

# BERNARDON

A DIVISION OF CORE STATES GROUP

ARCHITECTURE

INTERIOR DESIGN

LANDSCAPE ARCHITECTURE

## ADDENDUM NO. 02

Project Name: Aston Township Municipal Complex

Project No.: 2301.00-22

Date of Issue: April 17, 2024

Notice 1: Attach this addendum to the Project Manual for this project. It modifies and becomes part of the Bidding Documents. Work or material not specifically mentioned herein is to be as described in the main body of the Project Manual and as shown on the drawings.

Table of Contents: This Addendum includes the following:

- A. Written Addendum (six pages)
- B. Project Manual Clarifications (eleven pages)
- C. Supplemental Drawings (three sheets)
- D. Sheet Revisions (eleven sheets)

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### Clarifications to the PROJECT MANUAL:

1. Reference to Document 000100 – Table of Contents; page 000100-1; Division 00 – Bidding Requirements: Delete reference to Document 003132 – Geotechnical Data. A geotechnical report is not available for the subject site.
2. Reference to Document 000100 – Table of Contents; page 000100-2; Division 04 – Masonry: Section 044200 – Exterior Stone Cladding (total of five pages) has been added and is included as part of this addendum.
3. Reference to Document 000100 – Table of Contents: Replace Document 000100 – Table of Contents with Document 000100 – Table of Contents that is included in its entirety as part of this addendum. Various adjustments were made to section titles, number of pages, and modifications per above referenced clarifications.
4. Reference to Document 006000 – Standard Form of Agreement Between Owner and Contractor; AIA Document A-101-2017; Section 4.5 Liquidated Damages. Add the following paragraph immediately following the paragraph that starts with “Time is of the essence” previously incorporated in Section 4.5 Liquidated Damages:

The foregoing notwithstanding, the deadline for substantial completion and final completion shall each be extended by one (1) day for each day that Contractor’s performance is actually delayed by a verifiable force majeure. For the purpose of this paragraph, “force majeure” shall include: (a) acts of God; (b) flood, fire, earthquake, epidemic or explosion; (c) war, invasion, hostilities (whether war is



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declared or not), terrorist threats or acts, riot or other civil unrest; (d) government order, law, or actions; (e) embargoes or blockades in effect on or after the date of this Agreement; (f) national or regional emergency declared by the Governor of Pennsylvania or Owner; (g) strikes or labor stoppages; (h) telecommunication breakdowns, power outages or shortages, lack of warehouse or storage space, inadequate transportation services, or inability or delay in obtaining supplies of adequate or suitable materials.

5. Reference to Document 006010 – Supplemental Conditions; page 006010-2: Insert the following Supplemental Condition for Article 3 in advance of line 28 on this page:

Article 3, Paragraph 3.7 PERMITS, FEES, NOTICES AND COMPLIANCE WITH LAWS. Add the following subparagraph:

- 3.7.1.1 Aston Township has voluntarily waived fees associated with obtaining a Building Permit, Electrical Permit, Mechanical Permit, and Plumbing Permit for the Aston Township Municipal Complex. This waiver does not extend to other required permits, fees, notices or compliance with laws.

6. Reference to Document 006011 – Insurance; page 006011-2: Insert the following Supplemental Condition for Article 11 of the General Conditions in advance of line 37 on this page:

- 11.2.4 The Owner shall purchase and maintain builders risk insurance on a replacement cost basis with a limit at least equal to the initial Contract Sum. This insurance shall be maintained until final acceptance of the Project by the Owner or until no person or entity other than the Owner has an insurable interest in the covered property, whichever is earlier. The builders risk insurance shall include the interests of the Owner, Prime Contractors, Subcontractors and Sub-subcontractors in the Project.

7. Reference to Document 004460 – Contractor’s Qualification Statement; page 004460-4; line 35. Bid respondents may modify the year “2018” to “2024”. In the event the bid respondent does not modify the date in their response, it will be understood to be the year 2024.
8. Reference to Section 014000 – Quality Requirements; Paragraph 1.10 Quality Control; page 014000-5: The Owner will engage Pennoni (158 West Gay Street, Suite 300 | West Chester, PA 19380) to complete the quality-control services outlined in subparagraph 1.10.A.1.
9. Reference to Section 014000 – Quality Requirements; Paragraph 3.1 Acceptable Testing Agencies; page 014000-8: Delete reference to “Pennoni Associates, King of Prussia, PA”. Pennoni will be engaged to conduct the quality-control services outlined in subparagraph 1.10.A.1.



10. Reference to Section 044200 – Exterior Stone Cladding: Section 044200 – Exterior Stone Cladding is included as part of this Addendum.
11. Reference to Section 051200 – Structural Steel Framing; subparagraph 1.8 A Fabricator Qualifications: Add Subparagraph 1.8 A.1 as follows:
  1. Fabricator shall either (a) participate in the AISC Quality Certification Program and be designated an AISC-Certified Plant, Category STD, or (b) otherwise provide evidence of quality assurance program satisfactory to the authority having jurisdiction (i.e. Code Official) and demonstrating compliance with Section 1704.2.5 of the 2018 International Building Code. Original letter of acceptance by the Code Official is required prior to the start of any structural steel work and shall be submitted no later than with shop drawings, and preferably with the submittal of qualification data and list of subcontractors.

Clarifications to the SHEETS:

1. Reference to Sheet A-001 – Architectural Site Plan: Replace Sheet A-001 – Architectural Site Plan with a revised sheet A-001 – Architectural Site Plan that is included as part of this addendum. This civil engineering background has been updated to overcome the discrepancies between the current site plans shown on the C-series sheets and the site plan originally incorporated on sheet A-001.
2. Reference to Sheet A-101 – First Floor Plan; drawing 1/A-101 First Floor Plan: Add door number 108 to the door shown in Weapons Cleaning 108.
3. Reference to Sheet A-121 – First Floor Reflected Ceiling Plan; Reflected Ceiling Plan Legend: The description of the symbol referencing the acoustical panel ceilings shall be revised to reflect “ACOUSTICAL PANEL CEILING; MFR: ARMSTRONG CEILINGS; PRODUCT 24X48 CANYON #1493 WHITE; GRID 15/16” PRELUDE XL WHITE”.
4. Reference to Sheet A-122 – Second Floor Reflected Ceiling Plan; Reflected Ceiling Plan Legend: The description of the symbol referencing the acoustical panel ceilings shall be revised to reflect “ACOUSTICAL PANEL CEILING; MFR: ARMSTRONG CEILINGS; PRODUCT 24X48 CANYON #1493 WHITE; GRID 15/16” PRELUDE XL WHITE”.
5. Reference to Sheet A-316 – Wall Sections; drawing 3/A-316 - Wall Section: Add a reference bubble to the exterior storefront head condition and the manufactured canopy support that references drawing “6/A-504 SIM”. Drawing 6/A-504 is similar with respect to the manufactured canopy support.



6. Reference to Sheet A-318 – Wall Sections; drawing 3/A-318 - Wall Section:
  - a. Add a reference bubble to the eave condition that references drawing “7/A-502”. Drawing 7/A-502 has been added to sheet A-502 that is being reissued as part of this addendum.
  - b. Reference to the Exterior Wall System shall be revised to reflect W10A. W10A has been added to sheet A-802 Exterior Wall Types that is being reissued as part of this addendum.
7. Reference to Sheet A-318 – Wall Sections; drawing 4/A-318 - Wall Section:
  - a. Add a reference bubble to the eave condition that references drawing “7/A-502”. Drawing 7/A-502 has been added to sheet A-502 that is being reissued as part of this addendum.
  - b. Reference to the Exterior Wall System shall be revised to reflect W10A. W10A has been added to sheet A-802 Exterior Wall Types that is being reissued as part of this addendum.
8. Reference to Sheet A-412 – Monumental Stair Details: Replace sheet A-412 – Monumental Stair Details with sheet A-412 – Monumental Stair Details that is included as part of this addendum. The sheet is being reissued to provide clarity to the stringer transitions and to the tread profile associated with this monumental stair.
9. Reference to Sheet A-501 – Section Details; drawing 2/A-501: Refer to supplemental drawing SD-A01 – Section Detail - Parapet that is attached to this addendum for modifications to the stone panel and attachment as well as clarification of wall system components.
10. Reference to Sheet A-502 – Section Details: Replace sheet A-502 – Section Details with sheet A-502 – Section Details that is included as part of this addendum. The sheet is being reissued to provide clarity to several details and to reflect the addition of detail 7/A-502 referenced previously in this addendum.
11. Reference to Sheet A-503 – Section Details; drawing 1/A-503: Refer to supplemental drawing SD-A02 – Section Detail - Wall Base that is attached to this addendum for modifications to the stone panel and attachment as well as clarification of wall system components.
12. Reference to Sheet A-505 – Plan Details: Replace sheet A-505 – Plan Details with sheet A-505 – Plan Details that is included as part of this addendum. The sheet is being reissued to reflect the revision to the exterior stone cladding system.



13. Reference to Sheet A-511 – Detail Lobby Plans and Elevations: Replace sheet A-511 – Detail Lobby Plans and Elevations with sheet A-511 – Detail Lobby Plans and Elevations that is included as part of this addendum. The sheet is being reissued to provide large scale plan details of the wall panels at the fixed, transaction security window in Administration 103, and at each of the modular, sliding transaction security windows in Lobby 203.
14. Reference to Sheet A-512 – Police Station Enlarged Plans and Elevations; drawing 1/A-512 Police Break Room Plan: In the room labeled “Weapons Cleaning” add room number “108”.
15. Reference to Sheet A-512 – Police Station Enlarged Plans and Elevations; drawing 10/A-512 Detention Intake Plan: In the room labeled “Detention” add room number “111”.
16. Reference to Sheet A-514 – Commissioners’ Meeting Room Enlarged Plans and Elevations:
  - a. Delete drawing 4/A-514 (elevation of the podium) and refer to Sheet A-518 – Casework Details that is included as part of this addendum for sections and elevations related to the podium.
  - b. Refer to supplemental drawing SD-A03 – Commissioners’ Meeting Room Plan for additional detail references associated with the podium.
17. Reference to Sheet A-518 – Casework Details: Sheet A-518 – Casework Details is being reissued as part of this addendum to reflect modifications to drawing 8/A-518 and additional elevations of the podium.
18. Reference to Sheet A-518 – Casework Details: Replace sheet A-518 – Casework Details with sheet A-518 – Casework Details that is being reissued as part of this addendum to reflect modifications to drawing 8/A-518 and additional elevations of the podium.
19. Reference to Sheet A-601 – Doors: Replace sheet A-601 – Doors with sheet A-601 – Doors that is being reissued as part of this addendum. Clarifications to head and jamb details have been made to various curtain wall elevations.
20. Reference to Sheet A-611 – Curtain Wall Elevations: Replace sheet A-611 – Curtain Wall Elevations with sheet A-611 – Curtain Wall Elevations that is being reissued as part of this addendum. Minor adjustments have been made to various curtain wall elevations.



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21. Reference to Sheet A-612 – Exterior Storefront Elevations: Replace sheet A-612 – Exterior Storefront Elevations with sheet A-612 – Exterior Storefront Elevations that is being reissued as part of this addendum. Minor adjustments have been made to various curtain wall elevations.
22. Reference to Sheet A-802 – Exterior Wall Types; drawing W11/A-802: Refer to sheet A-802 – Exterior Wall Types that is attached to this addendum for modifications to the stone panel and attachment shown on W11/A-802.
23. Reference to Sheet A-802 – Exterior Wall Types: Refer to sheet A-802 – Exterior Wall Types that is attached to this addendum for Exterior Wall Type W10A referenced previously in this Addendum.

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## SECTION 044200 - EXTERIOR STONE CLADDING

## PART 1 - GENERAL

## 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

## 1.2 SUMMARY

- A. Section Includes:

- 1. Natural stone honeycomb reinforced wall cladding system.

- B. Related Requirements:

- 1. Section 054000 "Cold-Formed Metal Framing" for steel stud frames supporting stone cladding.
  - 2. Section 079200 "Joint Sealants" for sealing joints in stone cladding system with elastomeric sealants.

## 1.3 REFERENCES (INDUSTRY STANDARDS)

- A. ASTM E 283 Test Method for Rate of Air Leakage.
- B. ASTM E 331 Test Method for Water Penetration
- C. AAMA 501.1 Test Method for Dynamic Water Penetration.
- D. ASTM E-84 Test Method for Measuring Flame Spread
- E. UFC 4-010-01 Unified Facilities Criteria (UFC) - DoD Minimum Antiterrorism Standard for Buildings.

## 1.4 SYSTEM DESCRIPTION

- A. Panel System Performance Requirements:

- 1. U.S. Code Approval – Per International Code Council (ICC-ES) Report ESR – 1500.
  - 2. Accelerated Aging by Acid Freeze Thaw by Wiss, Janney, Elstner Assoc. Test Method: Flexural strength loss not to exceed 20% following 100 cycles + 170 (F) to -10(F) while immersed in 4-pH sulfuric acid solution.
  - 3. ASTM E-84 Flame Spread: 5 maximum smoke development: 5 maximum. Fuel contributed: 0.
  - 4. ASTM D-2015 Potential heat of combustion: 1150 BTU/lb. Maximum.
  - 5. UBC 17-6 Multi –Story fire evaluation: Meet acceptance criteria.

6. Modified ASTM E-108 Fire evaluation: Resist 30 minute fire exposure.
7. Flat wise tension bond capacity: 385 psi following accelerated aging by rapid temperature cycling from -40 degrees (F) to +160 degrees (F).
8. Flat wise tension bond tests following ASTM C-67, section 8 freeze – thaw: 290 psi flat wise tension bond following 100 cycles freeze thaw consisting of 20 hours freezing at 0 degrees (F) and 4 hours thawing in water at 75 degrees (F).
9. ASTM E-72 Transverse load test: Average 215 lbs. per sq. ft. uniform load on 35.5 inch simple span causing 0.49 inch deflection average.
10. Racking shear load tests: No disengagement or major damage following application of 4,000 lb. load and 0.05” to 1.5” deflection on an 8 ft x 8ft specimen.
11. Air Infiltration: The test specimen shall be tested in accordance with ASTM E 283. Air infiltration rate shall not exceed 0.06 cfm/ft<sup>2</sup> at a static air pressure differential of 6.24 psf.
12. Water Resistance: The test specimen shall be tested in accordance with ASTM E 331. There shall be no leakage at a minimum static air pressure differential of 10 psf as defined in AAMA 501.

#### 1.5 ACTION SUBMITTALS

- A. Prepare, review, approve, and submit specified submittals in accordance with Division 1 requirements.
- B. Product Data: For each manufactured product.
  1. Test Reports: Submit independent laboratory certified test reports showing compliance with specified performance characteristics.
  2. Building Authority Acceptance: Submit documentation confirming Building Code Authority Acceptance.
- C. Shop Drawings: Show fabrication and installation details for stone cladding assembly, including dimensions and profiles of stone units.
  1. Show locations and details of joints both within stone cladding assembly and between stone cladding assembly and other construction.
  2. Include details of sealant joints.
  3. Show locations and details of anchors and backup structure.
  4. Show direction of veining, grain, or other directional pattern.
- D. Stone Samples for Verification: Sample for each color and finish of stone required; not less than 12 inches square.
- E. Delegated-Design Submittal: For stone cladding assembly.

#### 1.6 WARRANTY

- A. Project Warranty: Refer to “Conditions of the Contract” for project warranty provisions.
- B. Manufacturer’s Product Warranty: Submit, for Owner’s acceptance, manufacturer’s warranty as follows:
  1. Warranty Period: Ten (10) years from Date of Substantial Completion that the panel will be free from defects in lamination or separation of panel components.

## 1.7 QUALITY ASSURANCE

## A. Qualifications:

1. Manufacturer Qualifications: Manufacturer shall have a minimum of 10 years demonstrated capability to produce reinforced stone veneer panels of the quality and scope required. Manufacturer shall have completed independent laboratory tests verifying performance capabilities and shall be able to furnish a list of references and previous projects of similar size and scope. Manufacturer must have acceptance by the appropriate building code authority with established ongoing building authority quality control. Manufacturer shall be capable of providing detailed shop drawings, field service representation during construction, and approval of acceptable installers and approval of application method.
2. Installer Qualifications: Installer to demonstrate experience (as determined by contractor) to perform work of this section and who has specialized in the installation of work similar to that required for this project and is deemed acceptable to product manufacturer.

- B. Pre-Installation Meetings: Conduct pre-installation meeting to verify project requirements, substrate conditions, manufacturer's installation instructions, and manufacturer's warranty requirements.

## 1.8 DELIVERY, STORAGE, AND HANDLING

- A. Ordering: Comply with manufacturer's ordering instructions and lead-time requirements to avoid construction delays

- B. Packing, Shipping, Handling and Unloading: Deliver materials in manufacturer's original, unopened, undamaged containers with identification labels intact.

- C. Storage and Protection: Store materials protected from exposure to harmful weather conditions. Handle material and components to avoid damage. Protect material against damage from elements, construction activities, and other hazards before, during and after installation.

## PART 2 - PRODUCTS

## 2.1 MANUFACTURERS

- A. Basis-of-Design Product: Subject to compliance with requirements, provide StoneLite<sup>®</sup> Stone Panels International LLC; 2400 Hwy. 1431 W., Marble Falls, TX 78654; 800-328 6275, or comparable products by one of the following manufacturers:

- a. StonePly Co.

## 2.2 MATERIALS

- A. Natural Stone Honeycomb Reinforced Wall Cladding System.

1. Material Standard: Natural stone bonded to lightweight (aircraft quality) aluminum honeycomb having epoxy impregnated glass cloth skins.
2. Facing: 3/16" (4.8mm) +/- 1/16" (1.6 mm) natural stone.
3. Reinforcing: 3/4" (19mm) or 3/8" (10mm) aluminum honeycomb bonded by high strength epoxy impregnated reinforced glass cloth.

B. Stone Type and Finish.

1. Mesabi Black Granite.

a. Finish: Polished.

2.3 ANCHORS AND FASTENERS

- A. Connection and anchorage hardware, including interlocking channels, anchor plates, Z-sections, angle clips and threaded inserts.

2.4 RELATED MATERIALS

- A. Sealants: Sealant materials specified in section 07 92 00 shall be tested for compatibility with the natural stone honeycomb reinforced wall cladding specified

2.5 FABRICATION

- A. General: Fabricate components on the structure intended to receive panels per manufacturer's installation instructions and with minimum clearances and shim spacing.

2.6 SOURCE QUALITY CONTROL

- A. Provide Natural Stone Honeycomb Reinforced Wall Cladding System specified herein from a single source.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine surfaces to receive stone cladding and conditions under which stone cladding will be installed, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of stone cladding.

1. Verify modules are sized to receive natural stone honeycomb reinforced wall cladding system in accordance with manufacturer's acceptable tolerances.

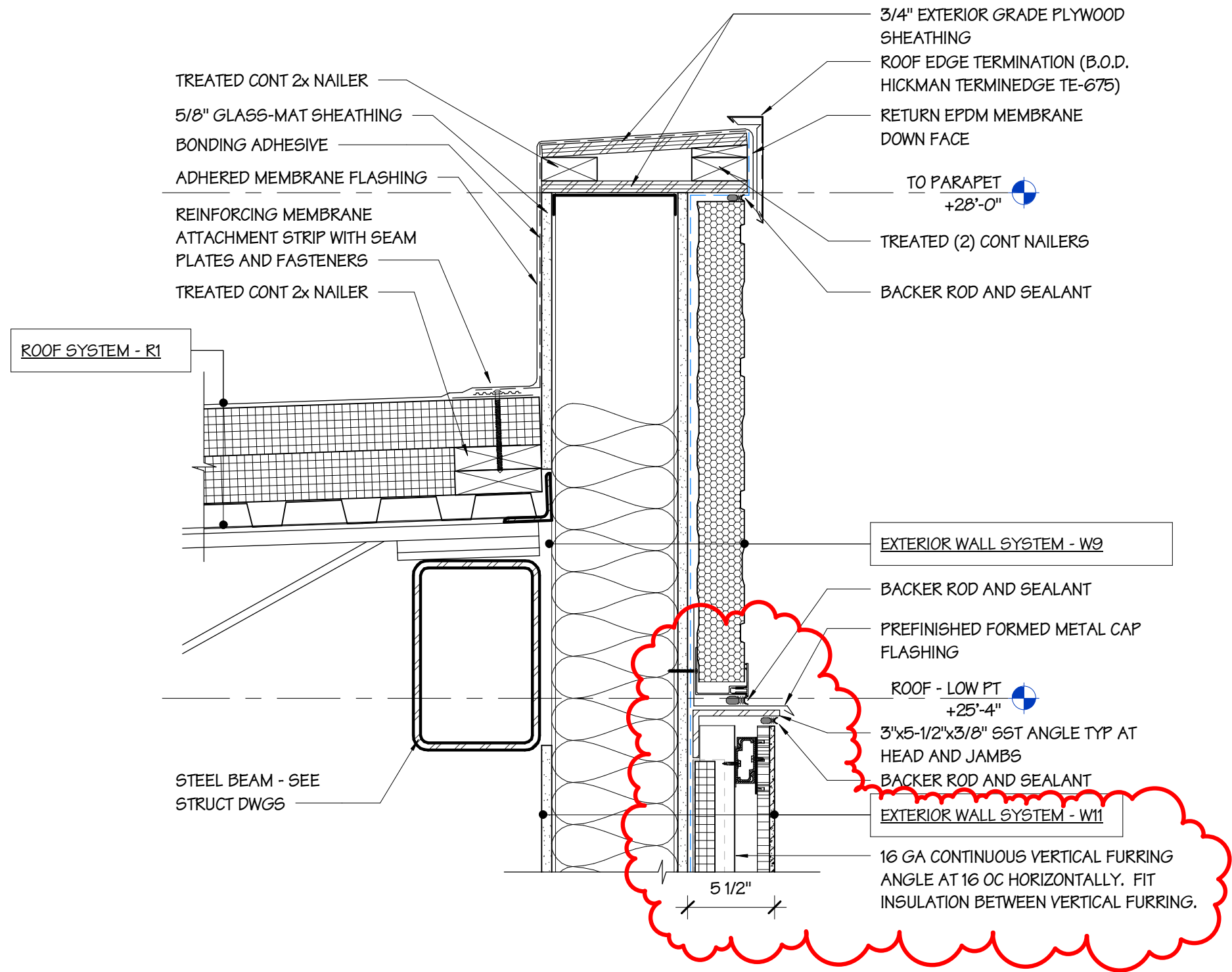
- B. Prepare written report, endorsed by Installer, listing conditions detrimental to performance of stone cladding.

- C. Proceed with installation only after unsatisfactory conditions have been corrected.

- D. Field Measurements: Verify actual measurements/openings by field measurements before fabrication. Confirm recorded measurements on shop drawings. Coordinate field measurements and fabrication schedule with construction progress to avoid construction delays.



- 1 3.2 INSTALLATION OF STONE CLADDING, GENERAL
- 2 A. General: Install lightweight honeycomb reinforced natural stone panel systems plumb, level and true to  
3 line, with manufacturer's prescribed tolerances and installation instructions. Provide supports and anchor  
4 in place
- 5 1. Dissimilar Materials: Provide separation of aluminum materials from sources of corrosion or  
6 electrolytic action contact points.
- 7 2. Weather Tight Construction: Refer to installation instructions and consult sealant manufacture for  
8 project specific application. Coordinate installation with wall flashings and other components of  
9 construction.
- 10 3.3 INSTALLATION OF JOINT-SEALANTS
- 11 A. Prepare joints and apply sealants of type and at locations indicated to comply with applicable  
12 requirements in Section 079200 "Joint Sealants."
- 13 3.4 ADJUSTING AND CLEANING
- 14 A. Remove and replace broken, chipped, stained, or otherwise damaged stone panels, defective joints, and  
15 stone cladding that does not match approved samples.
- 16 B. Protection: Protect installed product's finish surfaces from damage during construction. Protect stone  
17 facing from damage from harmful contaminants.
- 18 C. Final Cleaning: Clean installed products in accordance with manufacturer's instructions prior to owner's  
19 acceptance. Remove construction debris from project site and legally dispose of debris.
- 20 END OF SECTION 044200



2

## SECTION DETAIL - PARAPET

SCALE 1 1/2" = 1'-0"



Drawing Title:

Section Detail - Parapet

Project:

ASTON TOWNSHIP MUNICIPAL COMPLEX

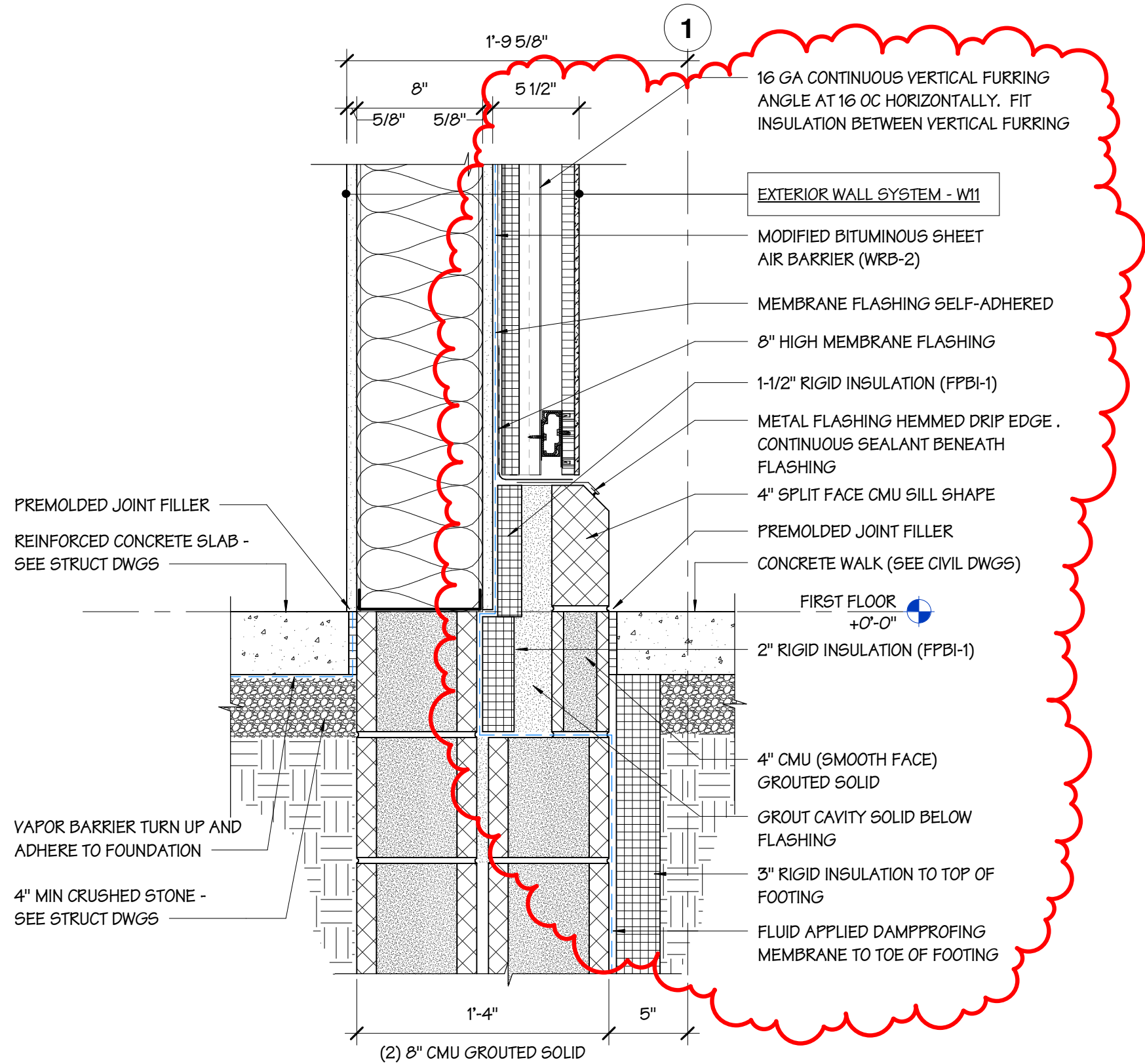
3264 Concord Road

Aston, PA 19014

Project No: 2301.00-22  
Print Date: 04/17/24  
Ref/Sheet: 2/A-501  
Scale: 1 1/2" = 1'-0"

Sheet Number:

**SD-A01**



1

## SECTION DETAIL - WALL BASE

SCALE 1 1/2" = 1'-0"



Drawing Title:  
**Section Detail - Wall Base**  
Project:  
**ASTON TOWNSHIP MUNICIPAL COMPLEX**  
**3264 Concord Road**  
**Aston, PA 19014**

Project No: 2301.00-22  
Print Date: 04/17/24  
Ref/Sheet: 1/A-503  
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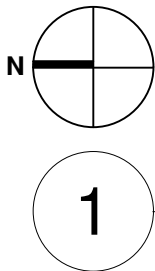
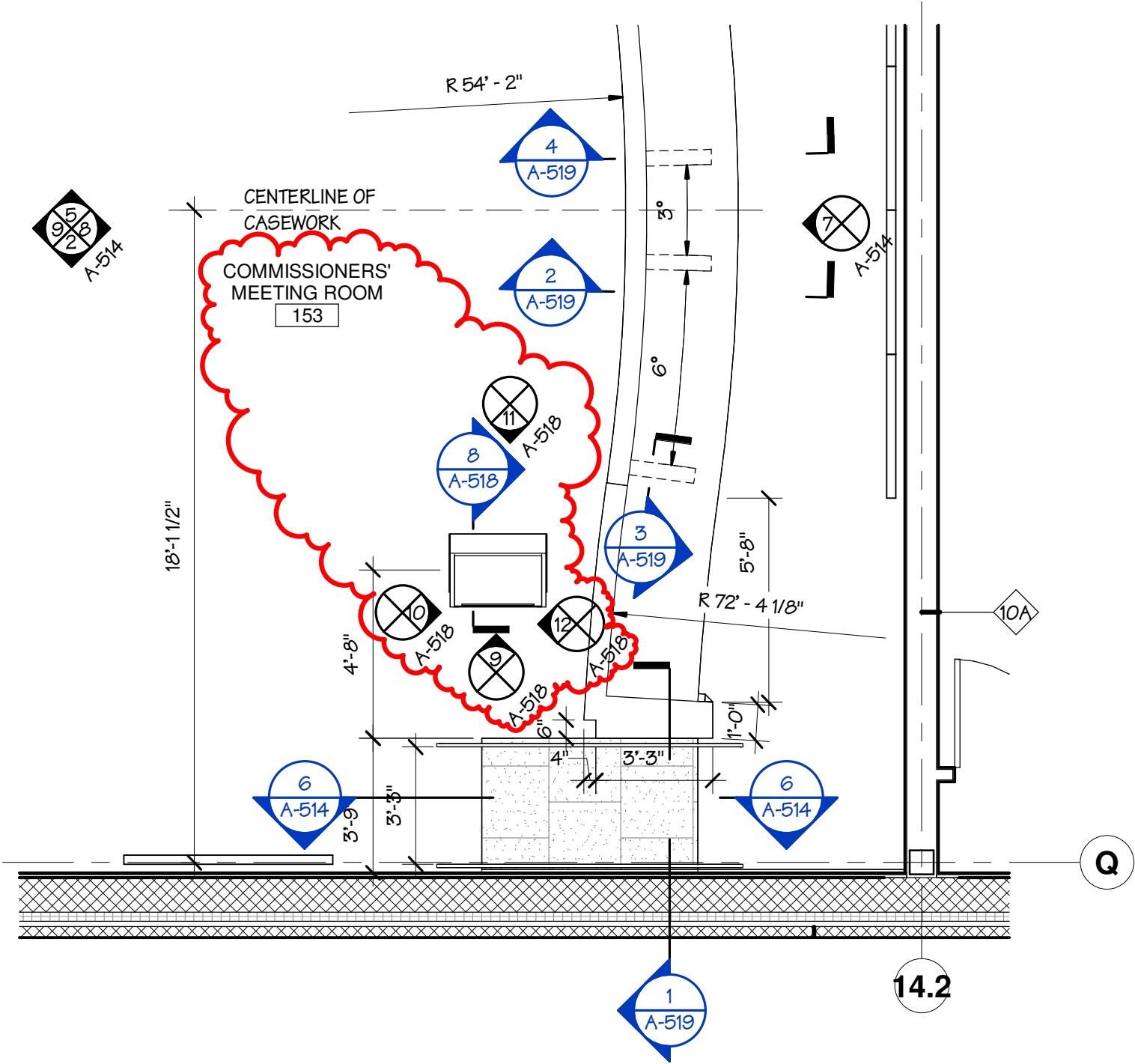
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**SD-A02**

Drawing Title:  
**Revisions to Commissioners' Meeting Room Plan**  
Project:  
**ASTON TOWNSHIP MUNICIPAL COMPLEX**  
**3264 Concord Road**  
**Aston, PA 19014**

Project No: 2301.00-22  
Print Date: 04/17/24  
Ref/Sheet: 1/A-514  
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Sheet Number:  
**SD-A03**



# COMMISSIONERS' MEETING ROOM PLAN

SCALE 1/4" = 1'-0"



