

1 ME - DEMO AND REFURBISHMENT ROOF PLAN
A2.1A SCALE: 1/8" = 1'-0"

GENERAL NOTES
GENERAL AND KEY NOTES SHALL BE APPLICABLE FOR ALL PROJECT LOCATIONS.
WHEN THE WORK INDICATED IS RELEVANT TO SPECIFIC LOCATIONS, THE FOLLOWING ABBREVIATIONS WILL BE USED TO INDICATE SCHOOL LOCATIONS:

- [ME] = MEDIA ELEMENTARY SCHOOL
- [RT] = ROSE TREE ELEMENTARY SCHOOL

DEMO. / REFURB. PLAN GENERAL NOTES:

- GENERAL NOTES SHALL BE APPLICABLE FOR ALL PROJECT LOCATIONS.
- PROVIDE PROPER PROTECTION FOR ALL SURFACES AND EQUIPMENT ADJACENT TO NEW WORK TO REMAIN DURING CONSTRUCTION.
 - OWNER HAS RIGHT TO CLAIM ANY ITEM POST DEMOLITION, CONFIRM WITH OWNER BEFORE DISPOSAL.
 - WHEN DEMOLISHED ITEM REVEALS EXISTING CONSTRUCTION TO REMAIN, CONTRACTOR SHALL PATCH TO MATCH EXISTING ADJACENT CONSTRUCTION TO REMAIN AT REMOVED ITEM.
 - WHERE DEMOLISHED ITEM REVEALS UNEVEN CONSTRUCTION, INTERRUPTED FINISHES, ATTACHMENT HOLES, AND OTHER CONDITIONS THAT DO NOT MATCH EXISTING ADJACENT FINISH CONSTRUCTION, CONTRACTOR SHALL PATCH TO MATCH EXISTING ADJACENT FINISHES.
 - WHERE BONDED FINISHES ARE TO BE REMOVED, REMOVE FINISH AND ADHESIVE COMPLETELY. REMOVE ADHESIVES COMPLETELY AT WALLS AND PATCH TO MATCH EXISTING ADJACENT FINISHES.
 - REMOVE ADHESIVES COMPLETELY AT CEILINGS AND PATCH TO MATCH EXISTING ADJACENT FINISHES AS REQ'D.
 - FOR ALL EXISTING WALLS TO REMAIN, CONTRACTOR SHALL PATCH HOLES TO MATCH, REPAIR, AND PREPARE WALLS FOR NEW FINISH AS REQ'D.
 - DASHED LINES TYPICALLY REPRESENT ITEMS TO BE DEMOLISHED. REFER TO KEYNOTES FOR DEMO AND REFURBISHMENT INFORMATION AND INSTRUCTIONS.
 - PROVIDE TEMPORARY SHORING AND STRUCTURAL SUPPORT AS REQUIRED WHERE DEMOLITION LEAVES EXISTING STRUCTURE OR WALLS UNSUPPORTED.
 - REFERENCE INFORMATION AVAILABLE TO BIDDERS IN SPECIFICATIONS FOR INFORMATION REGARDING ABATEMENT WORK (BY OTHERS) FOR CAULK AT RT

X## DEMO AND NEW WORK - KEYNOTES	
C01	CEILINGS:
	REMOVE EXISTING CEILING TILE AS REQ'D FOR WINDOW REPLACEMENT AND SHADE INSTALLATION. REINSTALL TILE WHEN COMPLETED.
W01	WALLS / OPENINGS:
	REMOVE EXISTING WINDOW, FRAME, WINDOW TREATMENTS, AND ALL WOOD BLOCKING / TRIM. INSTALL NEW WINDOW, WINDOW TREATMENTS, SOLID SURFACE (SSM) SILLS, ACCESSORIES, ETC. SEE DETAILS.
W02	REMOVE EXISTING UPPER WINDOW AND FRAME. REMOVE EXISTING WINDOW TREATMENTS UNO. INSTALL NEW WINDOW ON EXISTING DOOR HEAD. INSTALL WINDOW TREATMENTS, SSM SILLS, ETC. SEE DETAILS.
	REMOVE EXISTING SKYLIGHT AND CLERESTORY WINDOWS IN THEIR ENTIRETY, INCLUDING BLOCKING, FLASHING, ETC. SKYLIGHT SYSTEM SHOULD BE STRIPPED DOWN TO STEEL STRUCTURE, EXCEPT AT END WALLS. NEW SKYLIGHT, WINDOWS, BLOCKING, FLASHING, ETC TO BE INSTALLED, SEE DETAILS.

DEMO AND NEW WORK - KEYNOTES	
W04	REMOVE EXISTING METAL PANELS AND ANY ASSOCIATED FLASHING FROM END WALLS. NEW PANELS AND FLASHING TO BE INSTALLED AND COORDINATED WITH ROOF WORK.
	MISC.:
D01	REMOVE ROOF MEMBRANE WHERE INSTALLED OVER EXISTING TO REMAIN ROOF CURBS UP TO 1'-0" BACK FROM CURBS. REPLACE WITH 2'-0" PATCH AND INSTALL UP CURBS. SEE DETAILS.

DEMO./REFURB. PLAN SYMBOLS LEGEND:

- (Dx) DEMOLITION / REHABILITATION KEYNOTE
- (Dx) EXISTING BUILDING ELEMENTS TO BE REMOVED. REFERENCE KEYNOTES FOR DESCRIPTION.
- EXISTING WALL / BUILDING ELEMENT TO REMAIN, TYP.
- AREA OF ROOFING / CEILING TO BE REMOVED, UNO

