THE DEDICATED ELECTRICAL EQUIPMENT SPACE DEFINED BY THE WIDTH / DEPTH OF ELECTRICAL EQUIPMENT MEASURED FROM THE FLOOR TO A HEIGHT 6'-0" ABOVE THE EQUIPMENT OR THE STRUCTURAL CEILING, WHICHEVER IS LOWER. SYSTEMS FOREIGN TO THE ELECTRICAL DISTRIBUTION SYSTEM ARE NOT ALLOWED IN THE DEDICATED ELECTRICAL SPACE INCLUDING: DUCTWORK, PIPING, ETC.

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1724 CHESTER COURTHOUSE REHABILITATION
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CONTRACT # eDPW-040225

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SEAL

DRAWING NAME:
HVAC COVERSHEET

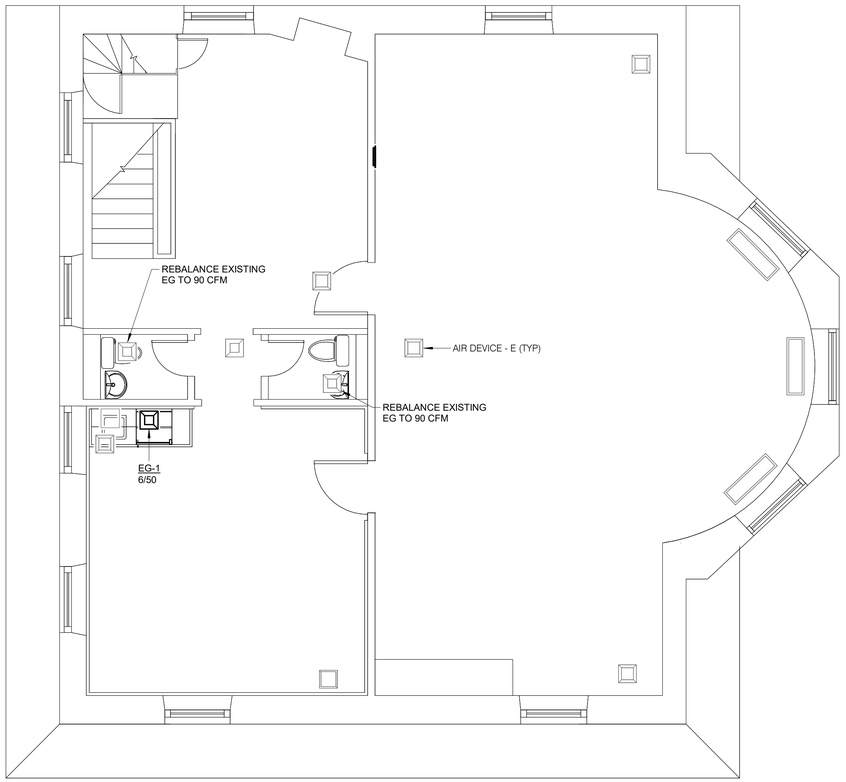
REVISIONS:

NO.	REVISION / ISSUE	DATE
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24

DRAWN BY: DSS
REVIEWED BY: KMR

M000



NORTH

1 **FLOOR PLAN - LEVEL 02 - HVAC**

1/4" = 1'-0"

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SEAL

DRAWING NAME:
FLOOR PLAN - LEVEL 02 - HVAC

REVISIONS:

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	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24

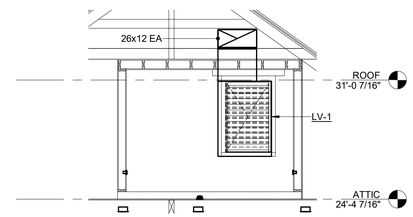
DRAWN BY: DSS

REVIEWED BY: KMR

M212

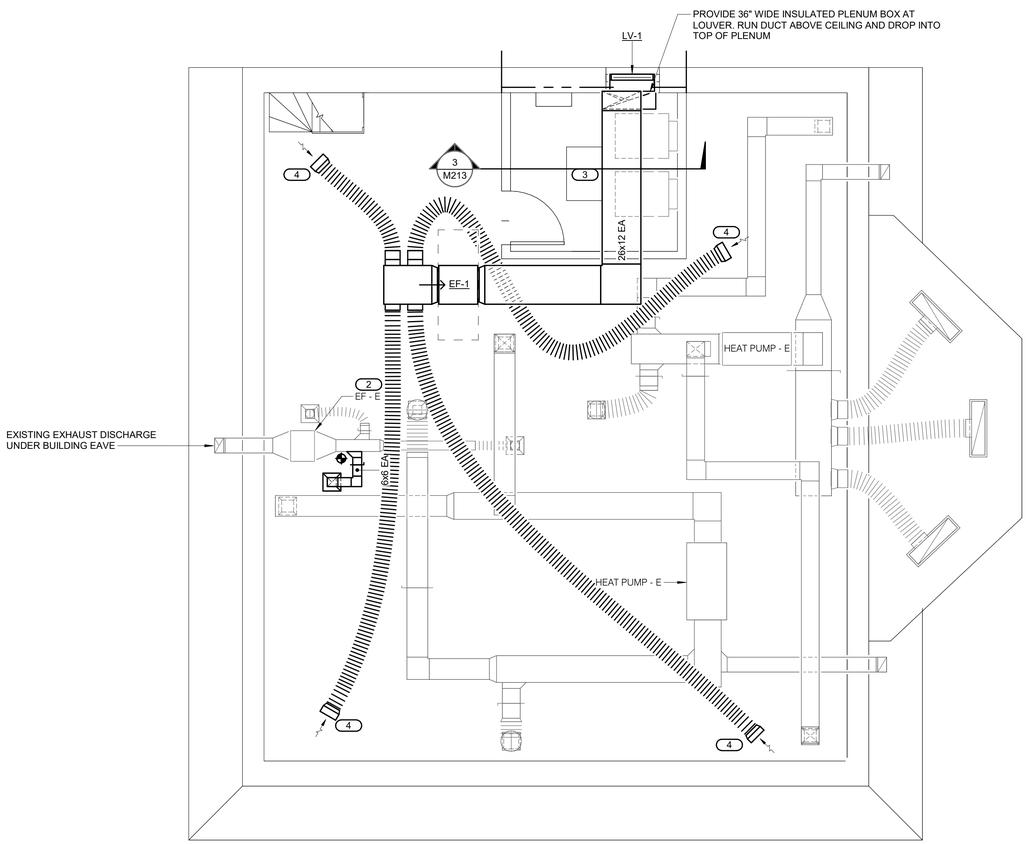
KEYNOTES:

1. INTAKE FOR THE ATTIC EXHAUST SYSTEM SHALL BE THROUGH EXISTING LOUVERS IN THE CUPOLA. REFER TO ARCHITECTURAL DRAWINGS.
2. CONFIRM OPERABILITY OF EXHAUST FAN AND PROVIDE PRE-DEMOLITION BALANCING READINGS. REBALANCE SYSTEM TO AIRFLOW VALUES SHOWN ON PLANS.
3. EXISTING BOILER TO BE DEMOLISHED AS PART OF SEPERATE CONTRACT.
4. RUN 10 DIA. FLEX DUCT FROM EF-1 PLENUM INTAKE BOX TO 12X12 RIGID OPEN ENDED DUCWORK WITH WIRE MESH SCREEN AT INTAKE. FLEX DUCT SHALL BE RATED FOR OPERATION AT -1" W.C.



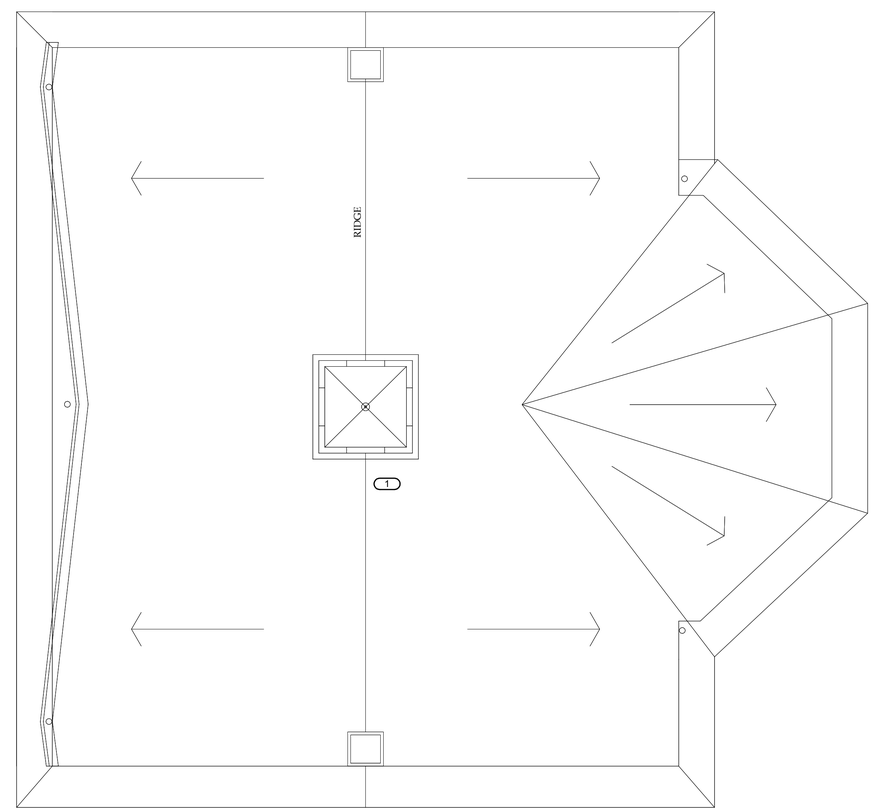
3 SECTION - WINDOW LOUVER

1/4" = 1'-0"



1 FLOOR PLAN - ATTIC - HVAC

1/4" = 1'-0"



2 FLOOR PLAN - ROOF - HVAC

1/4" = 1'-0"

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SEAL

DRAWING NAME:
FLOOR PLAN - ATTIC - HVAC

REVISIONS:

NO.	REVISION / ISSUE	DATE
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	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24

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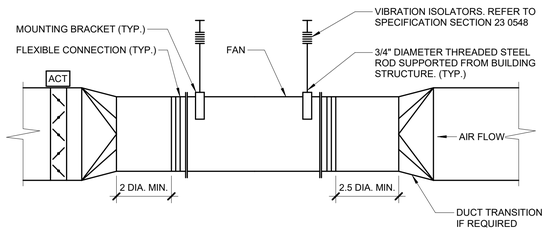
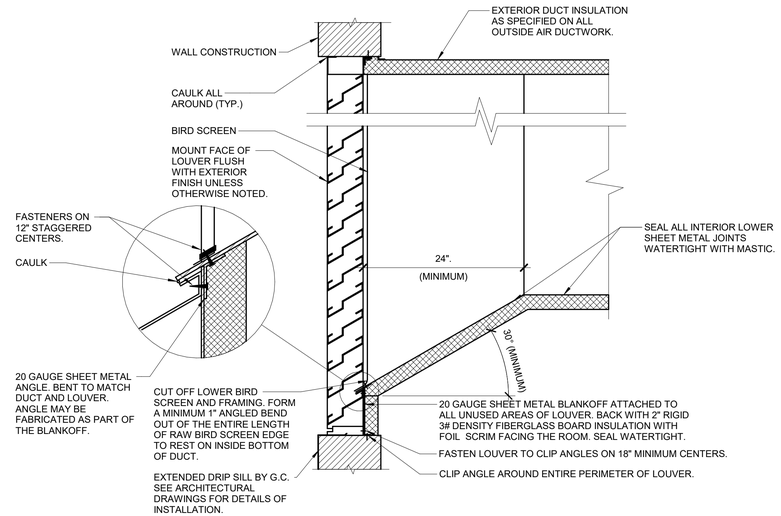
M213



1 FAN - IN-LINE EXHAUST

NO SCALE



NOTES:

1. SEAL ALL JOINTS ON BOTTOM INTERIOR SURFACE OF DUCT WITHIN 6'-0" OF THE LOUVER WATER TIGHT.
2. MOUNT BOTTOM OF INTAKE LOUVERS AT LEAST 40" ABOVE GRADE OR ROOF ELEVATION TO MINIMIZE CHANCES OF SNOW DRIFTING INTO THE LOUVER.
3. CAULK SHEETMETAL SCREWS WHERE THEY PENETRATE METAL.