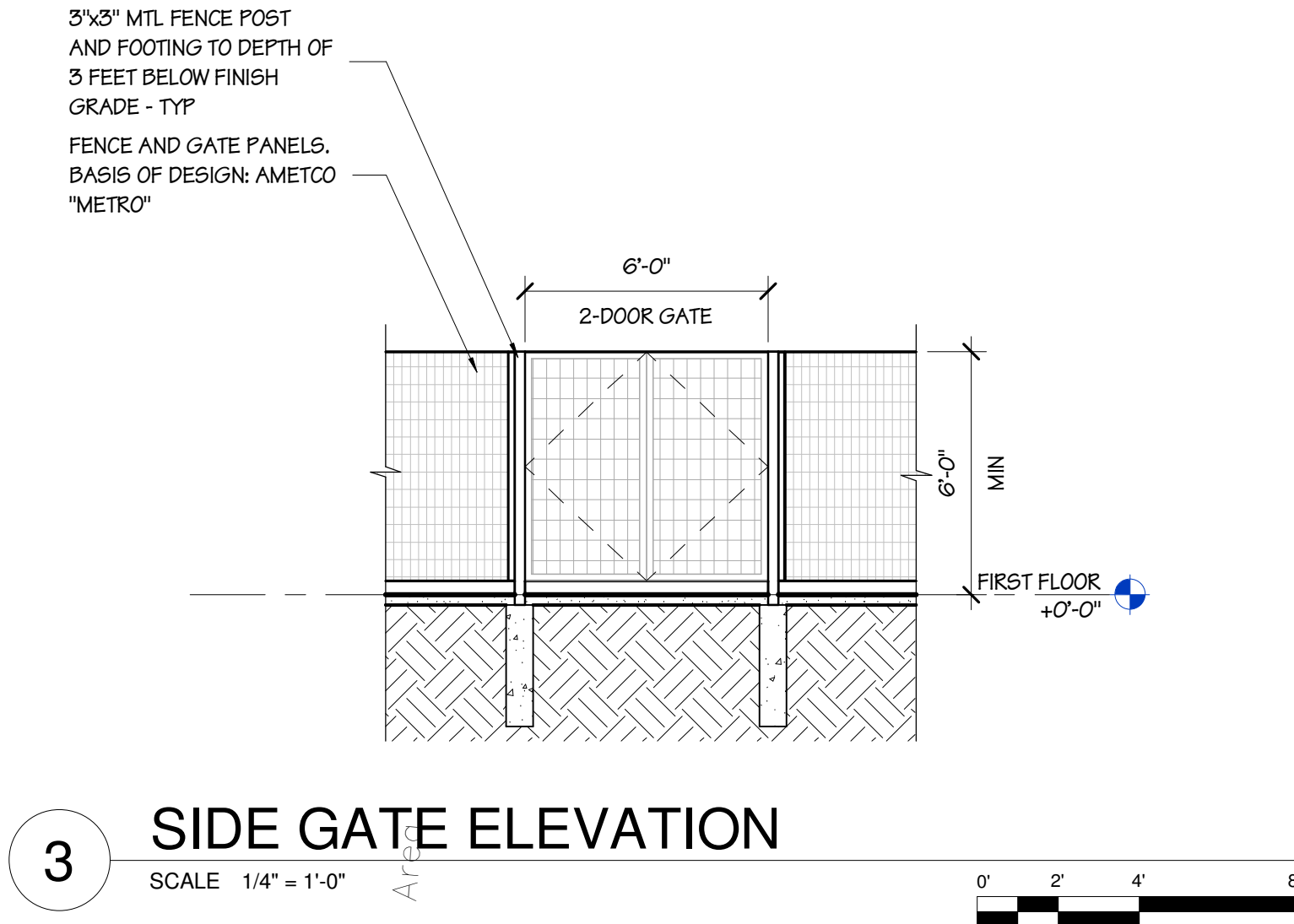
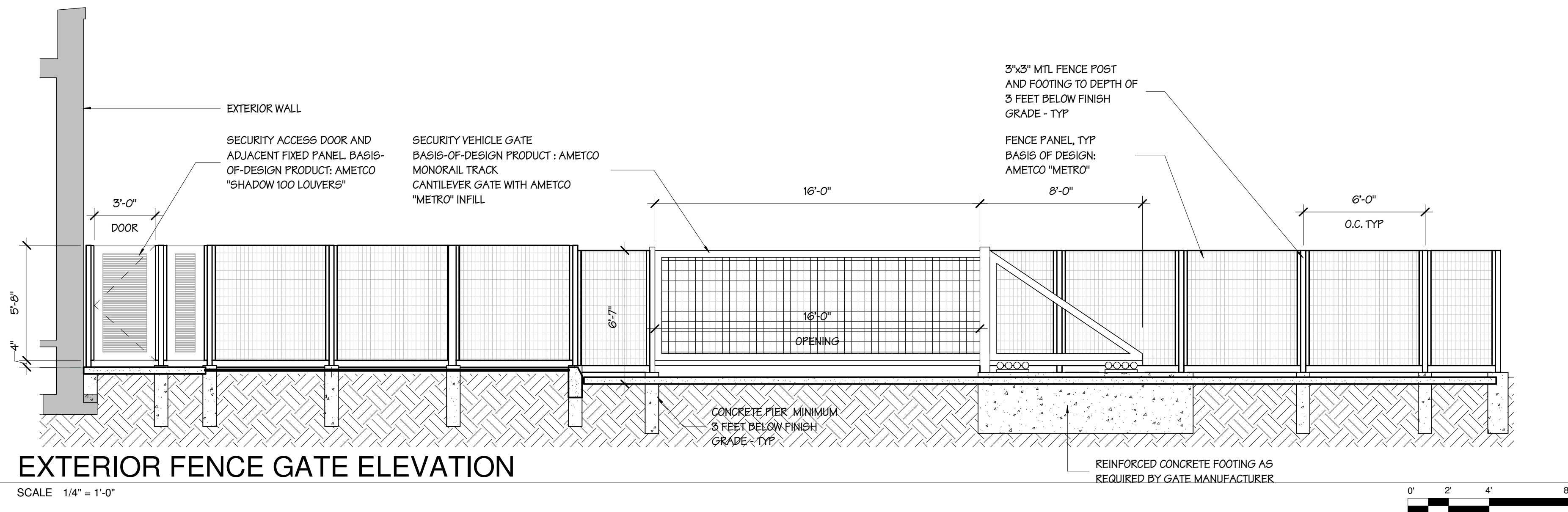


## ARCHITECTURAL SITE PLAN GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR ALL LANDSCAPED AREA REQUIREMENTS.
- REFER TO CIVIL DRAWINGS FOR NEW AND EXISTING GRADES AND ADDITIONAL SITE AND GRADING INFORMATION NOT SHOWN ON THE ARCHITECTURAL SITE PLAN.
- COORDINATE ALL SITE WORK WITH THE CIVIL DRAWINGS AND NOTIFY ARCHITECT OF ANY CONFLICTS / DISCREPANCIES.

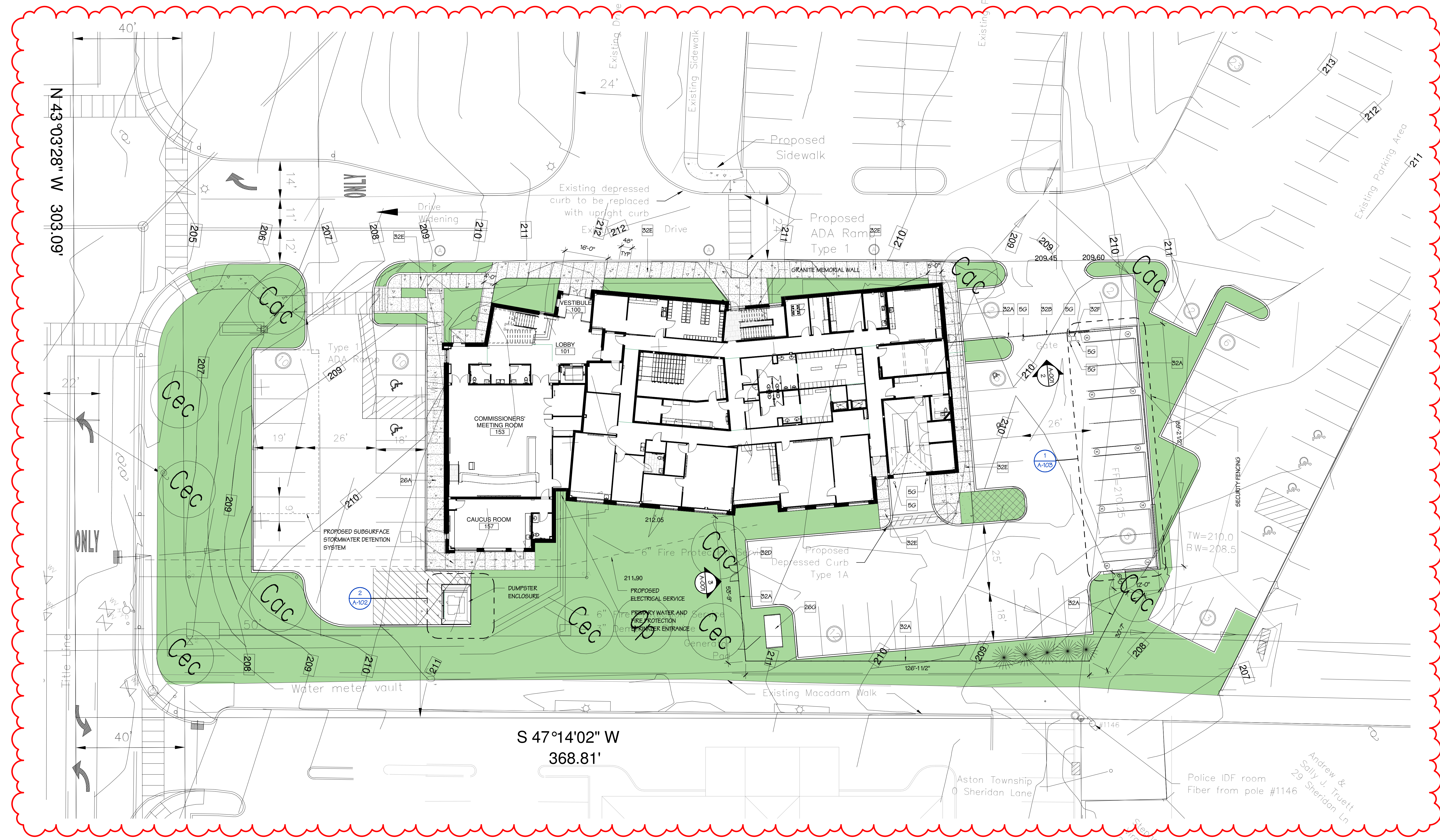
## KEYNOTE LEGEND

#	DESCRIPTION
5G	STEEL PIPE BOLLARD - CONCRETE-FILLED WITH PVC COVER
26A	LIGHT FIXTURE (REFER TO ELECTRICAL SHEETS)
26G	EMERGENCY GENERATOR AND CONCRETE PAD
32A	DECORATIVE METAL SECURITY FENCE
32B	DECORATIVE METAL CANTILEVERED SECURITY GATE (MOTORIZED)
32D	DECORATIVE METAL SECURITY FENCE GATE
32E	CONCRETE SIDEWALK (REFER TO CIVIL SHEETS)
32F	DECORATIVE METAL SECURITY FENCE GATE OPERATOR



2 EXTERIOR FENCE GATE ELEVATION

3 SIDE GATE ELEVATION



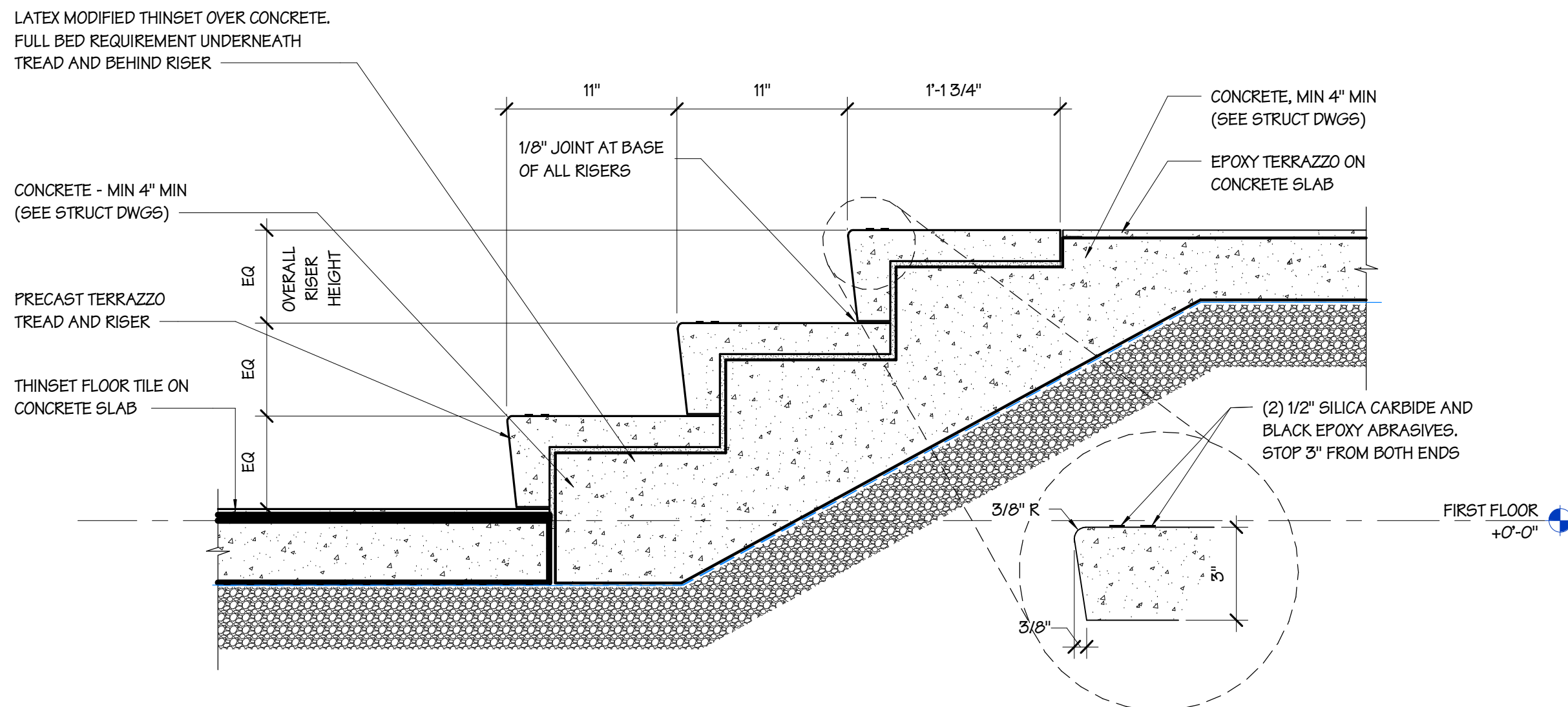
1 SITE PLAN





Illustration indicates design intent and may not reflect final details

## 1 MONUMENTAL STAIR PERSPECTIVE

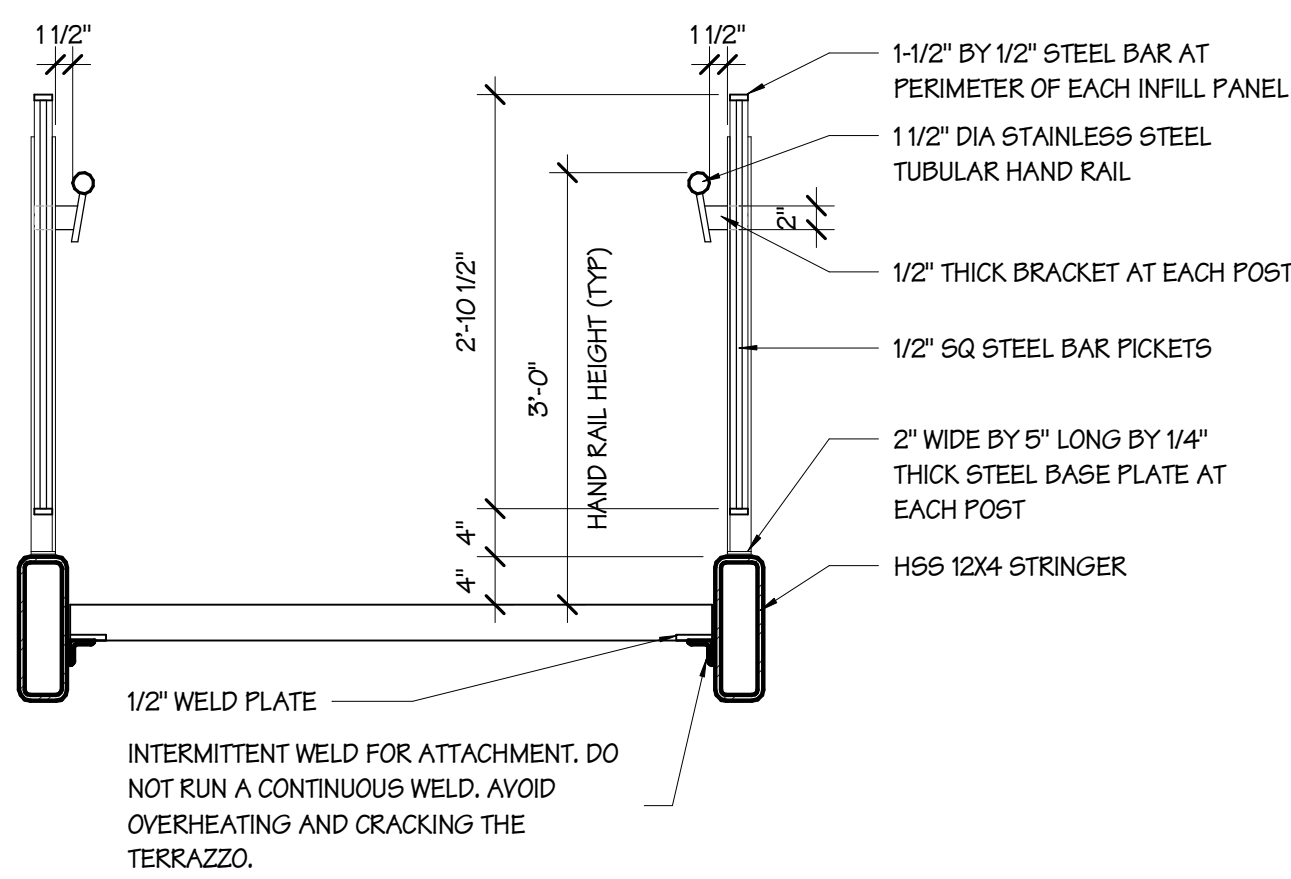


## 2 PLINTH DETAIL

SCALE 1 1/2" = 1'-0"

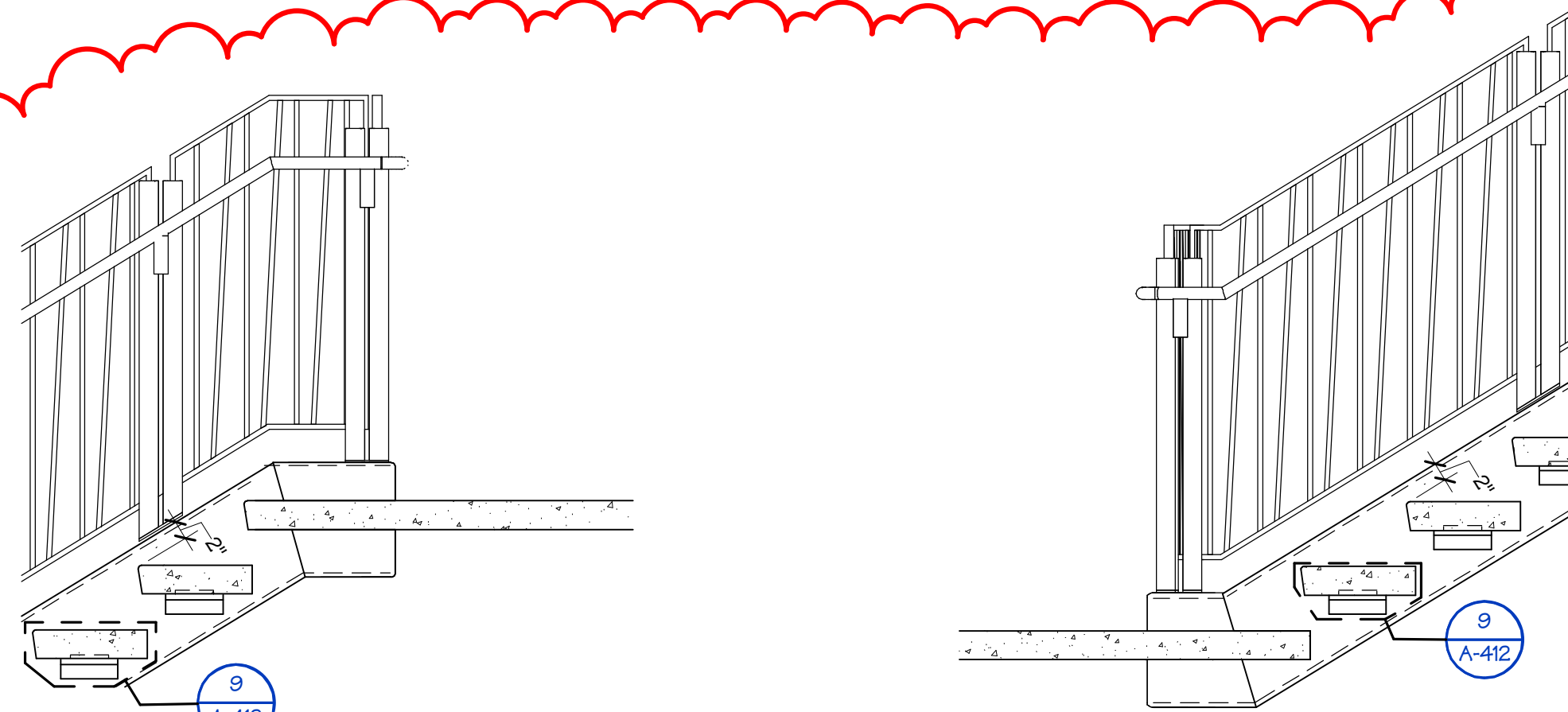
## 9 STAIR TREAD DETAIL

SCALE 3" = 1'-0"



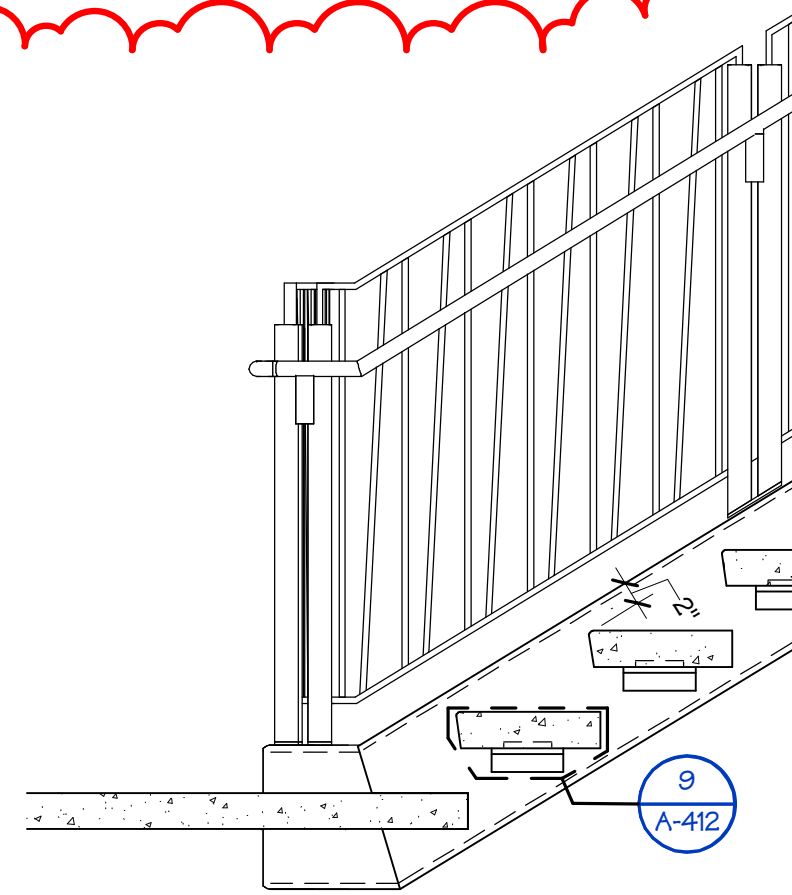
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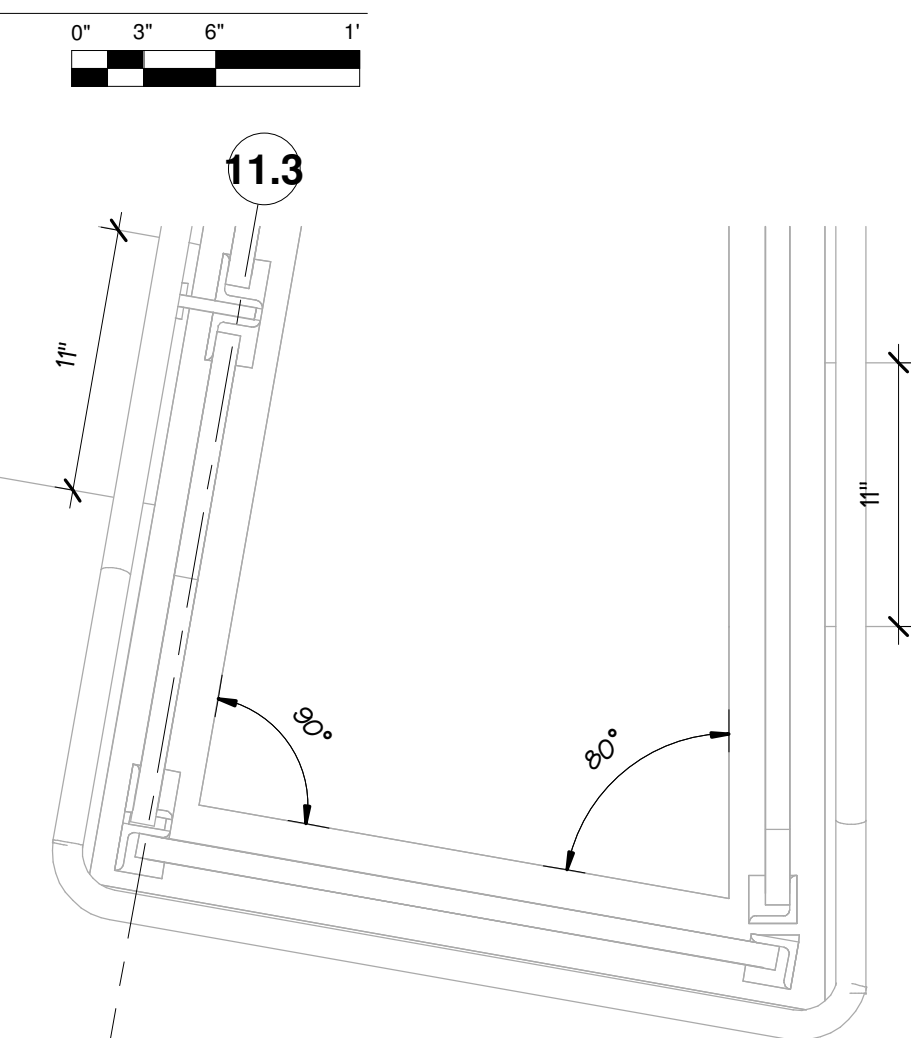
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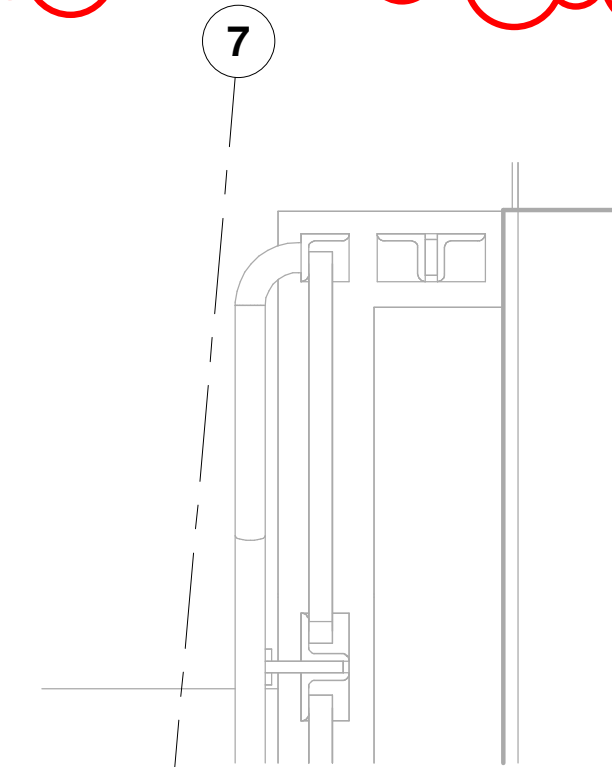
## 6 SECTION AT LANDING

SCALE 3/4" = 1'-0"



