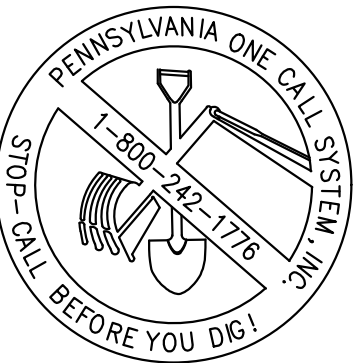


U:\Users\HSA\Documents\2023\TESD - Nursery Property Development\ESD\A\TESD-230001.dwg PLOTTED: 11/20/23 2:15 PM BY: HSA\HSA User PLOT STYLE: Pennoni.dwt PROJECT STATUS: PROJECT STATUS

<b>PROPERTY OWNER</b> COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER ON THE DAY OF _____, 20____, BEFORE ME, NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____, PERSONALLY APPEARED _____, WHO ACKNOWLEDGED TO BE THE OWNER OR EQUITABLE OWNER, OR THE _____ OF _____ A CORPORATION THAT IS THE OWNER OR EQUITABLE OWNER, OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT AS SUCH HE/SHE EXECUTED THE FOREGOING PLAN, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THE SAID OWNER DESIRES THE FOREGOING PLAN BE DULY RECORDED. NOTARY PUBLIC: _____ MY COMMISSION EXPIRES: _____
<b>PROPERTY OWNER</b> COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER ON THE DAY OF _____, 20____, BEFORE ME, NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____, PERSONALLY APPEARED _____, WHO ACKNOWLEDGED TO BE THE OWNER OR EQUITABLE OWNER, OR THE _____ OF _____ A CORPORATION THAT IS THE OWNER OR EQUITABLE OWNER, OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT AS SUCH HE/SHE EXECUTED THE FOREGOING PLAN, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT THE SAID OWNER DESIRES THE FOREGOING PLAN BE DULY RECORDED. NOTARY PUBLIC: _____ MY COMMISSION EXPIRES: _____
<b>TREDYFFRIN TOWNSHIP</b> THIS IS TO CERTIFY THAT THE BOARD OF SUPERVISORS OF TREDYFFRIN TOWNSHIP HAS APPROVED THIS SUBDIVISION PLAN FOR _____, ON THE _____ DAY OF _____, 20____, FOR RECORDING AT THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY, WEST CHESTER, PENNSYLVANIA. OFFERS OF DEDICATION HAVE BEEN ACCEPTED/REJECTED, BONDS, FUNDS OR SECURITIES IN ESCROW HAVE BEEN FILED WITH THE TOWNSHIP AND ACCEPTED TO COVER ALL IMPROVEMENTS SHOWN ON THE PLAN AND REQUIRED UNDER THE SUBDIVISION / LAND DEVELOPMENT AGREEMENT APPROVED THE _____ DAY OF _____, 20____. BOARD OF SUPERVISORS SIGNED THIS _____ DAY OF _____, 20____. CHAIRMAN _____ MEMBER _____ TOWNSHIP ENGINEER _____ ATTEST: _____ MANAGER _____
<b>CHESTER COUNTY PLANNING COMMISSION</b> REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION ON THE DAY _____ DAY OF _____, 20____. SECRETARY _____
<b>RECORDER OF DEEDS</b> RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____ ON THE _____ DAY OF _____, 20____. RECORDER OF DEEDS _____
<b>CERTIFICATE OF DESIGN</b> I, MICHAEL KISSINGER, HEREBY DECLARE THAT I AM A PROFESSIONAL ENGINEER, THAT THE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, SUBDIVISION, BUILDING, SANITATION, AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS EXCEPT AS NOTED. DATE _____, 20____ PROFESSIONAL ENGINEER PA LICENSE NO. _____ DATE _____, 20____ OWNER/APPLICANT REPRESENTATIVE
<b>SURVEYOR'S CERTIFICATE, BOUNDARY &amp; TOPOGRAPHY</b> THIS IS TO CERTIFY THAT THIS PLAN REPRESENTS A FIELD SURVEY BY ME OR UNDER MY SUPERVISION, THAT ALL PROPERTY CORNERS ARE SET AS SHOWN HEREON, THAT ALL GEOMETRIC AND GEODETIC DETAILS AS SHOWN ARE CORRECT, AND THAT ALL LOTS OR TRACTS HAVE A BOUNDARY CLOSURE ERROR OF 1:10,000 OR BETTER. DATE _____ SU # _____
<b>STEEP SLOPE CERTIFICATION</b> I, MICHAEL KISSINGER, HAVE REVIEWED HISTORICAL DATA AND CERTIFY THAT THE SLOPES IN EXCESS OF 15% ARE MAN MADE (REFER TO NATURAL FEATURES PLAN NOTES). DATE _____, 20____ PROFESSIONAL ENGINEER PA LICENSE NO. _____
<b>CERTIFICATE OF DESIGN</b> I, MICHAEL KISSINGER, ON THIS DATE _____, 20____ HEREBY CERTIFY THAT WITHIN REFERENCED DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE TREDYFFRIN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE. PROFESSIONAL ENGINEER _____ PA LICENSE NO. _____