2 LOUVER INSTALLATION

NO SCALE

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SEAL

DRAWING NAME:
MECHANICAL DETAILS

REVISIONS:

NO.	REVISION / ISSUE	DATE
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24

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LOUVER SCHEDULE

NOTES:
1.FINISH TYPES: TYPE 1 - MILL FINISH, TYPE 2 - 204-R1 SATIN ANODIZED, TYPE 3 - BAKED ENAMEL FINISH ON PRETREATED PRIME PAINT. STANDARD COLOR - SELECTION BY ARCHITECT. TYPE 4 - BAKED EPOXY FINISH ON PRIME COATED METAL. STANDARD COLOR - SELECTION BY ARCHITECT. TYPE 5 - DURANODIC BRONZE - LIGHT, MEDIUM, DARK. TYPE 6 - PVDF (KYNAR 500, HYLAR 5000, OR DURANAR). STANDARD COLOR - SELECTION BY ARCHITECT.
2. BOTTOM QUARTER OF LOUVER AREA SHALL BE MAINTAINED OPEN TO ROOM FOR BOILER COMBUSTION AIR INTAKE .

TAG NAME	AREA SERVED	CFM	SIZE (INCHES)		FREE AREA VELOCITY	S.P. IN. W.C.	FINISH (NOTE 1)	MANUFACTURER	MODEL	NOTES
			WIDTH	HEIGHT						
LV-1	ATTIC	2250	29	46	650	0.06	TYPE-3	GREENHECK	ESD-403	

FAN SCHEDULE

NOTES:
1. PROVIDE WITH REVERSE ACTING THERMOSTAT AND HUMIDITY SENSOR

TAG NAME	AREA SERVED	CFM	S.P. IN. W.C.	FAN RPM (NOTE F)	DRIVE TYPE	BACKDRAFT DAMPER TYPE	ELECTRICAL (NOTE 1)								WEIGHT	VIBRATION ISOLATION		MANUFACTURER	MODEL	NOTES
							BHP (NOTE E)	MHP (NOTE E)	VOLTAGE	PHASES	DISCONNECT		CONTROLLER/ STARTER			TYPE	DEFL.			
											BY (NOTE A)	TYPE (NOTE B)	BY (NOTE A)	TYPE (NOTE C)						
EF-1	ATTIC	2250	0.75	1364	DIRECT	MOTORIZED	0.63	1	120	1	MFR	NF	MFR	ECM	156	H/2	0.75"	GREENHECK	SQ-160-VG	

EXISTING FAN DATA

TAG NAME	SYSTEM TYPE (SUPPLY OR EXHAUST)	CFM	MOTOR HP	RPM	LOCATION	MANUFACTURER
EF - E	EXHAUST	230	0.05	1000	RESTROOM	GREENHECK

AIR TERMINAL SCHEDULE

NOTES:
1.CONTRACTOR SHALL DETERMINE PROPER BORDER TYPE TO MATCH CEILING CONSTRUCTION.
2.REFER TO DRAWINGS FOR NECK SIZE. ALL BRANCH DUCTWORK TO AIR TERMINALS SHALL BE NECK SIZE UNLESS NOTED OTHERWISE.

TAG NAME	FACE SIZE (IN.) (NOTE 2)	TYPE	BORDER (NOTE 1)	MATERIAL	FINISH	VOLUME DAMPER REQUIRED	MANUFACTURER	MODEL	NOTES
EG-1	12x12	LOUVERED FACE	SURFACE MOUNT	STEEL	WHITE	NO	TITUS	300RL	DUCTED EXHAUST

SCHEDULE GENERAL KEY

[A] DISCONNECT AND CNTLR/STARTER FURNISHED AND INSTALLED BY:
MFR = MANUFACTURER
EC = ELECTRICAL CONTRACTOR.
MC = FURNISHED BY MECHANICAL CONTRACTOR, INSTALLED BY ELECTRICAL CONTRACTOR.
MFR/EC = FURNISHED LOOSE BY MANUFACTURER INSTALLED BY ELECTRICAL CONTRACTOR.
TCC = TEMPERATURE CONTROL CONTRACTOR

[B] DISCONNECT TYPE:
CB = CIRCUIT BREAKER
F = FUSED
NF = NON-FUSED
PLUG = PLUG AND CORD

[C] CONTROLLER STARTER TYPE:
FV = FULL VOLTAGE
WYE = WYE-DELTA
SS = SOLID STATE (SOFT START)
MS = MANUAL STARTER
VFD = VARIABLE FREQUENCY DRIVE
VFD/B = VARIABLE FREQUENCY DRIVE WITH BYPASS
ECM = ELECTRONICALLY COMMUTATED MOTOR

NOTE: PROVIDE SHAFT GROUNDING ON MOTORS DRIVEN BY A VFD AS REQUIRED PER SPECIFICATIONS 22 05 13 AND 23 05 13.

[D] RPM LIMITATION
FAN RPM SHALL NOT EXCEED 110% OF SCHEDULED VALUE, WITH THE SCHEDULED WHEEL TYPE. SUBSTITUTION OF BI OR BIA FANS FOR FC IS ACCEPTABLE IF EFFICIENCY IS NOT LOWER.

[E] HORSEPOWER LIMITATION
NO EQUIPMENT SHALL BE SELECTED ABOVE 90% OF MOTOR NAME PLATE RATING.

[F] RPM DEVIATION
MUST BE WITHIN +/- 10% OF SCHEDULED RPM.

[G] CURB / PAD TYPE:
STD = STANDARD CURB
SAC = SOUND ATTENUATOR CURB
CONC = CONCRETE BASE (HOUSEKEEPING PAD)

[G] CURB / PAD BY:
MFR = MANUFACTURER
MC = MECHANICAL CONTRACTOR
GC = BY GENERAL CONTRACTOR

[H] CONTROL / SENSOR TYPE
1 = SENSOR ONLY
2 = SENSOR WITH ADJUSTMENT
3 = SENSOR WITH OVERRIDE
4 = SENSOR WITH ADJUSTMENT AND OVERRIDE.

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REF. SCALE IN INCHES PROJECT #24004655.00

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PROJECT #24004655.00

SEAL

DRAWING NAME:
MECHANICAL SCHEDULES

REVISIONS:

NO.	REVISION / ISSUE	DATE
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24
DRAWN BY: DSS
REVIEWED BY: KMR
M600

VIEW KEY

NAME — LEVEL NAME
10'-0" — HEIGHT ABOVE PROJECT 0'-0"

1 — KEYNOTE: INDICATES NOTE USED TO DESCRIBE ADDITIONAL INFORMATION ABOUT WORK REQUIRED, SPECIFIC TO THE SHEET AND/OR DETAIL

INDICATES DIRECTION OF TRUE NORTH
PLAN OR DETAIL NUMBER
PLAN OR DETAIL NAME

NORTH 1 **VIEW NAME**
1/8" = 1'-0"
PLAN OR DETAIL SCALE

SIM — INDICATES SIMILAR DETAIL REFERENCED IN MULTIPLE LOCATIONS
1 — DETAIL REFERRED TO BY SECTION CUT
M101 — SHEET DETAIL IS LOCATED ON — T101
SIM — 1 2 4 3

LINE TYPE AND TAG KEY:

NEW WORK BY THIS CONTRACTOR (WIDE LINE)
NEW
EXISTING TO BE REMOVED (SHORT DASHED PATTERN)
NEW UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

EXISTING TO REMAIN OR WORK BY OTHERS (NARROW LINE)
EXISTING
EXISTING TO BE REMOVED BY OTHERS (SHORT DASHED PATTERN)
EXISTING UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)

HALFTONING DOES NOT MODIFY SCOPE.

'TAG'-E — TAGS WITH DASH 'E' INDICATES THE REFERENCED OBJECT IS EXISTING

TAG-1 — UNDERLINED TAG INDICATES OBJECT IS IN-SCOPE. IF NEW, ADDITIONAL INFORMATION IS AVAILABLE IN A SCHEDULE, MATERIAL LIST, OR SYMBOL LIST

INDICATES AN EXISTING SYSTEM'S POINT OF CONNECTION/REMOVAL

ELECTRICAL SYMBOL LIST

SYMBOL:	TAG:	SPEC SECTION:	DESCRIPTION:
	REC-DUP	26 27 26	DUPLEX RECEPTACLE, 125V
	REC-DUP-GFI	26 27 26	DUPLEX GFI RECEPTACLE, 125V
	REC-QUAD	26 27 26	QUAD RECEPTACLE, 125V
	REC-QUAD-GFI	26 27 26	QUAD GFI RECEPTACLE, 125V
	REC-QUAD-WP	26 27 26	QUAD GFI WEATHERPROOF RECEPTACLE, 125V
S ##	SW-1P SW-3W SW-D SW-DO	26 09 33	SWITCH SUBSCRIPTS: BLANK = SINGLE POLE 3 = THREE WAY D = DIMMER - STAND ALONE O = DUAL TECHNOLOGY OCCUPANCY SENSOR WITH WALL SWITCH

RECEPTACLE SUBSCRIPT KEY:

DEVICE KEY:
DEVICE # = MOUNTING (IF APPLICABLE)
1 = CIRCUIT NUMBER

*IF LABEL IS ORIENTED HORIZONTALLY A SLASH WILL SEPARATE THIS INFORMATION. EX: A / 1

ELECTRICAL MOUNTING SUBSCRIPT KEY:
A — MOUNT AT +6" TO CENTERLINE ABOVE COUNTER OR BACKSPLASH
C — MOUNT AT CEILING (DEVICE OR ROUGH-IN CONTEXT)
H — MOUNT ORIENTED HORIZONTALLY
L — MOUNT IN CASEWORK
M — MOUNT IN MODULAR FURNITURE
O — WIRING DEVICE, OCCUPANCY CONTROLLED
R — MOUNT IN SURFACE RACEWAY
S — SURFACE MOUNTED
W — WEATHERPROOF WIRING DEVICE, NEMA 3R WHILE-IN-USE COVER, WR LISTED
WG — WIRE GUARD
WP — WEATHERPROOF