## 7 PLAN AT LANDING

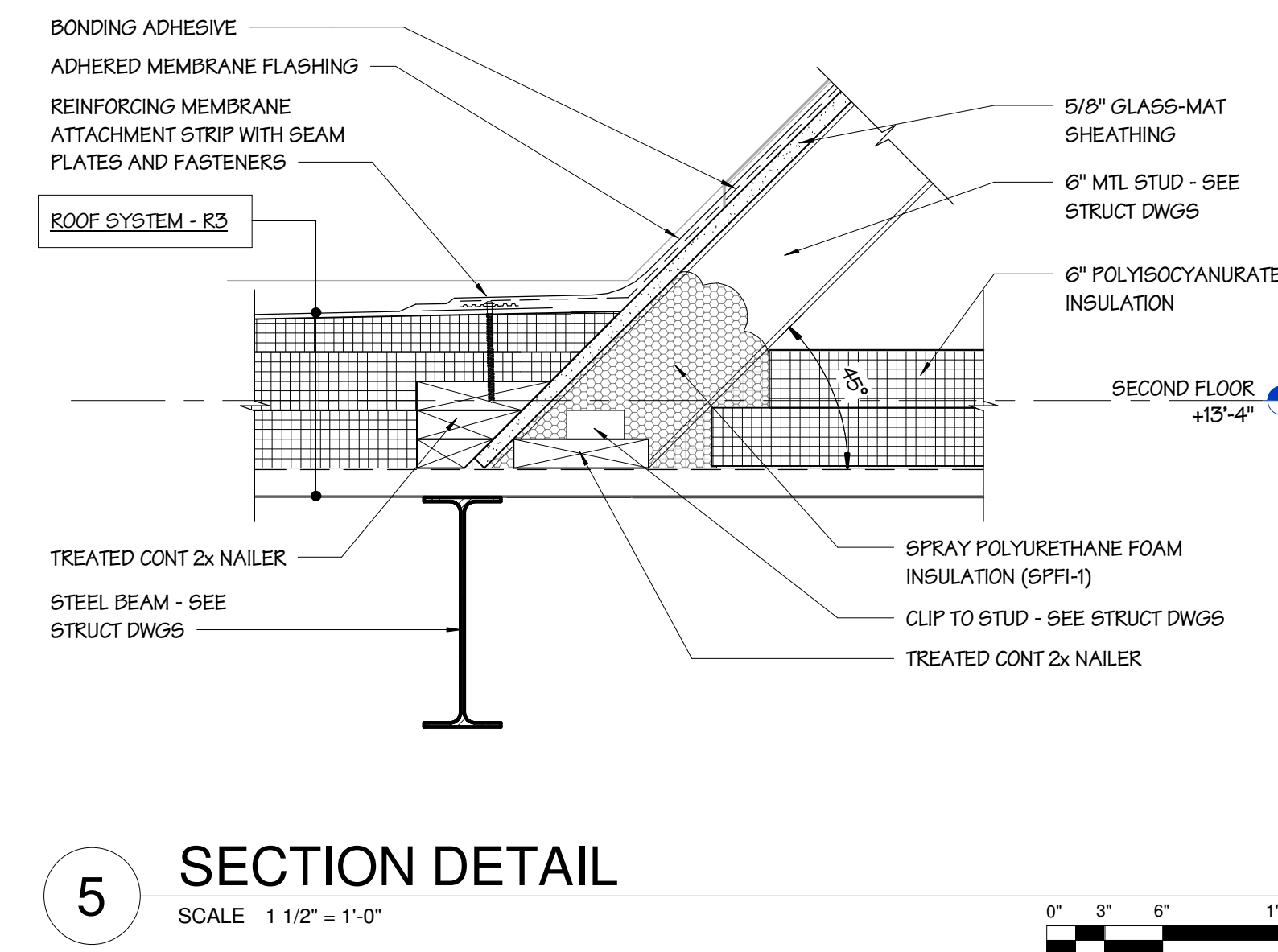
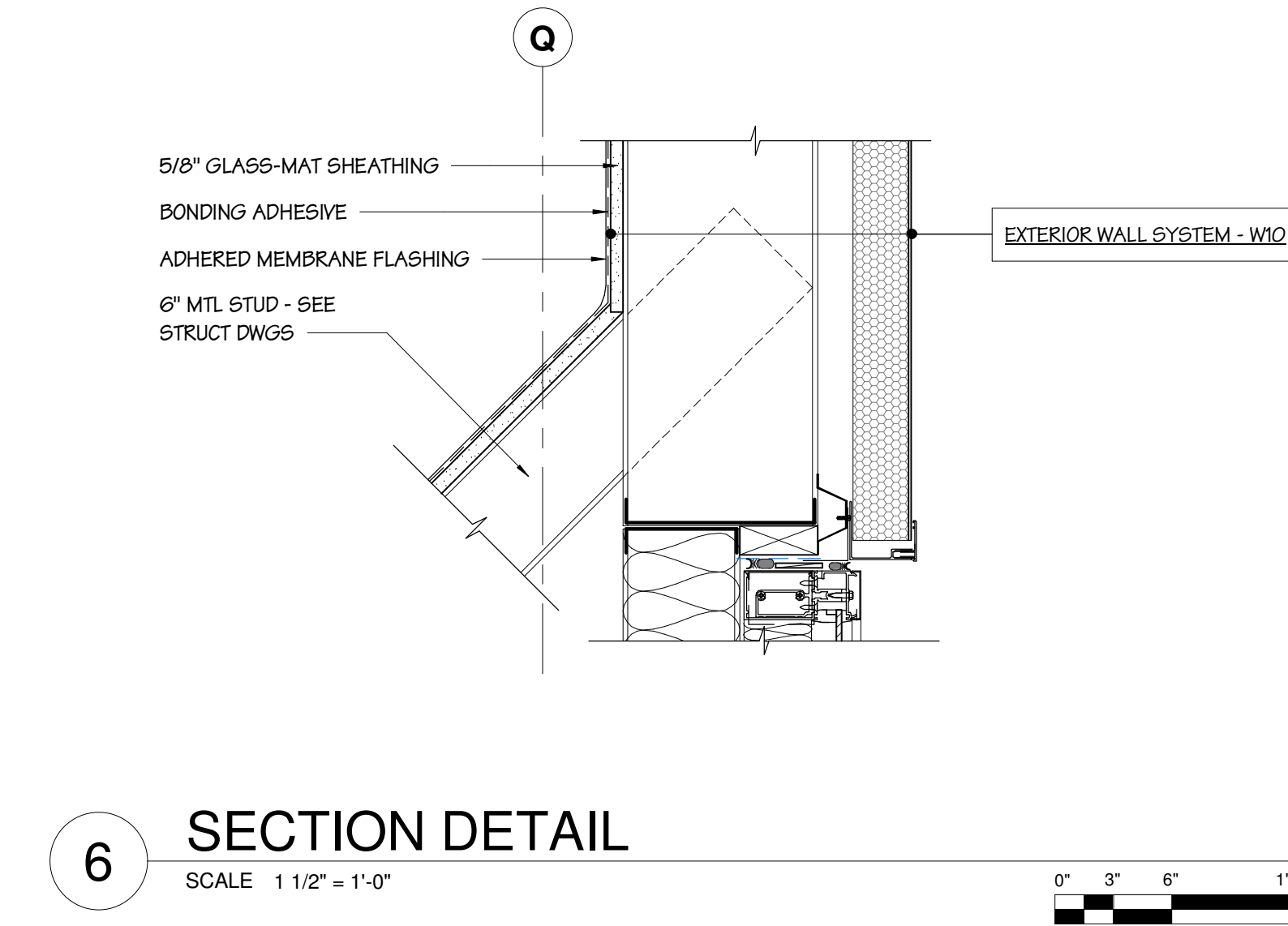
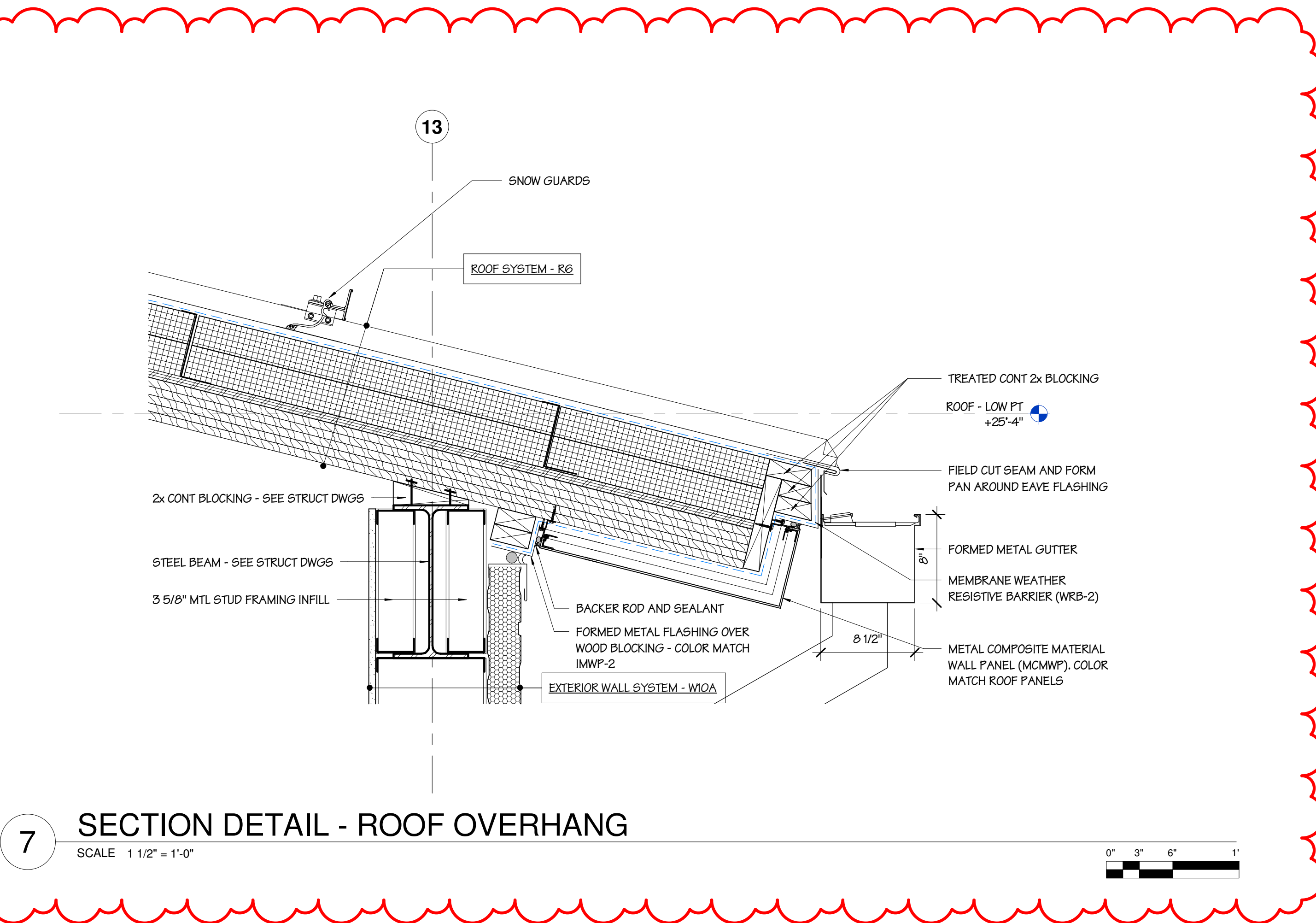
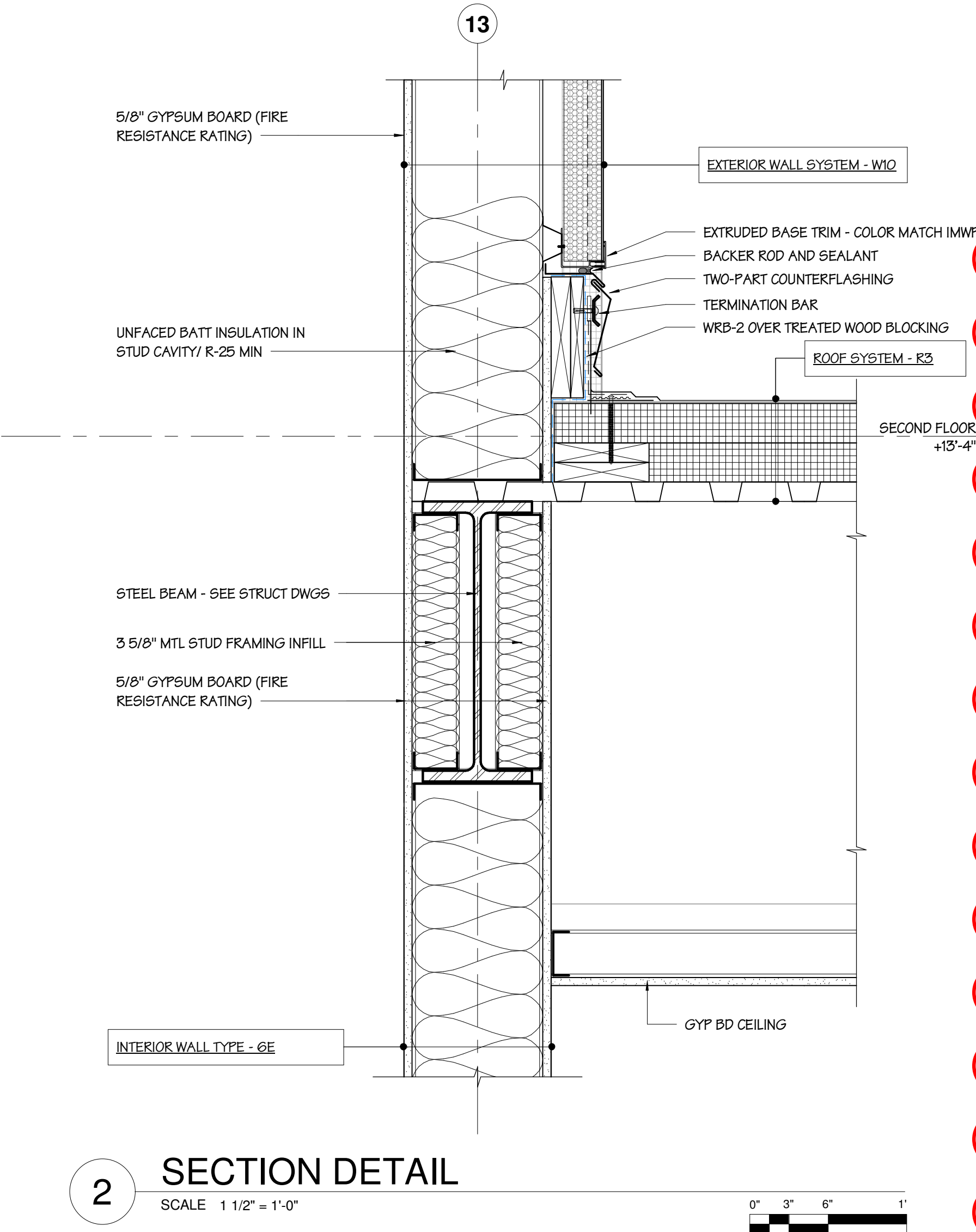
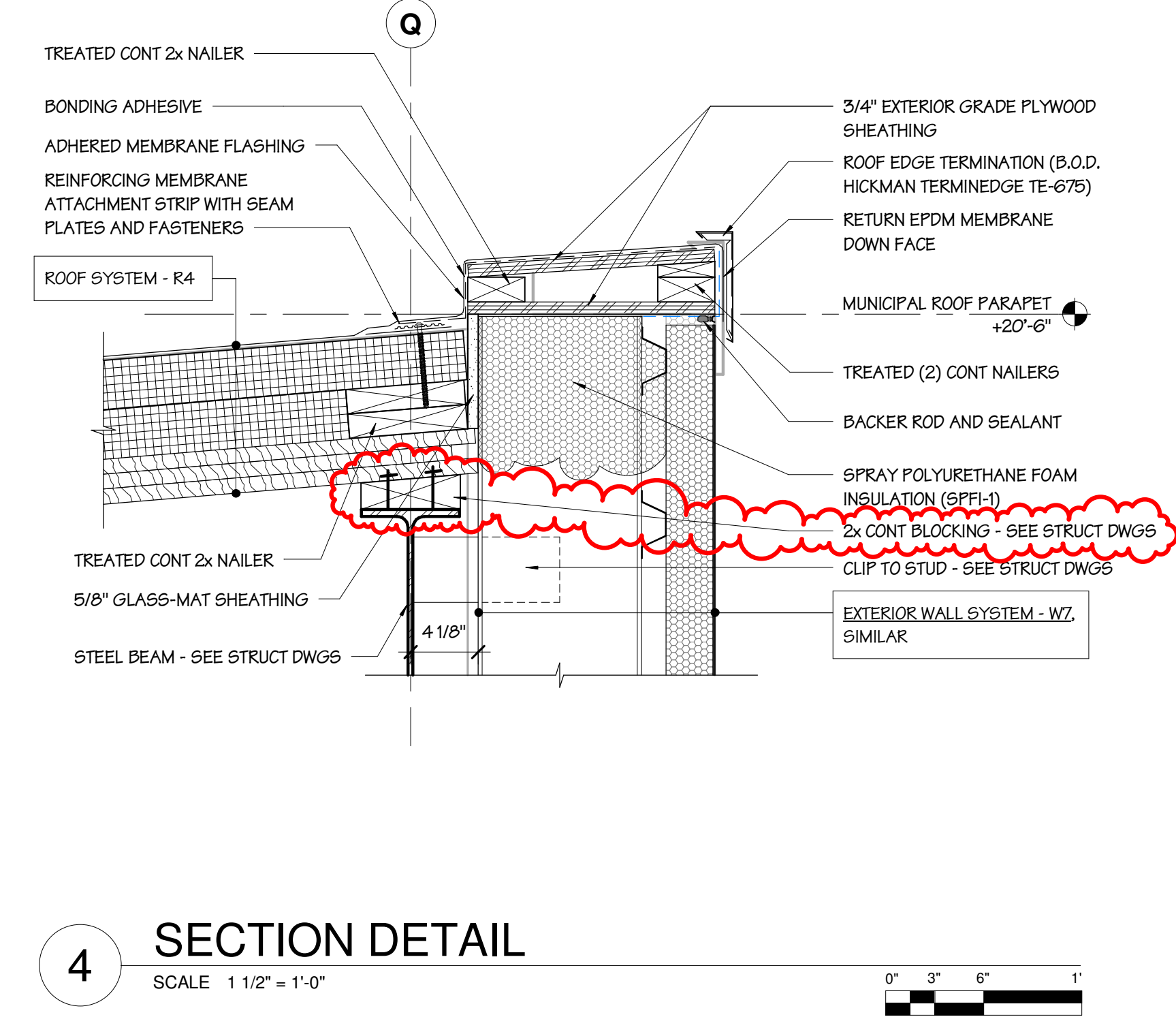
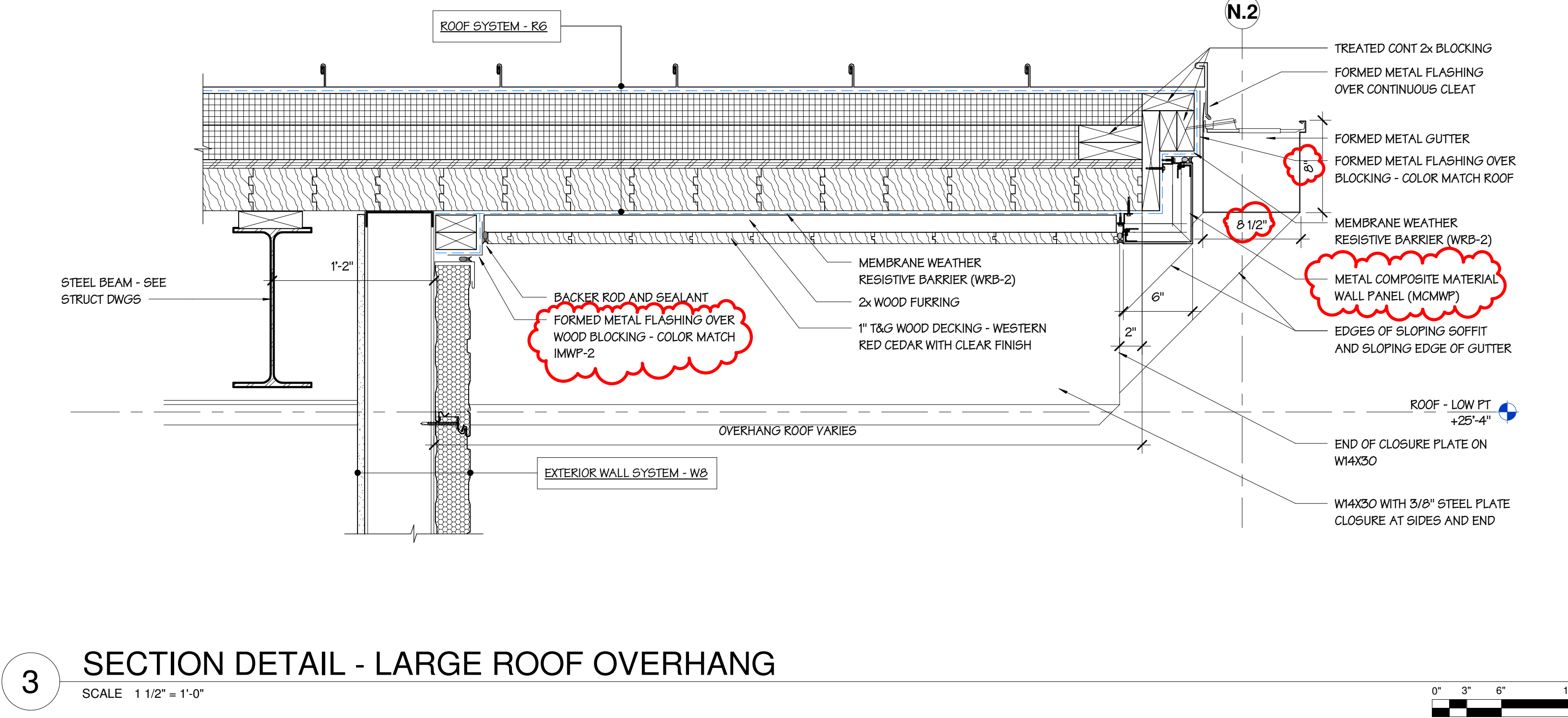
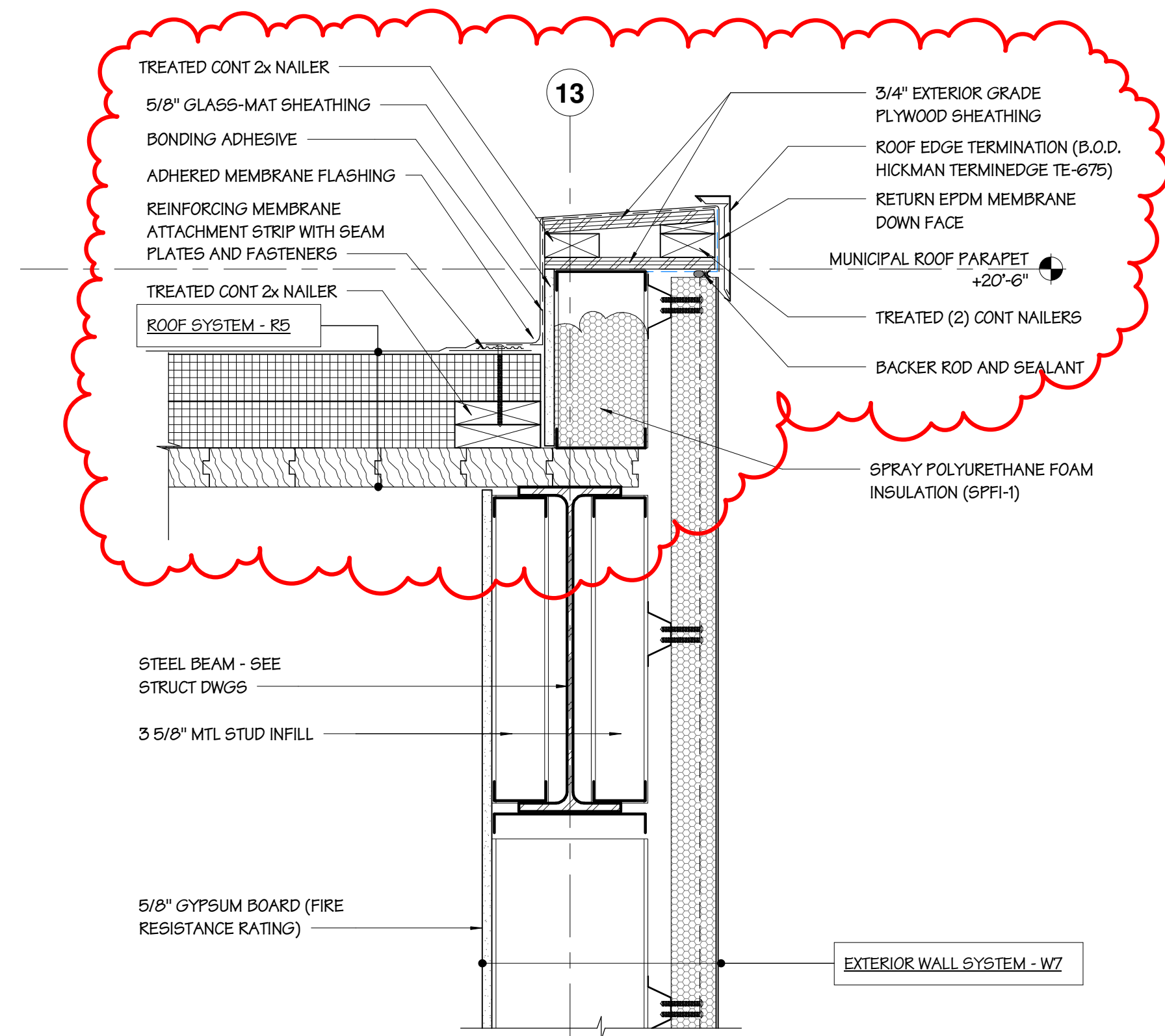
SCALE 1 1/2" = 1'-0"



## 8 PLAN AT LANDING

SCALE 1 1/2" = 1'-0"







Project:  
**ASTON TOWNSHIP  
MUNICIPAL COMPLEX**  
3264 Concord Road  
Aston, PA 19014

Owner:  
**ASTON TOWNSHIP**  
2 New Road  
Suite 123  
Aston, PA 19014

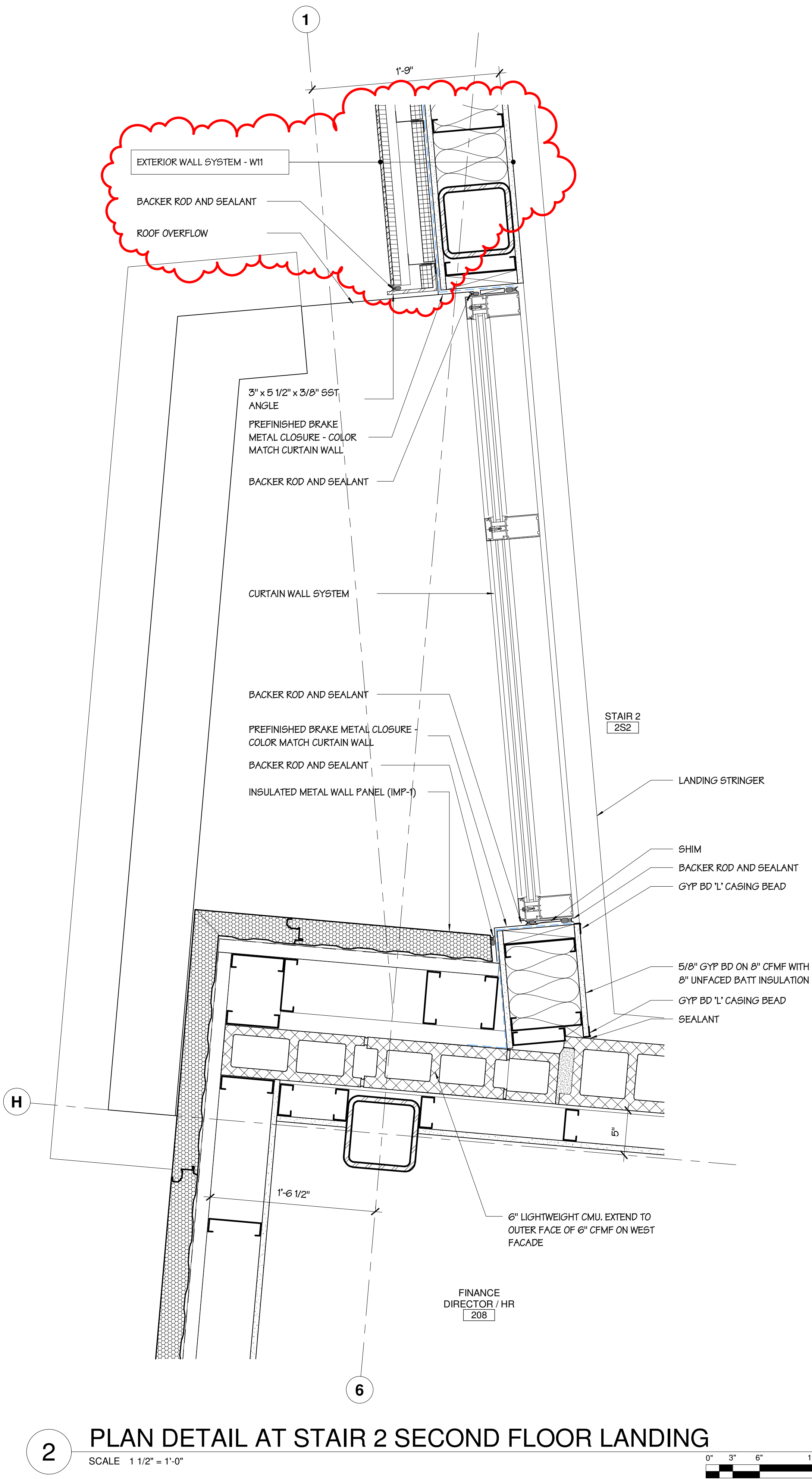
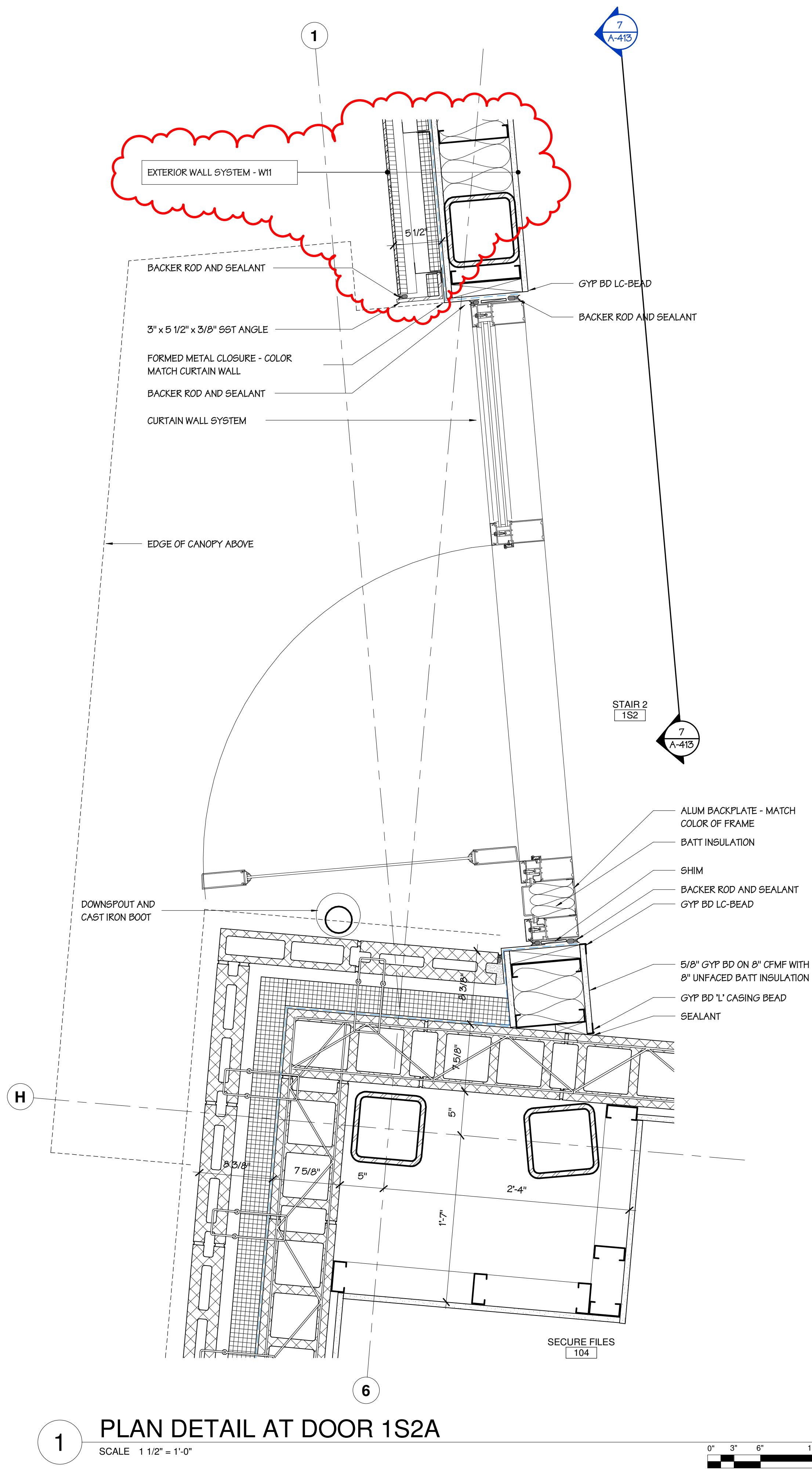
Revision/Issue:  
0 03/29/24 Issued  
1 04/17/24 Revisions

Drawn: Author  
Reviewed: PAS  
Contact: Paul Andrew Sgroi  
Project Number: 2301.00-22