**CALL BEFORE YOU DIG**  
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA  
**CALL 1-800-242-1778**  
PA, ACT 287 OF 1974 REQUIRES THREE WORKING DAYS  
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR  
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.  
SERIAL NUMBER(S): 20223102954

# TESD CONESTOGA ATHLETIC FIELDS

## FINAL

# LOT CONSOLIDATION & LAND DEVELOPMENT PLANS

**TREDYFFRIN TOWNSHIP, CHESTER COUNTY, PA**  
**MARCH 16, 2023**  
**REVISED: MARCH 18, 2024**

PREPARED FOR:  
OWNER / APPLICANT

## TREDYFFRIN EASTTOWN SCHOOL DISTRICT

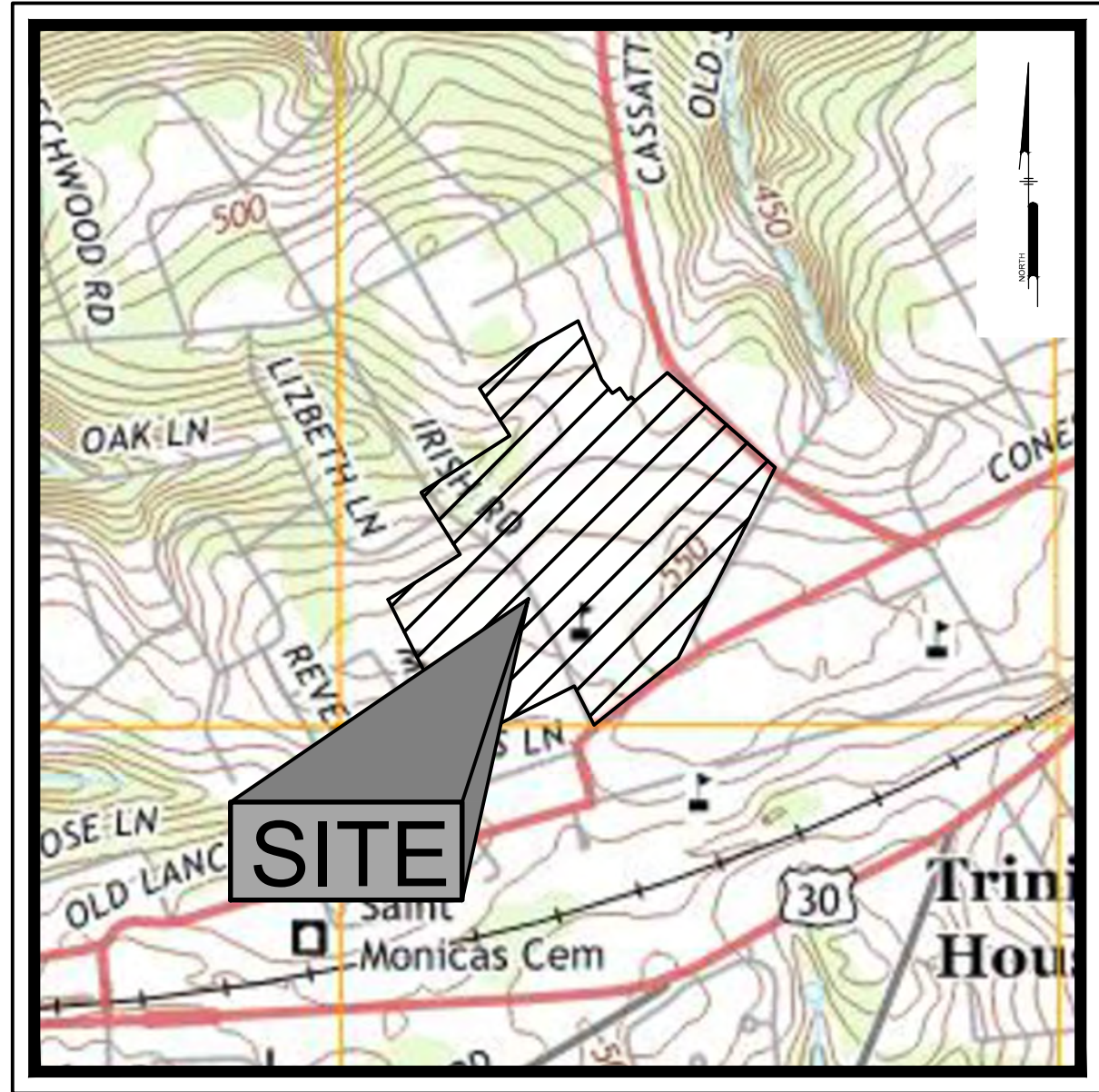
940 WEST VALLEY ROAD, SUITE 1700  
WAYNE, PA 19087  
(610) 240-1900