ELECTRICAL SYMBOL LIST

SYMBOL:	TAG:	SPEC SECTION:	DESCRIPTION:
	FACP-#	28 31 00	FIRE ALARM CONTROL PANEL
	FAA-#	28 31 00	FIRE ALARM ANNUNCIATOR
S# S#	FA-120	28 31 00	FIRE ALARM SMOKE DETECTOR, CEILING OR WALL MOUNT BLANK - PHOTOELECTRIC CO = COMBINATION SMOKE / CARBON MONOXIDE H = COMBINATION SMOKE / HEAT DETECTOR ION = IONIZATION TYPE
H# H#	FA-140	28 31 00	FIRE ALARM HEAT DETECTOR BLANK = COMBINATION RATE OF RISE / FIXED TEMP F = FIXED TEMP
	FA-200	28 31 00	FIRE ALARM VISUAL ALARM DEVICE, WALL MOUNT # = CANDELA RATING. CD = CANDELA RATING SELECTED BY NICET DESIGNER
	FA-210	28 31 00	AUDIO HORN/CHIME ALARM DEVICE, CEILING OR WALL MOUNTED
	FA-211	28 31 00	COMBINATION AUDIO HORN/CHIME AND VISUAL ALARM DEVICE, CEILING OR WALL MOUNTED # = CANDELA RATING CD = CANDELA RATING SELECTED BY NICET DESIGNER

LIGHTNING PROTECTION SYMBOL KEY

SYMBOL:	DESCRIPTION:
A	AIR TERMINAL
D	EXPOSED DOWN CONDUCTOR
G	EXPOSED GROUND ROD AND DOWN CONDUCTOR
	LIGHTNING PROTECTION CONDUCTOR

ELECTRICAL SYMBOL LIST

SYMBOL:	TAG:	SPEC SECTION:	DESCRIPTION:
GB	GB	26 05 26	GROUND BUS
IBT	IBT	26 05 26	INTERSYSTEM BONDING TERMINATION
E E	ECONN	26 05 33	ELECTRICAL CONNECTION
J J	JB	26 05 33	JUNCTION BOX
RI	RI-TECH	26 05 33	TECHNOLOGY OUTLET ROUGH-IN
RI	RI-TECH-C	26 05 33	TECHNOLOGY ROUGH-IN, CEILING
	PANEL '###'	26 24 16	PANELBOARD - RECESS MOUNT
	PANEL '###'	26 24 16	PANELBOARD - SURFACE MOUNT
	MX-#/MS-# /CB-#/CS-# /MD-#/FS-# /AS-#/SS-#/ MCS-#/ AMS-#	26 24 19 26 28 16	SURFACE OR RECESS MOUNTED MANUAL SWITCH / STARTER / COMBINATION STARTER/ CIRCUIT BREAKER. MANUAL DISCONNECT / FUSED SWITCH (PLUG FUSE) / AUTOMATIC STARTER / SOLID STATE - SOFT STARTER / COMBINATION STARTER / MOTOR CIRCUIT PROTECTOR / ASSEMBLED MOTOR STARTER. REFER TO DISC/STA SCHEDULE.
	FCS-#	26 28 16	FUSED COMBINATION STARTER REFER TO DISC/STA STARTER
	DS-#/FDS-#/DSS-#	26 28 16	DISCONNECT SWITCH FUSED DISCONNECT SWITCH INTERLOCKED RECEPTACLE DISCONNECT. REFER TO DISC/STA SCHEDULE

EQUIPMENT ABBREVIATION KEY

ABBR:	DESCRIPTION:
COF	COFFEE
COPY	COPIER
DISP	GARBAGE DISPOSAL
DOOR	DOOR OPERATOR, ELECTRIC
DW	DISHWASHER
EPT	ELECTRONIC PAPER TOWEL DISPENSER (NON-BATTERY)
EWC	ELECTRIC WATER COOLER
FAN	CEILING FAN
FFE	OWNER FURNISHED FIXTURES, FURNITURE, AND EQUIPMENT
FURN	OWNER FURNITURE
HD	HAND DRYER
MW	MICROWAVE
OVEN	OVEN, WALL
PFR	PLUMB FIXTURE RECEPT FOR LV VALVE POWER
PP	PUSH PAD AUTOMATIC DOOR OPERATOR (REFER TO ARCHITECTURAL PLANS FOR FINAL LOCATION)
RANGE	ELECTRICAL COOKTOP RANGE
REF	REFRIGERATOR
TV	TELEVISION - MONITOR - DISPLAY
UCF	UNDERCOUNTER FREEZER
UCM	UNDERCOUNTER MICROWAVE
UCR	UNDERCOUNTER REFRIGERATOR

ELECTRICAL SYMBOL LIST

SYMBOL:	TAG:	SPEC SECTION:	DESCRIPTION:
	REFER TO LUMINAIRE SCHEDULE		LINEAR LUMINAIRES
			TROFFER
			WALL SCONCE LUMINAIRE
			DOWNLIGHT LUMINAIRE
			AIMABLE OR WALL WASH LUMINAIRE
			INDUSTRIAL LUMINAIRE
			WALL BRACKET LUMINAIRE
			POLE MOUNTED LUMINAIRE
			SINGLE FACE EXIT SIGN
			DOUBLE FACE EXIT SIGN
			WALL/CEILING EMERGENCY EXIT SIGN
			EMERGENCY UNIT

ELECTRICAL INSTALLATION NOTES:

1. CIRCUIT NUMBERS ARE SHOWN FOR CIRCUIT IDENTIFICATION. CIRCUITING SHALL AGREE WITH NUMBERING ON THE PANEL PROVIDED. COMMON NEUTRALS MAY NOT BE USED FOR BRANCH CIRCUITS. BALANCE THE LOAD ON PANEL AS EVENLY AS POSSIBLE BETWEEN EACH PHASE.
2. FLUSH MOUNT ALL LIGHTING CONTROL DEVICES AT +42" FROM FLOOR (CENTERLINE DIMENSION), EXCEPT WHERE OTHERWISE NOTED.
3. FLUSH MOUNT ALL DUPLEX RECEPTACLES AND TECHNOLOGY OUTLETS AT +18" FROM FLOOR (CENTERLINE DIMENSION), EXCEPT WHERE OTHERWISE NOTED. RECEPTACLES AND OUTLETS MAY BE SURFACE MOUNTED WHEN CONDUIT IS SPECIFIED EXPOSED. MOUNT EXTERIOR LOCATED RECEPTACLES WITH WHILE-IN-USE COVERS AT +20" FROM FINISHED GRADE (CENTER DIMENSIONS) TO MAINTAIN INSTALLATION ADA COMPLIANCE.
4. MOUNT ALL FIRE ALARM PULL STATIONS AT +42" FROM FLOOR (CENTERLINE DIMENSION) EXCEPT WHERE OTHERWISE NOTED.
5. INSTALL ALL WALL MOUNTED FIRE ALARM NOTIFICATION DEVICES AT 90" ABOVE FINISHED FLOOR OR 6" BELOW THE CEILING, WHICHEVER IS LOWER, EXCEPT WHERE OTHERWISE NOTED. HEIGHT SHALL BE MEASURED TO THE TOP OF THE DEVICE.
6. CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL CEILING MOUNTED DEVICES AND EQUIPMENT WITH LUMINAIRES, AND CEILING DIFFUSERS. SMOKE DETECTORS,CARBON MONOXIDE DETECTORS, AND OCCUPANCY/VACANCY SENSORS SHALL BE LOCATED NO CLOSER THAN 3 FEET TO AN AIR SUPPLY DIFFUSER OR RETURN GRILLE. CARBON MONOXIDE DETECTORS SHALL BE LOCATED 10 PLUS FT FROM FIRE PLACES, COOKING, AND SIMILAR FUEL-BURNING APPLIANCES.
7. CONTRACTOR SHALL VERIFY ALL FURNITURE, MODULAR FURNITURE, AND EQUIPMENT LOCATIONS WITH ARCHITECTURAL PLANS, ELEVATIONS, AND REVIEWED SHOP DRAWINGS. PRIOR TO MAKING THE ACTUAL ELECTRICAL INSTALLATION, THIS CONTRACTOR SHALL ADJUST RECEPTACLES, OUTLETS, OR CONNECTION LOCATIONS TO ACCOMMODATE FURNITURE AND/OR EQUIPMENT.
8. ELECTRICAL AND TECHNOLOGY EQUIPMENT SHALL BE MOUNTED TO AVOID IMPEDANCE OF, OPERATION OF, AND/OR ACCESS TO ELECTRICAL AND MECHANICAL EQUIPMENT. ALL MOUNTING OF ELECTRICAL AND TELECOMMUNICATIONS EQUIPMENT, ON EQUIPMENT SUPPLIED BY ANOTHER CONTRACTOR, SHALL BE APPROVED IN ADVANCE BY THE OTHER CONTRACTOR.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OPENINGS REQUIRED IN WALLS. ALL OPENINGS SHALL BE REPAIRED TO MATCH EXISTING BY A QUALIFIED CONTRACTOR AT THE EXPENSE OF THIS CONTRACTOR. ALL CONDUITS THROUGH WALLS SHALL BE GROUTED OR SEALED INTO OPENINGS.
10. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES.
11. ELECTRICAL IDENTIFICATION. REFER TO SPECIFICATION SECTION 26 05 53 FOR COLOR/LABEL REQUIREMENTS FOR CONDUIT, BOX, CABLE/WIRE, AND EQUIPMENT.

ELECTRICAL RENOVATION NOTES:

THESE NOTES APPLY TO ALL ELECTRICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO, LIGHTING, POWER, FIRE ALARM, AND OTHER LOW VOLTAGE SYSTEMS.

1. EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS, EXISTING BUILDING DOCUMENTS. CONTRACTOR SHALL REVIEW EXISTING CONDITIONS AND REPORT CONFLICTS.
2. NOT ALL EXISTING EQUIPMENT, LUMINAIRES, AND CONDUIT ARE SHOWN. CONTRACTOR SHALL REVIEW EXISTING CONDITIONS AND REPORT CONFLICTS.
3. ELECTRICAL CONTRACTOR SHALL REVIEW EXISTING CONDITIONS TO VERIFY ACCESSIBILITY TO THE AREAS OF THEIR WORK INCLUDING WALLS, FLOOR, CEILINGS, AND ROOF. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE CUTTING, REMOVAL, PATCHING, AND REINSTALLATION OF AFFECTED AREAS ASSOCIATED WITH THEIR WORK BY COORDINATING WITH THE GENERAL CONTRACTOR OR QUALIFIED CONTRACTOR.
4. WHERE EXISTING ELECTRICAL SYSTEMS ARE LOCATED IN AREAS THAT CONFLICT WITH NEW EQUIPMENT, PIPING, OR DUCTWORK TO BE INSTALLED, EACH CONTRACTOR SHALL EITHER ARRANGE NEW EQUIPMENT, CONDUIT, OR DUCTWORK IN SUCH A FASHION THAT IT DOES NOT CONFLICT WITH EXISTING SYSTEMS, OR REWORK EXISTING ELECTRICAL SYSTEMS TO ALLOW FOR INSTALLATION OF NEW EQUIPMENT, PIPING, OR DUCTWORK.

ELECTRICAL BIDDING NOTES:

REFER TO ARCHITECT COVER SHEET FOR COMPLETE LIST OF BID ALTERNATES. THE FOLLOWING ALTERNATES AFFECT ELECTRICAL SCOPE.