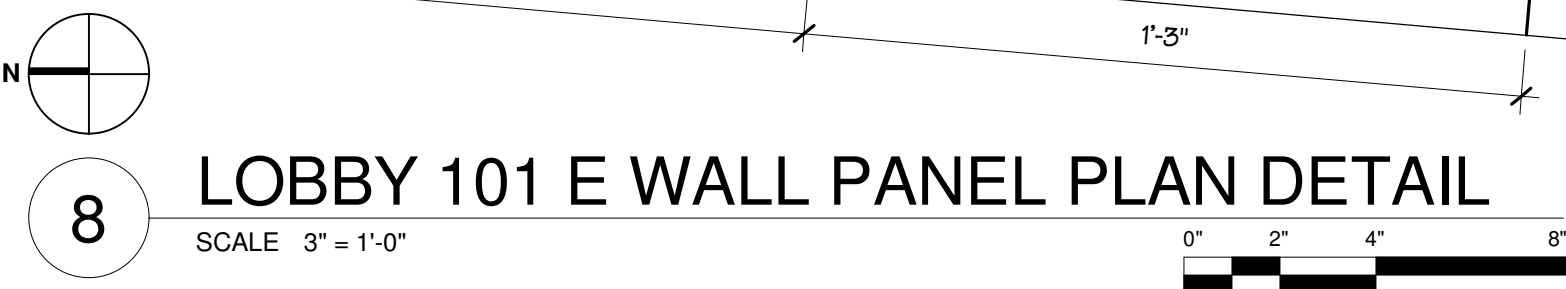
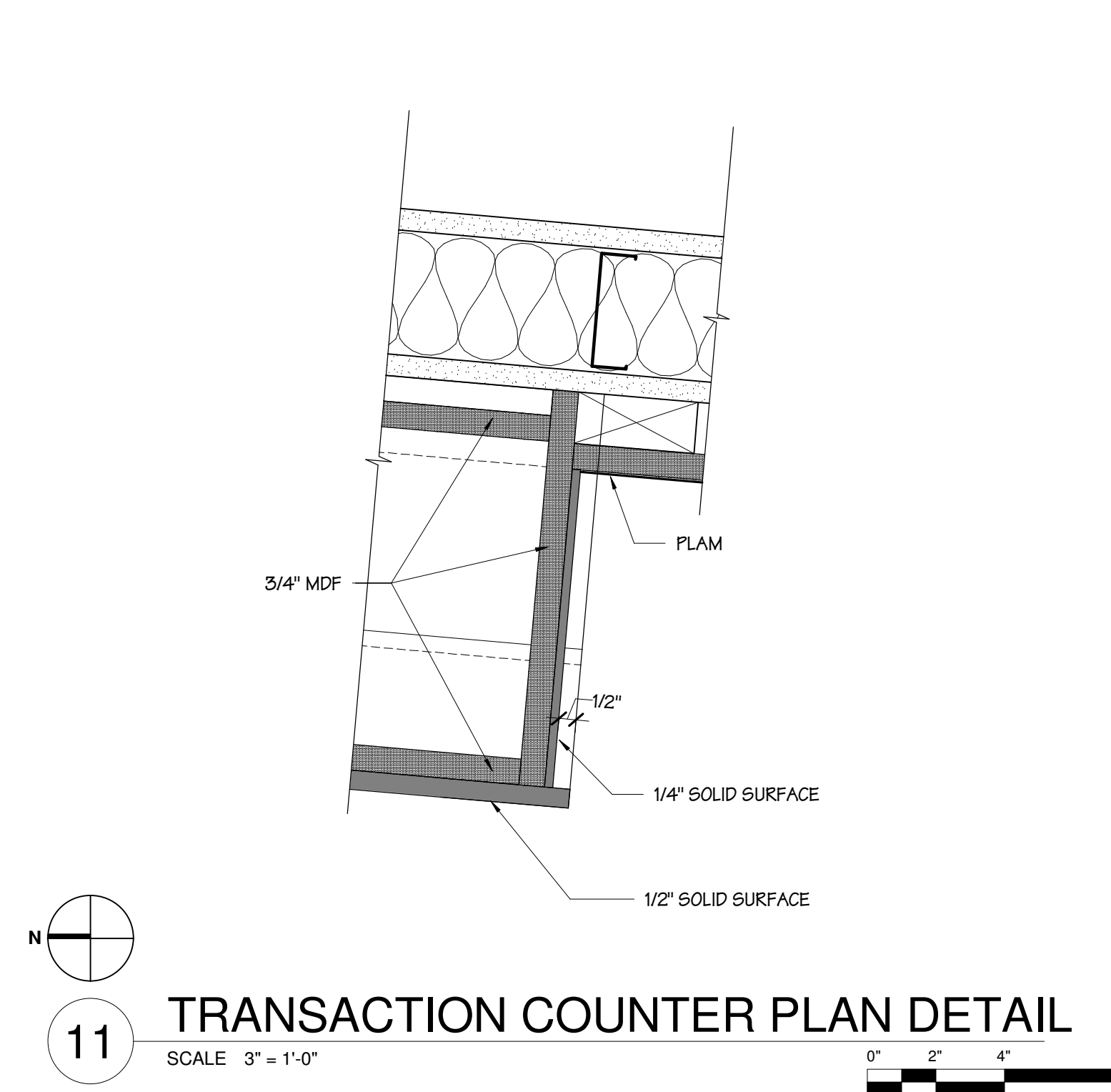
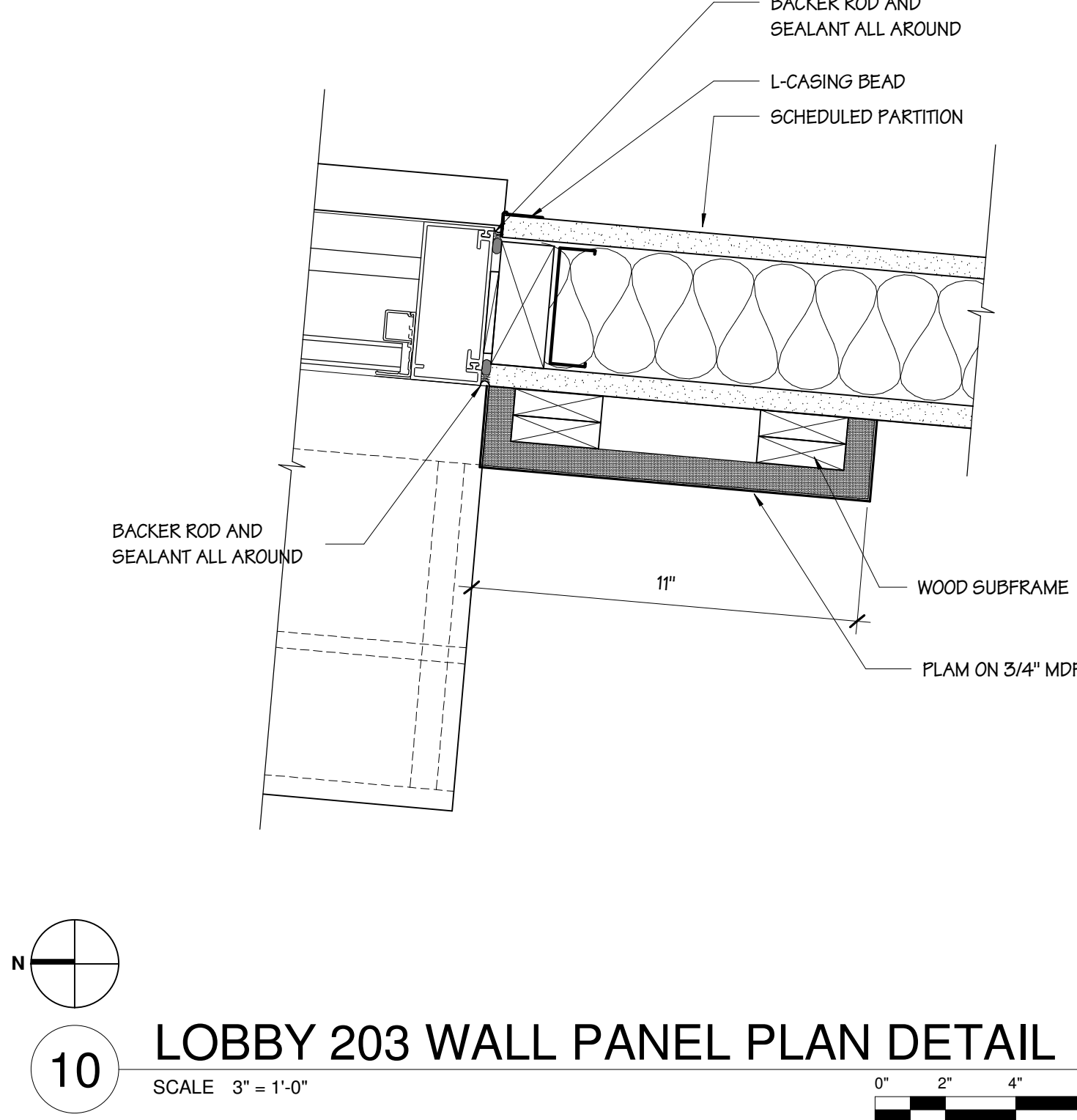
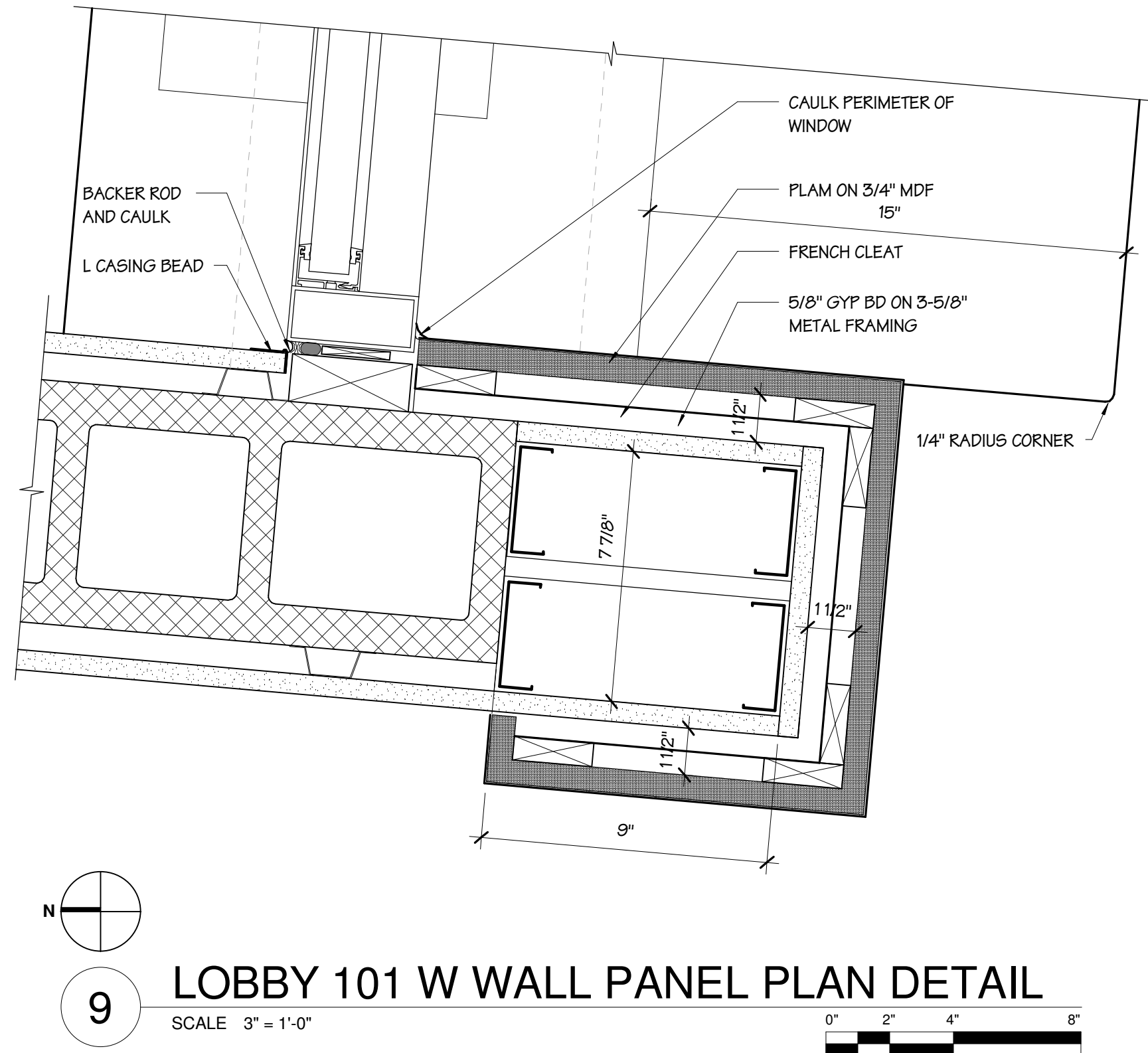
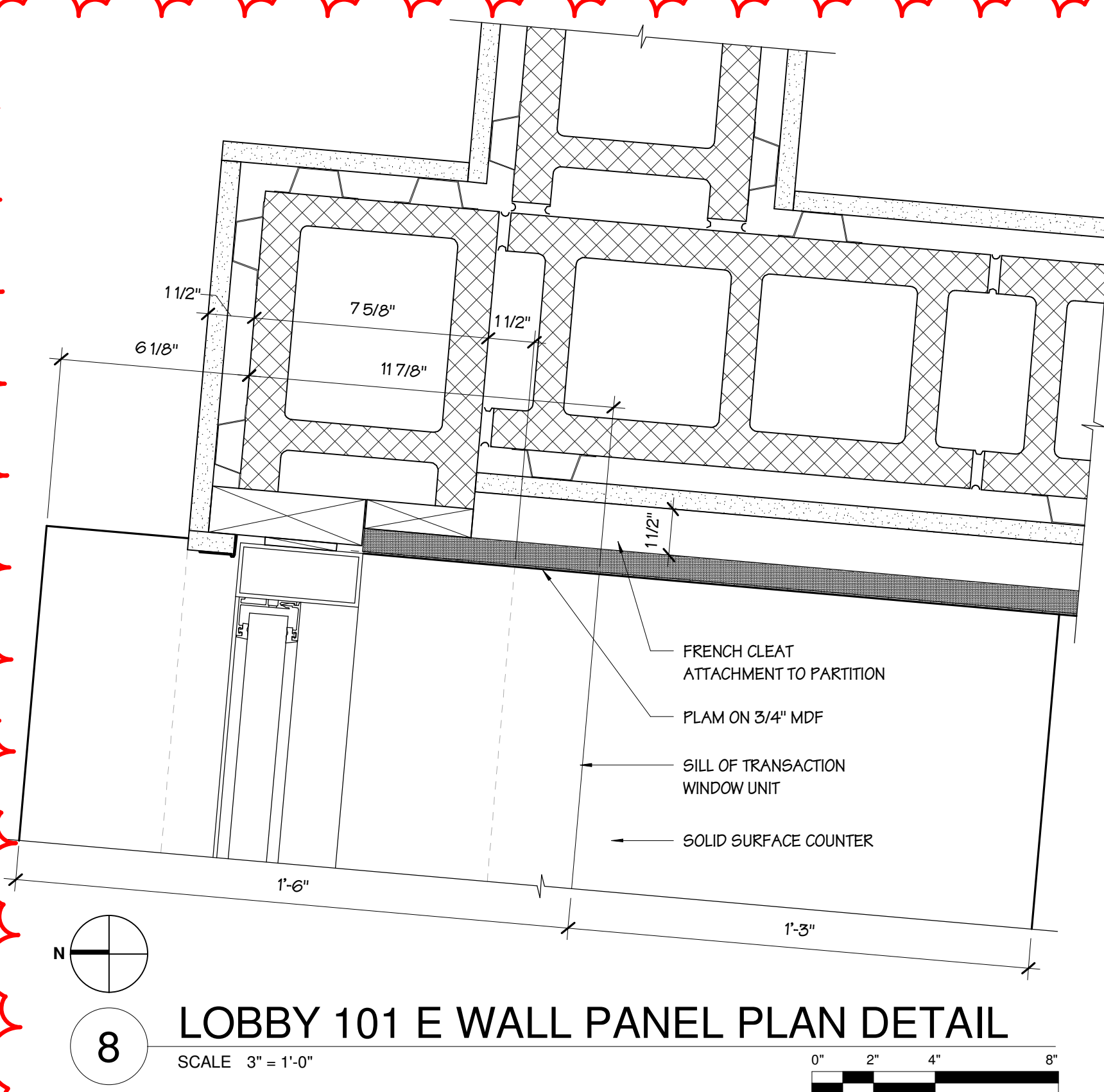
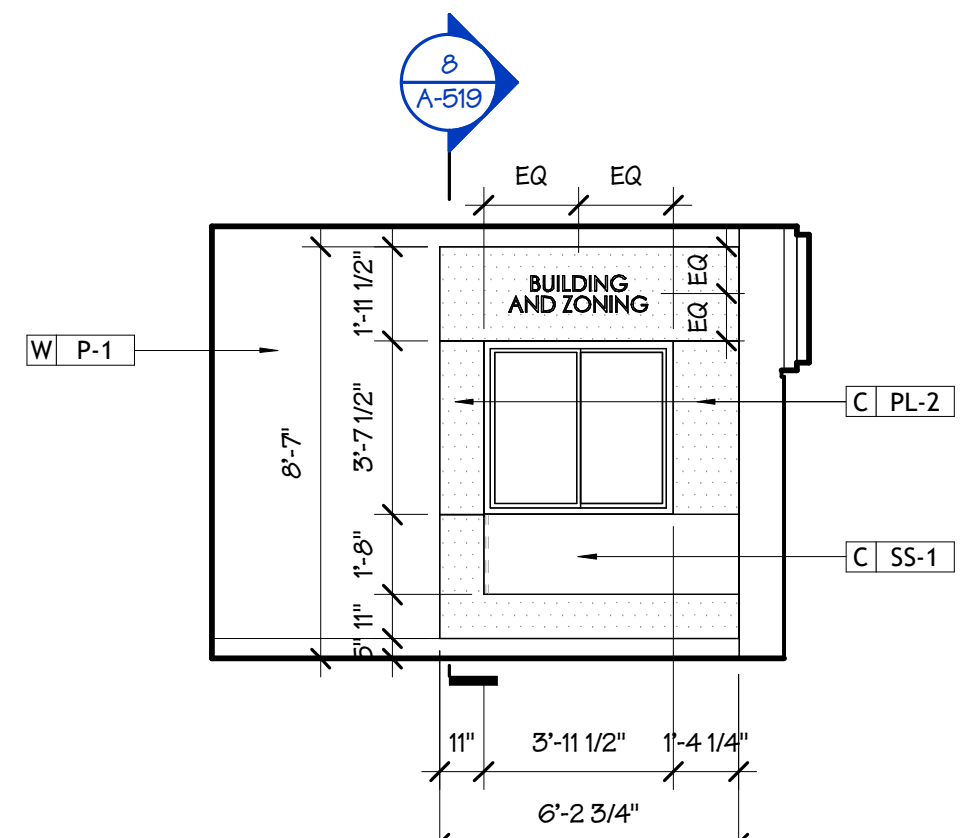
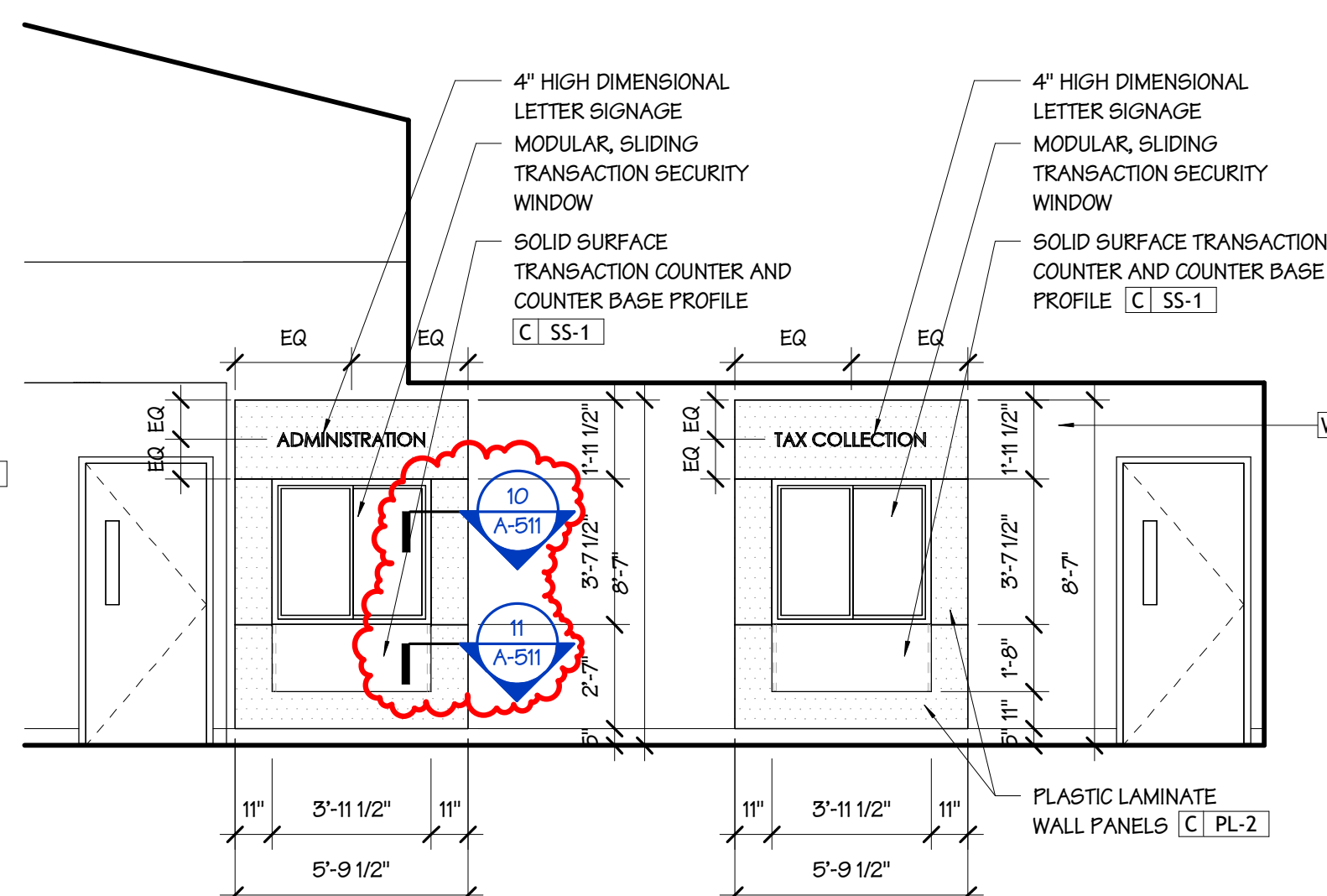
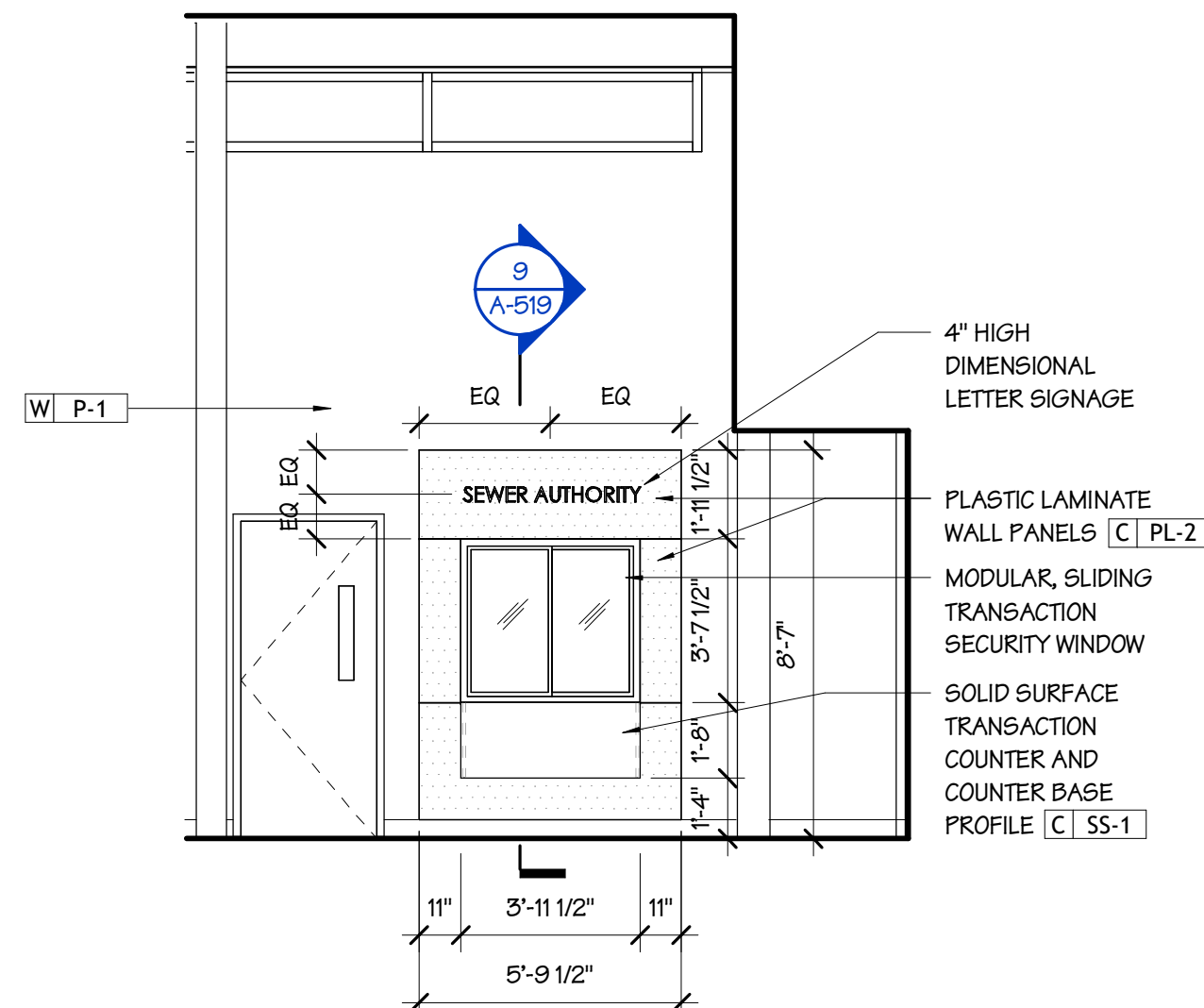
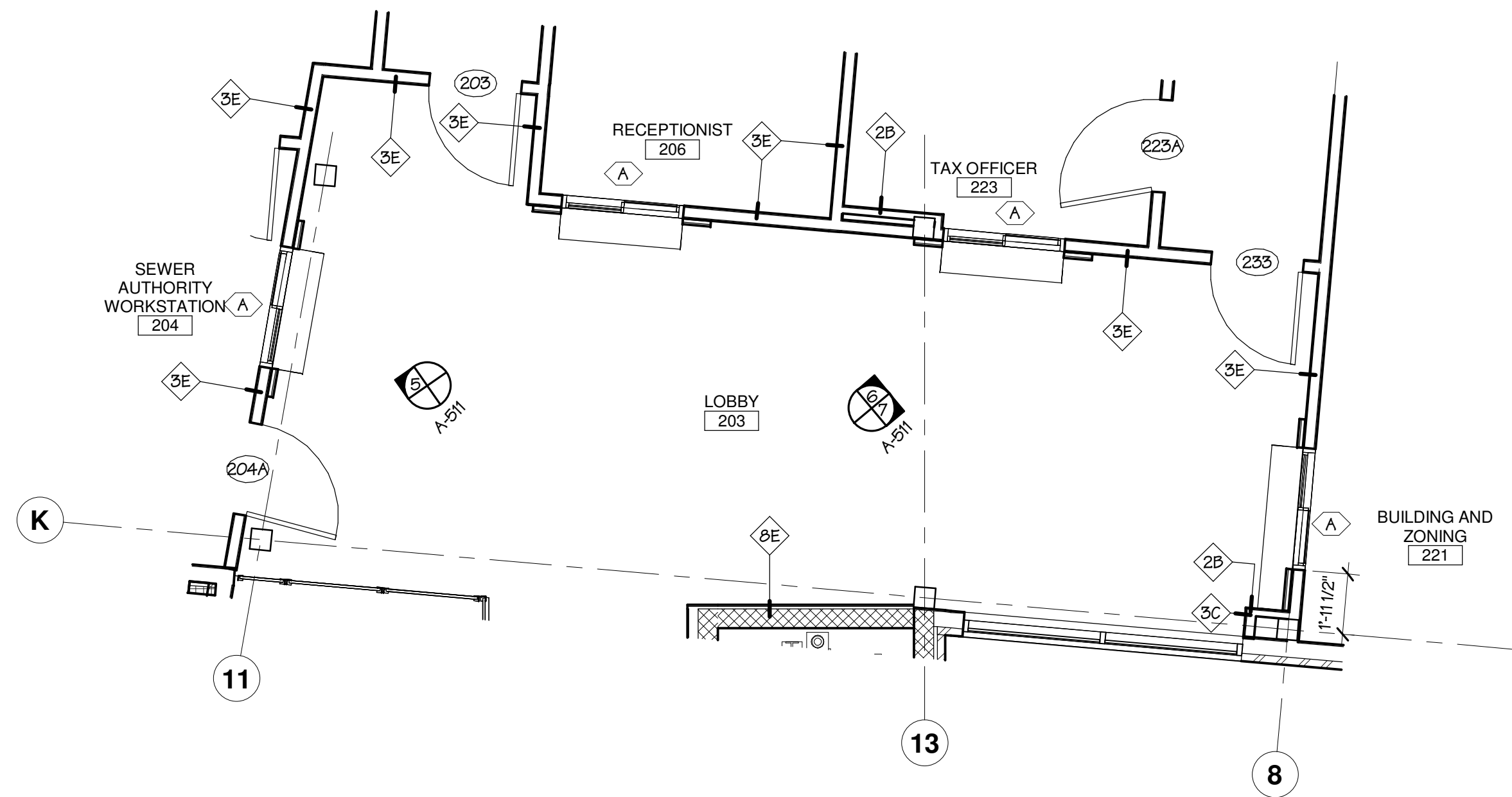
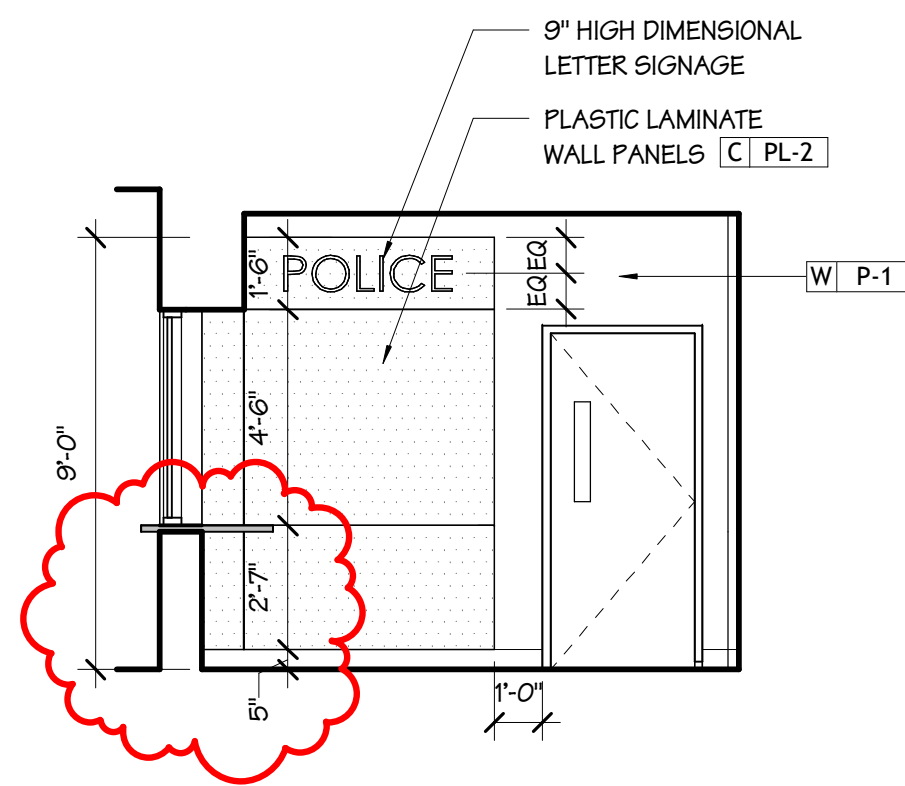
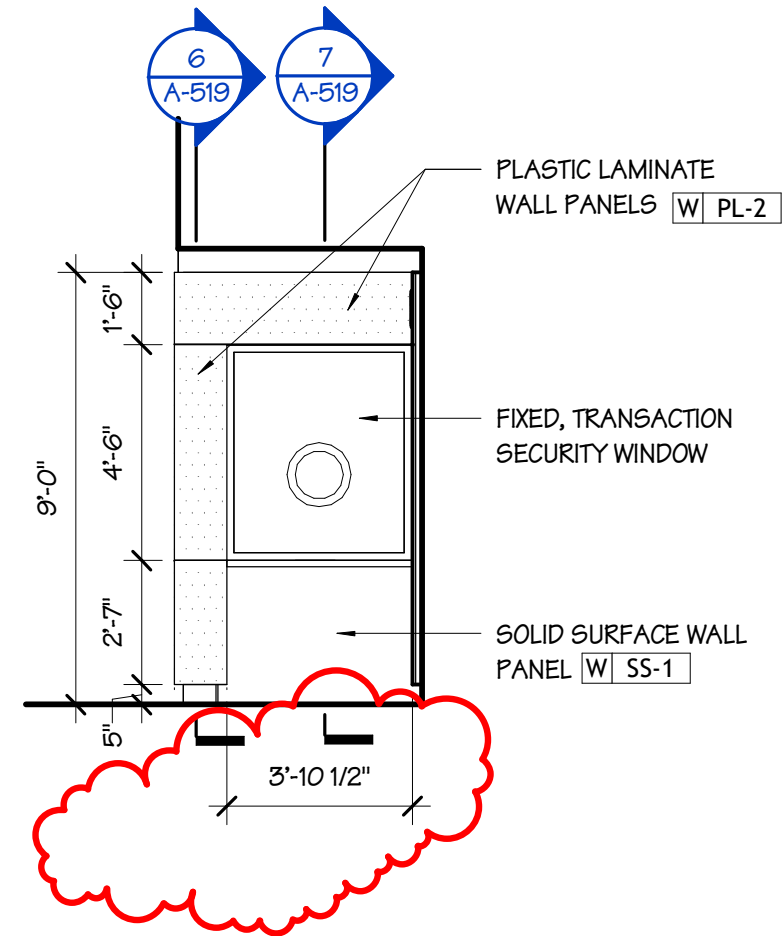
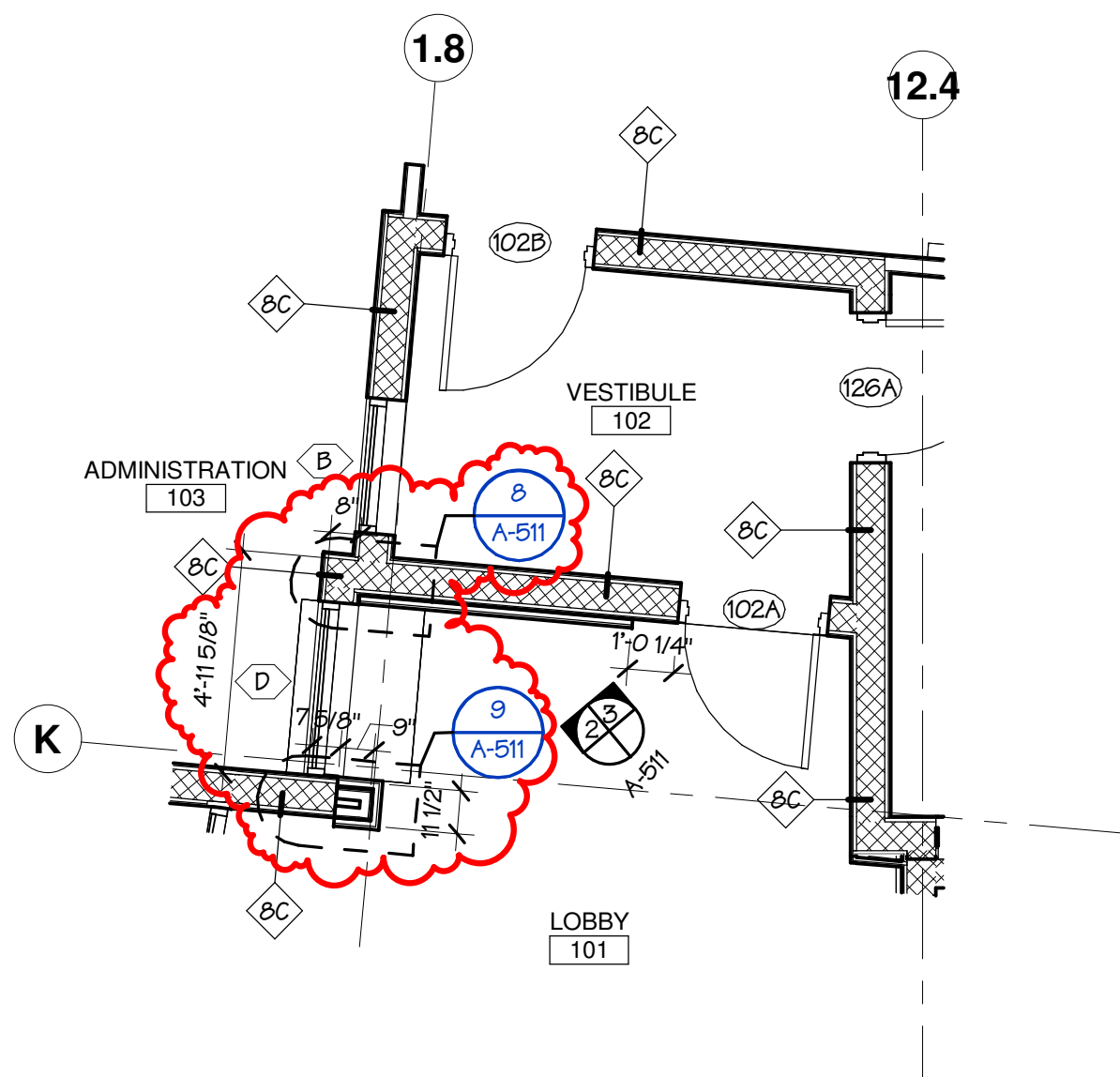
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Sheet Number:  
**A-505**