**SOILS MAP**  
Scale: 1" = 1000'

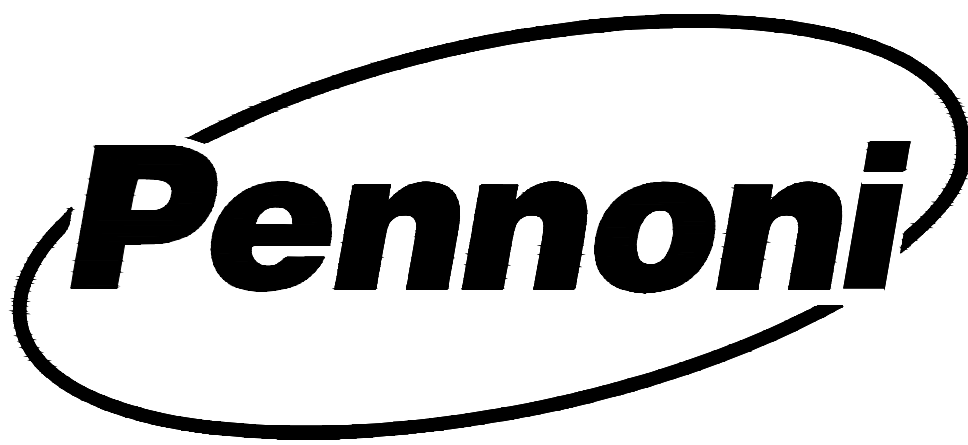


**LOCATION MAP**  
Scale: 1" = 2000'



**USGS MAP**  
Scale: 1" = 800'

PREPARED BY:  
**PENNONI ASSOCIATES INC.**



158 W Gay Street, Suite 300  
West Chester, PA 19380  
T 610.429.8907  
F 610.429.8918

TESD CONESTOGA  
ATHLETIC FIELDS

TREDYFFRIN TOWNSHIP  
CHESTER COUNTY, PA

HSA PROJECT # :21-019



PROJECT TEAM

CLIENT  
Tredyffrin/Easttown School District  
940 West Valley Road, Suite 1700  
Wayne, PA 19087  
(610) 240-1900

ARCHITECTURAL  
Heckendorn Shiles Architects  
347 East Conestoga Road  
Wayne, PA 19087  
610-994-3500

STRUCTURAL ENGINEER  
N/A

MEFP ENGINEER  
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SITE / CIVIL  
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(610) 429-8907

MISC DISCIPLINE  
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CONSTRUCTION

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Δ	DATE	ISSUED FOR
	03/16/2023	LAND DEVELOPMENT SUBMISSION
1	05/18/2023	REVISED PER TWP COMMENTS
2	06/14/2023	REVISED PER CCOC COMMENTS
3	07/20/2023	REVISED PER TWP REVIEW
4	09/26/2023	REV. PER TWP & NPOES REVIEW
5	09/29/2023	REVISED PER SSM REVIEW
6	01/17/2024	ISSUED FOR FINAL SUBMISSION
7	03/18/2024	BID ISSUE