ROSE TREE MEDIA
SCHOOL DISTRICT
SKYLIGHT / WINDOW
REPLACEMENTS 2025

308 NORTH OLIVE STREET, MEDIA, PA 19063



GODSHALL KANE O'ROURKE ARCHITECTS, LLC
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STAMP

CONSULTANTS

REVISIONS	

DRAWN BY	AEK
REVIEWED	KG
JOB #	####

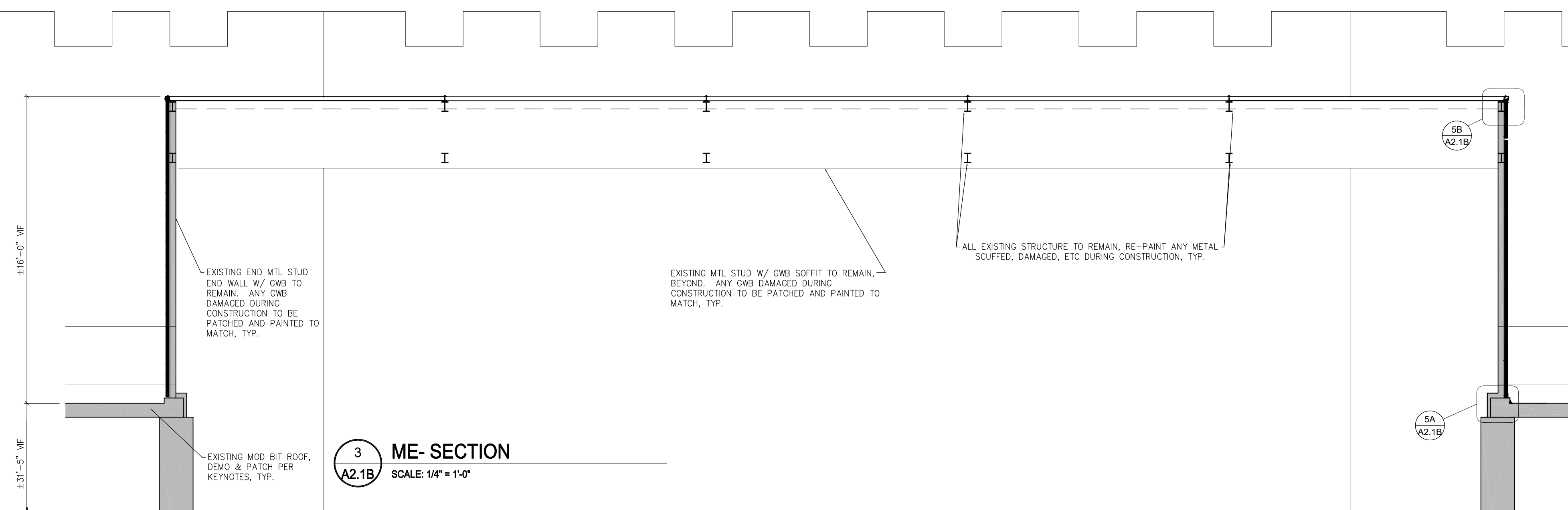
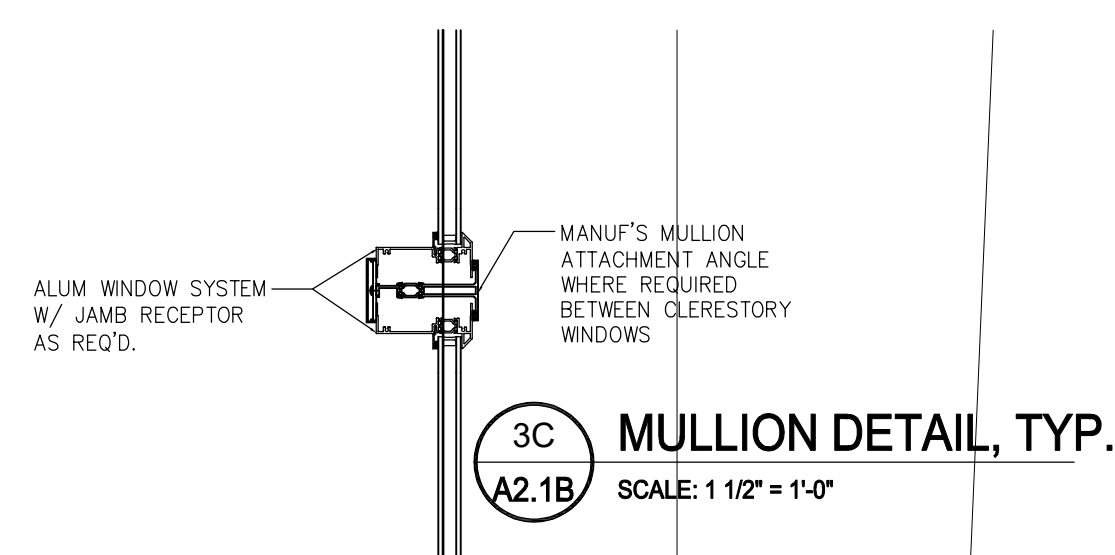
SHEET TITLE

MEDIA
ELEMENTARY

SHEET #

A2.1A

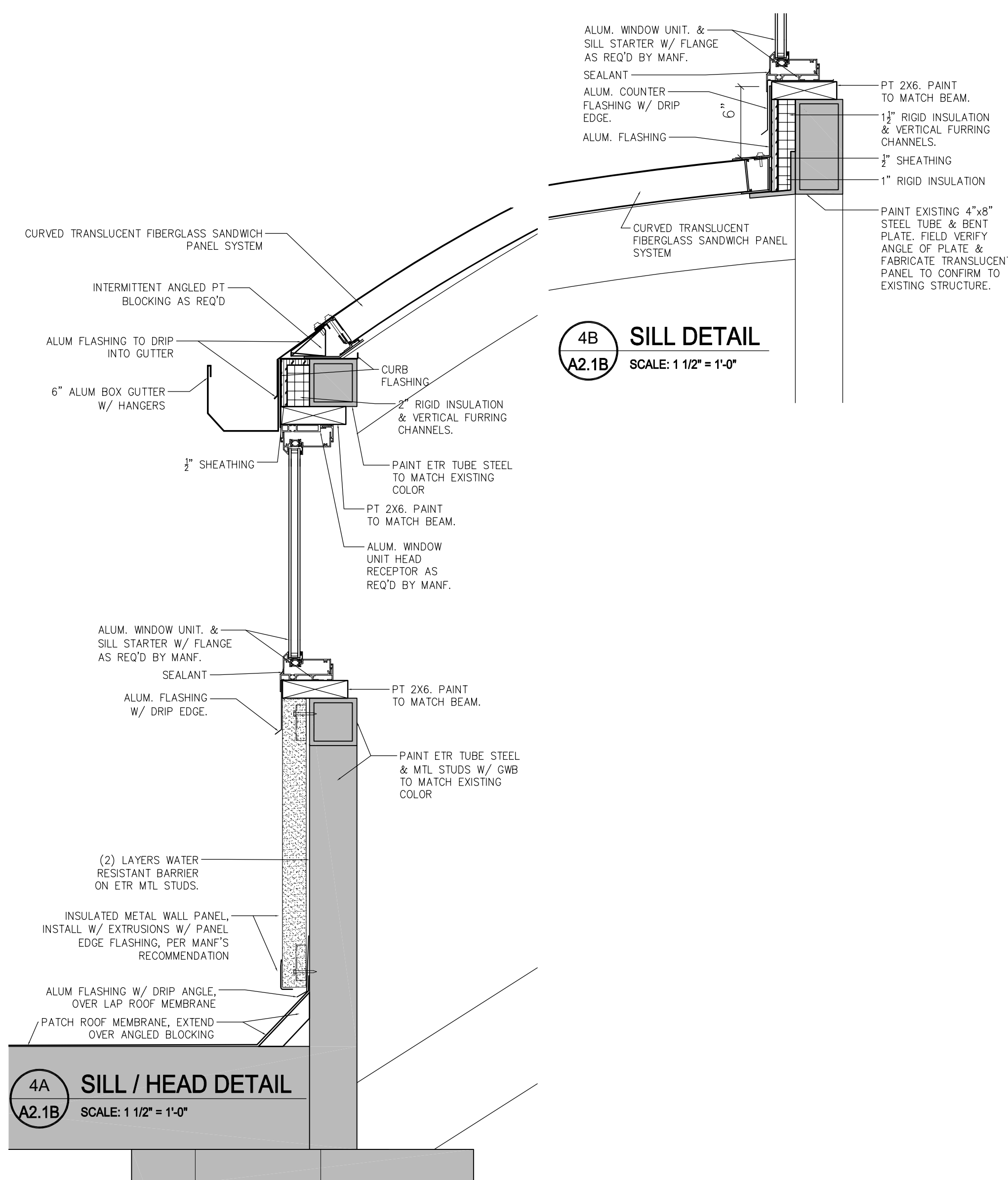
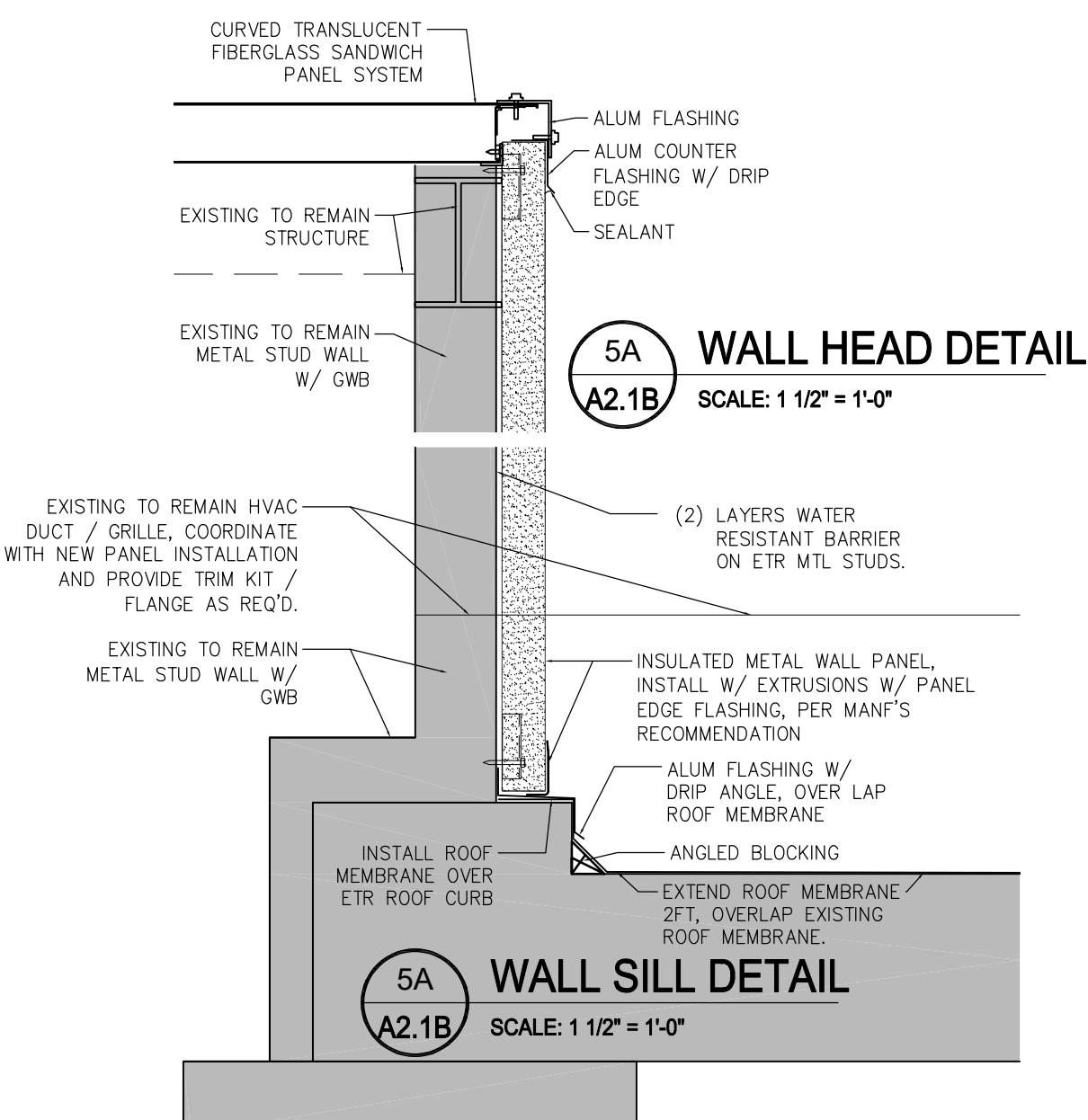
SCALE	AS NOTED
DATE	09-18-2024