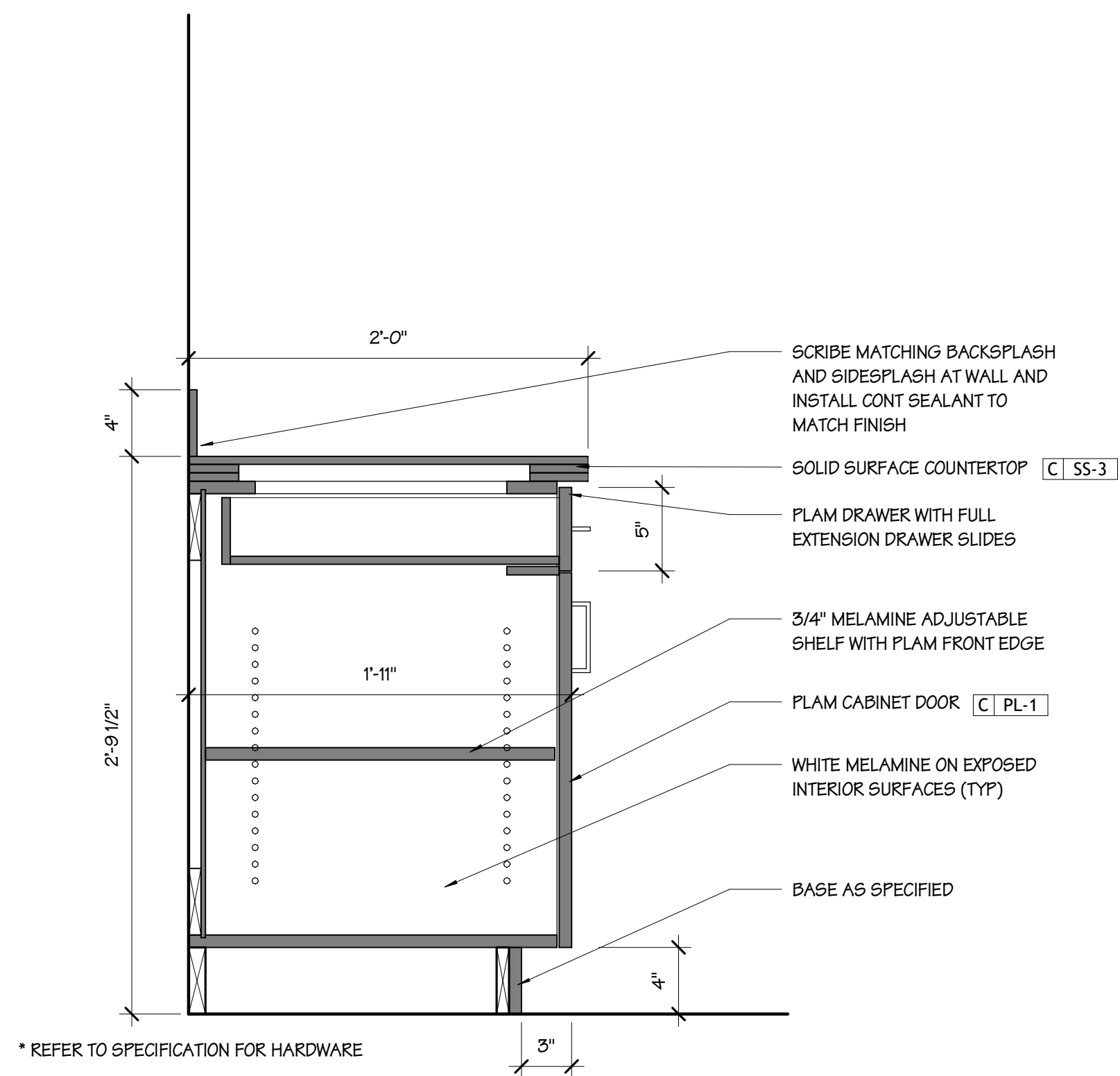
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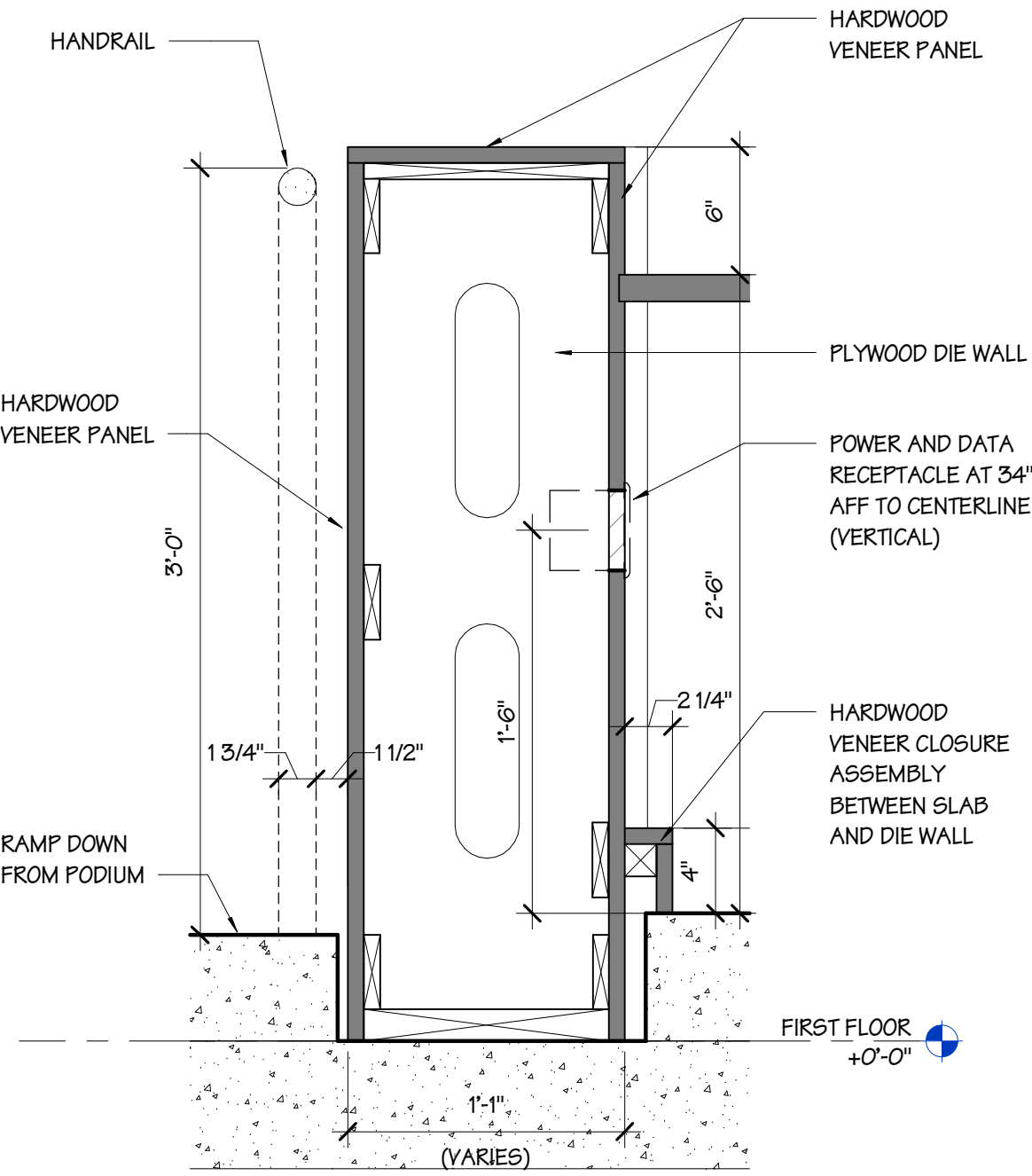




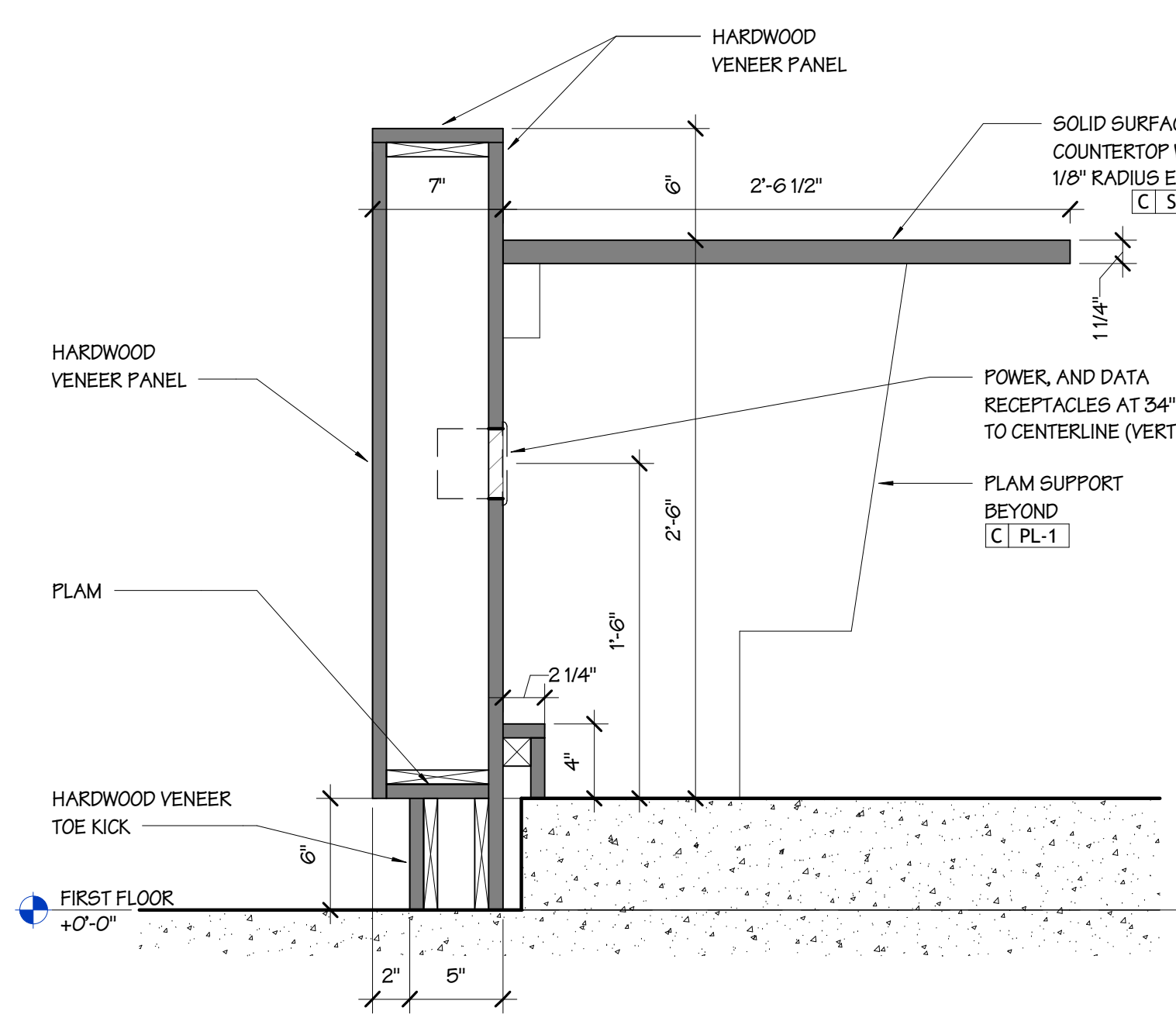




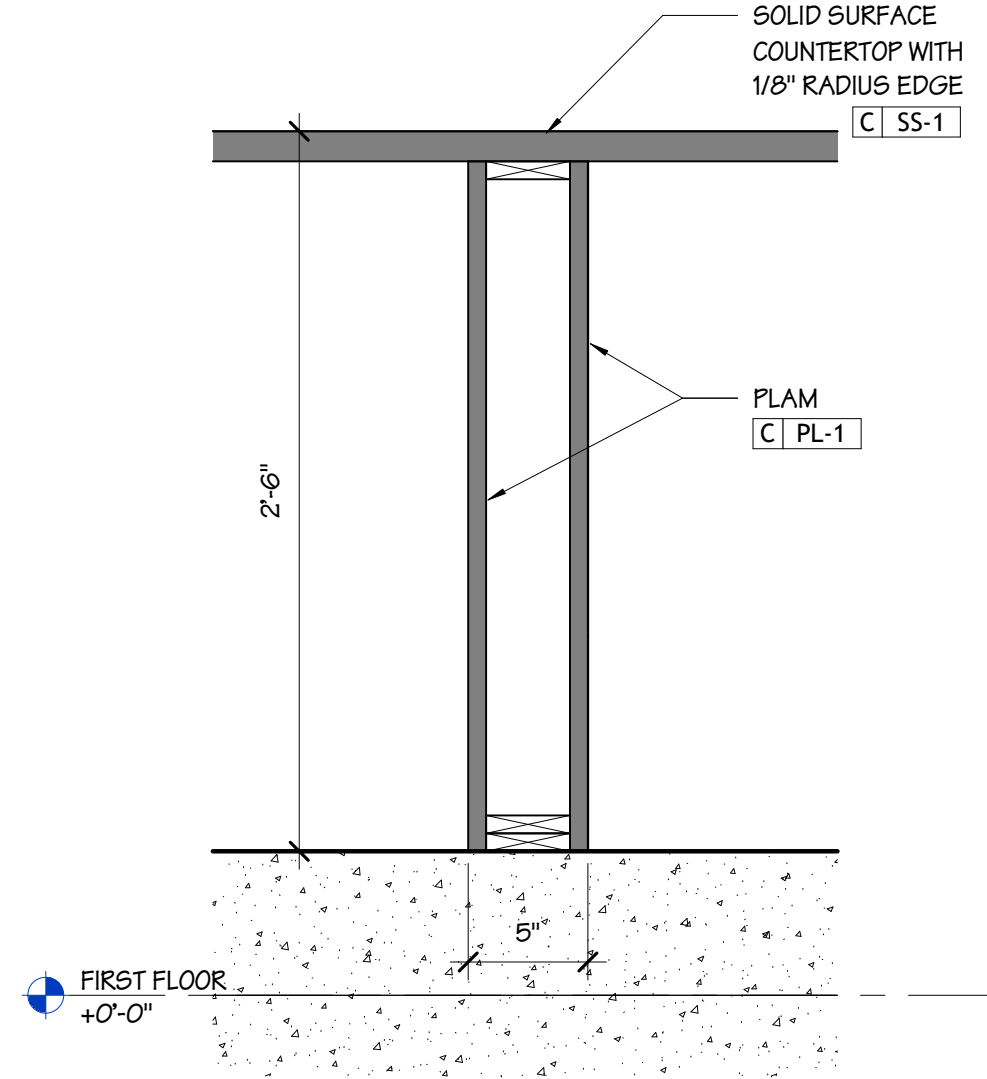




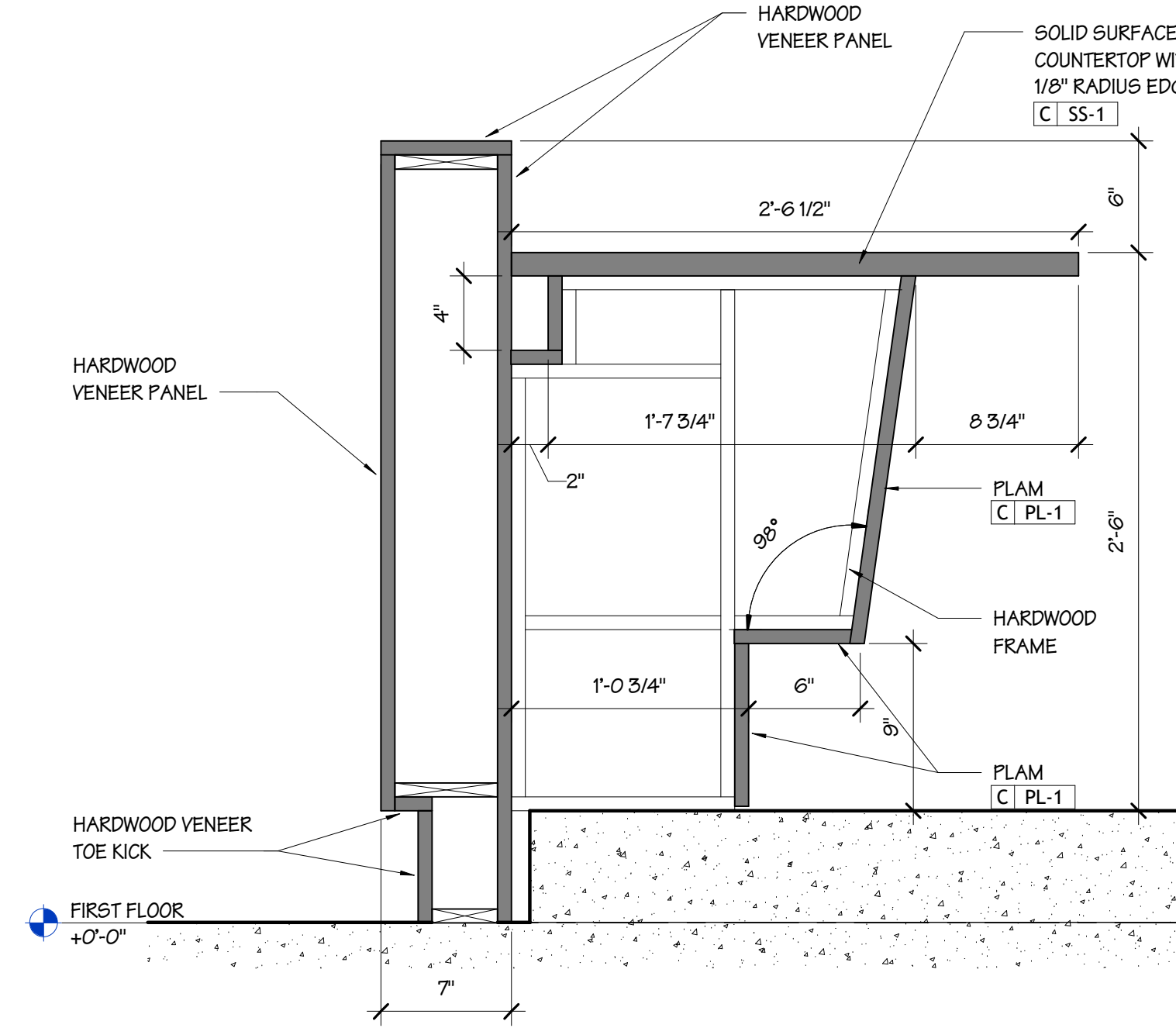
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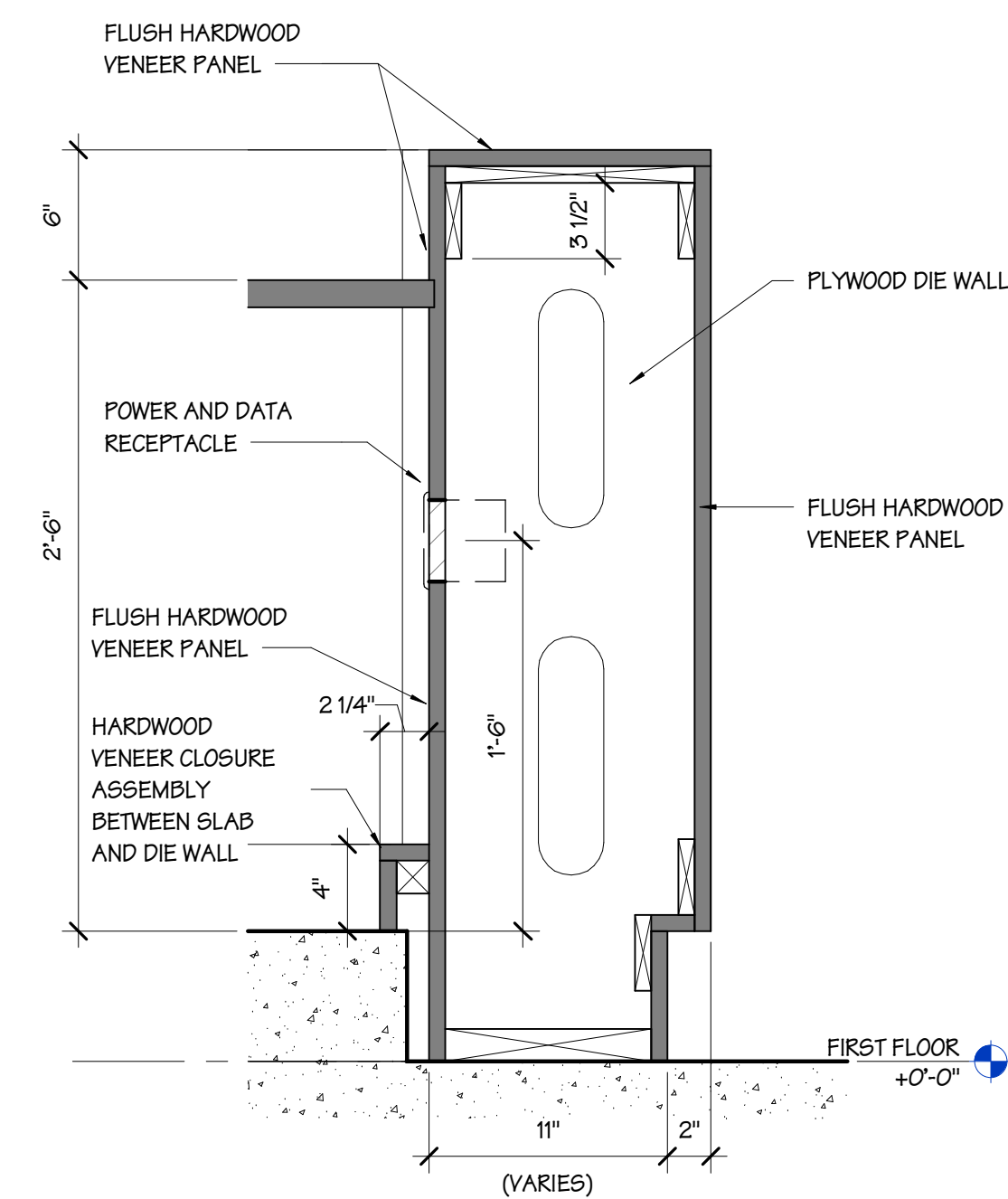
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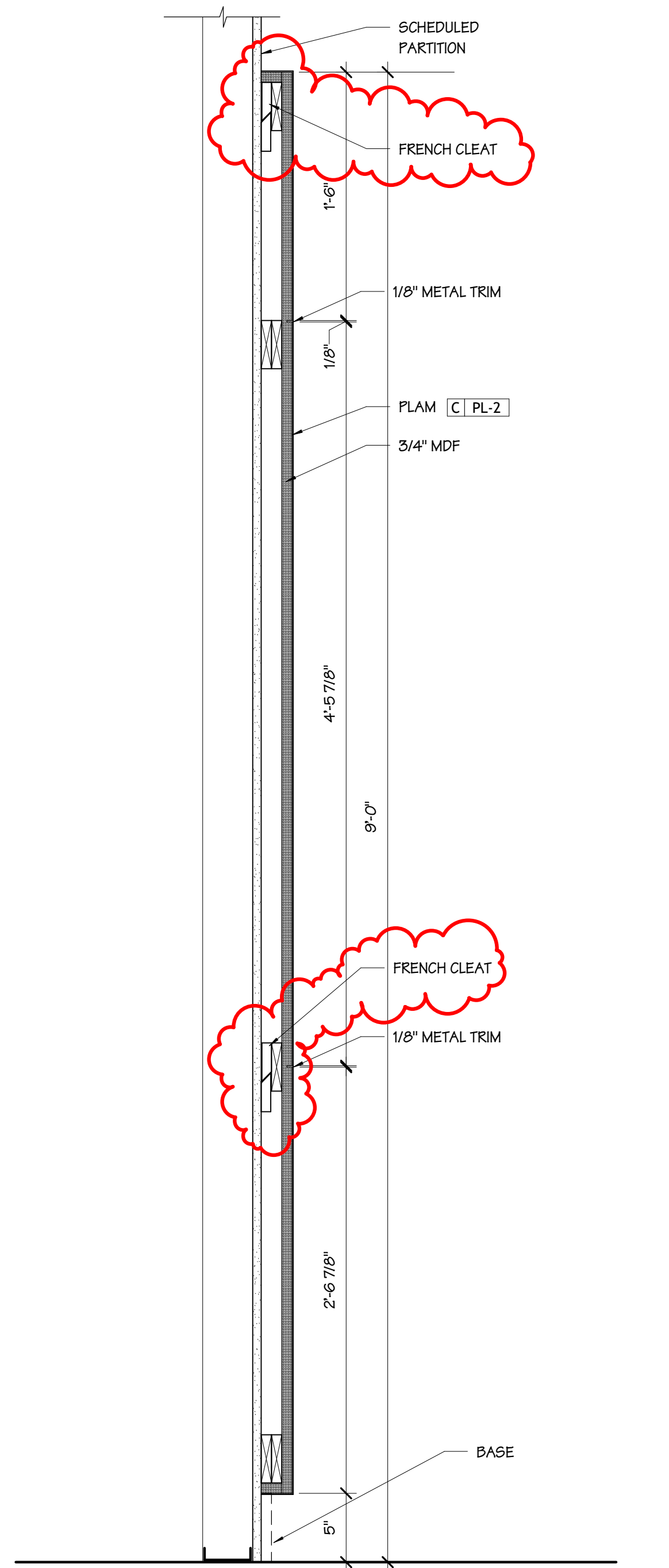
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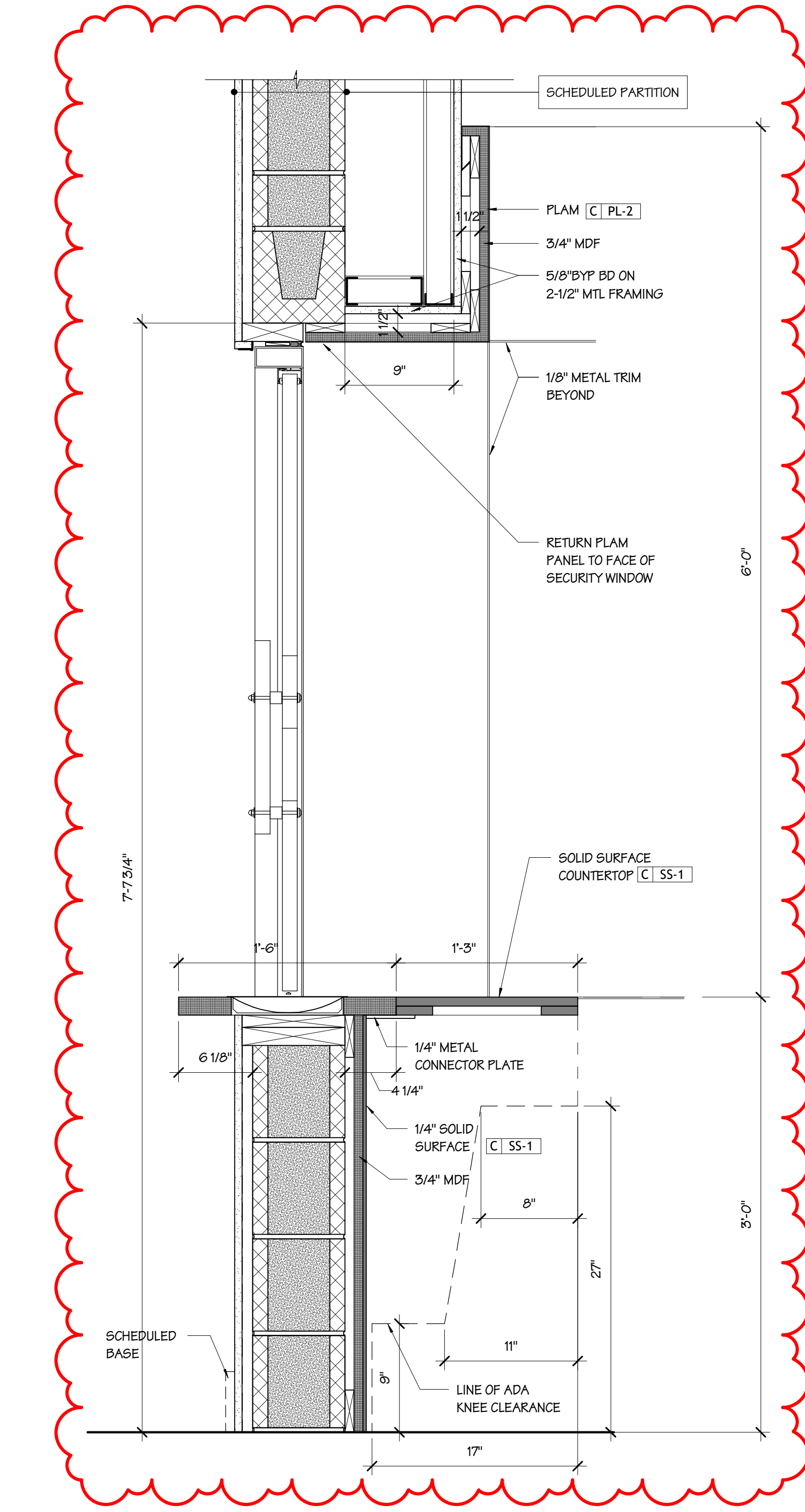
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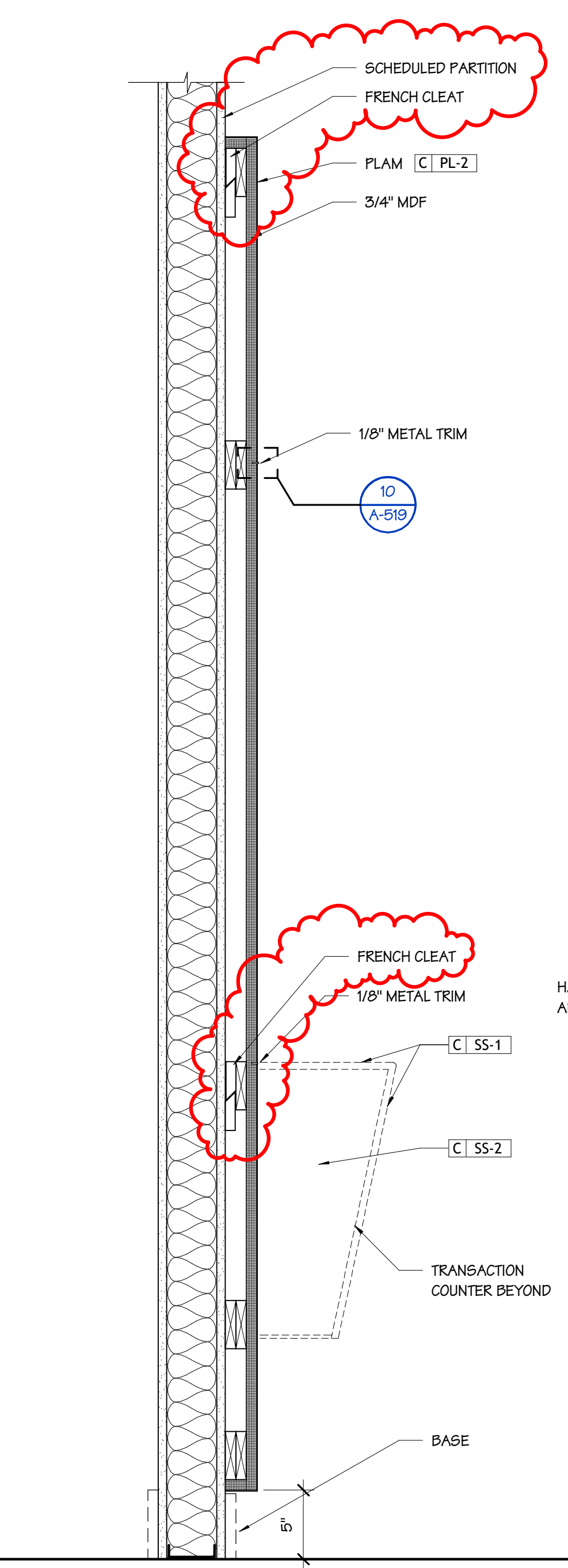
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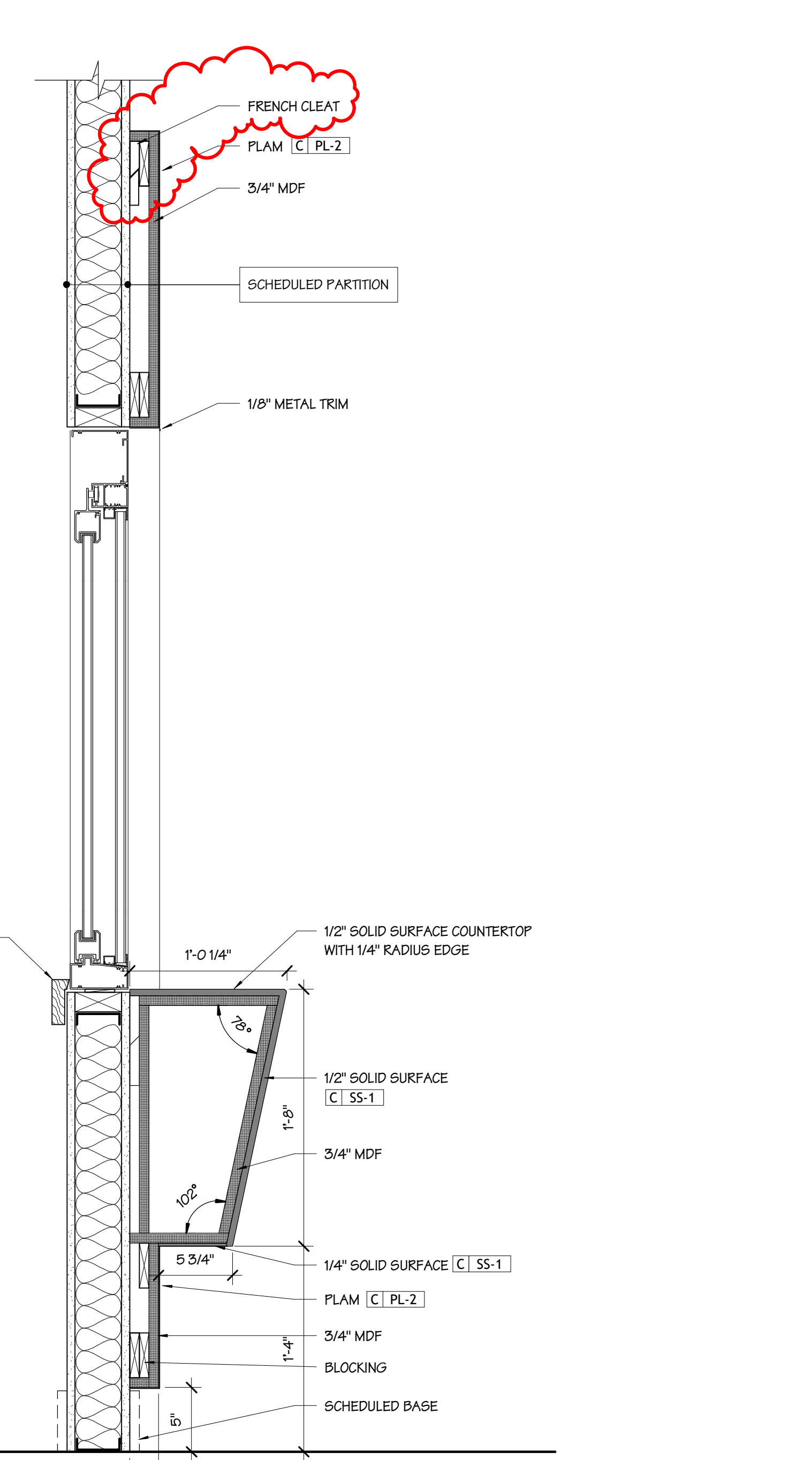
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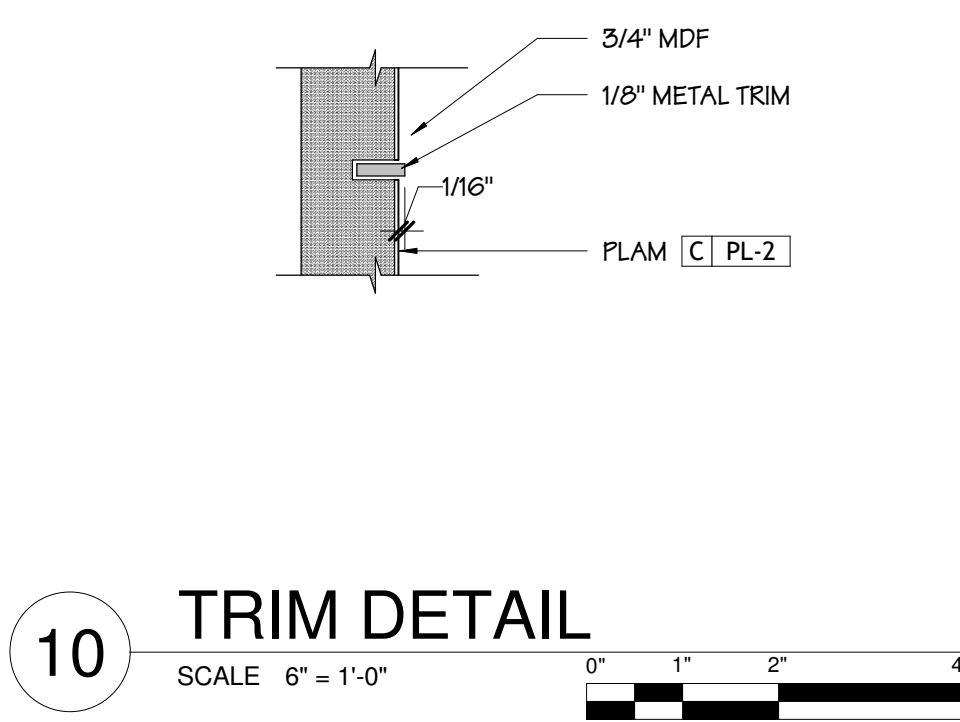
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SCALE 1 1/2" = 1'-0"



