

**AVON GROVE CHARTER SCHOOL  
STATE ROAD HVAC RENOVATIONS  
KITCHEN AND OFFICES**



**ADDENDUM NO. #2**

12/05/24

**ADDENDUM NO. #2**

This Addendum is a summary of clarifications, interpretations, corrections and/or modifications to the Contract Documents for the AGCS – State Road HVAC Renovations Kitchen and Offices dated 11/18/2024 as prepared by Heckendorn Shiles Architects.

The changes, revisions, modifications, deletions and additions referenced in this Addendum shall supercede and supplement all portions of the Drawings and Specifications, including any previously issued Addenda with which they conflict. All provisions of previously executed Contract Documents not modified by information contained in this Addendum remain in effect.

1. Drawing Update – AD102 and A102 – Clarification on roof scope.
2. Question: Drawing M401, Existing UV-14\_Note states that condensate pump is to be installed in UV end panel enclosure. Is that end panel enclosure currently installed and it will fit new condensate pump and piping? Contractor doesn't need to provide the panel enclosure?  
Response: The end panel enclosure is currently installed and the condensate pump and piping will fit. The contractor does not need to provide an end panel enclosure.
3. Question: Spec 236313-2 - Para 1.8, 1, denotes: Warranty Period: Two years from date of Substantial Completion on parts and labor except compressor which shall be five years from substantial completion. Q- Assume that warranty for compressor is part only and not labor. Typically, manufacturer's do not offer labor warranties.  
Response: The 5-year compressor warranty is for parts only and not for labor.

ATTACHMENTS: AD102, A102

COPY: PennBid Distribution

END OF ADDENDUM NO. 2

AGCS STATE ROAD  
KITCHEN AND  
OFFICE HVAC

110 E State Rd, West Grove, PA  
19390

HSA PROJECT # :24-018

**HSA**  
Heckendorn Shiles Architects

PROJECT TEAM

**CLIENT**  
Avon Grove Charter School  
110 E State Rd  
West Grove, PA 19390  
484-667-5000

**ARCHITECTURAL**  
Heckendorn Shiles Architects  
347 East Conestoga Road  
Wayne, PA 19087  
610-994-3500

**STRUCTURAL**  
DCJ Engineers  
2 Mill Road, Suite 100  
Wilmington, DE 19806  
302-252-9200

**MEFPF**  
Schiller & Hersh Associates, Inc.  
4336 Skippack Pike, Suite 200  
Blue Bell, PA 19422  
215-886-8947

**NOT FOR  
CONSTRUCTION**

SHEET NOTES

- ALL ROOF WORK TO MAINTAIN EXISTING SCHOOL WARRANTY. REFER TO SPECIFICATION FOR ADDL INFO.
- GC TO COORDINATE ALL ROOF PENETRATIONS WITH OTHER PRIMES AND PROVIDE ROOF REPAIRS/ INSTALLATION AS REQUIRED.
- REFER TO A001 FOR GENERAL DEMOLITION AND CONSTRUCTION NOTES AND LEGENDS.
- REFER TO MEFPF DWGS FOR ADDL INFORMATION.
- REFER TO STRUCTURAL DWGS FOR ADDL INFORMATION.
- ALL INTERIOR WALL PENETRATIONS TO BE MADE BY PRIME CONTRACTOR. EACH PRIME IS RESPONSIBLE FOR PROTECTION (AND REPAIR IF NEEDED) OF EXISTING CONDITIONS TO REMAIN (INCLUDING BY NOT LIMITED TO FLOORING, WALLS, FURNITURE).
- IN ROOM/AREAS IDENTIFIED FOR CEILING TILE AND/OR GRID REMOVAL AND REINSTALLATION, GC TO COMPLETE SCOPE OF WORK. GC, MC, AND EC MUST COORDINATE TOGETHER FOR APPROPRIATE EXTENTS OF CEILINGS TO BE REMOVED.
- IN AREAS NOT SHOWN IN ARCHITECTURAL SCOPE OF WORK IN WHICH INFRASTRUCTURE NEEDS TO RUN ABOVE CEILINGS, PRIMES COMPLETING THE WORK ARE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF TILES. ANY DAMAGE TO TILES, GRIDS, OR FIXTURES WILL REQUIRE REPLACEMENT AND IS THE RESPONSIBILITY OF THE PRIME CONTRACTOR COMPLETING THE WORK.
- MECHANICAL EQUIPMENT IS SHOWN FOR REFERENCE. REFER TO MECH DWGS FOR ADDL INFO.