The diagram shows a rectangular window frame divided into two equal panes by a central mullion. Dimension lines indicate the overall width and height. The top horizontal dimension line is labeled "SEE SCHEDULE". Below it, the width of each pane is labeled "EQ". On the left side, a vertical dimension line is also labeled "SEE SCHEDULE".

WINDOW ELEV V

SEE ENLARGED PLANS AND
SECTIONS FOR JAMB / SILL /
HEAD DETAILS



GENERAL NOTES

GENERAL AND KEY NOTES SHALL BE APPLICABLE FOR ALL PROJECT LOCATIONS. WHEN THE WORK INDICATED IS RELEVANT TO SPECIFIC LOCATIONS, THE FOLLOWING ABBREVIATIONS WILL BE USED TO INDICATE SCHOOL LOCATIONS:

- [ME] = MEDIA ELEMENTARY SCHOOL
- [RT] = ROSE TREE ELEMENTARY SCHOOL

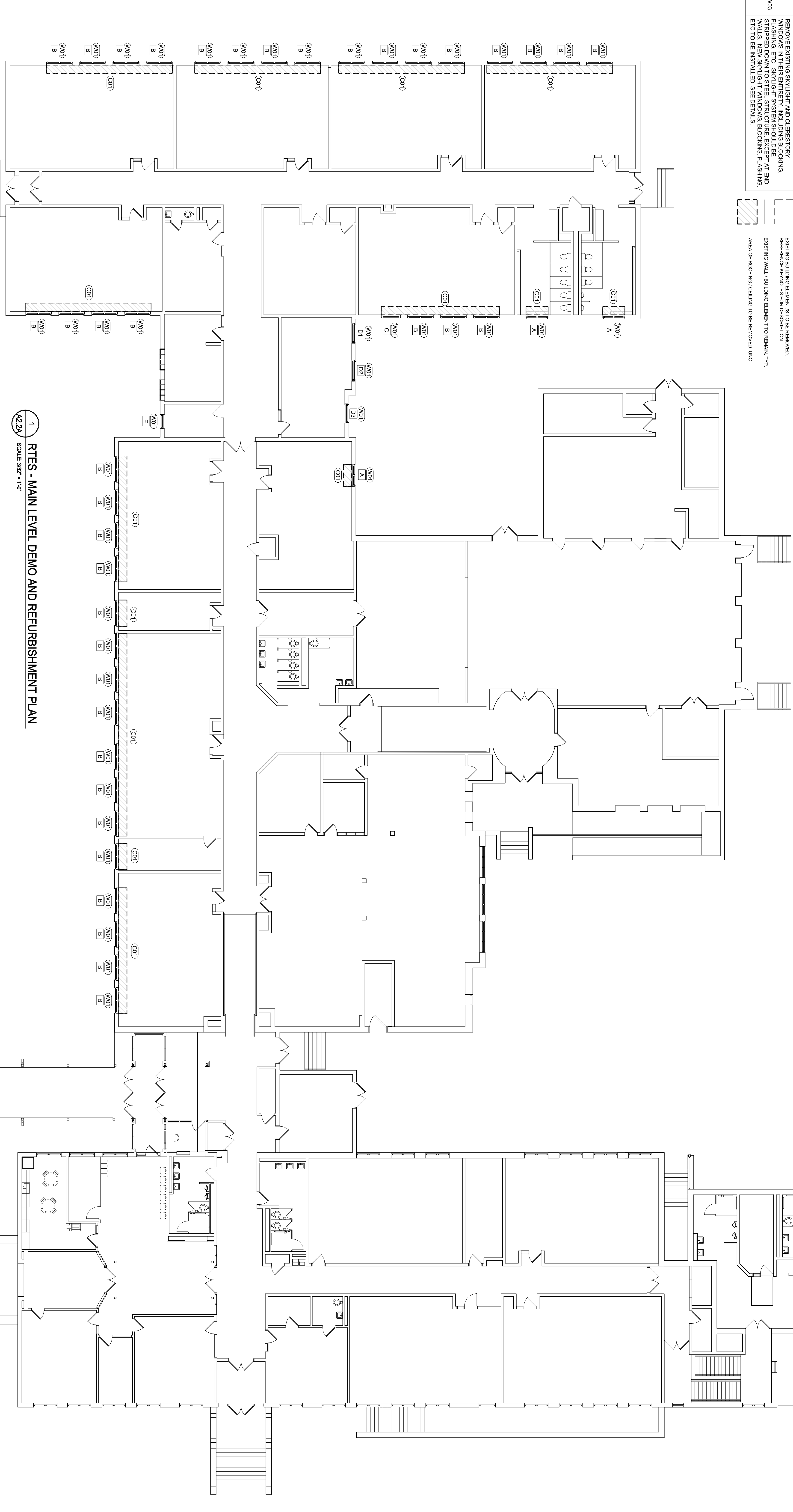
DEMO. / REFURB. PLAN GENERAL NOTES:

- GENERAL NOTES SHALL BE APPLICABLE FOR ALL PROJECT LOCATIONS:
- PROVIDE PROPER PROTECTION FOR ALL SURFACES AND EQUIPMENT ADJACENT TO NEW WORK TO REMAIN DURING CONSTRUCTION.
 - TO CLAM, ANY ITEM POST DEMOLITION, CONTRACTOR SHALL REMOVE BEFORE DISPOSAL.
 - WHEN DEMOLISHED ITEM REVEALS EXISTING CONSTRUCTION TO REMAIN, CONTRACTOR SHALL PATCH TO MATCH EXISTING ADJACENT CONSTRUCTION TO REMAIN AT REMOVED ITEM.
 - WHERE DEMOLISHED ITEM REVEALS UNDERLYING STRUCTURE, CONTRACTOR SHALL REPAIR AND REINFORCE EXISTING ADJACENT FINISH CONSTRUCTION. CONTRACTOR SHALL PATCH TO MATCH EXISTING ADJACENT FINISHES.
 - WHERE POWER FINISHES ARE TO BE REMOVED, REMOVE FINISH AND ADHERE COMPLETELY. REMOVE ADHESIVES ADJACENT FINISHES.
 - REMOVE ADHESIVES COMPLETELY AT CEILINGS AND PATCH TO MATCH EXISTING ADJACENT FINISHES.
 - TO MATCH EXISTING WALLS TO REMAIN, CONTRACTOR SHALL REMOVE EXISTING WALLS TO REMAIN, CONTRACTOR SHALL PATCH TO MATCH EXISTING WALLS TO REMAIN.
 - DASHED LINES TYPICALLY REPRESENT ITEMS TO BE DEMOLISHED. REFER TO KEYNOTES FOR DEMO AND REFURBISHMENT INFORMATION AND INSTRUCTIONS.
 - REMOVE DEMOLISHED SHOOKING AND STRUCTURAL SUPPORT AS NOTED. CONTRACTOR SHALL REINFORCE EXISTING STRUCTURE OR WALLS UNSUPPORTED.
 - REFERENCE INFORMATION AVAILABLE TO BIDDERS IN SPECIFICATIONS FOR INFORMATION REGARDING AGREEMENT WITH OWNERS CONSULTANT ON PHASING.

DEM	DEMO AND NEW WORK - KEYNOTES	DEM	DEMO AND NEW WORK - KEYNOTES
CELINGS		REMOVE EXISTING METAL PANELS AND ANY ASSOCIATED FLASHING TO BE INSTALLED AND COORDINATED WITH ROOF WORK.	
W01	REMOVE EXISTING CEILING TIE AS READ FOR WINDOW REPAIR/CHANGE AND SHADE INSTALLATION. REINSTALL TIE WHEN COMPLETED.	MISC.	
WALLS / OPENINGS		REMOVE ROOF MEMBRANE WHERE INSTALLED OVER EXISTING ROOF. REMOVE EXISTING ROOF CURBS TO MATCH EXISTING ROOF CURBS. REPLACE WITH 2" PATCH AND INSTALL UP CURBS. SEE DETAILS.	
REMOVE EXISTING WINDOW FRAME, WINDOW TREATMENTS, AND ALL WOOD BLOCKING / TRIM. INSTALL NEW WINDOW, WINDOW TREATMENTS, SOLID SURFACE (SSW) SILLS, ACCESSORIES, ETC. SEE DETAILS.			

DEMO./REFURB. PLAN SYMBOLS LEGEND:

- DEMOLITION / REHABILITATION KEYNOTE
- EXISTING BUILDING ELEMENTS TO BE REMOVED. REFERENCE KEYNOTES FOR DESCRIPTION.
 - EXISTING WALL / BUILDING ELEMENT TO REMAIN. TYP.
 - AREA OF ROOFING / CEILING TO BE REMOVED. UNO