**8 WALL PANEL SECTION**  
SCALE 1 1/2" = 1'-0"



**9 TRANSACTION COUNTER**  
SCALE 1 1/2" = 1'-0"



**10 TRIM DETAIL**  
SCALE 6" = 1'-0"

**Project:**  
**ASTON TOWNSHIP**  
**MUNICIPAL COMPLEX**  
**3264 Concord Road**  
**Aston, PA 19014**

**Owner:**  
**ASTON TOWNSHIP**  
**2 New Road**  
**Suite 123**  
**Aston, PA 19014**

**Revision/Issue:**  
0 03/29/24 Issued  
1 04/17/24 Revisions

**Drawn:** EHI  
**Reviewed:** PAS  
**Contact:** Paul Andrew Sgroi  
**Project Number:** 2301.00-22

**Sheet Title:**  
**CASEWORK**  
**DETAILS**

**Sheet Number:**

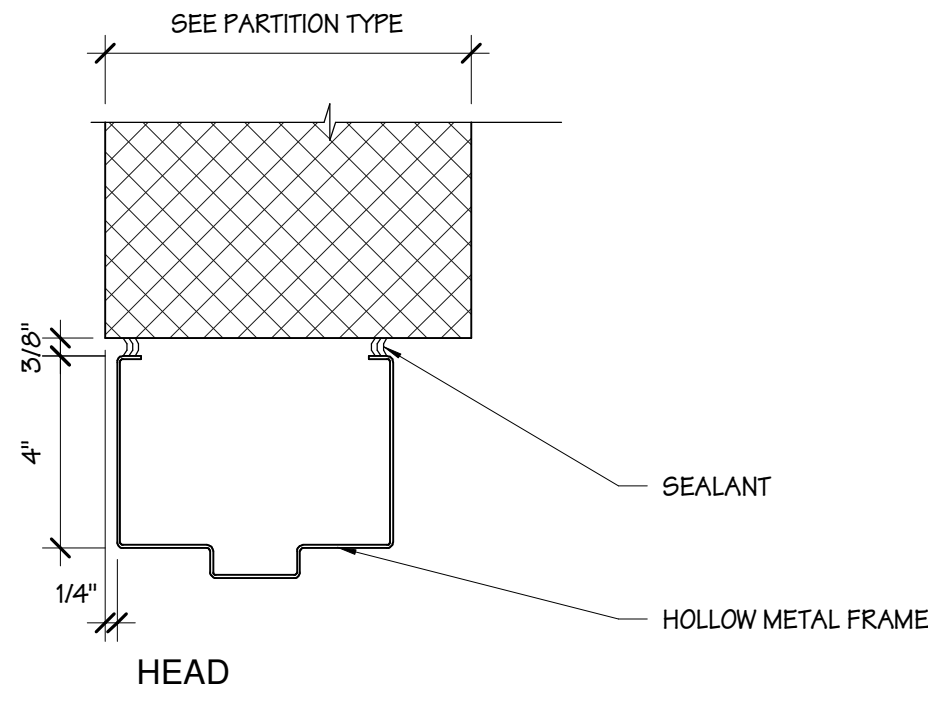
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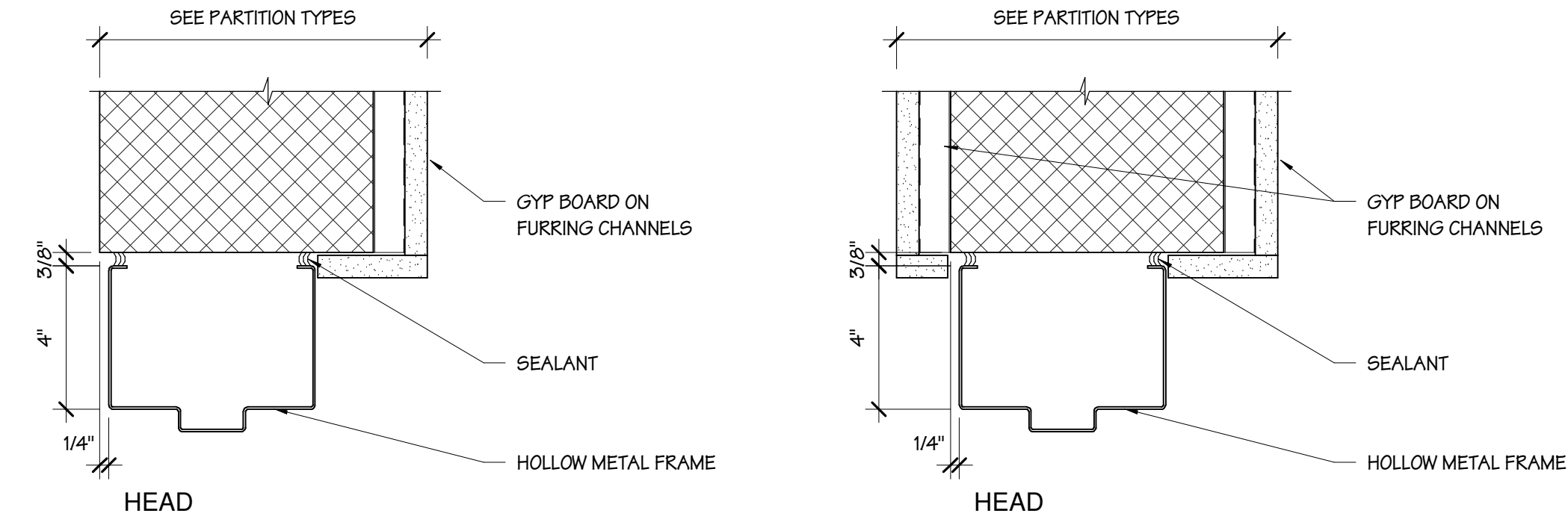


## DOOR SCHEDULE

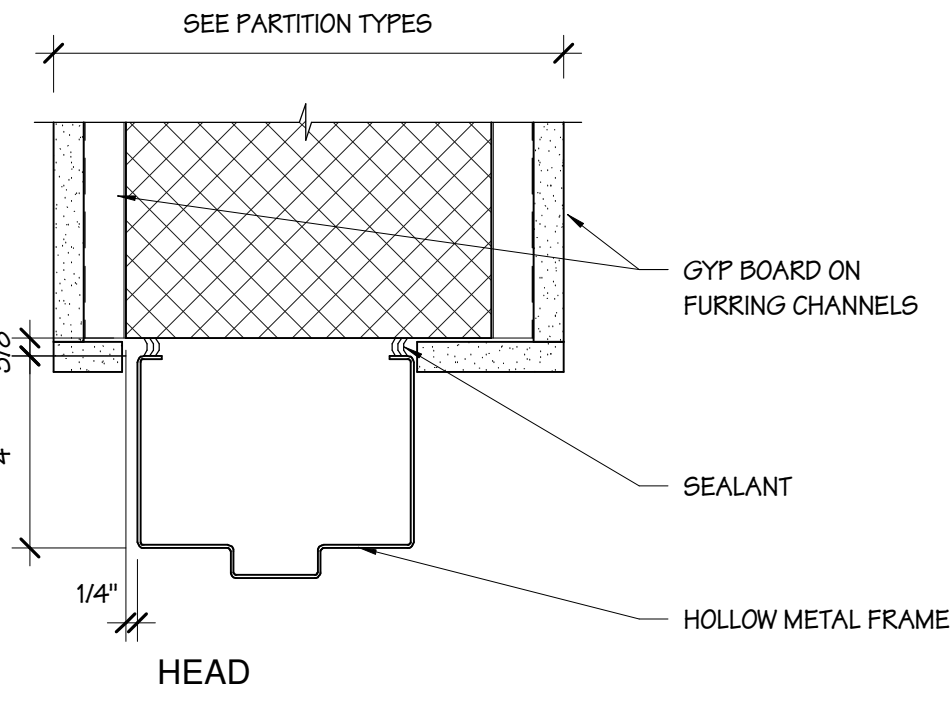
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		TYPE	WIDTH	HEIGHT	THICK	MATL	FINISH	TYPE	MATL	FINISH	SILL			
1S2A	STAIR 2	D	3'-0"	7'-9 1/2"	1 3/4"	AL	PVDF		AL	KYNAR				
1S2B	STAIR 2	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	2	HM	PAINT	F2	F2	1 HR	09
2S2	STAIR 2	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	2	HM	PAINT	F2	F2	1 HR	09
100	VESTIBULE	H	6'-0"	8'-0"	1 3/4"	AL	PVDF	ESF-1	AL	KYNAR				
101	VESTIBULE	H	6'-0"	8'-0"	1 3/4"	AL	PVDF	ESF-2	AL	KYNAR				
102A	VESTIBULE	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	2	HM	PAINT	F3	F3		
102B	VESTIBULE	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	2	HM	PAINT	F3	F3		
103	ADMINISTRATION	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
104	SECURE FILES	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
105	IDF 1	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
106	QUARTERMASTER	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
107	ARMORY	A	3'-0"	7'-0"	1 3/4"	MTL	PAINT	2	HM	PAINT	F2	F2		
108	WEAPONS CLEANING	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	3	HM	PAINT	F4	F4		
109	BREAK ROOM	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	2	HM	PAINT	F2	F2	1 HR	20
110	FLEX	A	3'-0"	7'-0"	1 3/4"	DHM	PAINT	2	DHM	KYNAR	F2	F2	1 HR	22
111	DETENTION	A	3'-0"	7'-0"	1 3/4"	DHM	PAINT	2	DHM	KYNAR	F1	F1	1 HR	23
113A	SALLY PORT	A	3'-0"	7'-0"	1 3/4"	DHM	PAINT	2	DHM	KYNAR				
113B	SALLY PORT	J	12'-0"	10'-0"	1 1/2"	MTL	PAINT		AL	KYNAR				
114A	REAR VESTIBULE	D	3'-0"	8'-0"	1 3/4"	AL	PVDF	ESF-12	AL	KYNAR				
114B	REAR VESTIBULE	D	3'-0"	7'-0"	1 3/4"	AL	PVDF	ESF-13	AL	KYNAR				
115A	SERGEANTS	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
115B	SERGEANTS	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
116	PATROL	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
117	PATROL STORAGE	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
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120	SERGEANT	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
121	SUPPLY ROOM	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
122	CHIEF	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
123	TOILET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
124	CONFERENCE	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
125	INTERVIEW ROOM	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
126A	COMPLAINT ROOM	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	2	HM	PAINT	F3	F3		
126B	COMPLAINT ROOM	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
127	MENS TOILET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
128	HOUSEKEEPING	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
128	WOMENS TOILET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
130	EVIDENCE RECORDING	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	2	HM	PAINT	F2	F2	1 HR	19
131	PROPERTY ROOM	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	2	HM	PAINT	F1	F1	1 HR	19
132	ACT 79 GUN STORAGE	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	2	HM	PAINT	F1	F1	1 HR	18
150	TOILET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
151	TOILET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
152	CORRIDOR	D	3'-0"	7'-10"	1 3/4"	AL	PVDF		AL	KYNAR				
153A	COMMISSIONERS' MEETING ROOM	F	6'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4	45 MIN	11
153B	COMMISSIONERS' MEETING ROOM	F	6'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4	45 MIN	11
154	CHAIRS	E	6'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
155	AV MONITOR	C	3'-0"	7'-0"	1 3/4"	AL	PVDF	ISF-1	AL	KYNAR				
156	WATER/SPRINKLER	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
157A	CAUCUS ROOM	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
157B	CAUCUS ROOM	D	3'-0"	7'-0"	1 3/4"	AL	PVDF	ESF-6	AL	KYNAR				
158	TOILET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
159	CLOSET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
160	DUMPSTER ENCLOSURE	A	3'-0"	7'-0"	1 3/4"	HM	PVDF	2	HM	PAINT	F1	F1		
161	EXTERIOR SECURITY GATE	K	3'-0"	5'-8"	1 3/4"	MTL	PAINT							
201	MEETING	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
202	TOILET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
203	LOBBY	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
204A	SEWER AUTHORITY WORKSTATION	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
204B	SEWER AUTHORITY WORKSTATION	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
205	SEWER AUTHORITY	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
206	RECEPTIONIST	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
207	FINANCE ASSISTANT	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
208	FINANCE DIRECTOR / HR	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
210A	MECHANICAL	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
210B	MECHANICAL	A	2'-6"	7'-0"	1 3/4"	AL	PVDF	1	AL	KYNAR				
211	WOMENS TOILET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
212	HOUSEKEEPING	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
213	MENS TOILET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
214	CLOSET	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
215	BREAK ROOM	C	3'-0"	7'-0"	1 3/4"	AL	PVDF	ISF-2	HM	PAINT	F4	F4		
216	IDF 2	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
217	TOWNSHIP MANAGER	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
219	ASSISTANT TOWNSHIP MANAGER	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
220	CONFERENCE	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
221	BUILDING AND ZONING	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
222	CODE OFFICE	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	3	HM	PAINT	F4	F4		
223A	CORRIDOR	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
224	SECURE FILE	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
233	LOBBY	B	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT	F4	F4		
E01	ELEVATOR	A	3'-0"	7'-0"	1 3/4"	WD	STAIN	1	HM	PAINT				



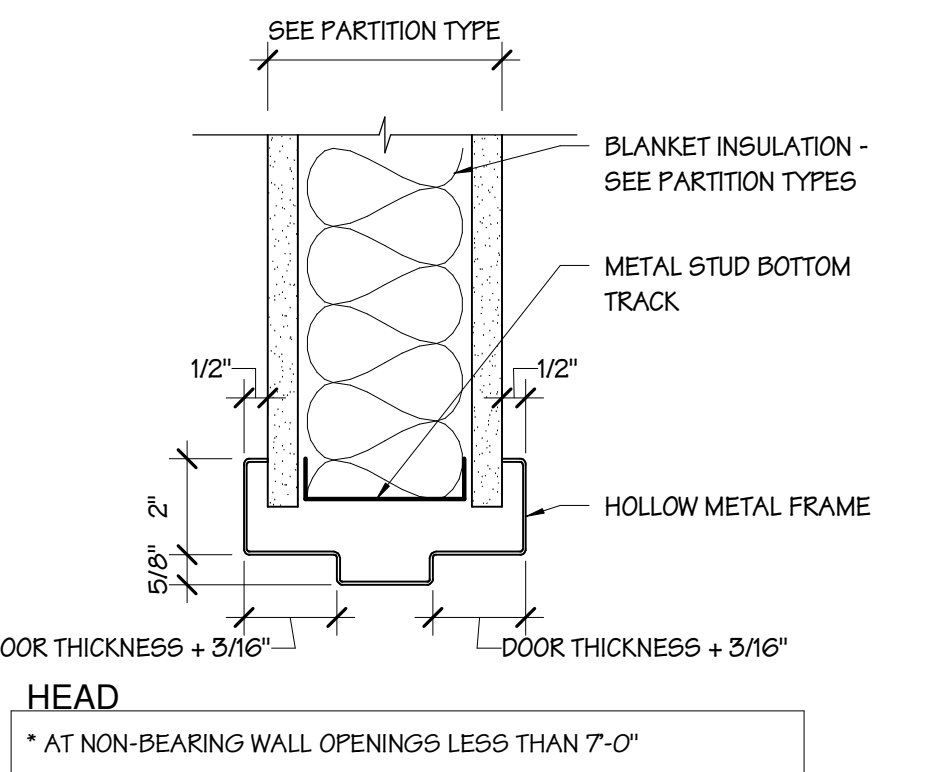
**F1** HM FRAME AT CMU  
SCALE 3" = 1'-0"



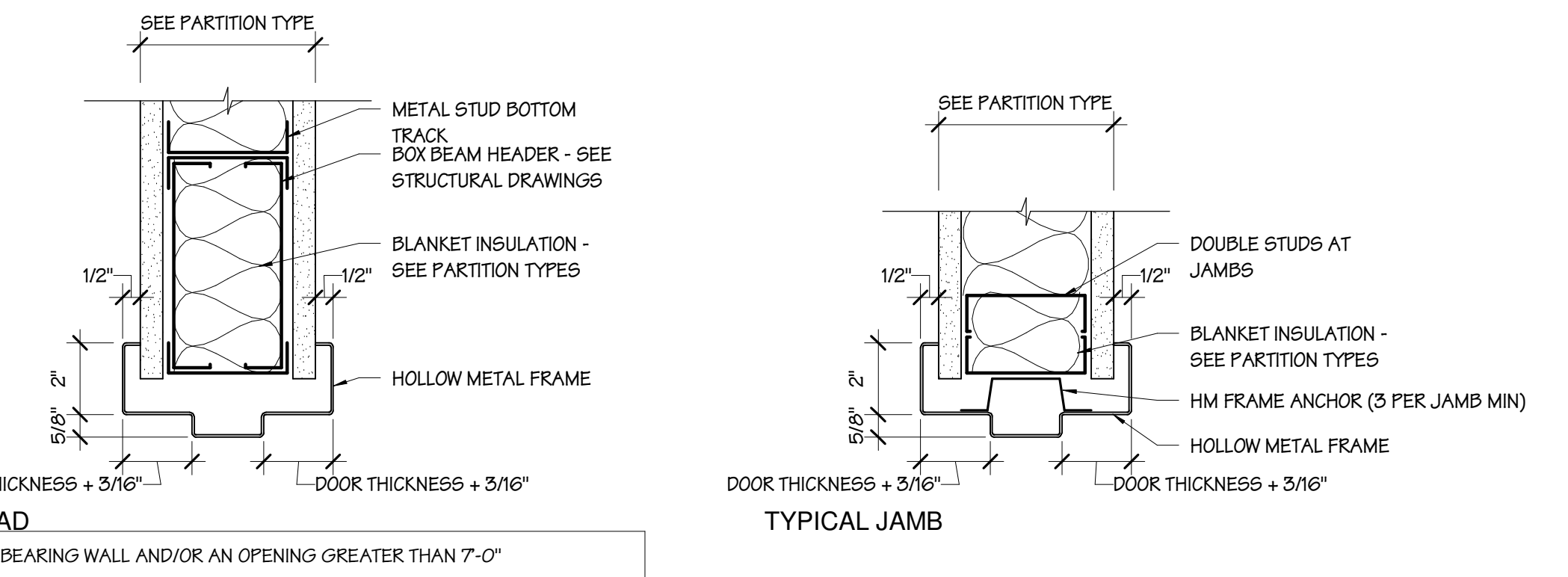
**F2** HM FRAME AT CMU, GYP (1)  
SCALE 3" = 1'-0"



**F3** HM FRAME AT CMU, GYP  
SCALE 3" = 1'-0"



**F4** HM FRAME AT METAL STUD  
SCALE 3" = 1'-0"



**F5** SF FRAME AT MTL STUD  
SCALE 3" = 1'-0"

## DOOR NOTES

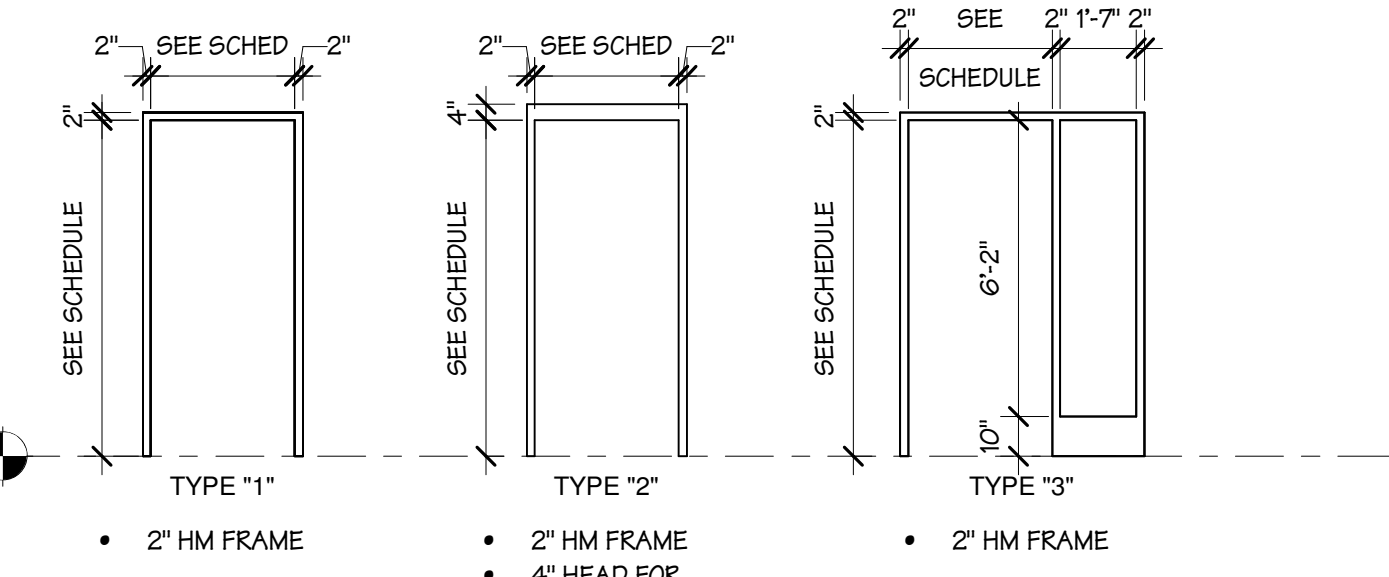
- UNLESS NOTED OTHERWISE, LOCATE FINISH OPENINGS 6" FROM ADJACENT WALL.
- PROVIDE WOOD BLOCKING FOR WALL STOPS.
- "MFR STD" DENOTES MANUFACTURER STANDARD.
- INTERIOR GLAZING SHALL BE 1/4" SAFETY GLASS, UNLESS NOTED OTHERWISE.
- LOCK SETS AND LATCH SETS SHALL BE LEVER TYPE TO MEET ICC A117.1 AND ADA STANDARDS.
- ADJUST DOOR CLOSERS SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES IS 5 SECONDS MINIMUM.
- DOOR-OPENING FORCE FOR INTERIOR HINGED DOORS: 5.0 POUNDS MAXIMUM.
- HARDWARE SHALL BE 3/4 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR.
- F-NUMBERS REFER TO FUNCTIONS OF BUILDERS HARDWARE MANUFACTURERS ASSOCIATION (BHMA) SERIES 4000 BORED LOCKS.
- THRESHOLDS SHALL BE NO HIGHER THAN 1/2" ABOVE FINISH FLOOR, BEVEL EDGES OF THRESHOLD WITH A SLOPE NO GREATER THAN 1 IN 2.
- PROVIDE 10" CLEAR SPACE ON STRIKE/PULL SIDE OF DOORS AND PROVIDE 12" CLEAR SPACE ON STRIKE/PUSH SIDE OF DOORS FOR DOORS WITH LATCH AND CLOSER.
- DOORS WITH VISION LITES SHALL HAVE THE BOTTOM OF GLAZING ON AT LEAST ONE PANEL ON EITHER THE DOOR OR ADJACENT SIDE LITE 45" MAXIMUM ABOVE THE FINISH FLOOR.