DEMOLITION KEYNOTES

- REMOVE ACT CEILING
- REMOVE LIGHT FIXTURES, REFER TO ELECTRICAL DWGS FOR ADDL INFO
- REMOVE GWB CEILING AND FRAMING AS REQUIRED
- REMOVE ACT CEILING TILE, ACT GRID TO REMAIN
- REMOVE PORTION OF EXISTING ACT CEILING TILES AND GRID TO ACCOMMODATE NEW HOOD.
- EXISTING HEATING EQUIPMENT TO REMAIN
- REMOVE ACT CEILING TILES AS REQUIRED FOR NEW MECHANICAL EQUIPMENT INSTALLATION. STORE FOR REINSTALLATION. REFER TO MECH DWGS FOR ADDL INFO
- REMOVE EXISTING LIGHT FIXTURES
- REMOVE AND STORE EXISTING LIGHT FIXTURES FOR RELOCATION
- REMOVE EXISTING GLASS PANEL FROM FRAME. MODIFY FRAME AS REQUIRED FOR NEW INFILL PANEL. REFER TO 3/AD110 FOR ADDL INFO.
- REMOVE ACT TILE AND GRID AS NECESSARY FOR INSTALLATION OF STRUCTURAL REINFORCEMENT
- EXISTING EIFS INFILL OF EXISTING MASONRY OPENING. REMOVE PORTION OF EIFS INFILL AND FRAMING AS REQUIRED FOR NEW MECHANICAL EXHAUST. REFER TO MECHANICAL DWGS AND A200 FOR ADDL INFO
- EXISTING DISHWASHER TO REMAIN
- PROVIDE OPENING IN EXTERIOR WALL FOR NEW CONDENSATE LINE. REFER TO MECH DWGS FOR ADDL INFO.
- EXISTING SERVER, PROVIDE PROTECTION DURING CONSTRUCTION TO ENSURE EQUIPMENT IS PROTECTED.
- COORDINATE ROOF PENETRATIONS WITH MECHANICAL EQUIPMENT
- REMOVE EXISTING MECHANICAL EQUIPMENT. REFER TO MECH DWGS FOR ADDL INFO.
- SUPPORT AND PROTECT EXISTING CEILING FIXTURES TO REMAIN
- EXISTING MECH TO BE REMOVED BY FACI. GC TO PATCH/REPAIR IF OK.