SHEET TITLE

COVER SHEET

DRAWING NUMBER

**CS0001**











TESD CONESTOGA  
ATHLETIC FIELDS

TREDYFFRIN TOWNSHIP  
CHESTER COUNTY, PA

HSA PROJECT # :21-019  
**HSA**  
Heckendorn Shiles Architects

PROJECT TEAM

CLIENT  
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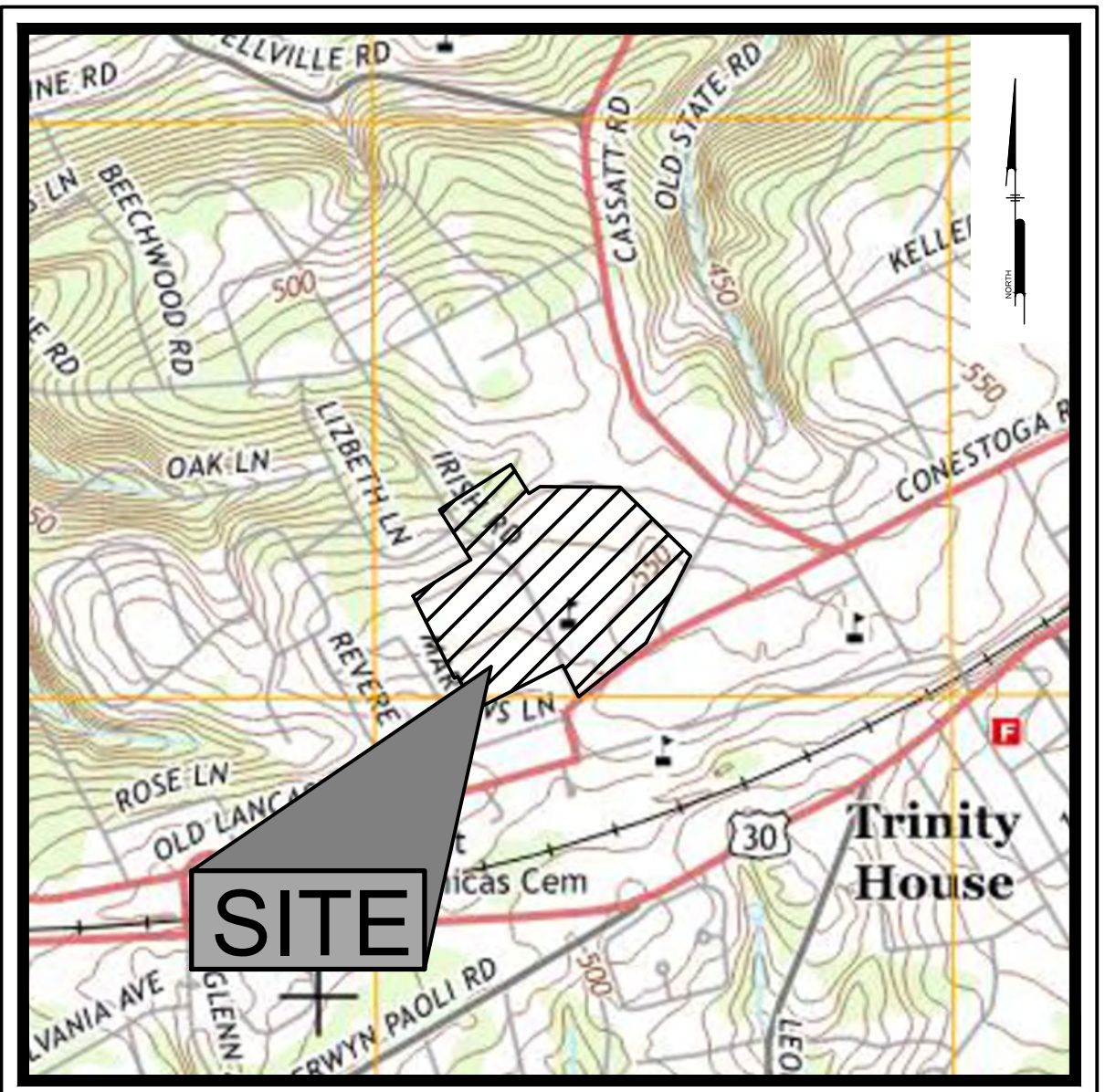
STRUCTURAL ENGINEER  
N/A

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(610) 429-8907

MISC DISCIPLINE  
N/A

NOT FOR  
CONSTRUCTION



USGS MAP  
Scale: 1" = 1000'

WATERSHED LEGEND

- TRIBUTARY 00997 OF LITTLE VALLEY CREEK (VALLEY CREEK WATERSHED)
- CRABBY CREEK TO VALLEY CREEK VIA MARTINS LANE TRIBUTARY (VALLEY CREEK WATERSHED)
- DARBY-COBBS CREEK WATERSHED
- TROUT CREEK WATERSHED

SLOPE LEGEND

- STEEP SLOPES (15%-25%)
- VERY STEEP SLOPES (25%+)