## DOOR AND FRAME MATERIALS

- AL ALUMINUM
- DHM DETENTION HOLLOW METAL
- EMP EMBOSSED HARD BOARD FACE
- FG FIBERGLASS
- GL GLASS
- GALV GALVANIZED
- HM HOLLOW METAL
- INS INSULATED
- PLAM PLASTIC LAMINATE
- SG SAFETY GLASS
- SS 18 GAUGE STAINLESS STEEL
- STL STEEL
- WD WOOD
- WD/HC WOOD HOLLOW CORE
- WD/SC WOOD SOLID CORE
- WG WIRED GLASS

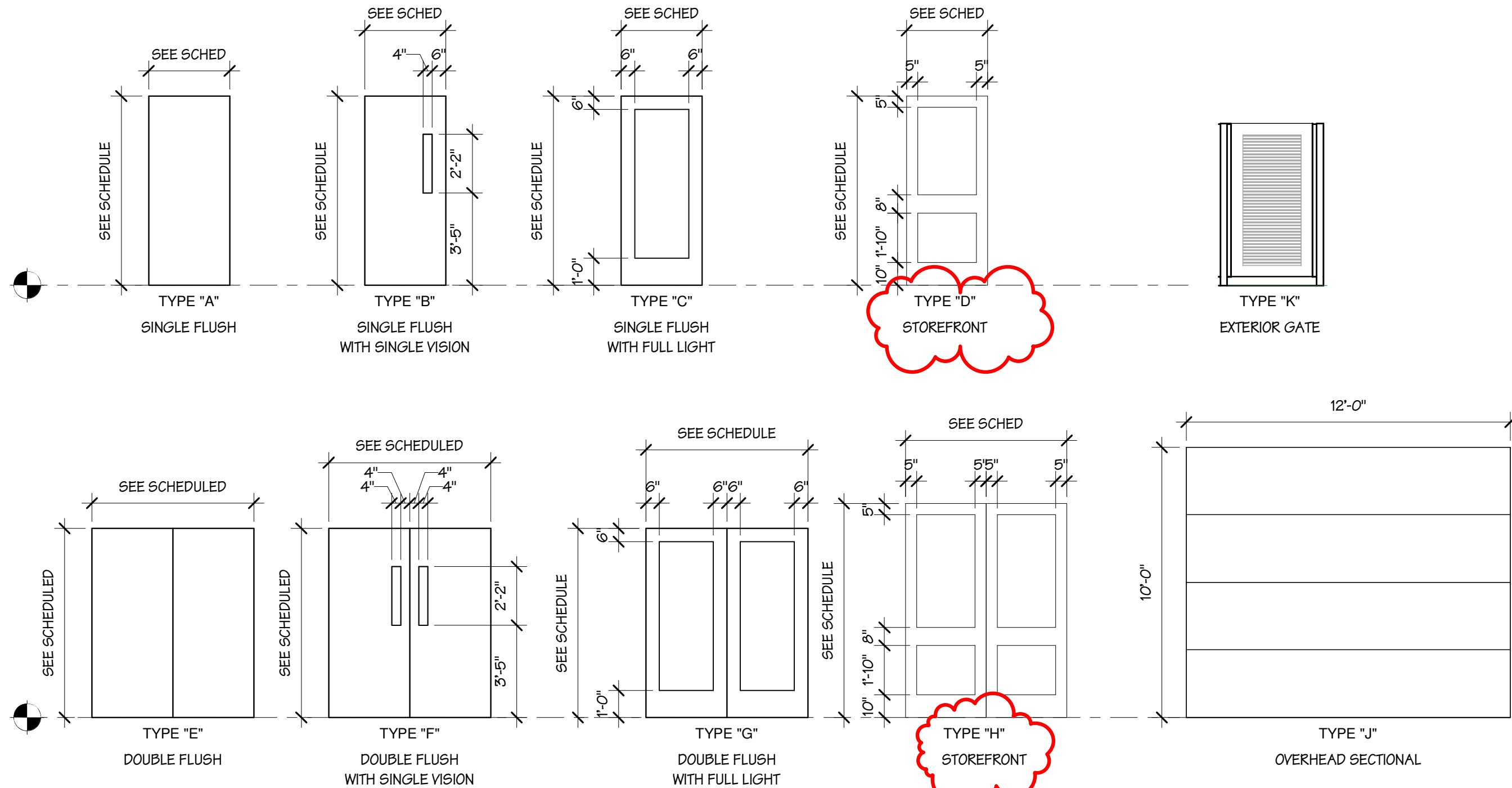
## DOOR FRAME TYPES

SCALE 1/4" = 1'-0"



## DOOR TYPES

SCALE 1/4" = 1'-0"





## GENERAL NOTES

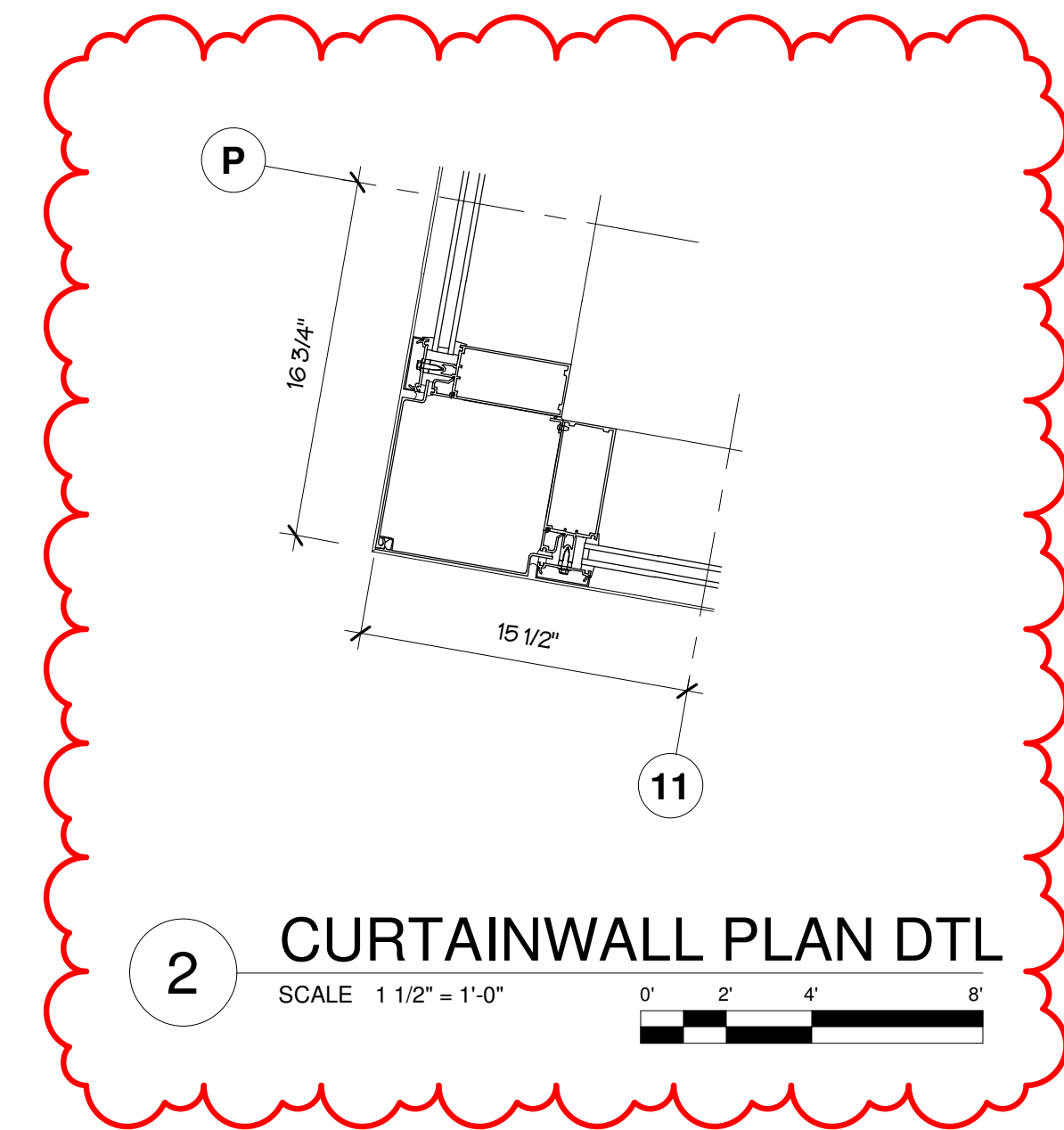
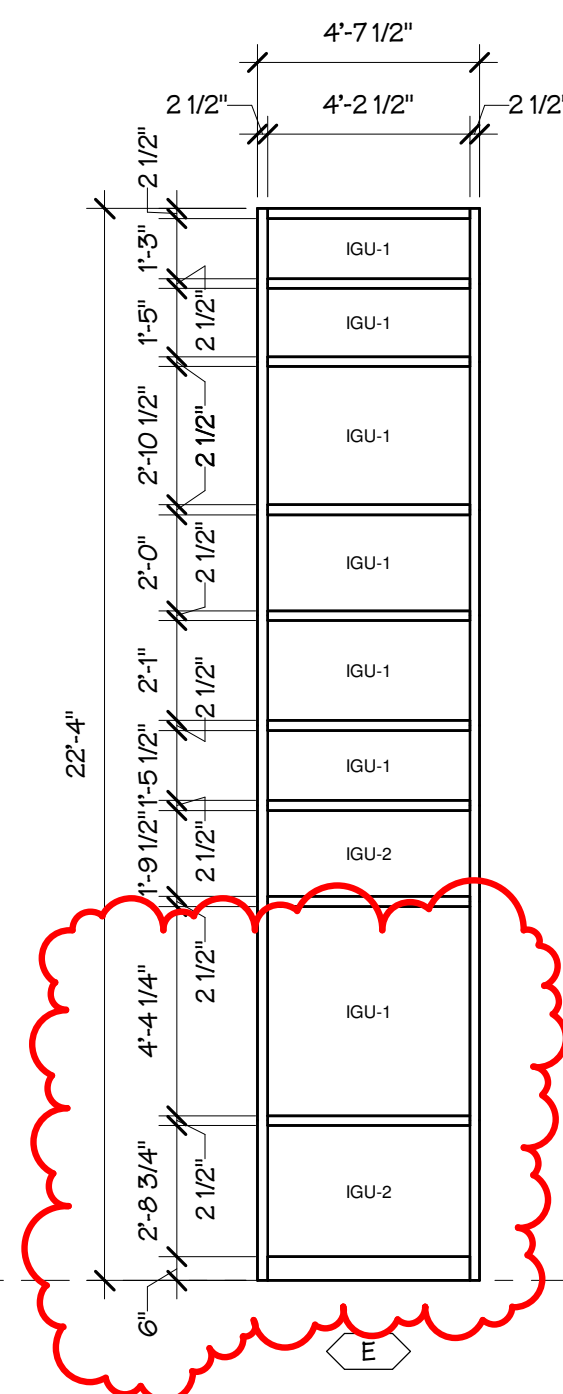
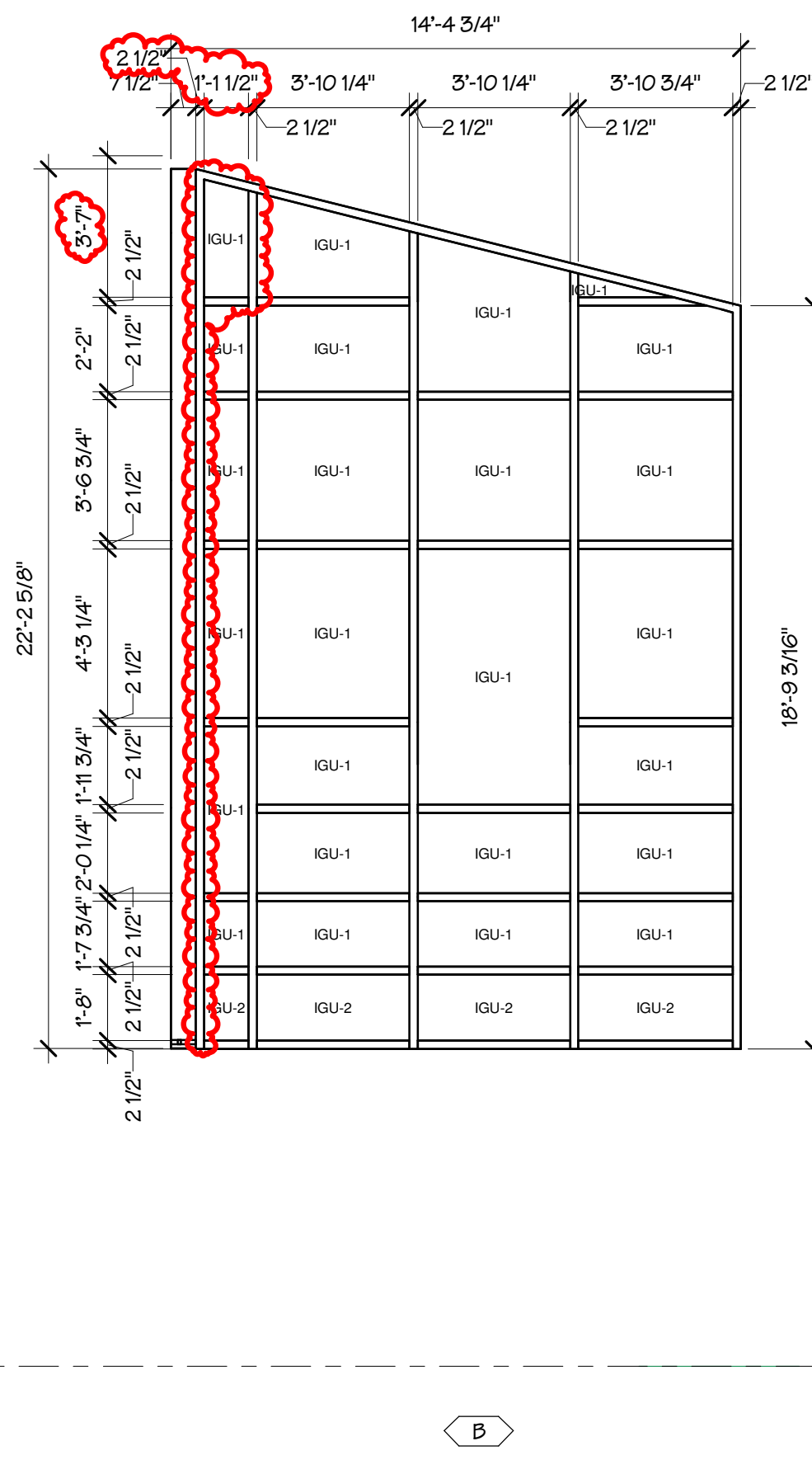
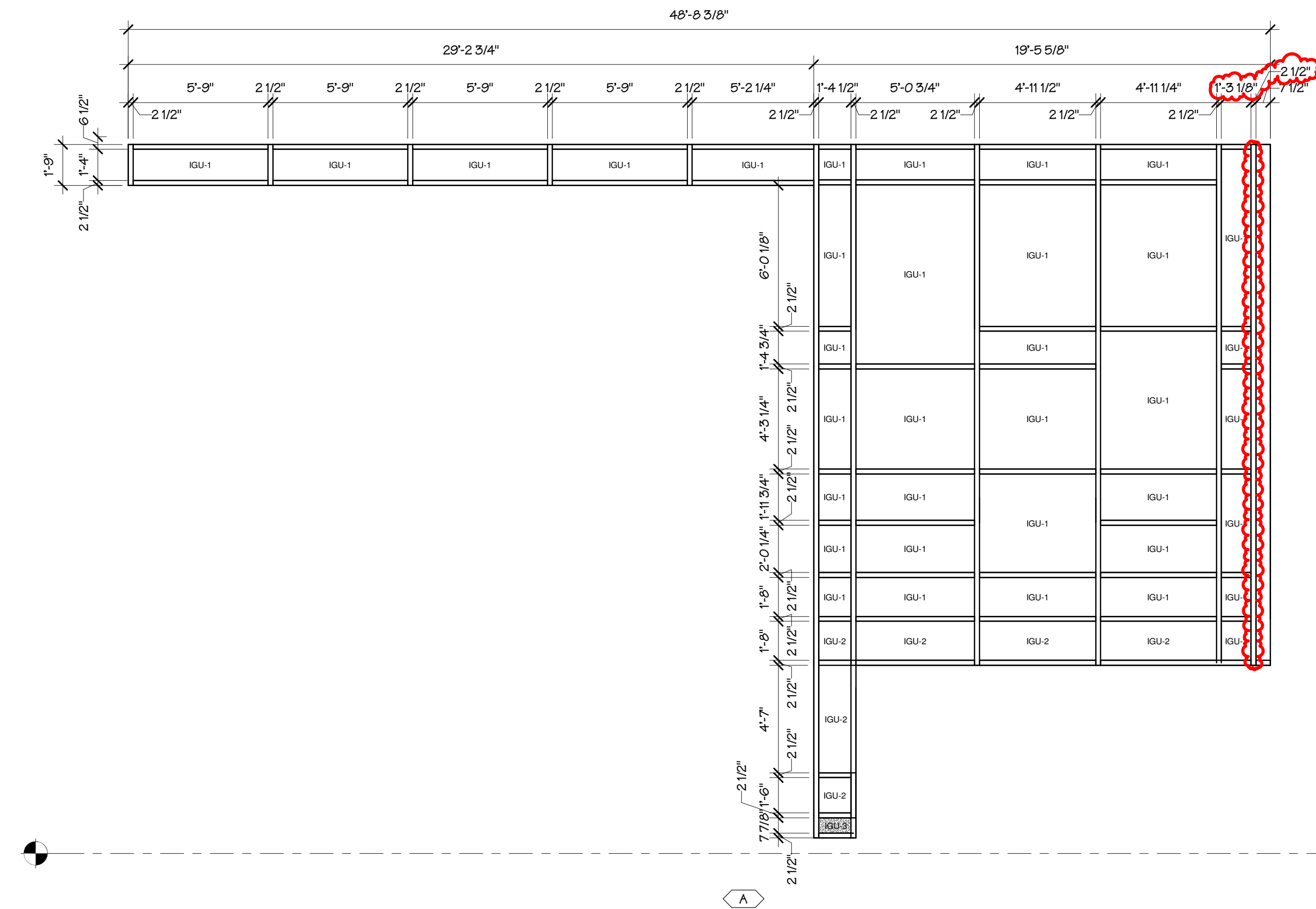
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WINDOW UNIT DIMENSIONS SHOWN AND THEIR ROUGH OPENINGS. IF DIFFERENT STOREFRONT AND CURTAIN WALL SYSTEMS ARE INSTALLED OTHER THAN SPECIFIED BASIS-OF-DESIGN UNITS, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WINDOW SIZES, PERFORMANCE, OPERATION, EGRESS COMPLIANCE, AND FOR RESUBMITTING PROOF OF ENERGY COMPLIANCE TO THE A.H.J.
- PROVIDE MG-1 GLAZING IN ALL ALUMINUM ENTRANCE DOORS IN ALUMINUM STOREFRONT AND CURTAIN WALL SYSTEMS.

## STOREFRONT AND CURTAIN WALL GENERAL NOTES

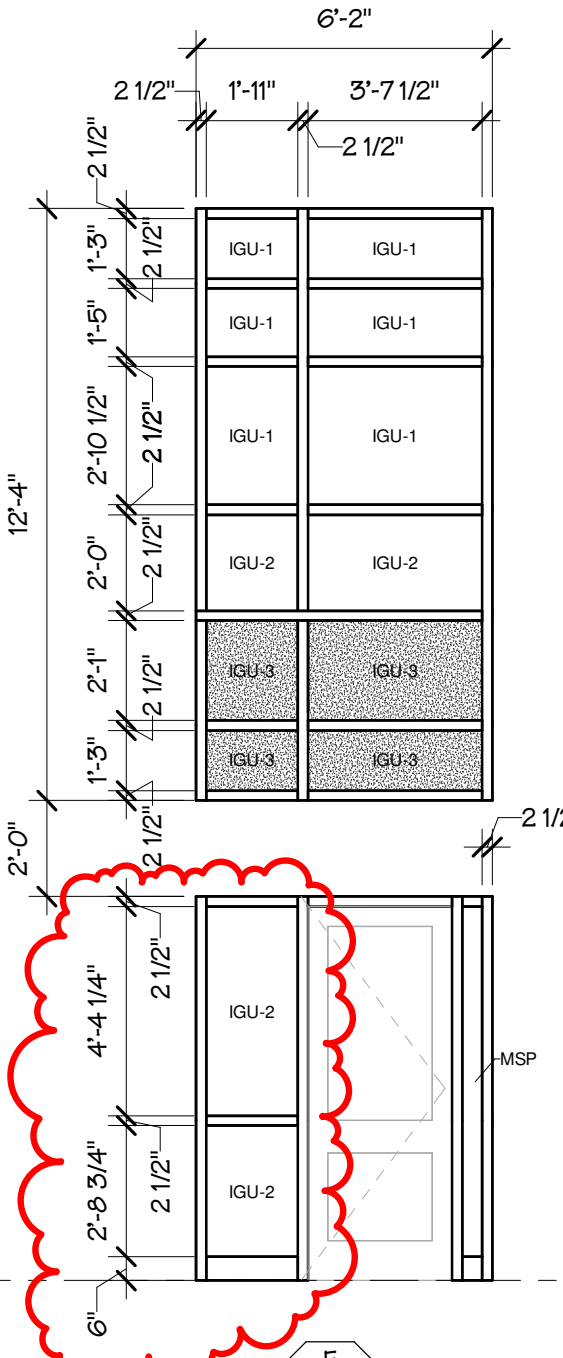
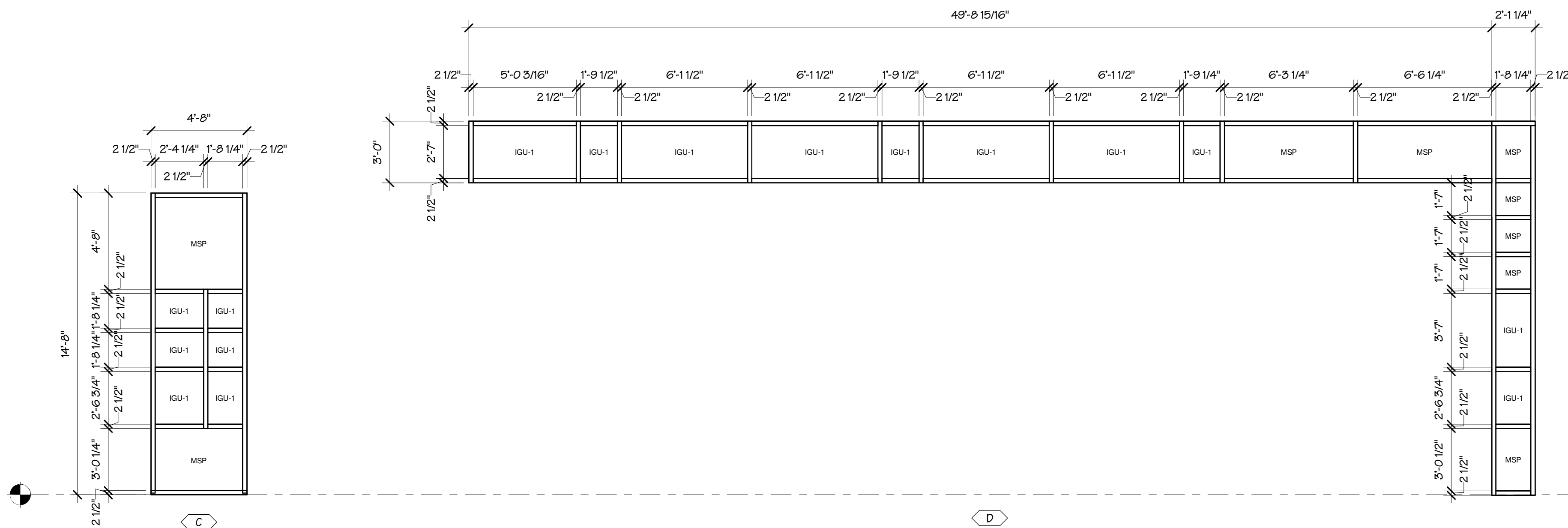
- PERIMETER DIMENSIONS ARE TO EDGE OF MULLION FRAME.
- INTERIOR DIMENSIONS ARE TO EDGE OF MULLION.
- PRIMARY BACKER ROD AND SEALANT SHALL BE INSTALLED AROUND WINDOW FRAME (BOTH SIDES). DO NOT BLOCK WINDOW DRAIN SYSTEM. SECONDARY SEALANT SHALL BE INSTALLED AT WINDOW FRAME HEAD AND BOTH JAMBS ONLY. SILL TO REMAIN SEALANT FREE TO MAINTAIN DRAINAGE. SECONDARY SEALANT AT HEAD AND JAMBS, TO BE SELECTED BY ARCHITECT.

## GLAZING LEGEND

MG-1:	MONOLITHIC GLASS (TEMPERED)
MG-2:	FIRE-RATED GLAZING
IGU-1:	INSULATED GLASS UNIT
IGU-2:	INSULATED GLASS UNIT (TEMPERED)
IGU-3:	INSULATED GLASS UNIT (CERAMIC-COATED SPANDREL)
IGU-4:	INSULATED GLASS UNIT (TEMPERED; ONE-WAY)
MSP:	METAL SPANDREL PANEL



1 CURTAIN WALL ELEVATIONS, 7 1/2" MULLIONS  
SCALE 1/4" = 1'-0"



3 CURTAIN WALL ELEVATIONS, 6" MULLIONS  
SCALE 1/4" = 1'-0"

Project:  
**ASTON TOWNSHIP  
MUNICIPAL COMPLEX**  
3264 Concord Road  
Aston, PA 19014

Owner:  
**ASTON TOWNSHIP**  
2 New Road  
Suite 123  
Aston, PA 19014

Revision/Issue:  
0 03/29/24 Issued  
1 04/09/24 Revisions  
2 04/17/24 Revisions

Drawn: Author  
Reviewed: PAS  
Contact: Paul Andrew Sgroi  
Project Number: 2301.00-22

Sheet Title:  
**EXTERIOR  
STOREFRONT  
ELEVATIONS**

Sheet Number:

**A-612**

## GENERAL NOTES

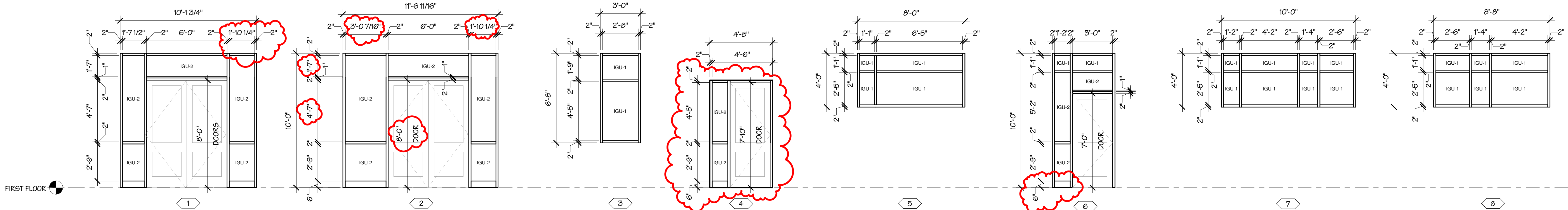
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WINDOW UNIT DIMENSIONS SHOWN AND THEIR ROUGH OPENINGS. IF DIFFERENT STOREFRONT AND CURTAIN WALL SYSTEMS ARE INSTALLED OTHER THAN SPECIFIED BASIS-OF-DESIGN UNITS, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WINDOW SIZES, PERFORMANCE, OPERATION, EGRESS COMPLIANCE, AND FOR RESUBMITTING PROOF OF ENERGY COMPLIANCE TO THE AHJ.
- PROVIDE MG-1 GLAZING IN ALL ALUMINUM ENTRANCE DOORS IN ALUMINUM STOREFRONT AND CURTAIN WALL SYSTEMS.

## STOREFRONT AND CURTAIN WALL GENERAL NOTES

- PERIMETER DIMENSIONS ARE TO EDGE OF MULLION FRAME.
- INTERIOR DIMENSIONS ARE TO EDGE OF MULLION.
- PRIMARY BACKER ROD AND SEALANT SHALL BE INSTALLED AROUND WINDOW FRAME (BOTH SIDES). DO NOT BLOCK WINDOW WEEP SYSTEM. SECONDARY SEALANT SHALL BE INSTALLED AT WINDOW FRAME HEAD AND BOTH JAMBS ONLY. GILL TO REMAIN SEALANT FREE TO MAINTAIN DRAINAGE. SECONDARY SEALANT AT HEAD AND JAMBS, TO BE SELECTED BY ARCHITECT.

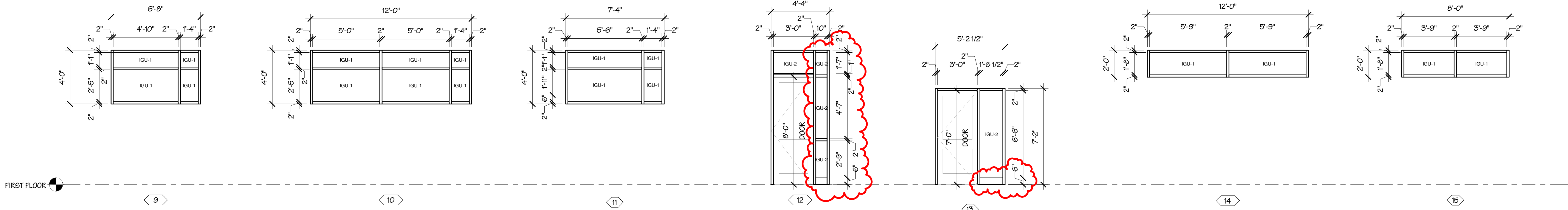
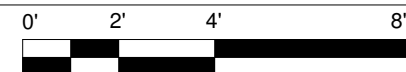
## GLAZING LEGEND

MG-1:	MONOLITHIC GLASS (TEMPERED)
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IGU-1:	INSULATED GLASS UNIT
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IGU-3:	INSULATED GLASS UNIT (CERAMIC-COATED SPANDREL)
IGU-4:	INSULATED GLASS UNIT (TEMPERED, ONE-WAY)
MSP:	METAL SPANDREL PANEL



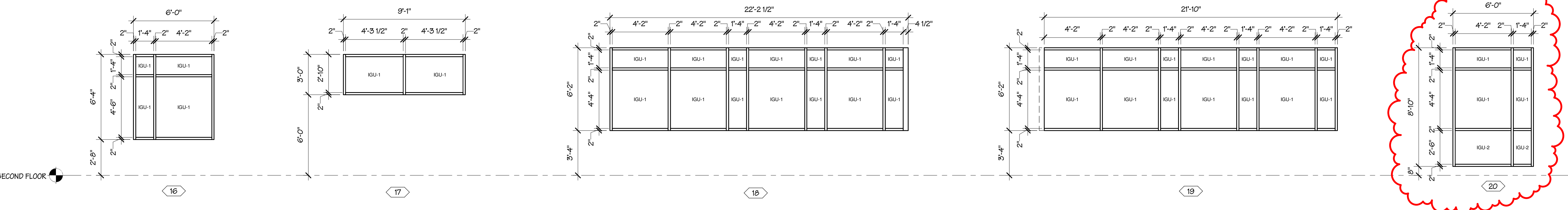
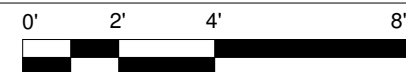
## FIRST FLOOR ELEVATIONS

SCALE 1/4" = 1'-0"



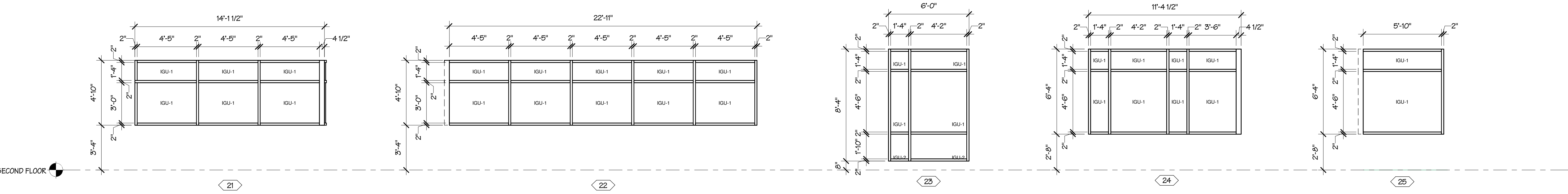
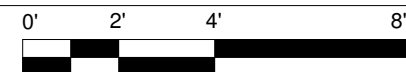
## FIRST FLOOR ELEVATIONS

SCALE 1/4" = 1'-0"



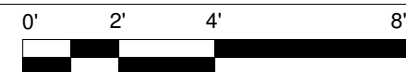
## SECOND FLOOR ELEVATIONS

SCALE 1/4" = 1'-0"

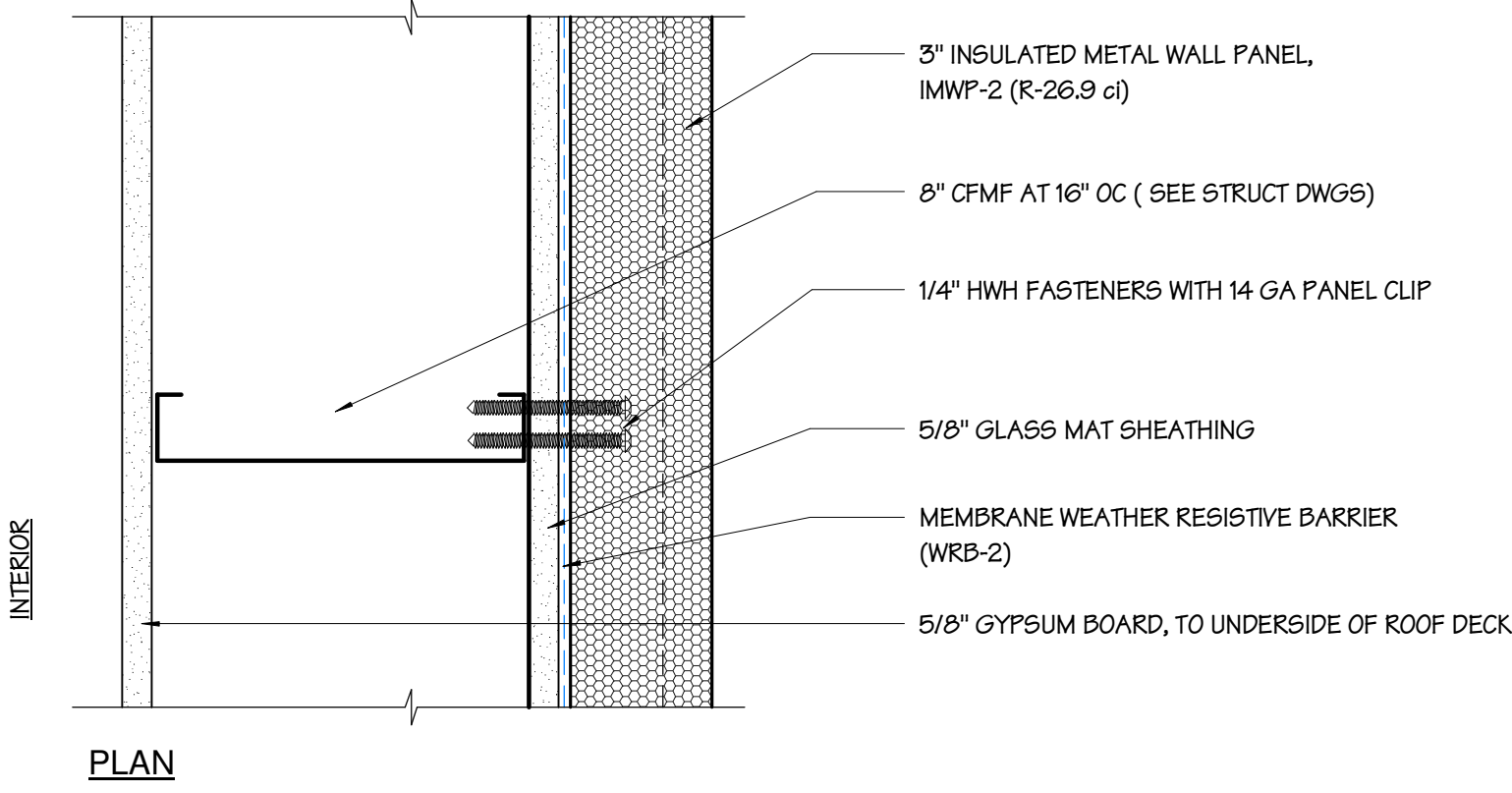
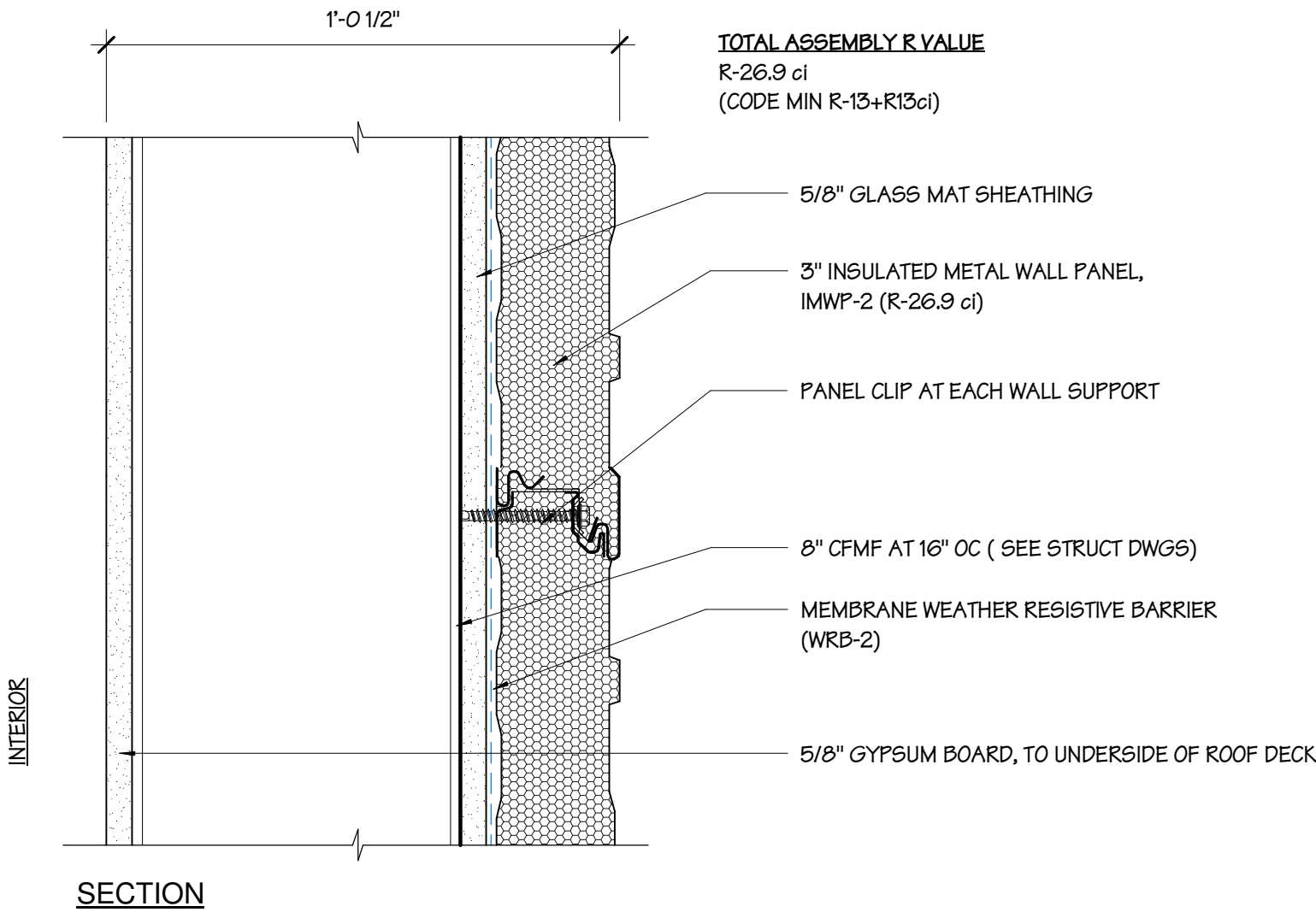