LEGEND

OUT OF ARCHITECTURAL SCOPE

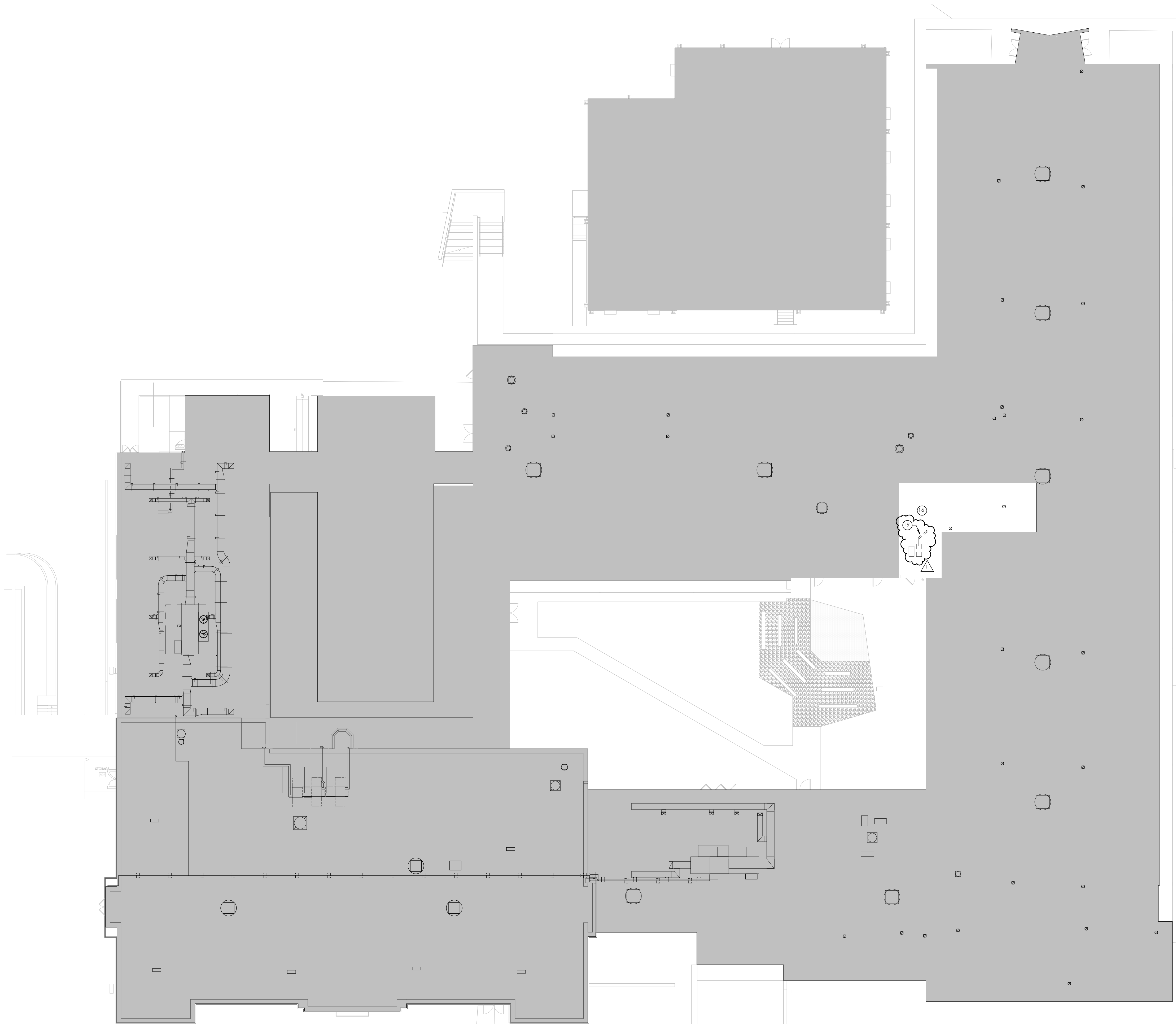
ISSUE HISTORY

A	DATE	ISSUED FOR
1	11/18/24	BID ISSUE
1	12/05/24	ADDENDUM 2

**SHEET TITLE**  
**EXISTING CONDITIONS  
& DEMO PLAN - ROOF  
PLAN**

**DRAWING NUMBER**

**AD102**



1 EXISTING CONDITIONS & DEMOLITION ROOF PLAN

AD102 1/2" = 1'-0"

PROJECT TEAM

**CLIENT**  
Avon Grove Charter School  
110 E State Rd  
West Grove, PA 19390  
484-667-5000

**ARCHITECTURAL**  
Heckendorn Shiles Architects  
347 East Conestoga Road  
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**STRUCTURAL**  
DCJ Engineers  
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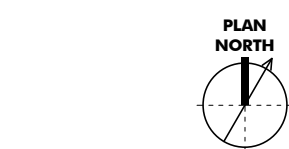
**NOT FOR  
CONSTRUCTION**