STEEP SLOPE CALCULATIONS

PARCEL		EXISTING	DISTURBED
43-10F-153.1	STEEP SLOPES (15-25%)	7,153 SF (0.16 AC)	4,519 SF (0.10 AC)
	VERY STEEP SLOPES (25%+)	3,611 SF (0.08 AC)	2,190 SF (0.05AC)
43-10F-154	STEEP SLOPES (15-25%)	28,704 SF (0.66 AC)	3,016 SF (0.07 AC)
	VERY STEEP SLOPES (25%+)	36,468 SF (0.84 AC)	494 SF (0.01 AC)
43-10F-117	STEEP SLOPES (15-25%)	5,830 SF (0.13 AC)	0 SF (0 AC)
	VERY STEEP SLOPES (25%+)	5,710 SF (0.13 AC)	0 SF (0 AC)

NOTE: ALL STEEP SLOPES ON PARCELS 43-10F-117 AND 43-10F-154 ARE MAN-MADE.  
ALL STEEP SLOPES ON PARCEL 43-10F-153.1 ARE NATURAL SLOPES.

WOODLAND AREA CALCULATIONS - PARCEL 43-10F-154			WOODLAND AREA CALCULATIONS - PARCEL 43-10F-153.1		
	EXISTING	DISTURBED		EXISTING	DISTURBED
WOODLANDS ON SLOPES OF 15% OR GREATER	16,927 SF	3,569 SF (21.1%)	WOODLANDS ON SLOPES OF 15% OR GREATER	5,026 SF	5,026 SF (100%)
WOODLANDS ON SLOPES OF LESS THAN 15%	37,622 SF	9,630 SF (25.6%)	WOODLANDS ON SLOPES OF LESS THAN 15%	351,932 SF	351,932 SF (100%)

SOILS SUMMARY CHART:

NRCS WEB SOIL SURVEY, CHESTER COUNTY, PENNSYLVANIA, APRIL, 8 2019

SYMBOL	NAME	GROUP	SLOPES (%)	DEPTH TO				LIMITATIONS	RESOLUTION
				WATER TABLE (FT)	BEDROCK (IN)	FROST	PIPES		
GgC	GLENELG SILT LOAM	B	8-15	--	72-120	MODERATE	LOW	HIGH	SEE RESOLUTION NOTES
GgB	GLENELG SILT LOAM	B	3-8	--	72-120	MODERATE	LOW	HIGH	SEE RESOLUTION NOTES
UmB	URBAN LAND - GLENELG COMPLEX	B	0-8	--	60-120	MODERATE	LOW	HIGH	SEE RESOLUTION NOTES
UmD	URBAN LAND - GLENELG COMPLEX	B	8-25	--	60-120	MODERATE	LOW	HIGH	SEE RESOLUTION NOTES
UmB	URBAN LAND - UDORTHENT'S SCHIST AND GNEISS COMPLEX	B	0-8	5	60-120	MODERATE	MODERATE	MODERATE	SEE RESOLUTION NOTES

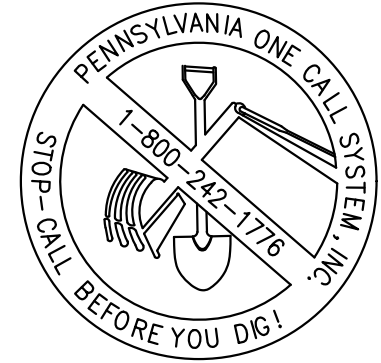
RESOLUTION NOTES:

- IF SITE IS TO BE USED FOR CONSTRUCTION, DEWATER EXCAVATIONS THROUGH A PUMPED WATER FILTER BAG AS NECESSARY, AVOID PONDING DURING CONSTRUCTION. CLOSE ALL EXCAVATIONS AS SOON AS PRACTICAL. ENSURE ALL INSTALLED PIPE IS WATERTIGHT.
- THE CONTRACTOR SHALL FOLLOW THE EROSION AND SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION AND PLANS. THE EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EVERY RUNOFF EVENT AND ON A WEEKLY BASIS. IMMEDIATELY AFTER EVERY RUNOFF EVENT THE EROSION AND SEDIMENTATION FACILITIES AND MEASURES WILL BE CLEANED, REPAIRED, AND REPLACED AS NEEDED. WASHED-OUT AREAS WILL BE RE-GRADED AND RE-SEED. SILT FENCES WILL BE INSPECTED AND RESTORED TO AN UPRIGHT AND EFFECTIVE POSITION AFTER EVERY RUNOFF EVENT OR WHEN THEY ARE OBSERVED TO BE IN NEED OF MAINTENANCE.
- PIPING HAZARD  
SUITABLE FILL MATERIAL FOR ALL PIPING SHALL BE USED PER RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER. ANTI-SEEP COLLARS SHALL BE INSTALLED AT THE DETENTION BASIN OUTLET STRUCTURE PIPE BARRELS AS SHOWN ON DETAILS.