1 RTES - MAIN LEVEL DEMO AND REFURBISHMENT PLAN
SCALE: 3/32\" = 1'-0\"
A2.2A

STAMP

CONSULTANTS

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ROSE TREE MEDIA
SCHOOL DISTRICT
SKYLIGHT / WINDOW
REPLACEMENTS 2025

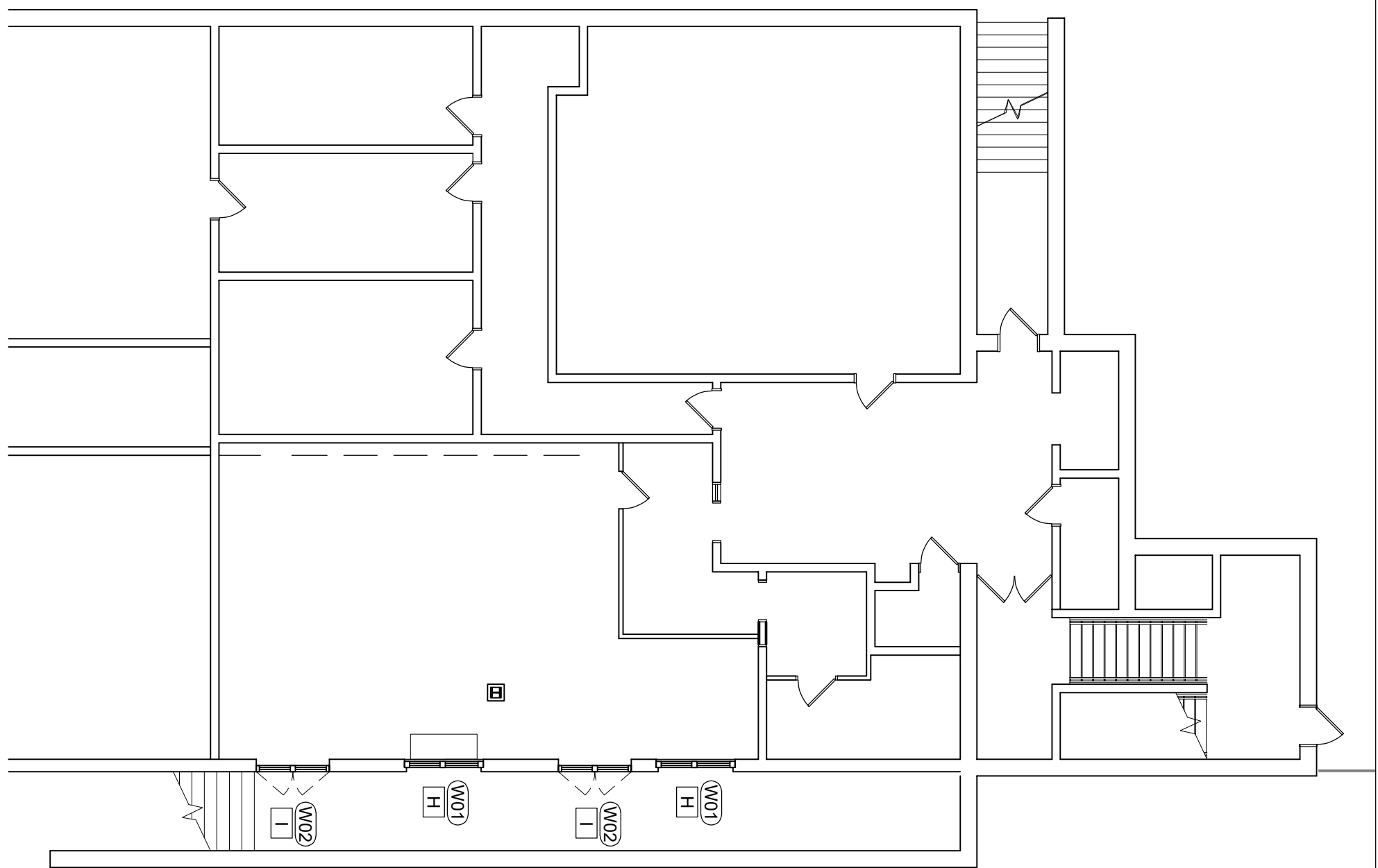
308 NORTH OLIVE STREET, MEDIA, PA 19063

ROSE TREE
ELEMENTARY
FLOOR PLAN

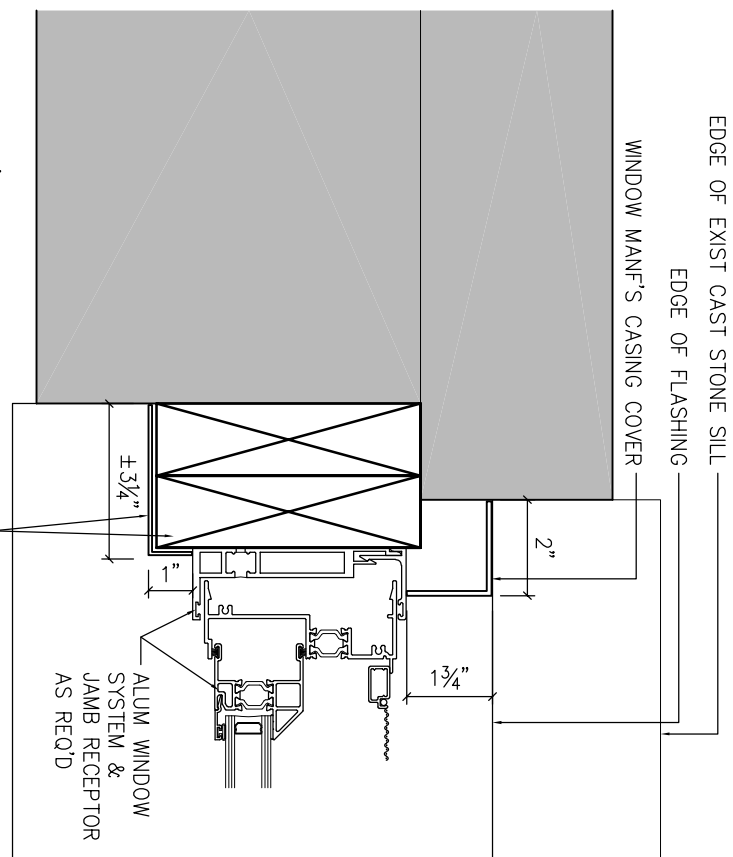
DESIGNED BY	AEK
REVIEWED	KG
JOB #	####
SHEET TITLE	

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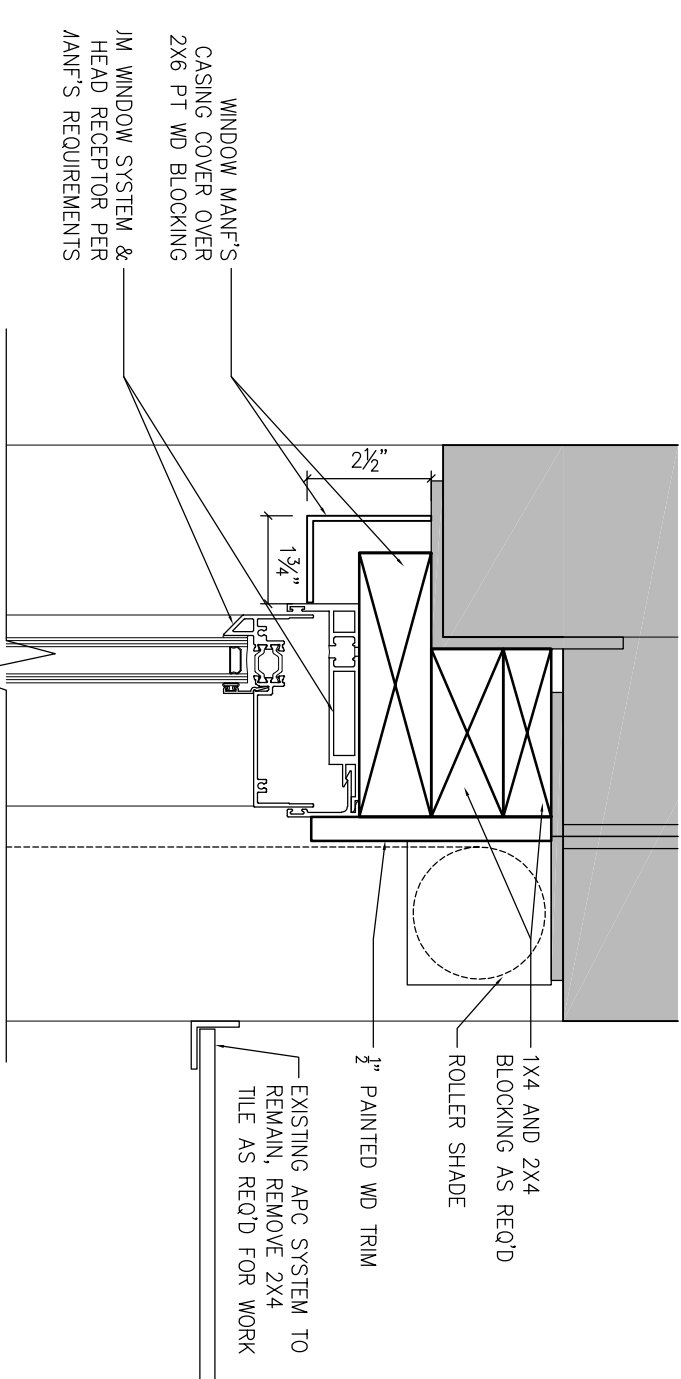
SCALE AS NOTED
DATE 09-18-2024