BID ALT 1: REMOVE NON- HISTORIC FIRST FLOOR PARTITION WALLS. DRAWINGS SHOW ALTERNATE SCOPE. BASE SCOPE SHALL EXCLUDE REMOVAL OF DOORBELL BUTTON AND ANY OTHER DEVICES IN THE DEMOLISHED WALLS AND REMOVAL OF WIRING BACK TO SOURCE.

BID ALT 5: INSTALL KITCHENETTE CABINETRY AND APPLIANCES. DRAWINGS SHOW ALTERNATE SCOPE. BASE SCOPE SHALL EXCLUDE THE INSTALLATION OF (3) RECEPTACLES AND ASSOCIATED CIRCUITS AT THE KITCHENETTE.

ELECTRICAL SHEET INDEX

E000	ELECTRICAL COVERSHEET
E101	ELECTRICAL DEMOLITION PLAN - LEVEL 01
E102	ELECTRICAL DEMOLITION PLAN - LEVEL 02
E103	ELECTRICAL DEMOLITION PLAN - ATTIC
E201	ELECTRICAL FLOOR PLAN - LEVEL 01 - LIGHTING
E202	ELECTRICAL FLOOR PLAN - LEVEL 02 - LIGHTING
E211	ELECTRICAL FLOOR PLAN - LEVEL 01 - POWER AND SYSTEMS
E212	ELECTRICAL FLOOR PLAN - LEVEL 02 - POWER AND SYSTEMS
E213	ELECTRICAL FLOOR PLAN - ATTIC - POWER AND SYSTEMS
E600	ELECTRICAL SCHEDULES
GRAND TOTAL: 10	

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PROJECT #24004655.00

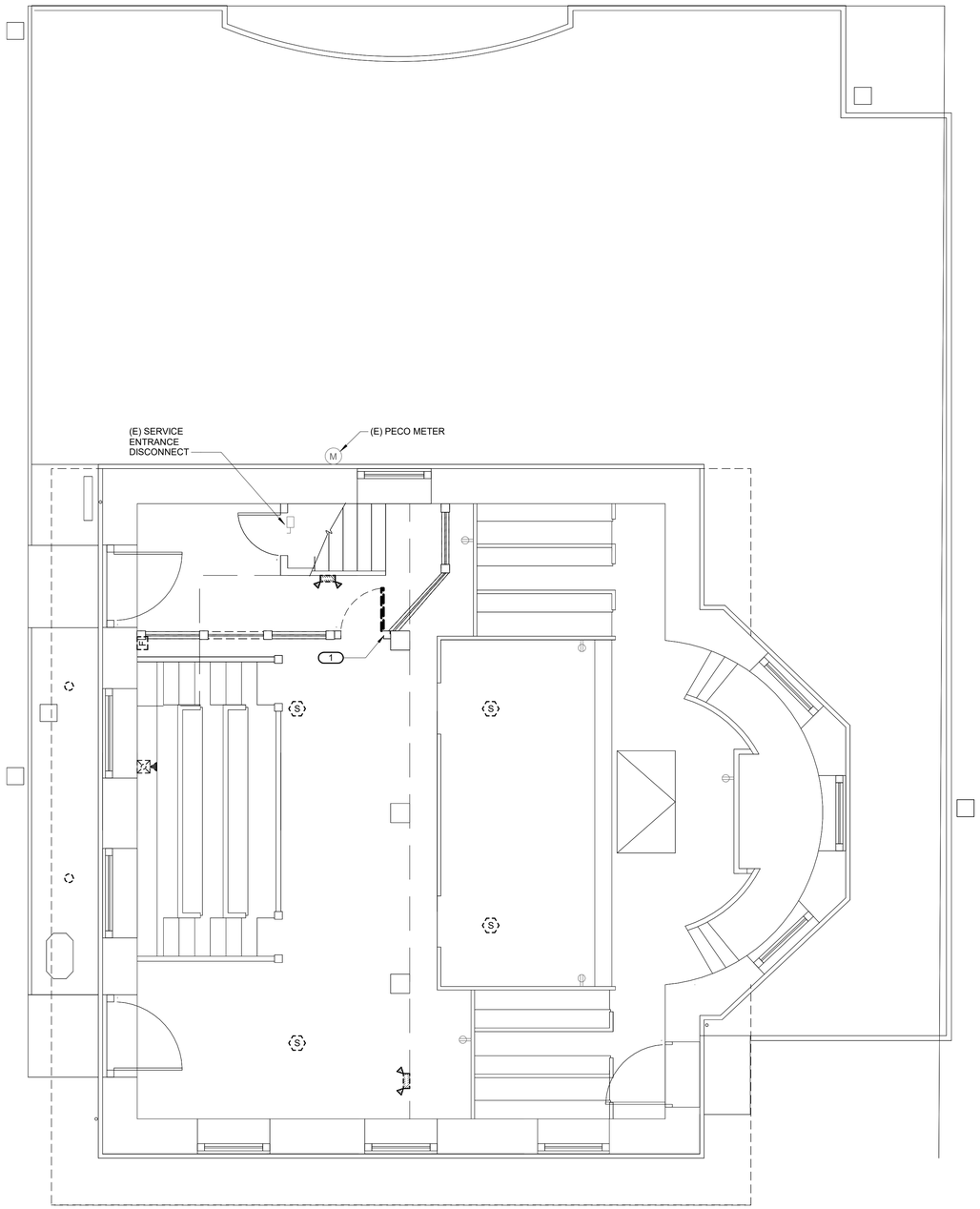
SEAL

DRAWING NAME:
ELECTRICAL COVERSHEET

REVISIONS:

NO.	REVISION / ISSUE	DATE
	60% SUBMISSION	10/25/24
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24
DRAWN BY: SG
REVIEWED BY: TG
E000



NORTH

1 DEMOLITION PLAN - LEVEL 01 - ELECTRICAL

1/4" = 1'-0"

GENERAL NOTES:

1. PROVIDE NEW ADDRESSABLE FIRE ALARM SYSTEM. REPLACE ALL EXISTING FIRE ALARM DEVICES IN THE SAME LOCATIONS. PROVIDE NEW FIRE ALARM WIRING WHERE ACCESSIBLE. REUSE EXISTING PATHWAYS WHERE CONCEALED. NEW SYSTEM SHALL BE CONNECTED TO EXISTING DIALER FROM FAMCO.
2. EXISTING RECEPTACLES AND WIRING ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
3. EXISTING LIGHTING FIXTURES AND CONTROLS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
4. PROVIDE A NEW NFPA 780 COMPLIANT LIGHTNING PROTECTION SYSTEM. REFER TO SPECIFICATION 264100 FOR COMPLETE REQUIREMENTS.
5. TELECOM SYSTEM IS EXISTING TO REMAIN.
6. SECURITY SYSTEM IS EXISTING TO REMAIN.
7. THE EXISTING ALARM SYSTEM FROM FAMCO IS TO REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION INCLUDING REMOTE ALARM SIGNALING FOR SECURITY, FIRE ALARM AND LOW TEMPERATURE.

KEY NOTES:

1. REMOVE DOORBELL AND ANY OTHER DEVICES IN DEMOLISHED WALL AND ASSOCIATED WIRING BACK TO SOURCE.

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PROJECT #24004655.00

SEAL

DRAWING NAME:
ELECTRICAL DEMOLITION PLAN - LEVEL 01

REVISIONS:

NO.	REVISION / ISSUE	DATE
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24
DRAWN BY: SG
REVIEWED BY: TG

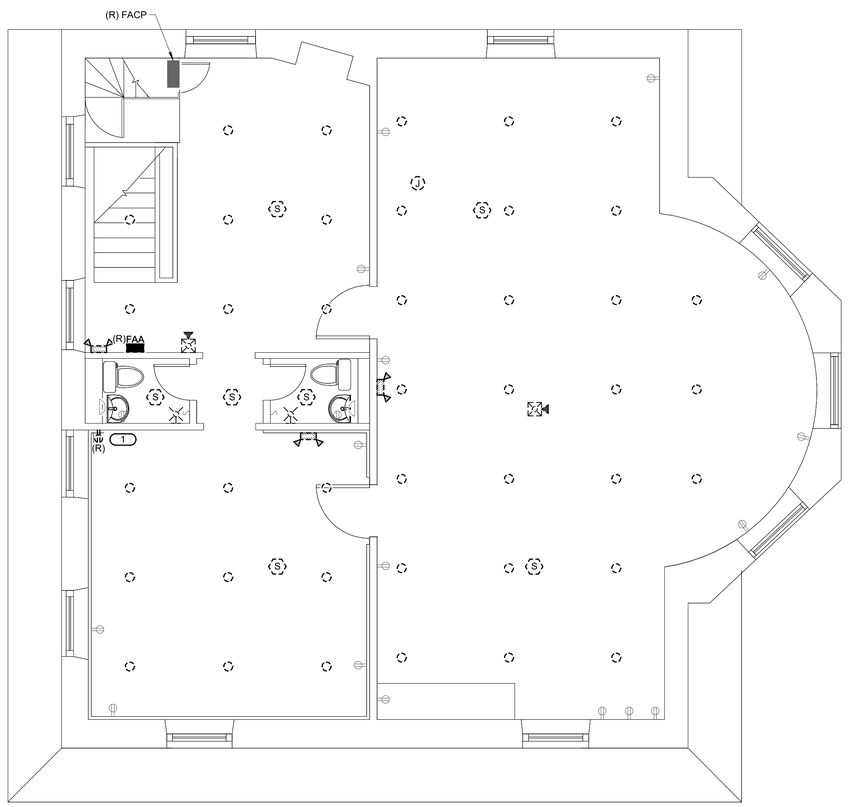
E101

GENERAL NOTES:

1. PROVIDE NEW ADDRESSABLE FIRE ALARM SYSTEM. REPLACE ALL EXISTING FIRE ALARM DEVICES IN THE SAME LOCATIONS. PROVIDE NEW FIRE ALARM WIRING WHERE ACCESSIBLE. REUSE EXISTING PATHWAYS WHERE CONCEALED. NEW SYSTEM SHALL BE CONNECTED TO EXISTING DIALER FROM FAMCO.
2. EXISTING RECEPTACLES AND WIRING ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
3. EXISTING LIGHTING FIXTURES AND CONTROLS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
4. PROVIDE A NEW NFPA 780 COMPLIANT LIGHTNING PROTECTION SYSTEM. REFER TO SPECIFICATION 264100 FOR COMPLETE REQUIREMENTS.
5. TELECOM SYSTEM IS EXISTING TO REMAIN.
6. SECURITY SYSTEM IS EXISTING TO REMAIN.
7. THE EXISTING ALARM SYSTEM FROM FAMCO IS TO REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION INCLUDING REMOTE ALARM SIGNALING FOR SECURITY, FIRE ALARM AND LOW TEMPERATURE.

KEY NOTES :

1. REMOVE ALL ABANDONED TELEPHONE EQUIPMENT AND WIRING. REMOVE SURFACE RACEWAY AND RECEPTACLE TO ALLOW FLUSH CABINETRY INSTALLATION.