GEOLOGY CHART

OCTORARO FORMATION  
ALBITE-CHLORITE SCHIST, PHYLLITE, SOME HORNBLENDE GNEISS, AND GRANITIZED MEMBERS.

STATE PENNSYLVANIA  
NAME OCTORARO FORMATION  
GEOLOGIC AGE LOWER PALEOZOIC  
ORIGINAL MAP LABEL: X  
PRIMARY ROCK TYPE ALBITE-CHLORITE SCHIST  
SECONDARY ROCK TYPE PHYLLITE  
OTHER ROCK TYPES HORNBLENDE GNEISS



CALL BEFORE YOU DIG

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CALL 1-800-242-1776

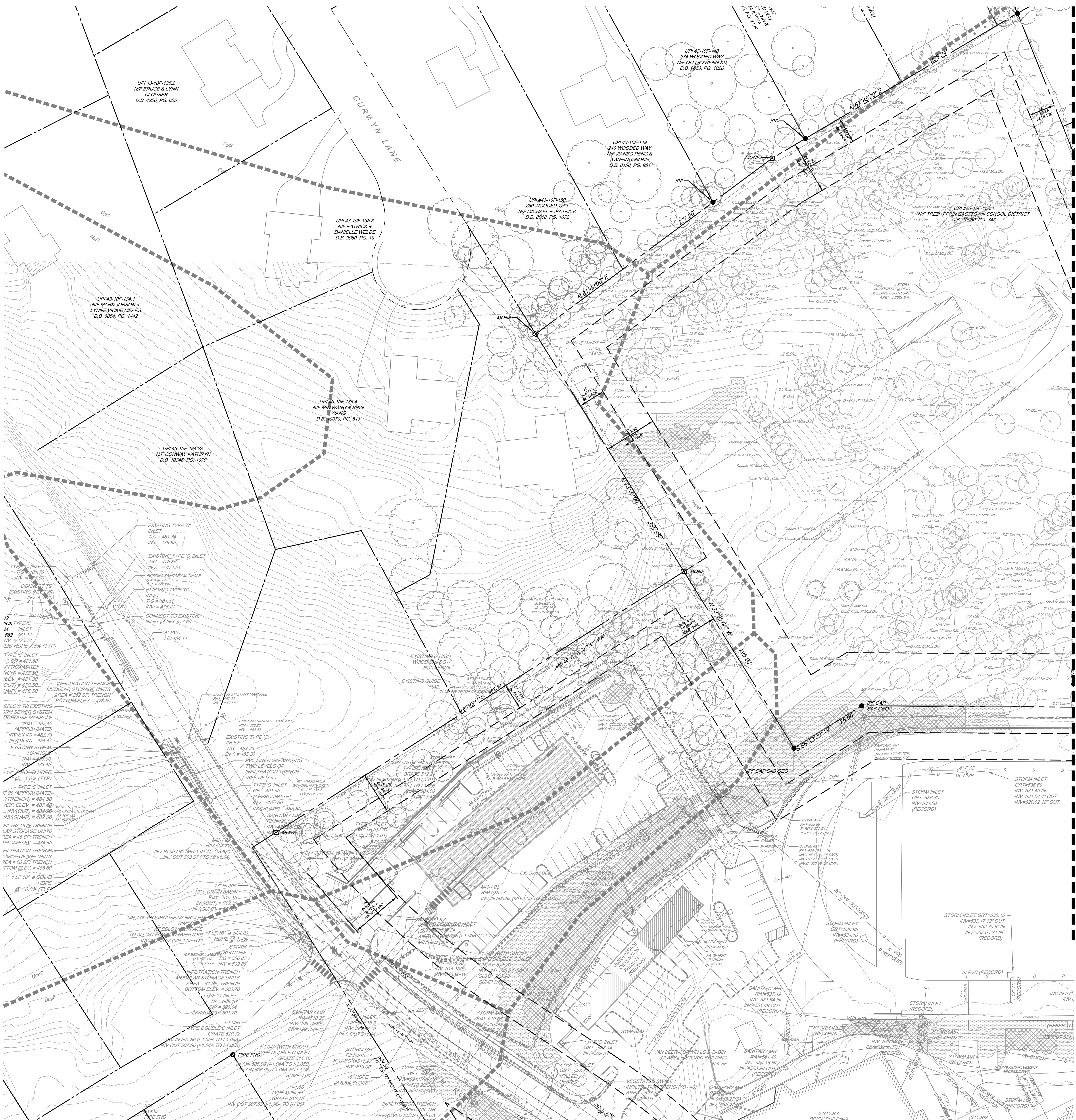
PA ACT 287 OF 1974 REQUIRES THREE WORKING DAYS  
NOTICE TO UTILITIES BEFORE YOU EXCAVATE. DRILL OR  
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.  
SERIAL NUMBER(S): 20223192994