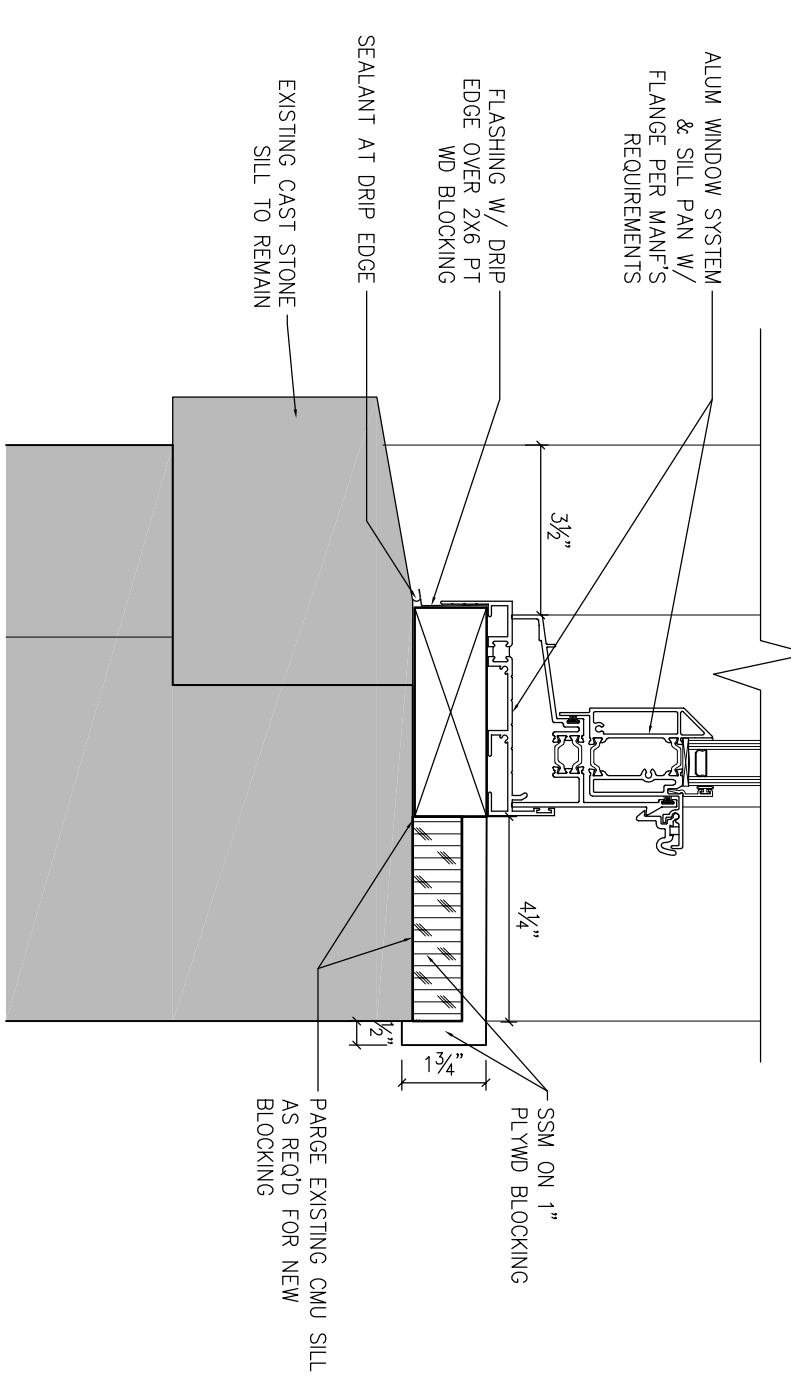
1 RTES - LOWER LEVEL DEMO AND REFURBISHMENT PLAN
SCALE 3/32" = 1'-0"



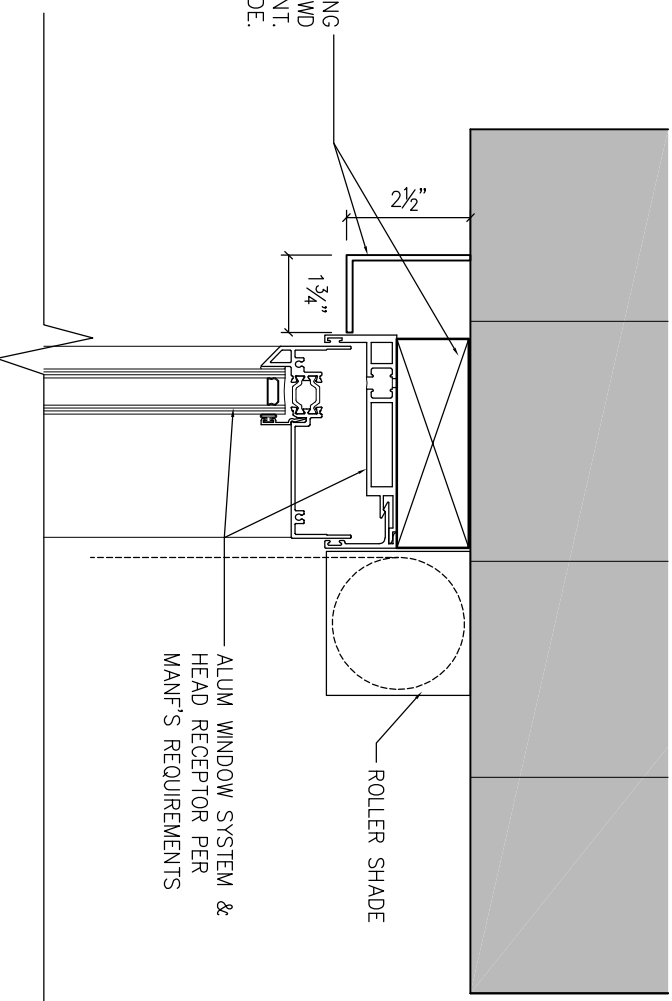
C TYP. JAMB DETAIL
SCALE 3" = 1'-0"



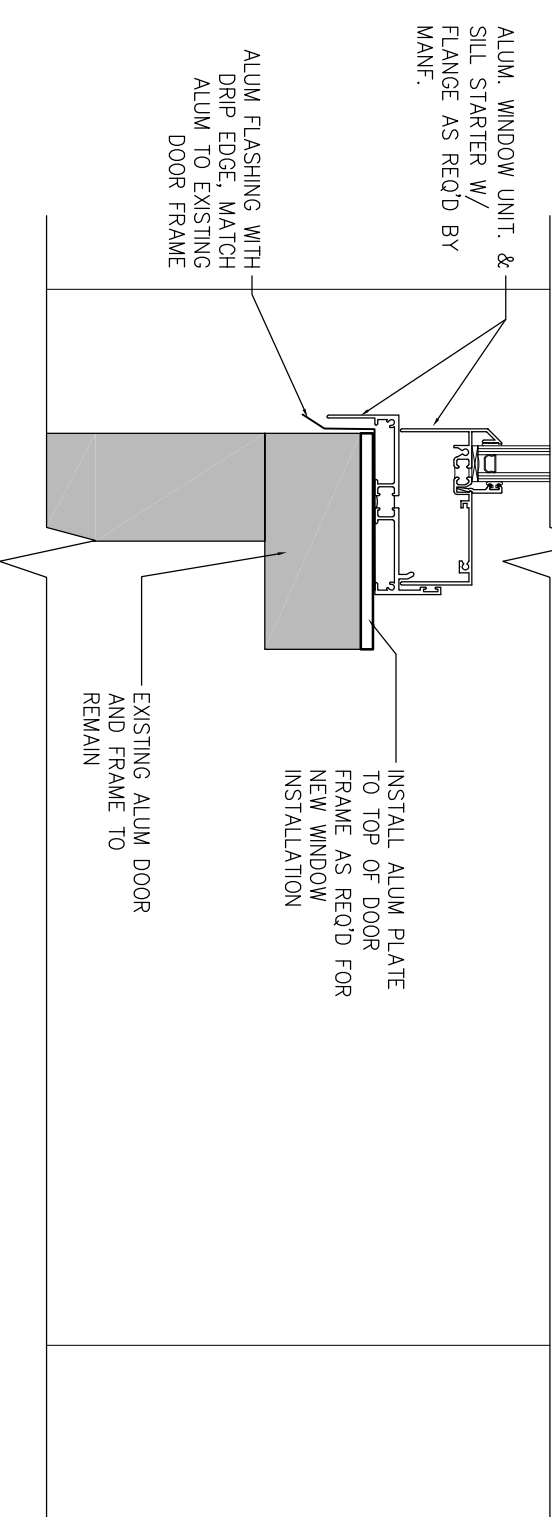
B TYP. HEAD DETAIL
SCALE 3" = 1'-0"