SHEET NOTES

1. ALL ROOF WORK TO MAINTAIN EXISTING SCHOOL WARRANTY. REFER TO SPECIFICATION FOR ADDL INFO.
2. GC TO COORDINATE ALL ROOF PENETRATIONS WITH OTHER PRIMES AND PROVIDE ROOF REPAIRS/INSTALLATION AS REQUIRED.
3. REFER TO A001 FOR GENERAL DEMOLITION AND CONSTRUCTION NOTES AND LEGENDS.
4. REFER TO MEPFP DWGS FOR ADDL INFORMATION.
5. REFER TO STRUCTURAL DWGS FOR ADDL INFORMATION.
6. ALL INTERIOR WALL PENETRATIONS TO BE MADE BY PRIME CONTRACTOR REQUIRING THE PENETRATION, UNO. EACH PRIME IS RESPONSIBLE FOR PROTECTION (AND REPAIR IF NEEDED) OF EXISTING CONDITIONS TO REMAIN (INCLUDING BY NOT LIMITED TO FLOORING, WALLS, FURNITURE).
7. IN ROOM/AREAS IDENTIFIED FOR CEILING TILE AND/OR GRID REMOVAL AND REINSTALLATION, GC TO COMPLETE SCOPE OF WORK. GC, MC, AND EC MUST COORDINATE TOGETHER FOR APPROPRIATE EXTENTS OF CEILINGS TO BE REMOVED.
8. IN AREAS NOT SHOWN IN ARCHITECTURAL SCOPE OF WORK IN WHICH INFRASTRUCTURE NEEDS TO RUN ABOVE CEILINGS, PRIMES COMPLETING THE WORK ARE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF TILES. ANY DAMAGE TO TILES, GRIDS, OR FIXTURES WILL REQUIRE REPLACEMENT AND IS THE RESPONSIBILITY OF THE PRIME CONTRACTOR COMPLETING THE WORK.
9. MECHANICAL EQUIPMENT IS SHOWN FOR REFERENCE. REFER TO MECH DWGS FOR ADDL INFO.
10. NEW CEILING HEIGHTS TO MATCH EXISTING, UNO.
11. GC TO REINSTALL CEILING FIXTURES INTO NEW CEILING, UNO.
12. CEILING FIXTURES TO BE CENTERED IN ACT TILE, UNO.
13. MECHANICAL EQUIPMENT AND PATHS SHOWN BELOW CEILING FOR REFERENCE AND COORDINATION PURPOSES. EQUIPMENT AND LINES ALL TO BE ABOVE CEILING UNLESS NOTED OTHERWISE.

CONSTRUCTION PLAN KEYNOTES

- 1 NEW METAL STUD PARTITION ON TOP OF EXISTING PARTIAL HEIGHT BLOCK WALL. CLAD NEW PARTITION ON ALL SIDES WITH [ WP-1 ] CENTER PARTITION ON TOP OF EXISTING PARTIAL HEIGHT TILED PARTITION. PROVIDE IN WALL BLOCKING AS REQUIRED FOR EXHAUST HOOD IN NEW PARTITION.
- 2 COORDINATE NEW INFILL WITH MECHANICAL EXHAUST. PROVIDE NEW FRAMING, EXTERIOR SHEATHING, EIFS, BATT INSULATION AND INTERIOR GWB. NEW INFILL TO ALIGN WITH EXISTING EXTERIOR AND INTERIOR FINISH. REPAINT FULL INFILL OF EIFS.
- 3 MECHANICAL UNIT ON EQUIPMENT RAIL AND PIPE PORTAL BY MC. GC TO PROVIDE PENETRATIONS AS REQUIRED IN EXISTING ROOF MEMBRANE AND INSTALL ROOFING OVER RAILS AND PORTALS (REFER TO TYPICAL DETAILS ON A600). GC TO COORD. WITH MC AND EC. GC RESPONSIBLE FOR SEALING ALL PENETRATIONS. REFER TO MECH AND ELEC DWGS FOR ADDL INFORMATION.
- 4 EXISTING EIFS INFILLED MASONRY OPENING. EXISTING WINDOW MAY EXIST WITHIN INFILL. EXISTING CONDITIONS TO BE VERIFIED IN FIELD BY GC.
- 5 EXISTING DISHWASHER, COUNTER AND SINKS
- 6 COORDINATE EXTENTS OF NEW PARTITION WITH EXHAUST HOOD
- 7 PROVIDE OPENING FOR CONDENSATE LINE. SEAL EXTERIOR FACIES JANGES.
- 8 OUTDOOR AIR INTAKE BY GC. GC TO PROVIDE PENETRATIONS AS REQUIRED IN EXISTING ROOF MEMBRANE AND INSTALL CURB FLASHING/ROOFER TO TYPICAL DETAILS ON A600. GC TO COORD. WITH MC. GC RESPONSIBLE FOR SEALING ALL PENETRATIONS. REFER TO MECH DWGS FOR ADDL INFORMATION.
- 9 PATCH/REPAIR ROOF AT LOCATION OF REMOVED UNIT AND PIPE PENETRATIONS