SHEET TITLE  
OVERALL NATURAL  
FEATURES  
CONSERVATION PLAN  
DRAWING NUMBER

CS0200



NOT FOR  
CONSTRUCTION



LEGEND:

---	PROPERTY LINE
- - - -	EX EASEMENT
---	EX BUILDING
---	EX CURB
---	EX EDGE OF PAVEMENT
---	EX EDGE OF GRAVEL
---	EX LANDSCAPING
---	EX TREE ROW
---	EX MINOR CONTOUR
---	EX MAJOR CONTOUR
---	EX STORM SEWER LINES
---	EX UTILITY MANHOLE
---	EX STORM SEWER INLET
---	EX STORMWATER MANHOLE
---	EX STORM DRAIN
---	EX UNDERGROUND COMMUNICATION
---	EX UTILITY POLE
---	EX WATER LINES
---	EX SOLS BOUNDARY LINES
---	EX SOLS TEXT
---	EXISTING ADJACENT PROPERTY LINE
---	EXISTING RIGHT OF WAY LINE
---	EXISTING BUILDING
---	EXISTING TUNNEL
---	EXISTING EDGE OF SIDEWALK
---	EXISTING EDGE OF PAVEMENT
---	EXISTING GRAVEL PAVEMENT
---	EXISTING CONCRETE PAVEMENT
---	EXISTING SLATE SIDEWALK
---	EXISTING WALL
---	EXISTING HANDRAIL
---	EXISTING PEDESTRIAN STREET LIGHT
---	EXISTING WINDOW WELL
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING SPOT ELEV.
---	EXISTING BOTTOM OF CURB ELEV.
---	EXISTING FENCE
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING DOWNSPOUT
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND NATURAL GAS LINE
---	EXISTING UNDERGROUND STEAM LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND COMMUNICATION LINE
---	EXISTING UTILITY STRUCTURE
---	EXISTING TREE



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SERIAL NUMBER(S): 20223192994



TESD CONESTOGA  
ATHLETIC FIELDS

TREDYFFRIN TOWNSHIP  
CHESTER COUNTY, PA

HSA PROJECT # :21-019

Heckendorn Shiles Architects

PROJECT TEAM

CLIENT  
Tredyffrin/Easttown School District  
940 West Valley Road, Suite 1700  
Wayne, PA 19087  
(610) 240-1900

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MISC DISCIPLINE  
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CONSTRUCTION