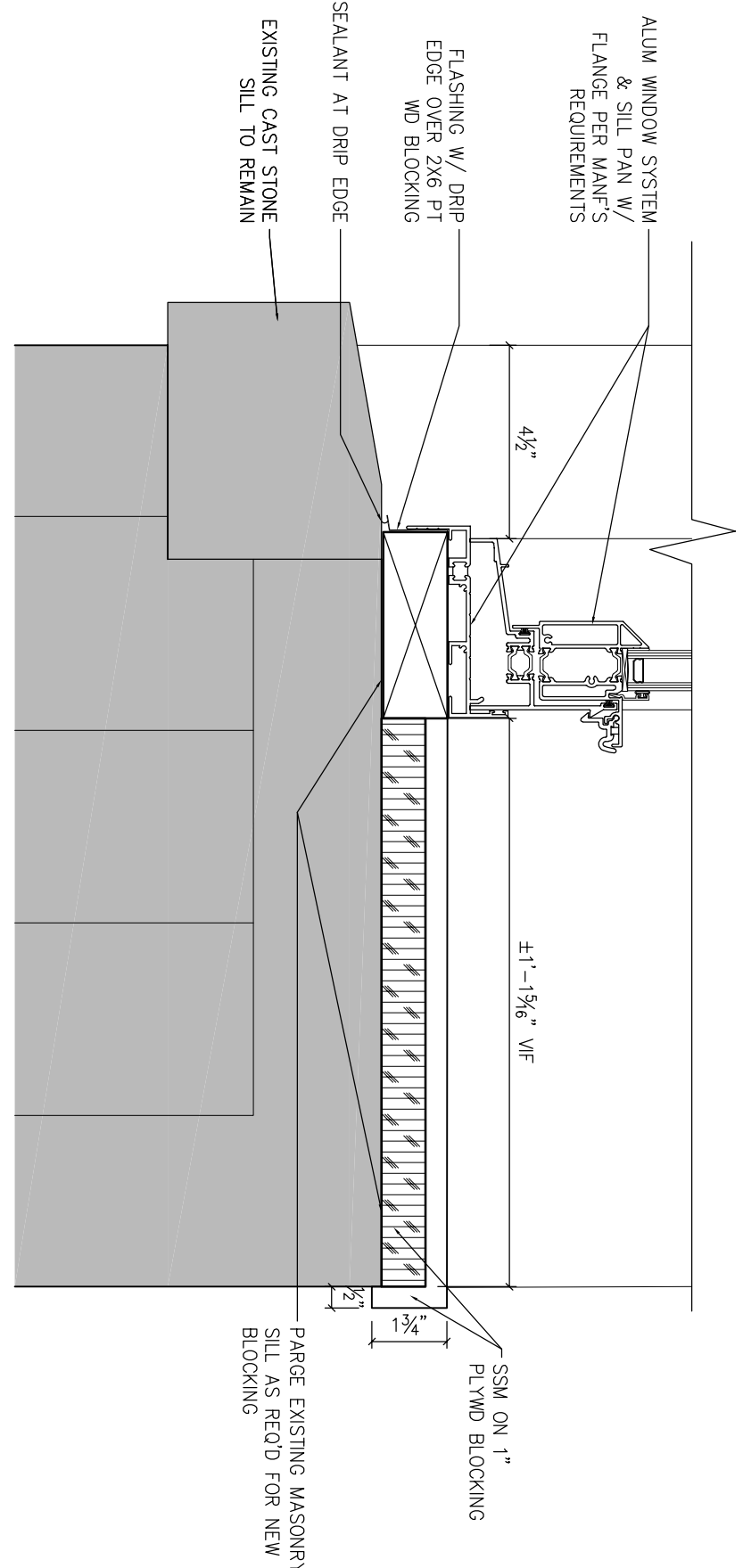
A TYP. SILL DETAIL
SCALE 3" = 1'-0"



F GYM HEAD DETAIL
SCALE 3" = 1'-0"



E EXIST DOOR HEAD / NEW SILL DETAIL
SCALE 3" = 1'-0"



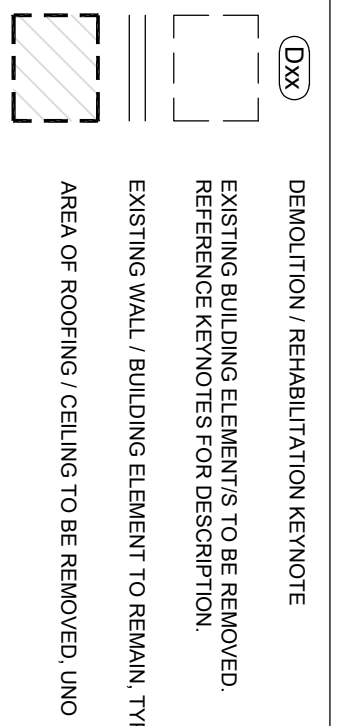
D GYM SILL DETAIL
SCALE 3" = 1'-0"