LEGEND

OUT OF ARCHITECTURAL SCOPE

ISSUE HISTORY

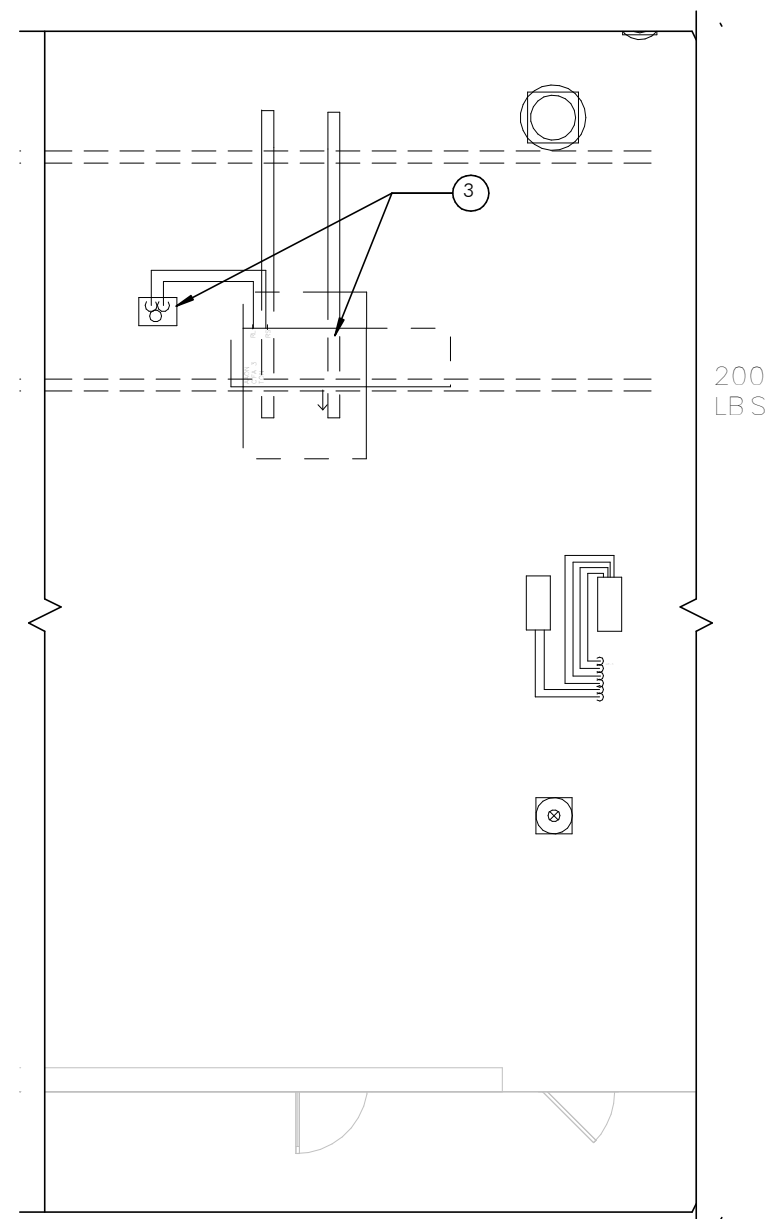
A	DATE	ISSUED FOR
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1	12/05/24	ADDENDUM 2