NORTH

1 **DEMOLITION PLAN - LEVEL 02 - ELECTRICAL**
1/4" = 1'-0"

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PROJECT #24004655.00

SEAL

DRAWING NAME:
ELECTRICAL DEMOLITION PLAN - LEVEL 02

REVISIONS:

NO.	REVISION / ISSUE	DATE
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24
DRAWN BY: SG
REVIEWED BY: TG

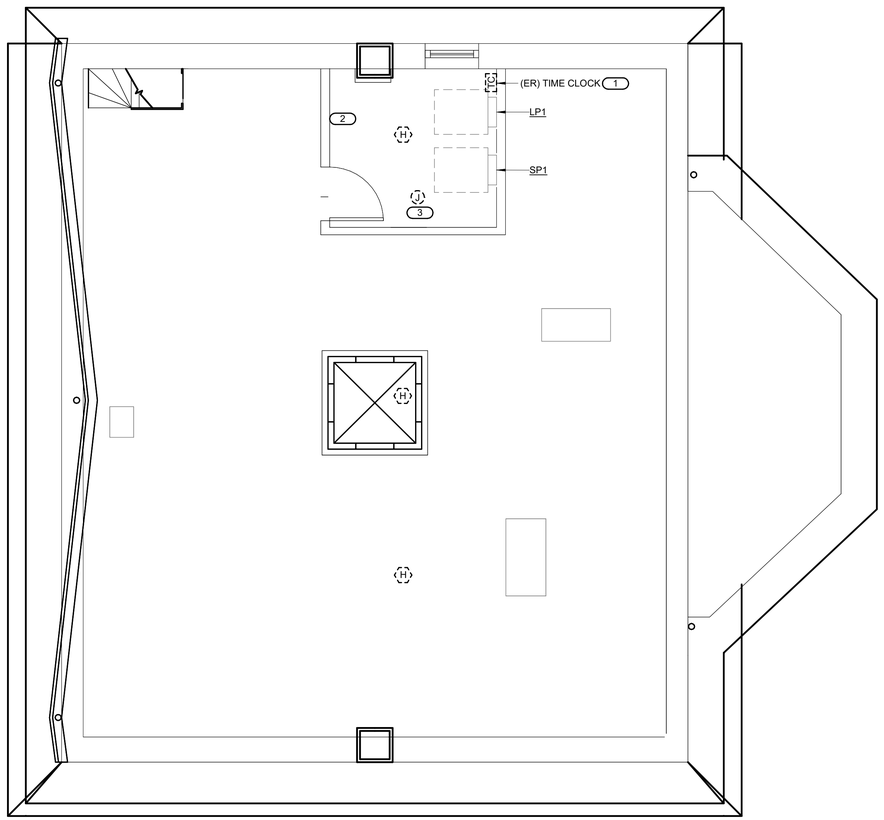
E102

GENERAL NOTES:

1. PROVIDE NEW ADDRESSABLE FIRE ALARM SYSTEM. REPLACE ALL EXISTING FIRE ALARM DEVICES IN THE SAME LOCATIONS. PROVIDE NEW FIRE ALARM WIRING WHERE ACCESSIBLE. REUSE EXISTING PATHWAYS WHERE CONCEALED. NEW SYSTEM SHALL BE CONNECTED TO EXISTING DIALER FROM FAMCO.
2. EXISTING RECEPTACLES AND WIRING ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
3. EXISTING LIGHTING FIXTURES AND CONTROLS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
4. PROVIDE A NEW NFPA 780 COMPLIANT LIGHTNING PROTECTION SYSTEM. REFER TO SPECIFICATION 264100 FOR COMPLETE REQUIREMENTS.
5. TELECOM SYSTEM IS EXISTING TO REMAIN.
6. SECURITY SYSTEM IS EXISTING TO REMAIN.
7. THE EXISTING ALARM SYSTEM FROM FAMCO IS TO REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION INCLUDING REMOTE ALARM SIGNALING FOR SECURITY, FIRE ALARM AND LOW TEMPERATURE.

KEY NOTES :

1. RELOCATE EXISTING TIME CLOCK SO THAT IT REMAINS ACCESSIBLE AFTER INSTALLATION OF NEW DUCTWORK.
2. REMOVE ALL ABANDONED TELEPHONE EQUIPMENT AND WIRING.
3. REMOVE ALL HEAT TRACE AND ASSOCIATED WIRING BACK TO SOURCE.



NORTH

1 DEMOLITION PLAN - ATTIC - ELECTRICAL

1/4" = 1'-0"

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PROJECT #24004655.00

1724 CHESTER COURTHOUSE REHABILITATION

412 AVE OF THE STATES, CHESTER, PA 19013
CONTRACT # eDPW-040225

J&M PRESERVATION STUDIO
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PROJECT #24004655.00

SEAL

DRAWING NAME:
ELECTRICAL DEMOLITION PLAN - ATTIC

REVISIONS:

NO.	REVISION / ISSUE	DATE
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

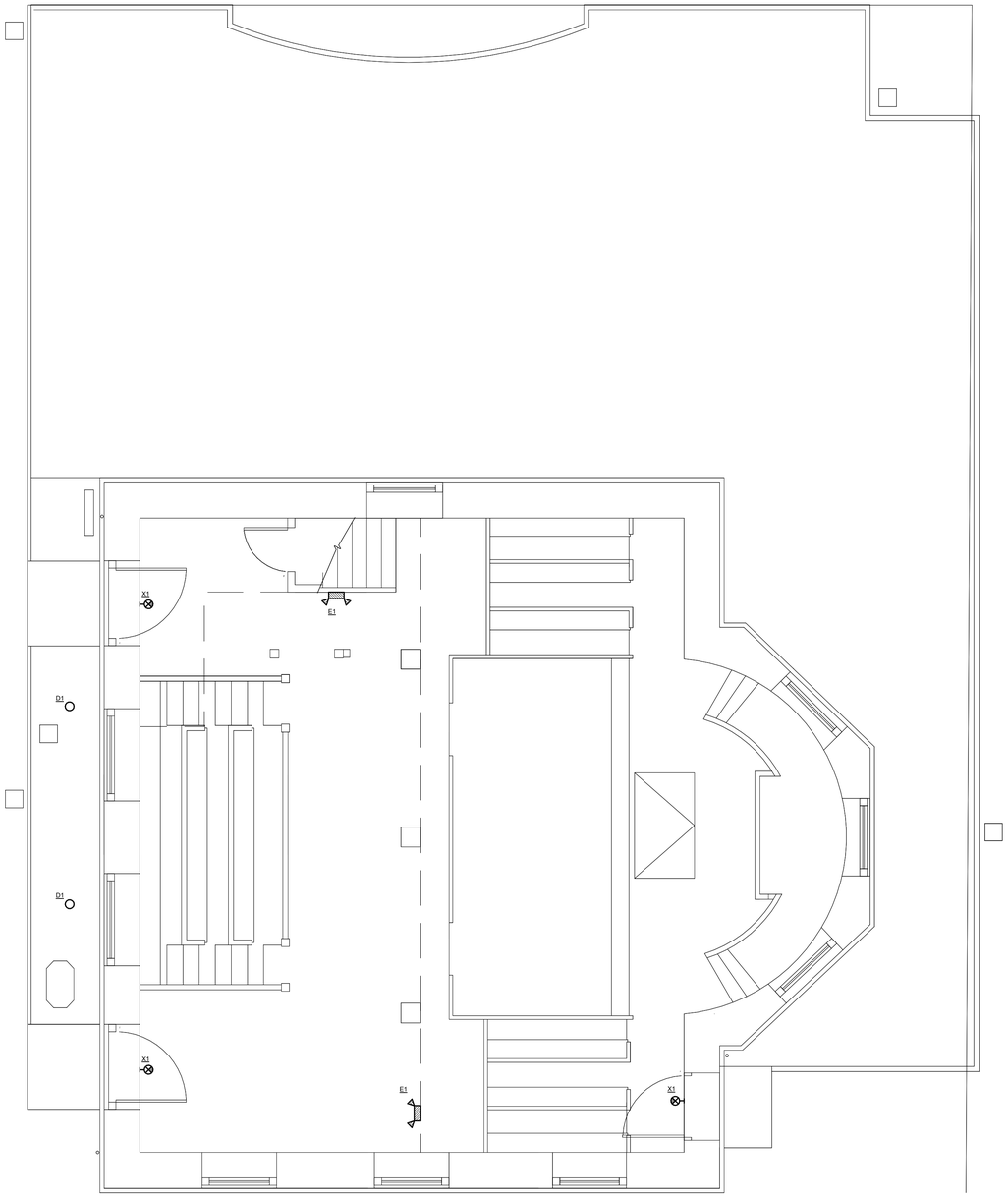
DATE: 2025-01-24

DRAWN BY: SG | REVIEWED BY: TG

E103

GENERAL NOTES:

1. REPLACE ALL EXISTING EMERGENCY LIGHTING UNIT EQUIPMENT IN SAME LOCATION WITH NEW TYPE 'E1' FIXTURE. RE-USE EXISTING CIRCUIT.
2. PROVIDE NEW TYPE 'X1' EXIT SIGNS AS SHOWN. EXTEND EXISTING CIRCUIT SERVING NEAREST 'E1' EMERGENCY LIGHTING UNIT TO SERVE NEW EXIT SIGNS.
3. REPLACE EXISTING DOWNLIGHTS IN EXTERIOR OVERHANG IN THE SAME LOCATION WITH NEW TYPE 'D1' FIXTURE. RE-USE EXISTING FIXTURE HOUSING. RE-USE EXISTING CIRCUIT. RE-USE EXISTING TIMECLOCK CONTROLS. PROVIDE NEW MINI INVERTER IN ATTIC. EXTERIOR LIGHTS SHALL BE CONTROLLED ON/OFF ON A SCHEDULE UNDER NORMAL OPERATION. UPON LOSS OF POWER, INVERTER SHALL OVERRIDE CONTROLS SO LIGHTS AUTOMATICALLY TURN ON.
4. EXISTING LIGHTING FIXTURES AND CONTROLS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.



NORTH

1 FLOOR PLAN - LEVEL 01 - LIGHTING

1/4" = 1'-0"

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SEAL

DRAWING NAME:
ELECTRICAL FLOOR PLAN - LEVEL 01 - LIGHTING

REVISIONS:

NO.	REVISION / ISSUE	DATE
	60% SUBMISSION	10/25/24
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24

DRAWN BY: SG

REVIEWED BY: TG

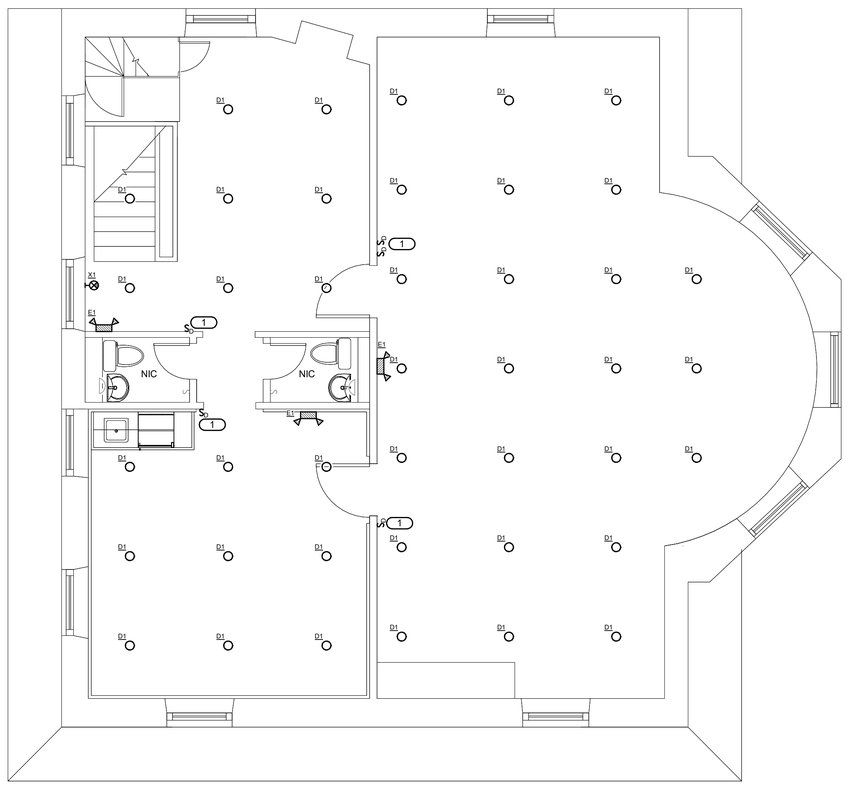
E201

GENERAL NOTES:

1. REPLACE ALL EXISTING EMERGENCY LIGHTING UNIT EQUIPMENT IN SAME LOCATION WITH NEW TYPE 'E1' FIXTURE. RE-USE EXISTING CIRCUIT.
2. PROVIDE NEW TYPE 'X1' EXIT SIGNS AS SHOWN. EXTEND EXISTING CIRCUIT SERVING NEAREST 'E1' EMERGENCY LIGHTING UNIT TO SERVE NEW EXIT SIGNS.
3. REPLACE ALL EXISTING DOWNLIGHTS ON SECOND FLOOR IN SAME LOCATION WITH NEW TYPE 'D1' FIXTURE. RE-USE EXISTING FIXTURE HOUSINGS.
4. LIGHTING AND CONTROLS IN RESTROOMS ARE EXISTING TO REMAIN.