## SECOND FLOOR ELEVATIONS

SCALE 1/4" = 1'-0"

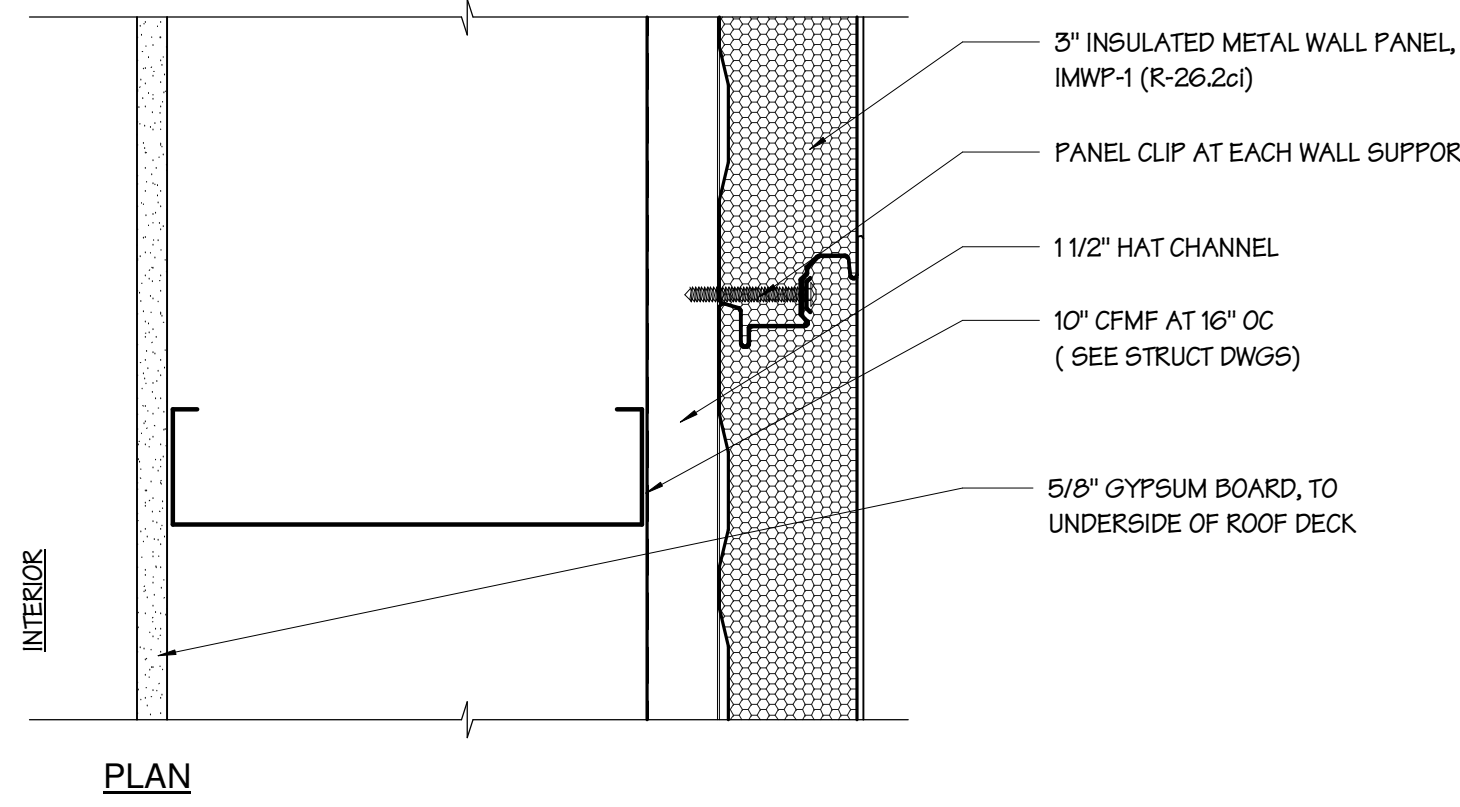
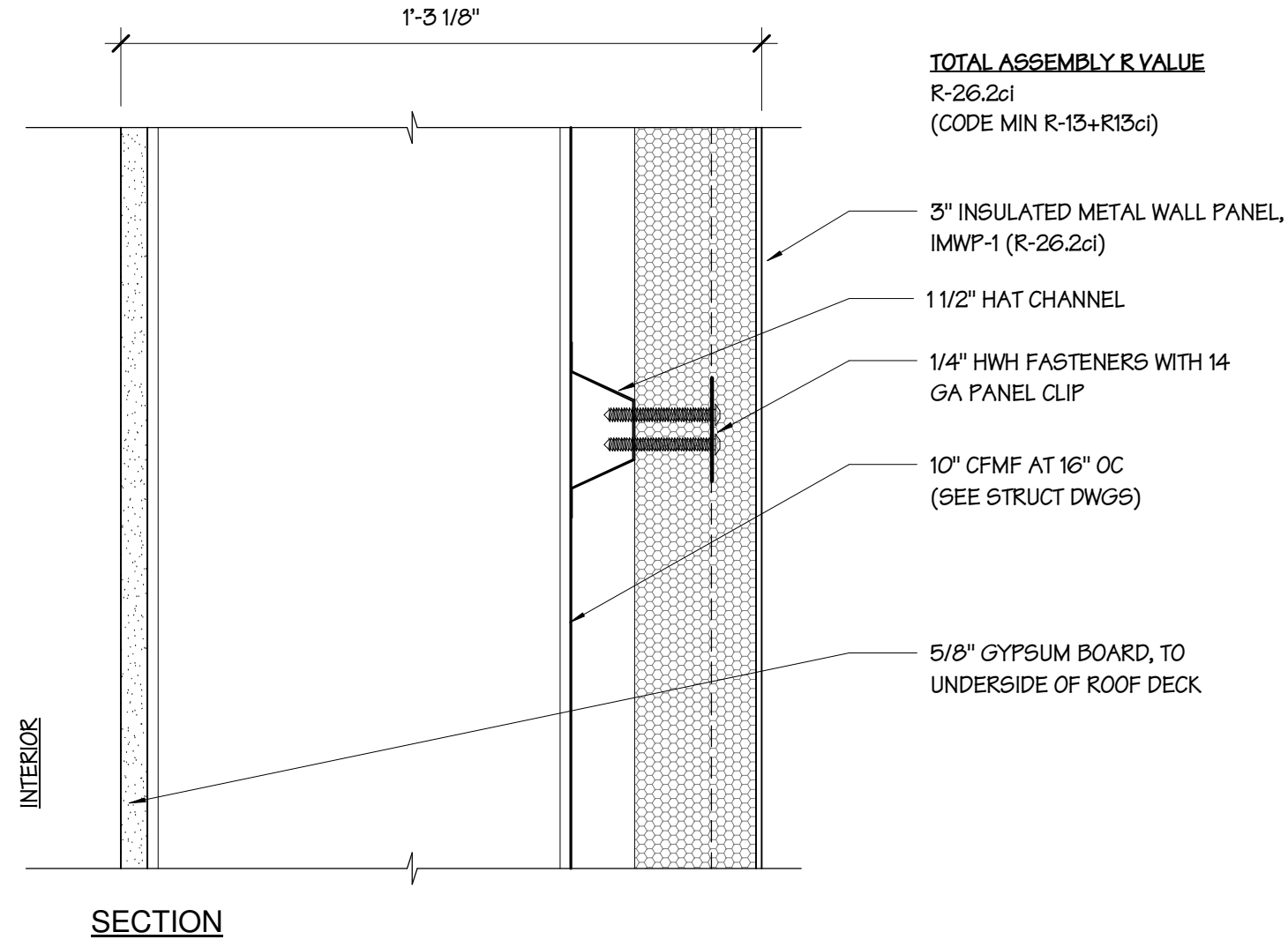
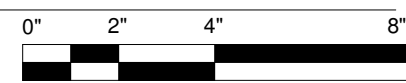






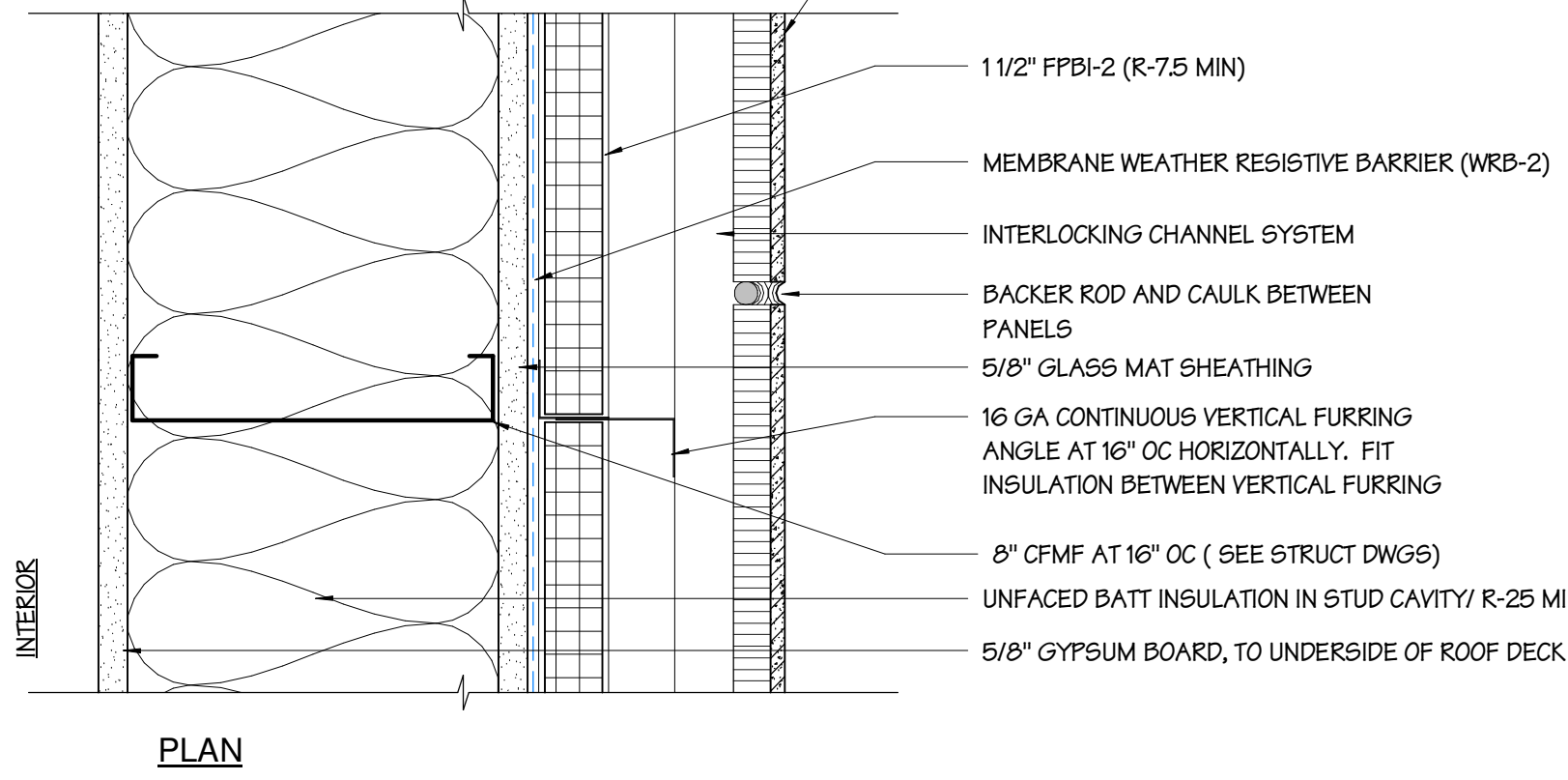
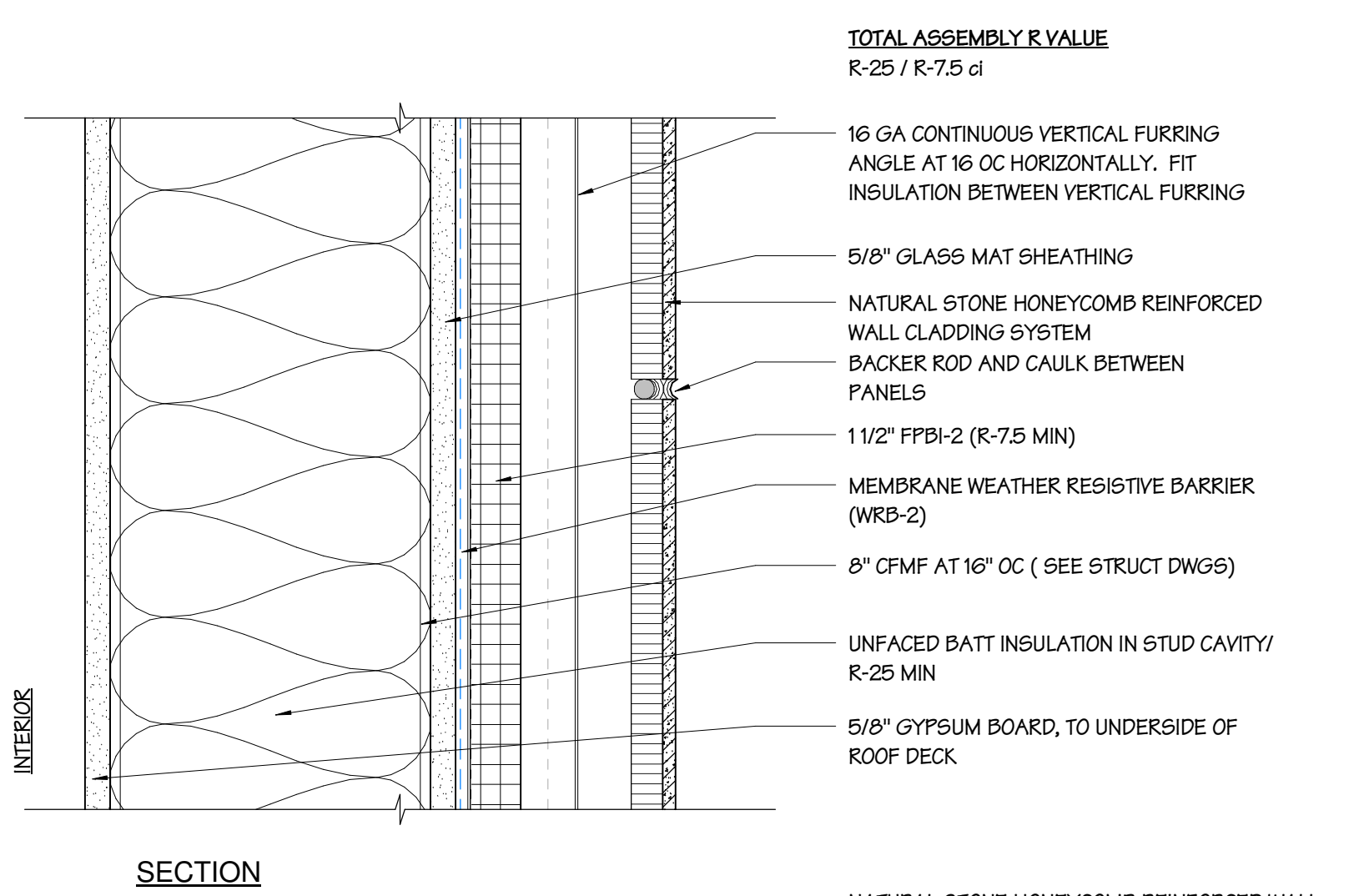
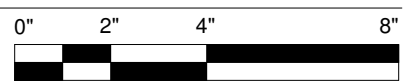
**W9 EXTERIOR WALL SYSTEM**

SCALE 3" = 1'-0"



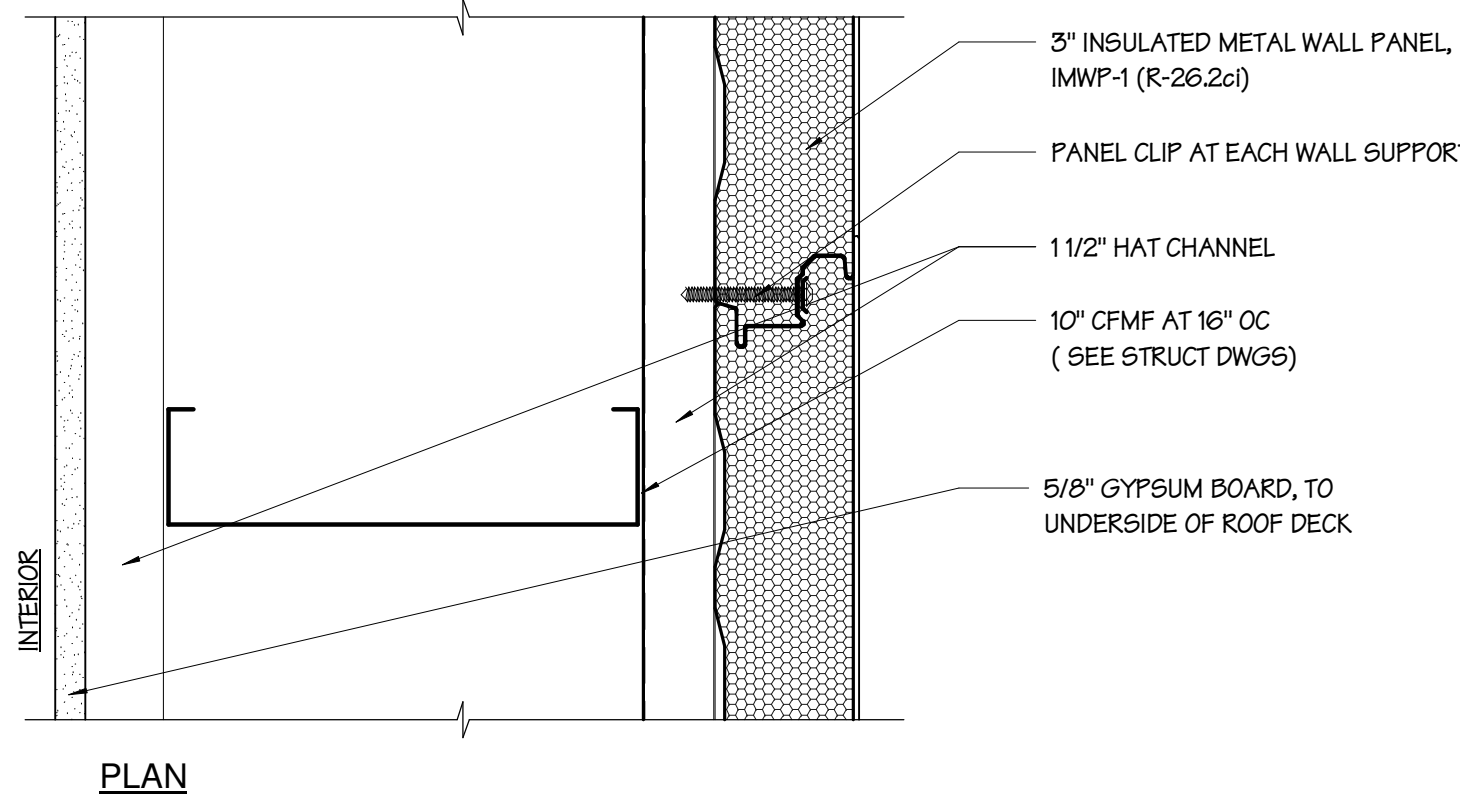
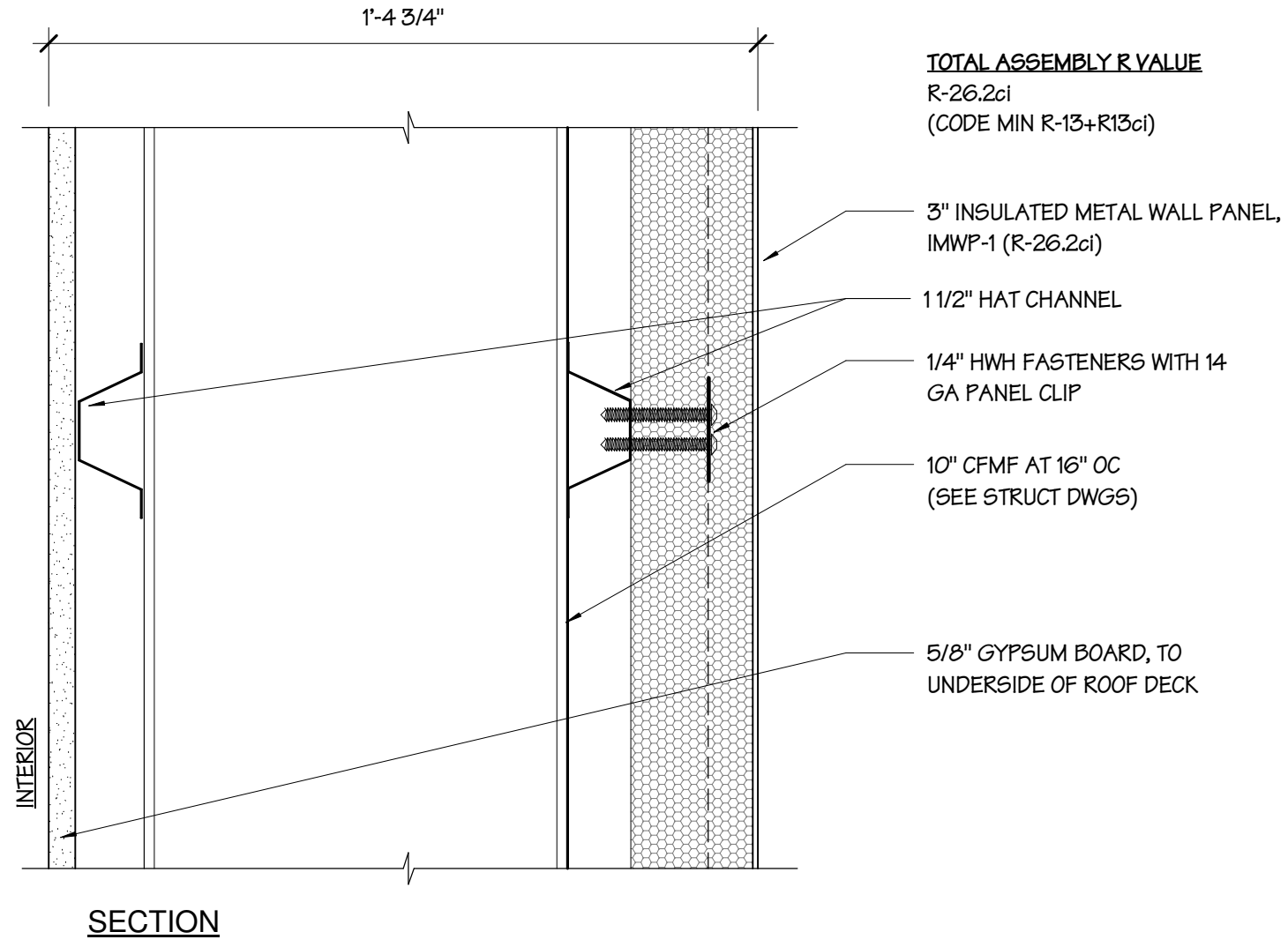
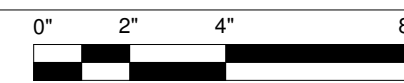
**W10 EXTERIOR WALL SYSTEM**

SCALE 3" = 1'-0"



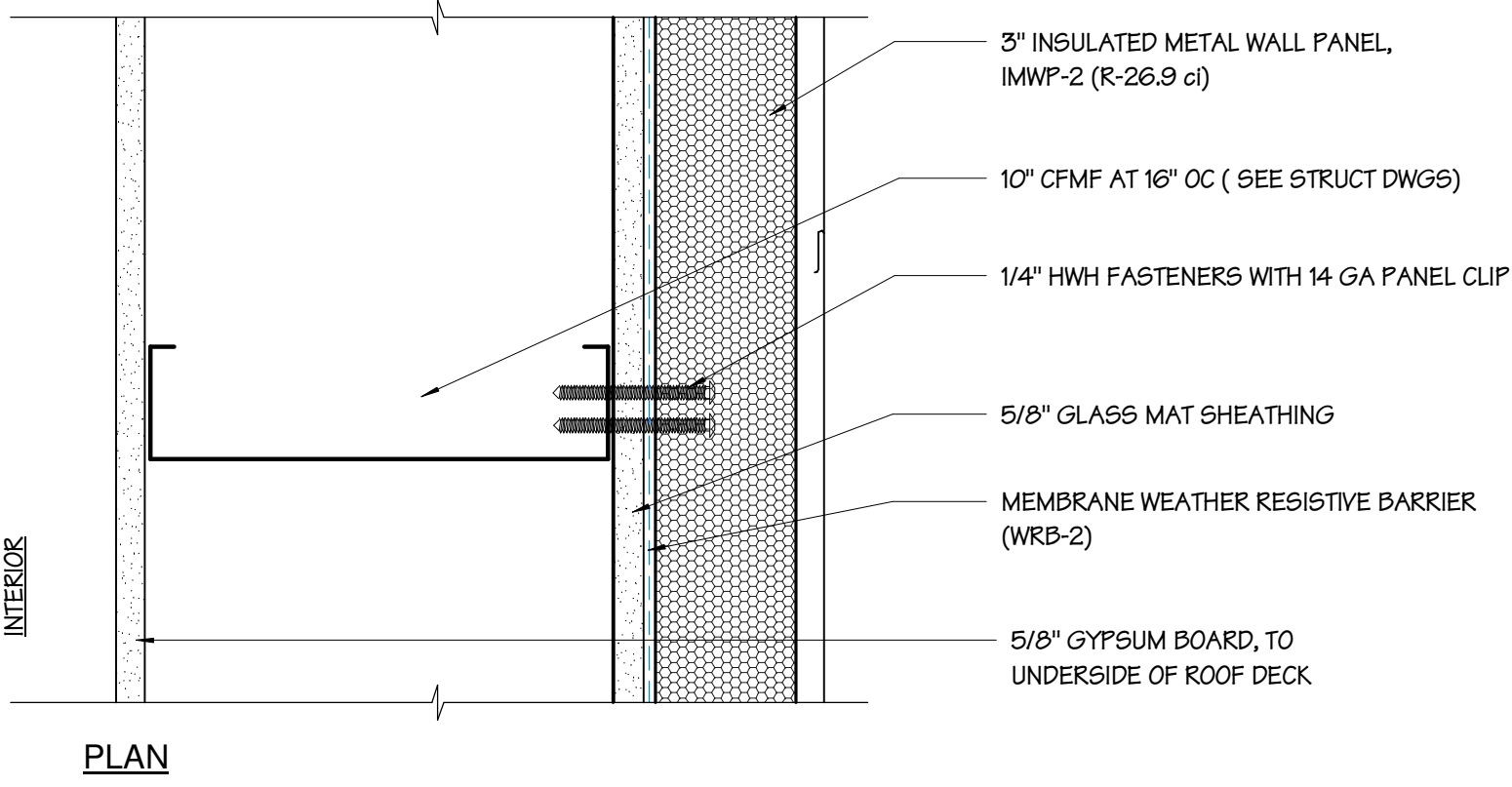
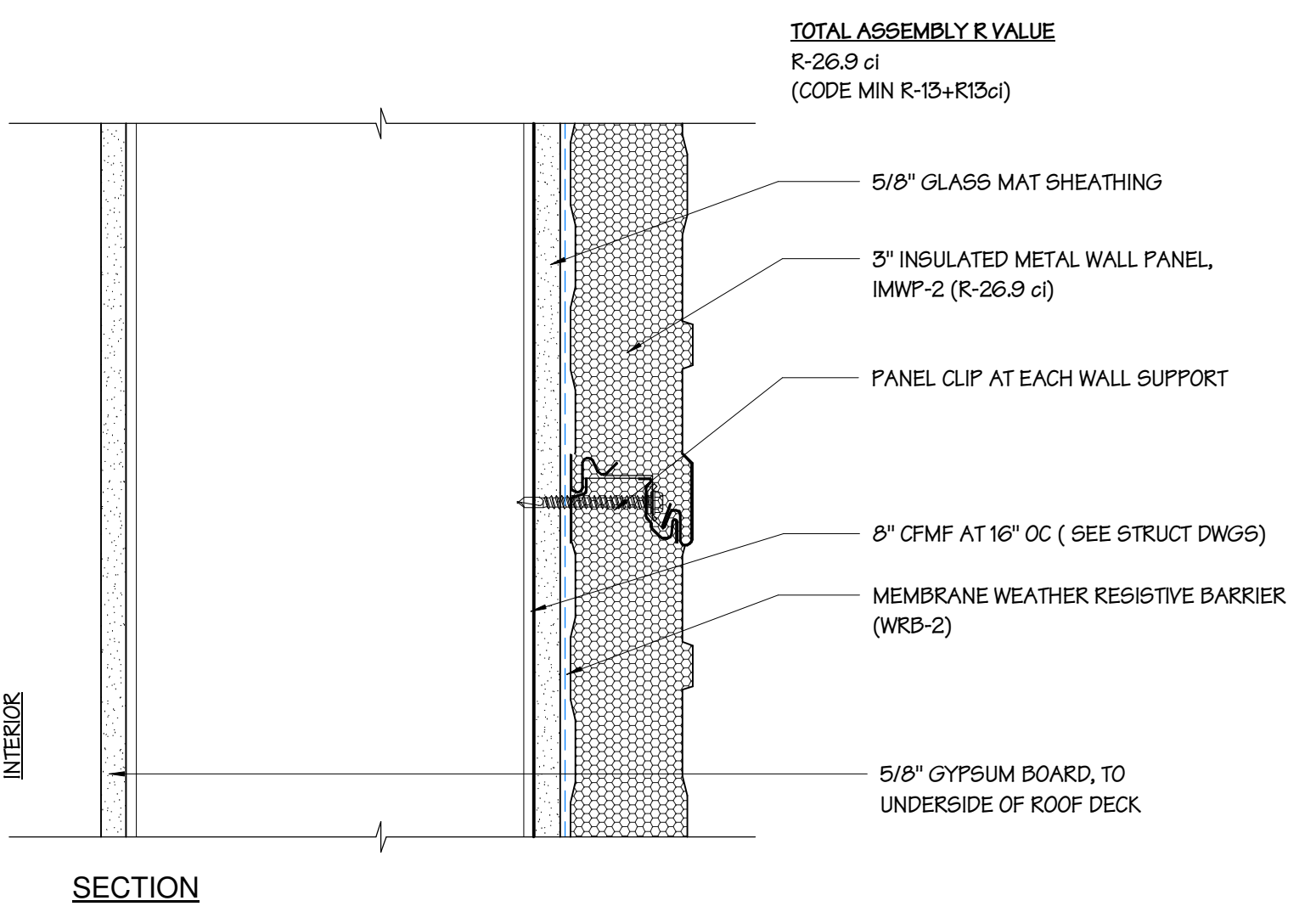
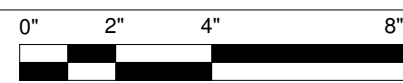
**W11 EXTERIOR WALL SYSTEM**

SCALE 3" = 1'-0"



**W12 EXTERIOR WALL SYSTEM**

SCALE 3" = 1'-0"



**W10A EXTERIOR WALL SYSTEM (W10A)**

SCALE 3" = 1'-0"