SHEET TITLE

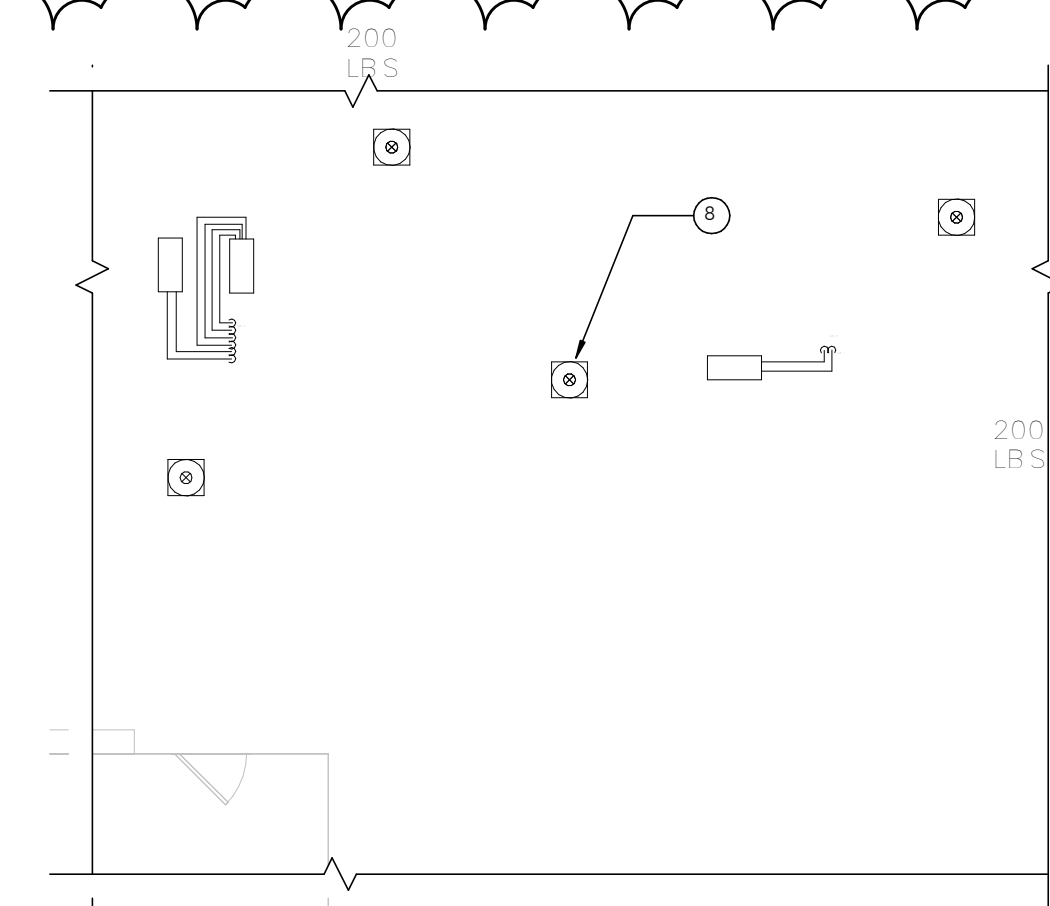
**PROPOSED ROOF PLAN**

DRAWING NUMBER

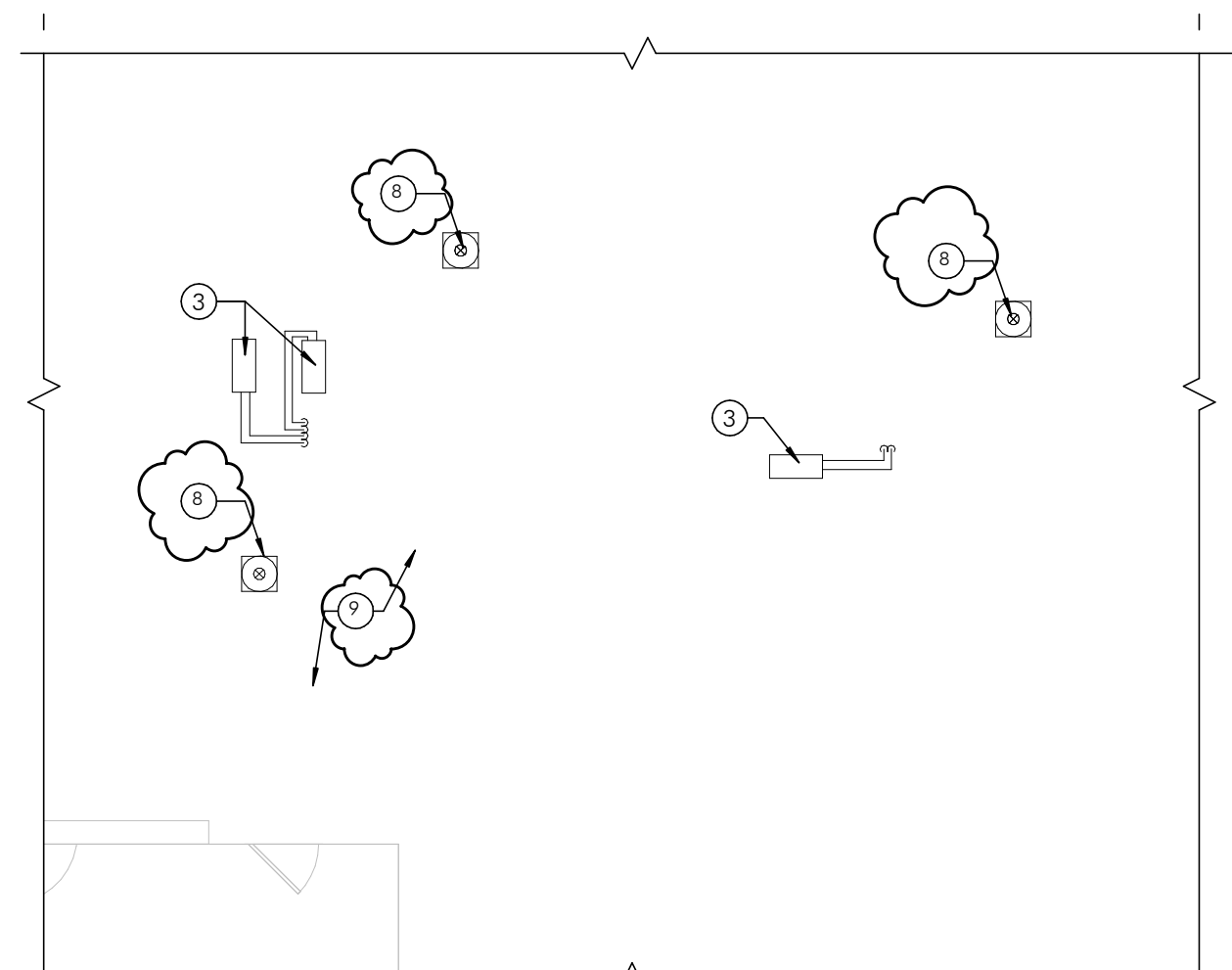
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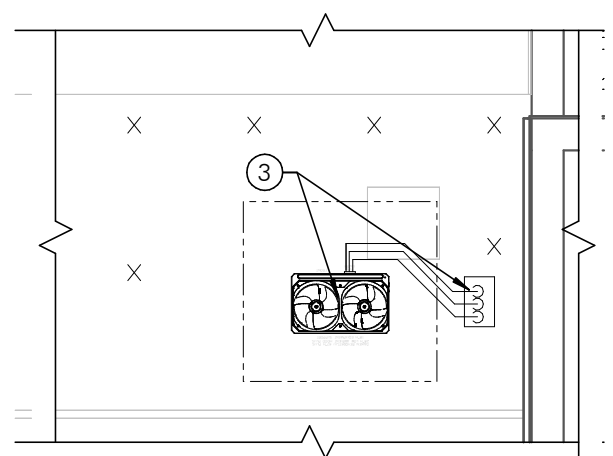
ENLARGED ROOF PLAN - ALTERNATE #2