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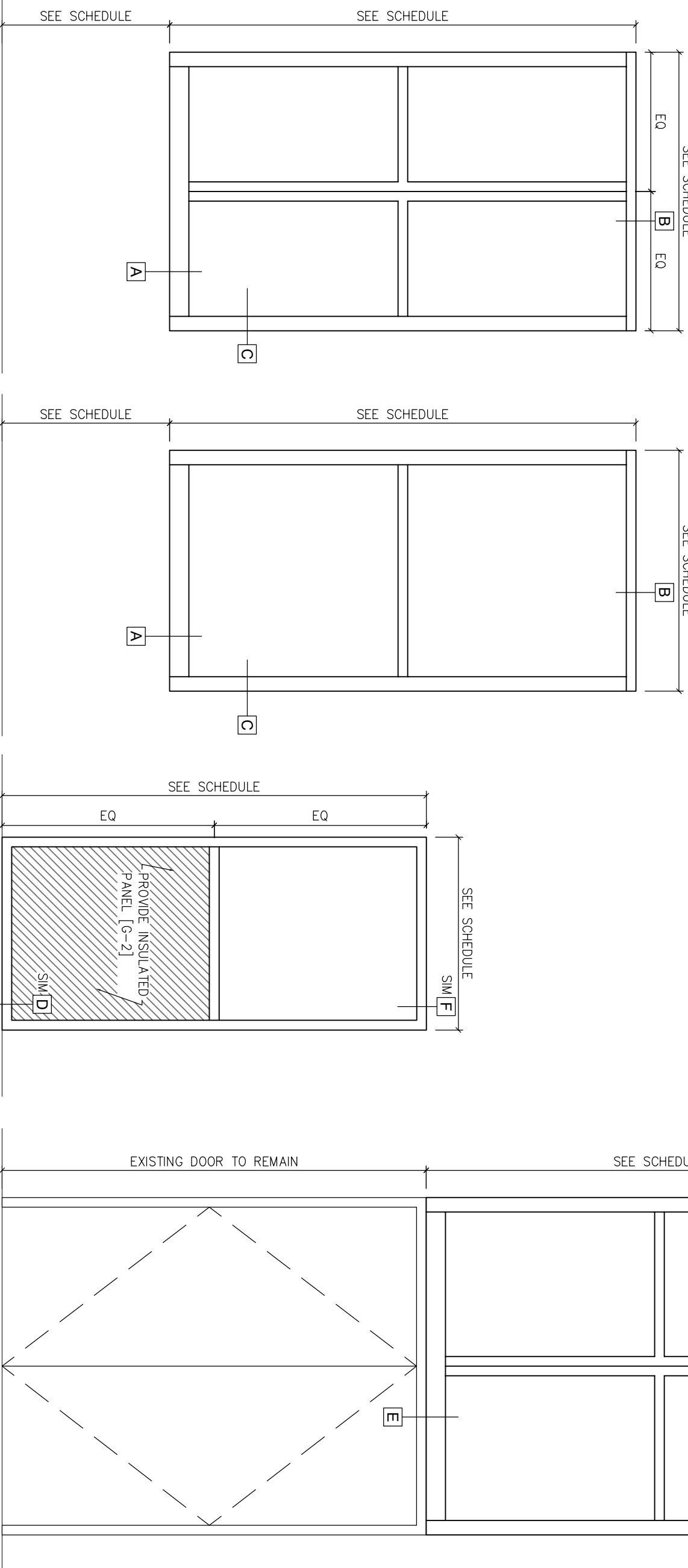
DEMO. / REFURB. PLAN GENERAL NOTES:

- GENERAL NOTES SHALL BE APPLICABLE FOR ALL PROJECT LOCATIONS.
- PROVIDE PROPER PROTECTION FOR ALL SURFACES AND ADJACENT AREAS TO NEW WORK TO REMAIN DURING CONSTRUCTION.
 - OWNER HAS RIGHT TO CLAIM ANY ITEM POST DEMOLITION.
 - WHEN DEMOLISHED ITEM REVEALS EXISTING CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND REMOVING ADJACENT CONSTRUCTION TO REMAIN AT REMOVED ITEM.
 - WHERE DEMOLISHED ITEM REVEALS UNFINISHED CONSTRUCTION, INTERRUPTED FINISHES, ATTACHMENT TO REMAIN, OR OTHERS, CONTRACTOR SHALL PATCH TO MATCH EXISTING ADJACENT FINISHES.
 - WHERE BOWED FINISHES ARE TO BE REMOVED, REMOVE FINISH AND ADHESIVE COMPLETELY. REMOVE ADHESIVES COMPLETELY AT WALLS AND PATCH TO MATCH EXISTING ADJACENT FINISHES.
 - REMOVE ADHESIVES COMPLETELY AT CEILING AND PATCH FOR ALL EXISTING WALLS TO REMAIN. CONTRACTOR SHALL PATCH HOLES TO MATCH, REPAIR, AND PREPARE WALLS FOR NEW FINISH AS REQ'D.
 - DISHED LINES TYPICALLY REPRESENT ITEMS TO BE DEMOLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND REMOVING ADJACENT CONSTRUCTION TO REMAIN AT REMOVED ITEM.
 - AS REQUIRED WHERE DEMOLITION LEAVES EXISTING CONSTRUCTION, INTERRUPTED FINISHES, ATTACHMENT TO REMAIN, OR OTHERS, CONTRACTOR SHALL PATCH TO MATCH EXISTING ADJACENT FINISHES.
 - WHERE BOWED FINISHES ARE TO BE REMOVED, REMOVE FINISH AND ADHESIVE COMPLETELY. REMOVE ADHESIVES COMPLETELY AT WALLS AND PATCH TO MATCH EXISTING ADJACENT FINISHES.

DEM. AND NEW WORK - KEYNOTES	DEM. AND NEW WORK - KEYNOTES
CEILING:	REMOVE EXISTING METAL PANELS AND ANY ASSOCIATED FLASHING FROM END WALLS. NEW PANELS AND FLASHING TO BE INSTALLED AND COORDINATED WITH ROOF WORK.
WALLS (OPENINGS):	REMOVE EXISTING WINDOW FRAME, WINDOW, AND GLAZING. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND REMOVING ADJACENT CONSTRUCTION TO REMAIN AT REMOVED ITEM.
W01	REMOVE EXISTING WINDOW FRAME, WINDOW, AND GLAZING. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND REMOVING ADJACENT CONSTRUCTION TO REMAIN AT REMOVED ITEM.
W02	REMOVE EXISTING WINDOW FRAME, WINDOW, AND GLAZING. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND REMOVING ADJACENT CONSTRUCTION TO REMAIN AT REMOVED ITEM.
W03	REMOVE EXISTING WINDOW FRAME, WINDOW, AND GLAZING. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND REMOVING ADJACENT CONSTRUCTION TO REMAIN AT REMOVED ITEM.



RTES WINDOW SCHEDULE							COMMENTS
WINDOW TYPE	GLAZING TYPE	HEIGHT TYPE	WIDTH TYPE	SILL HEIGHT AFF. (L.V.F.)			
A	I	1	G-1	8'-0"	4'-10"	2'-10"	PROVIDE PRIVACY FILM ON GLAZING
B	I	1	G-1	8'-0"	5'-10"	2'-10"	
C	II	1	G-1	8'-0"	4'-2"	2'-10"	
D1	II	1	G-1	4'-10"	4'-2"	2'-10"	
D2	II	1	G-1	5'-7"	4'-2"	2'-10"	
D3	II	1	G-1	5'-7"	4'-2"	2'-10"	
E	III	2	G-1 / G-2	7'-1"	3'-4"	-	JAMB/SILL/HEAD SIMILAR TO DETAILS D & F
F	I	1	G-1	8'-10"	6'-0"	6'-0"	SEE DETAILS D & F
G	IV	2	G-1	8'-5"	6'-2"	7'-4"	SEE DETAILS E & F
H	I	1	G-1	5'-4"	5'-10"	6'-4"	EXISTING WINDOW TREATMENTS TO REMAIN.
I	IV	2	G-1	3'-10"	5'-10"	7'-4"	EXISTING WINDOW TREATMENTS TO REMAIN.
WINDOW TYPES							
1	ALUMINUM SINGLE-HUNG WINDOW						
2	ALUMINUM FIXED WINDOW						



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CONSULTANTS

STAMP

ROSE TREE
ELEM LOWER
FLOOR PLAN &
DETAILS

A2.2B

SCALE AS NOTED
DATE 09-18-2024