KEY NOTES :

1. REPLACE NOTED SWITCH WITH LINE VOLTAGE PHASE DIMMER SWITCH. LUTRON MODEL AYCL-253P OR APPROVED EQUAL.



NORTH

1 FLOOR PLAN - LEVEL 02 - LIGHTING

1/4" = 1'-0"

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DRAWING NAME:
ELECTRICAL FLOOR PLAN - LEVEL 02 - LIGHTING

REVISIONS:

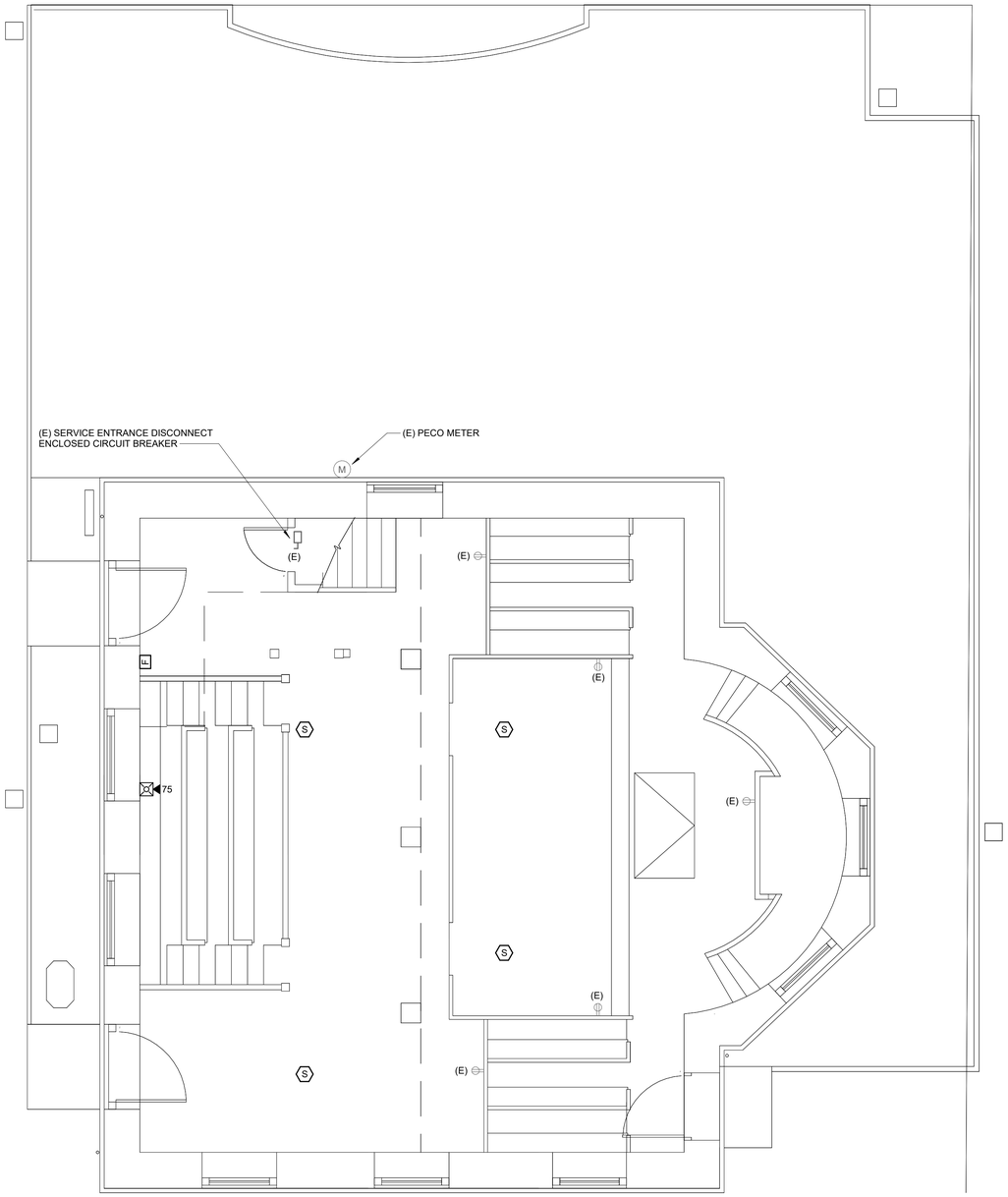
NO.	REVISION / ISSUE	DATE
	60% SUBMISSION	10/25/24
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24

DRAWN BY: SG

REVIEWED BY: TG

E202



NORTH

1 **FLOOR PLAN - LEVEL 01 - POWER AND SYSTEMS**

1/4" = 1'-0"

GENERAL NOTES:

1. PROVIDE NEW ADDRESSABLE FIRE ALARM SYSTEM. REPLACE ALL EXISTING FIRE ALARM DEVICES IN THE SAME LOCATIONS. PROVIDE NEW FIRE ALARM WIRING WHERE ACCESSIBLE. REUSE EXISTING PATHWAYS WHERE CONCEALED. NEW SYSTEM SHALL BE CONNECTED TO EXISTING DIALER FROM FAMCO.
2. EXISTING RECEPTACLES AND WIRING ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
3. EXISTING LIGHTING FIXTURES AND CONTROLS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
4. PROVIDE A NEW NFPA 780 COMPLIANT LIGHTNING PROTECTION SYSTEM. REFER TO SPECIFICATION 264100 FOR COMPLETE REQUIREMENTS.
5. TELECOM SYSTEM IS EXISTING TO REMAIN.
6. SECURITY SYSTEM IS EXISTING TO REMAIN.
7. THE EXISTING ALARM SYSTEM FROM FAMCO IS TO REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION INCLUDING REMOTE ALARM SIGNALING FOR SECURITY, FIRE ALARM AND LOW TEMPERATURE. NEW FIRE ALARM SYSTEM SHALL CONNECT TO EXISTING TO REMAIN FAMCO ALARM SYSTEM.

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PROJECT #24004655.00

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DRAWING NAME:
ELECTRICAL FLOOR PLAN - LEVEL 01 - POWER AND SYSTEMS

NO.	REVISION / ISSUE	DATE
	60% SUBMISSION	10/25/24
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24

DRAWN BY: SG | REVIEWED BY: TG

E211

GENERAL NOTES:

1. PROVIDE NEW ADDRESSABLE FIRE ALARM SYSTEM. REPLACE ALL EXISTING FIRE ALARM DEVICES IN THE SAME LOCATIONS. PROVIDE NEW FIRE ALARM WIRING WHERE ACCESSIBLE. REUSE EXISTING PATHWAYS WHERE CONCEALED. NEW SYSTEM SHALL BE CONNECTED TO EXISTING DIALER FROM FAMCO.
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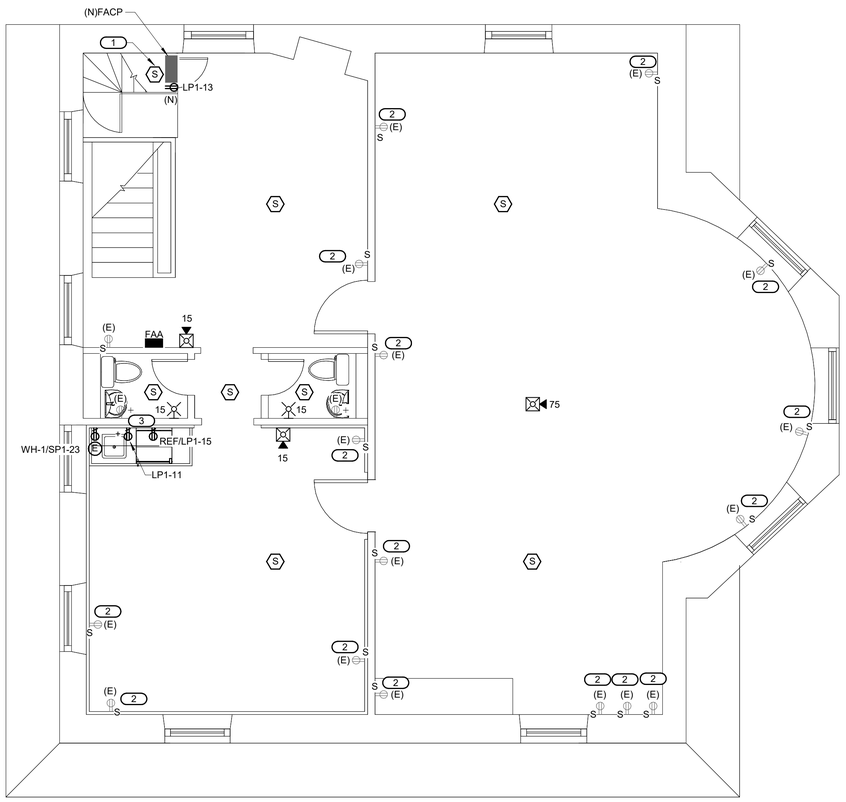
7. THE EXISTING ALARM SYSTEM FROM FAMCO IS TO REMAIN OPERATIONAL THROUGHOUT CONSTRUCTION INCLUDING REMOTE ALARM SIGNALING FOR SECURITY, FIRE ALARM AND LOW TEMPERATURE. NEW FIRE ALARM SYSTEM SHALL CONNECT TO EXISTING TO REMAIN FAMCO ALARM SYSTEM.

KEY NOTES:

1. NOTED FIRE ALARM DEVICE IS A NEW DEVICE IN A NEW LOCATION. PROVIDE NEW WIRING AND BACK BOX. ALL OTHER DEVICES ARE NEW DEVICES IN EXISTING LOCATIONS REUSE EXISTING BACKBOX.
2. REPLACE NOTED EXISTING RECEPTACLE WITH BLACK DEVICE AND COVERPLATE. PAINT EXISTING SURFACE RACEWAY BLACK WHERE MOUNTED TO BLACK BASEBOARD.
3. INSTALL ABOVE COUNTER RECEPTACLE 42"-48"AFF. NEW RECEPTACLES SHALL BE FLUSH MOUNTED INSIDE WALL CAVITY.