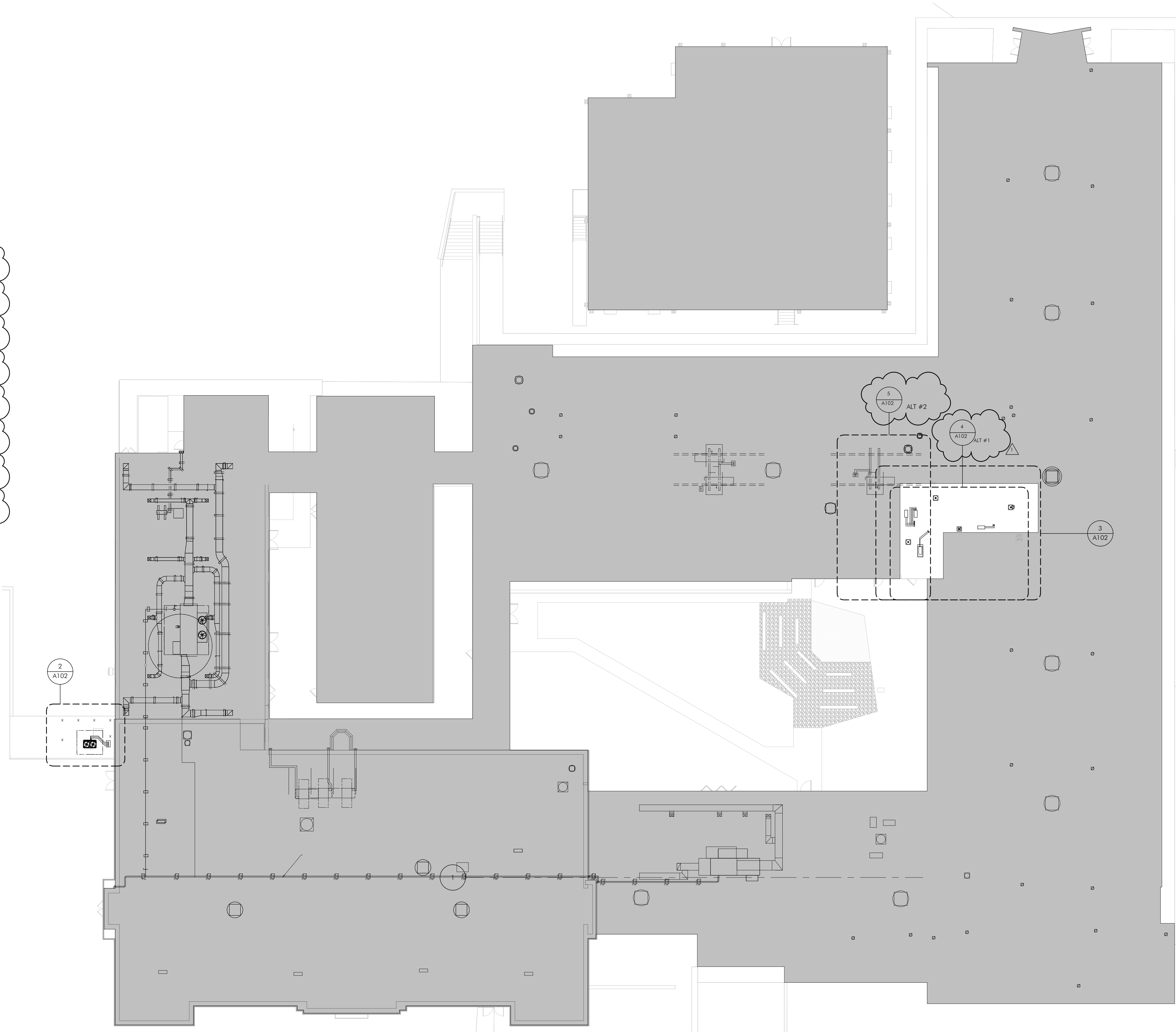
ENLARGED ROOF PLAN - ALTERNATE #1



ENLARGED ROOF PLAN - OFFICES



ENLARGED ROOF PLAN - LOADING DOCK



PROPOSED ROOF PLAN