NORTH

1 FLOOR PLAN - LEVEL 02 - POWER AND SYSTEMS

1/4" = 1'-0"

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DRAWING NAME:
ELECTRICAL FLOOR PLAN - LEVEL 02 - POWER AND SYSTEMS

NO.	REVISION / ISSUE	DATE
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	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24

DRAWN BY: SG | REVIEWED BY: TG

E212

GENERAL NOTES:

1. PROVIDE NEW ADDRESSABLE FIRE ALARM SYSTEM. REPLACE ALL EXISTING FIRE ALARM DEVICES IN THE SAME LOCATIONS. PROVIDE NEW FIRE ALARM WIRING WHERE ACCESSIBLE. REUSE EXISTING PATHWAYS WHERE CONCEALED. NEW SYSTEM SHALL BE CONNECTED TO EXISTING DIALER FROM FAMCO.
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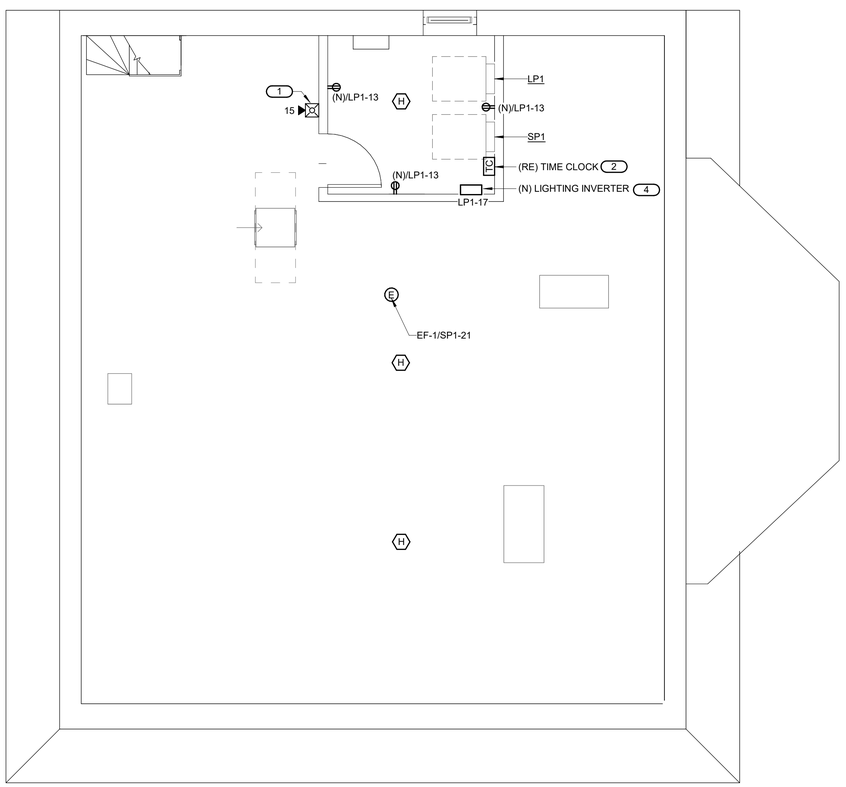
KEY NOTES:

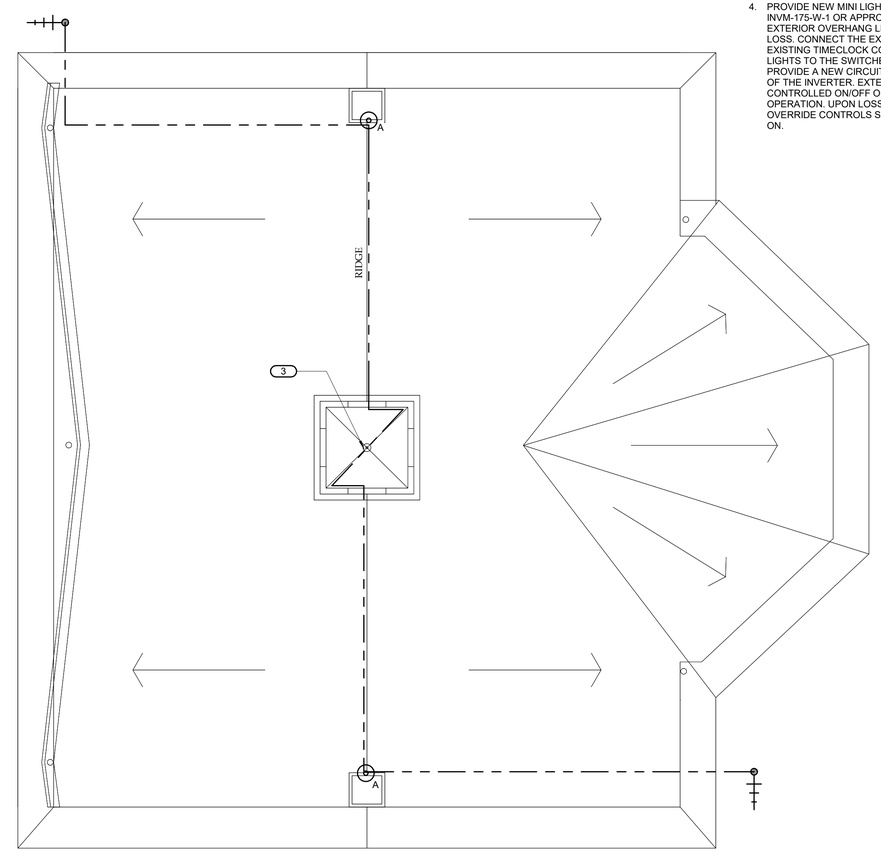
1. NOTED FIRE ALARM DEVICE IS A NEW DEVICE IN A NEW LOCATION. PROVIDE NEW WIRING AND BACK BOX. ALL OTHER DEVICES ARE NEW DEVICES IN EXISTING LOCATIONS REUSE EXISTING BACKBOX.
2. RELOCATE EXISTING TIME CLOCK SO THAT IT REMAINS ACCESSIBLE AFTER INSTALLATION OF NEW DUCTWORK.
3. BOND EXISTING WEATHERVANE TO NEW LIGHTNING PROTECTION CONDUCTORS FOR TWO (2) SEPARATE PATHS TO GROUND.
4. PROVIDE NEW MINI LIGHTING INVERTER (SURE-LITES INVM-175-W-1 OR APPROVED EQUAL) TO POWER EXTERIOR OVERHANG LIGHTS IN THE EVENT OF POWER LOSS. CONNECT THE EXISTING CIRCUIT VIA RELOCATED EXISTING TIMECLOCK CONTROLLING THE EXTERIOR LIGHTS TO THE SWITCHED INPUT OF THE INVERTER. PROVIDE A NEW CIRCUIT AS SHOW TO THE UTILITY INPUT OF THE INVERTER. EXTERIOR LIGHTS SHALL BE CONTROLLED ON/OFF ON A SCHEDULE UNDER NORMAL OPERATION. UPON LOSS OF POWER, INVERTER SHALL OVERRIDE CONTROLS SO LIGHTS AUTOMATICALLY TURN ON.



NORTH

1 FLOOR PLAN - ATTIC - POWER AND SYSTEMS

1/4" = 1'-0"



NORTH

2 ROOF PLAN - LIGHTNING PROTECTION

1/4" = 1'-0"

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SEAL

DRAWING NAME:
ELECTRICAL FLOOR PLAN - ATTIC - POWER AND SYSTEMS

NO.	REVISION / ISSUE	DATE
	60% SUBMISSION	10/25/24
	75% SUBMISSION	11/15/24
	90% SUBMISSION	12/18/24
	100% SUBMISSION	01/24/25

DATE: 2025-01-24
DRAWN BY: SG
REVIEWED BY: TG

E213

(E) PANEL LP1

MOUNTING: SURFACE
ENCLOSURE: NEMA 1
FED FROM: 125/2P @ SP1

SINGLE TUB
SOLID NEUTRAL
GROUND BUS

MAIN: 225 MLO
VOLTS: 120/240 Single
PHASE: 1
WIRE: 3

NOTES:

KEY	CKT NO.	LOAD DESCRIPTION	OCPD AMPS	P	WIRE SIZE H	N	G	A		B		WIRE SIZE G	N	H	OCPD P	AMPS	LOAD DESCRIPTION	CKT NO.	KEY
--	1	EXISTING LOAD	60	2	--	--	--	0	0			--	--	--	2	60	EXISTING LOAD	2	--
	3									0	0							4	
--	5	EXISTING LOAD	20	2	--	--	--	0	0			--	--	--	2	25	EXISTING LOAD	6	--
	7									0	0							8	
--	9	SPARE	20	1	--	--	--	0	0			--	--	--	1	20	EXISTING LOAD	10	--
2	11	(N) GFCI RECEPT AT COUNTERTOP	20	1						0.18	0	--	--	--	1	20	EXISTING LOAD	12	--
2	13	(N) SERVICE RECEPTS	20	1				0.72	0			--	--	--	1	20	SPARE	14	--
2	15	(N) REFRIGERATOR RECEPT	20	1						0.5	0	--	--	--	1	20	SPARE	16	--
	17	(N) EM LIGHTING INVERTER	20	1				0.03	0			--	--	--	1	20	EXISTING LOAD	18	--
--	19	SPARE	20	1	--	--	--			0	0	--	--	--	1	20	EXISTING LOAD	20	--
--	21	SPARE	20	1	--	--	--	0	0			--	--	--	1	20	EXISTING LOAD	22	--
--	23	SPARE	20	1	--	--	--			0	0	--	--	--	1	20	EXISTING LOAD	24	--
--	25	EXISTING LOAD	20	1	--	--	--	0	0			--	--	--	1	20	EXISTING LOAD	26	--
--	27	EXISTING LOAD	20	1	--	--	--			0	0	--	--	--	1	20	EXISTING LOAD	28	--
2	29	(N) FIRE ALARM (LOCK ON)	20	1				0.5	0			--	--	--	1	20	EXISTING LOAD	30	--
--	31	EXISTING LOAD	20	1	--	--	--			0	0	--	--	--	1	20	EXISTING LOAD	32	--
--	33	SPARE	20	1	--	--	--	0	0			--	--	--	1	20	EXISTING LOAD	34	--
--	35	EXISTING LOAD	20	1	--	--	--			0	0	--	--	--	1	20	EXISTING LOAD	36	--
--	37	(E) EMERGENCY LIGHTS	20	1	--	--	--	0	0			--	--	--	1	20	EXISTING LOAD	38	--
--	39	EXISTING LOAD	20	1	--	--	--			0	0	--	--	--	1	20	EXISTING LOAD	40	--
--	41	EXISTING LOAD	20	1	--	--	--	0	--			--	--	--	1	--	SPACE	42	--
							Total Load:	1.25 kVA		0.68 kVA									
							Total Amps:	10.43		5.67									

LOAD SUMMARY

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*	
Lighting	0.032 kVA	100.00%	0.032 kVA		
Other	0.5 kVA	100.00%	0.5 kVA	**TOTAL CONNECTED LOAD:**	1.93 kVA
Receptacles	1.4 kVA	100.00%	1.4 kVA	**TOTAL ESTIMATED DEMAND LOAD:**	1.932 kVA
				TOTAL CONNECTED AMPS:	8.05 A
				TOTAL ESTIMATED DEMAND AMPS:	8

*TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS. THIS CALC IS DONE AT EACH PANEL.

CIRCUIT KEY NOTES:

(E) PANEL SP1

MOUNTING: SURFACE
ENCLOSURE: NEMA 1
FED FROM: 250/2P @ SERVICE ENTRANCE

SINGLE TUB
SOLID NEUTRAL
GROUND BUS

MAIN: 250 MCB
VOLTS: 120/240 Single
PHASE: 1
WIRE: 3

NOTES:

KEY	CKT NO.	LOAD DESCRIPTION	OCPD AMPS	P	WIRE SIZE H	N	G	A		B		WIRE SIZE G	N	H	OCPD P	AMPS	LOAD DESCRIPTION	CKT NO.	KEY
--	1	EXISTING LOAD	60	2	--	--	--	0	0			--	--	--	2	35	EXISTING LOAD	2	--
	3									0	0							4	
--	5	EXISTING LOAD	35	2	--	--	--	0	0			--	--	--	2	20	EXISTING LOAD	6	--
	7									0	0							8	
--	9	EXISTING LOAD	20	1	--	--	--	0	0			--	--	--	2	20	EXISTING LOAD	10	--
--	11	EXISTING LOAD	20	1	--	--	--			0	0							12	
--	13	EXISTING LOAD	20	1	--	--	--	0	0			--	--	--	1	20	EXISTING LOAD	14	--
--	15	EXISTING LOAD	20	1	--	--	--			0	0	--	--	--	1	20	EXISTING LOAD	16	--
--	17	EXISTING LOAD	20	1	--	--	--	0	0			--	--	--	1	15	EXISTING LOAD	18	--
--	19	EXISTING LOAD	20	1	--	--	--			0	0	--	--	--	1	20	EXISTING LOAD	20	--
1	21	(N) EF-1	30	1	10	10	10	1.38	--			--	--	--	1	--	SPACE	22	--
1	23	(N) WH-1 RECEPT	20	1	12	12	12			1.62	--	--	--	--	1	--	SPACE	24	--
--	25	SPACE	--	1	--	--	--	--	--			--	--	--	1	--	SPACE	26	--
	27	LP-1	125	2						1.25	--	--	--	--	1	--	SPACE	28	--
	29							0.68	--			--	--	--	1	--	SPACE	30	--
							Total Load:	2.06 kVA		2.87 kVA									
							Total Amps:	17.17		23.93									

LOAD SUMMARY

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	TOTALS*	
HVAC	1.38 kVA	100.00%	1.38 kVA		
Kitchen Equip.	1.44 kVA	100.00%	1.44 kVA	**TOTAL CONNECTED LOAD:**	4.93 kVA
Lighting	0.032 kVA	100.00%	0.032 kVA	**TOTAL ESTIMATED DEMAND LOAD:**	4.932 kVA
Other	0.5 kVA	100.00%	0.5 kVA	**TOTAL CONNECTED AMPS:**	20.55 A
Receptacles	1.58 kVA	100.00%	1.58 kVA	**TOTAL ESTIMATED DEMAND AMPS:**	20.5

*TOTAL DEMAND CALCS SUBTRACT ANY REDUNDANT LOAD AND THE SMALLER OF ANY NONCOINCIDENT HVAC LOADS. THIS CALC IS DONE AT EACH PANEL.

CIRCUIT KEY NOTES:

GENERAL NOTES:

1. CIRCUIT NUMBERS ARE BASED ON AVAILABLE SPARES AND SPACES AT TIME OF SURVEY. COORDINATE AVAILABLE POLES IN THE FIELD. PROVIDE UPDATED PRINTED CIRCUIT DIRECTORY.

KEY NOTES:

1. PROVIDE NEW CIRCUIT BREAKER IN EXISTING EMPTY SPACE. CIRCUIT BREAKER TYPE AND AIC RATING SHALL MATCH EXISTING.
2. CONNECT NEW CIRCUIT TO EXISTING SPARE BREAKER.
3. TYPE D1 DOWNLIGHTS SHALL BE RETROFIT INSTALLED IN EXISTING DOWNLIGHT HOUSING. CONFIRM COMPATIBILITY WITH EXISTING HOUSING.

ELECTRICAL CONNECTION SCHEDULE

	ITEM	VOLTAGE	LOAD CLASS.	MOTOR	MOTORS QTY	@	HP	ELECTRIC HEATING ELEMENT (KW)	APPARENT LOAD	FLA	MCA	MOCP	OCPD	REQ EMER	CIRCUIT NUMBER	WIRE AND RACEWAY	SCCR	DISCONNECT BY	TYPE	COMMENTS
SP1																				
	EF-1	120, 1Ø	HVAC	Yes	1	@	1	0	1.38 kVA	11.5	14	30	30	No	21	2#10 & 1#10 EGC IN 3/4" C.	5	EC	NF	
	WH-1	120, 1Ø	Kitchen Equip.	No	0	-	0	1.4	1.44 kVA	12	15	15	20	No	23	2#12 & 1#12 EGC IN 3/4" C.	5	EC	CORD/PLUG	

ELECTRICAL LOAD TABLE

LOAD DESCRIPTION	SOURCE AND CAPACITY	EXISTING LOAD (EST)	LOAD REMOVED (EST)	LOAD ADDED	FINAL LOAD (KVA)
LIGHTING	PANEL LP1 30KVA	15KVA	(-2.5)	.6	(-1.9)
RECEPTACLES	PANEL LP1 30KVA	15KVA	0	1.4	1.4
MECHANICAL	PANEL SP1 60KVA	20KVA	(-1.0)	1.38	0.38

LED LUMINAIRE SCHEDULE

(DESC) DOOR:
- FA - FLAT ALUMINUM
- FS - FLAT STEEL
- RA - REGRESSED ALUMINUM
- RS - REGRESSED STEEL

FINISH:
- PAF - PAINT AFTER FABRICATION
- CFSA - COLOR-FINISH SELECTION BY ARCHITECT

DISTRIBUTION:
- II - ANSI/IES TYPE 2 DISTRIBUTION
- III - ANSI/IES TYPE 3 DISTRIBUTION
- IV - ANSI/IES TYPE 4 DISTRIBUTION
- V - ANSI/IES TYPE 5 DISTRIBUTION

BEAMWIDTH:
- NSP - VERY NARROW SPOT
- SP - SPOT
- MD - MEDIUM
- WD - WIDE
- VWD - VERY WIDE
- WW - WALL WASH

(L/L) LENS/LOUVER:
- A - .125" ACRYLIC
- B - BAFFLE/LOUVER
- C - CLEAR ALZAK
- F - FROSTED ACRYLIC
- G - TEMPERED GLASS
- K - KSH12 .125" ACRYLIC
- K19 - KSH19 .156" ACRYLIC
- M - MATTE DIFFUSE CLEAR
- N - NONE
- P - POLYCARBONATE
- R - HIGH IMPACT DR ACRYLIC
- SS - SEMI-SPECULAR CLEAR
- O - OTHER (SEE DESCRIPTION)

(MTG) MOUNTING:
- CL - CEILING SURFACE
- CV - COVE
- FR - FLANGED RECESSED
- P - PERIMETER
- PL - POLE
- RE - RECESSED
- SP - SUSPENDED
- SU - SURFACE
- UC - UNDER CABINET
- WL - WALL
- O - OTHER (SEE DESCRIPTION)

(WATT) PER: FIX - FIXTURE, FT - FOOT, LAMP

(TYPE) LED
- LED - LIGHT EMITTING DIODE
- TLED - TUBULAR LED LAMP
- OLED - ORGANIC LED
- DLED - DYNAMIC TUNABLE LED
- RGB - COLOR CHANGING LED
- RGBW - COLOR CHANGING + WHITE
- RGBA - COLOR CHANGING + AMBER
- RLED - RETROFIT LED
- WLED - WARM DIM LED

(TYPE) DRIVER:
- 0-10V - 0-10V DIMMING
- DALI - DIGITAL ADDRESSABLE
- DMX - DIGITAL MULTIPLEX
- EB - ELECTRONIC
- ELV - ELECTRONIC LOW VOLTAGE
- EM - EMERGENCY BATTERY
- HL - HIGH/LOW (100%/50%) STEP DIM
- LINE - LINE VOLTAGE DIMMING
- ML - MULTI-LEVEL SWITCHING
- MV - MULTI-VOLTAGE ELECTRONIC
- REM - REMOTE
- O - OTHER (SEE DESCRIPTION)

CATALOG NUMBER SHALL NOT BE CONSIDERED COMPLETE AND MATERIAL SHALL NOT BE ORDERED BY MANUFACTURER AND CATALOG NUMBER ONLY. THE COMPLETE DESCRIPTION AND THE SPECIFICATION SHALL BE COORDINATED WITH THE CATALOG NUMBER TO DETERMINE THE EXACT MATERIAL AND ACCESSORIES TO BE ORDERED. THE FIRST MANUFACTURER LISTED IS THE BASIS OF DESIGN.

VERIFY AND COORDINATE ALL CEILING TYPES WITH LUMINAIRE MOUNTING AND TRIM REQUIREMENTS PRIOR TO THE RELEASE OF THE LUMINAIRE ORDER.
CONFIRM ALL COLORS AND FINISHES OF ALL LUMINAIRE COMPONENTS WITH ARCHITECT AND INTERIOR DESIGNER PRIOR TO THE RELEASE OF THE LUMINAIRE ORDER.
UNLESS INDICATED ON LIGHTING PLANS OR BELOW, REFER TO ARCHITECTURAL AND INTERIOR DESIGN ELEVATIONS, SECTIONS AND DETAILS FOR ALL SUSPENDED AND WALL MOUNTED LUMINAIRE MOUNTING HEIGHTS.

	ITEM	DESCRIPTION	L/L	MTG	DIMENSIONS L	W	H	DIA.	WATT ANSI WATTS	PER	LED TYPE	QTY	DELIVERED LUMENS (MIN)	DRIVER VOLTS	TYPE	MANUFACTURER AND MODEL
3	D1	RECESSED ROUND 6IN LENSED DOWNLIGHT, RETROFIT KIT IN EXISTING HOUSING, INTEGRAL DIMMABLE DRIVER, IC RATED, WET LOCATION, WHITE TRIM	P	RE	0"	0"	3"	6"	14	FIX	LED	1	1355	120	LINE	HALO RL56-LS-9FSD2W-1E-WH
	E1	SURF MTD SELF CONTAINED EMERGENCY UNIT, DUAL LED HEAD ADJUSTABLE, UL924, WHITE THERMO PLASTIC HOUSING, INTEGRAL BATTERY	O	WL	11 1/8"	5 3/8"	1 3/4"	0"	0	FIX	LED	2		120	EM	SURE-LITES CU2-LED
	X1	SINGLE FACE EDGE LIT RED LED EXIT SIGN, UNIVERSAL SURFACE WALL MOUNTED, INTEGRAL BATTERY, ALUMINUM FINISH	N	WL	1'-1"	2"	9"	0"	2	FIX	LED	1		120	EM	SURE-LITES SCX70R

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SEAL

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