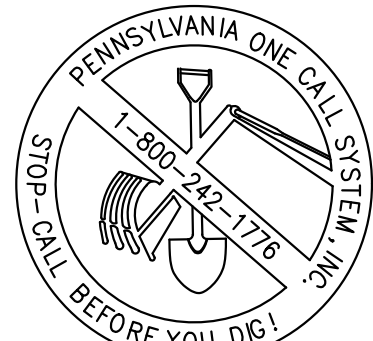
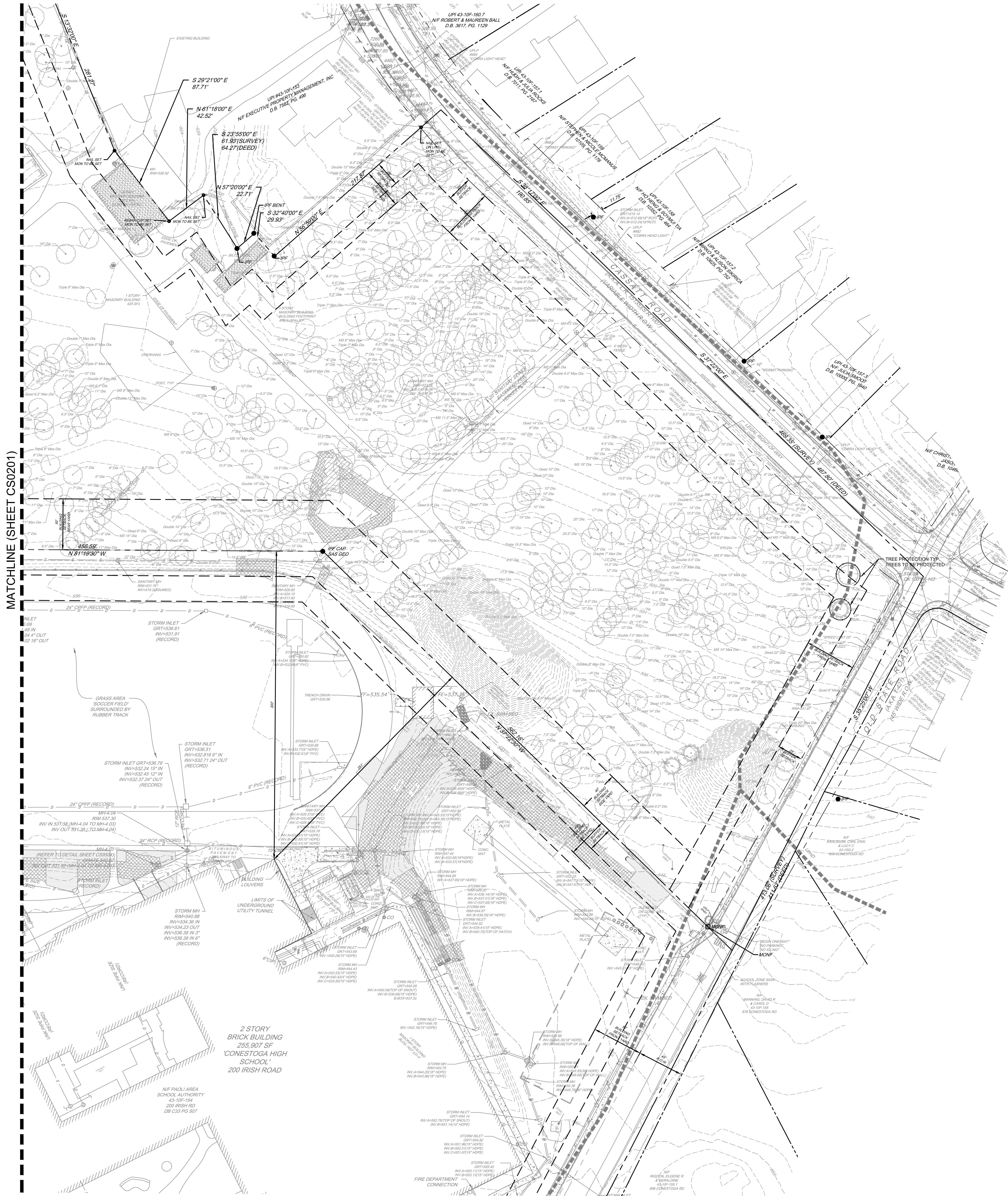
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OR ADAPTATION BY PENNONI ASSOCIATES FOR THE  
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Δ	DATE	ISSUED FOR
	03/16/2023	LAND DEVELOPMENT SUBMISSION
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2	06/14/2023	REVISED PER CDD COMMENTS
3	07/20/2023	REVISED PER TWP REVIEW
4	09/26/2023	REV. PER TWP & NPOES REVIEW
5	09/29/2023	REVISED PER SSM REVIEW
6	01/17/2024	ISSUED FOR FINAL SUBMISSION
7	03/18/2024	BID ISSUE

SHEET TITLE

EXISTING  
CONDITION PLAN  
DRAWING NUMBER

CS0202



**CALL BEFORE YOU DIG**  
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA  
CALL 1-800-242-1776  
PA ACT 287 OF 1974 REQUIRES THREE WORKING DAYS  
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR  
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.  
SERIAL NUMBER(S): 20223192994

0 40' 80'

SHEET 6 OF 51



TREE REMOVAL NOTES:

- TREE LEVELING:

TREE LEVELING ACTIVITIES WITHIN THE LIMITS OF THE TREE LEVELING AREAS AS SHOWN ON THESE PLANS MUST BE COMPLETED BETWEEN FEBRUARY 1, 2024 AND MAY 15, 2024. PRIOR TO TREE LEVELING ACTIVITIES MAY COMMENCE. EACH TREE IDENTIFIED TO REMAIN SHALL BE MARKED BY THE CONTRACTOR AND HAVE TREE PROTECTION FENCING PROVIDED PER THE DETAIL ON THIS SHEET. AFTER THE TREE PROTECTION FENCE HAS BEEN INSTALLED, THE CONTRACTOR SHALL CONTACT THE SITE/CIVIL ENGINEER TO PERFORM A SITE INSPECTION. ONLY AFTER THIS SITE INSPECTION, MAY TREE LEVELING OPERATIONS COMMENCE.

TREE LEVELING ACTIVITIES INCLUDE THE CUTTING OF TREES TO A MINIMUM OF 3 FEET ABOVE GROUND SURFACE AND WILL BE COMPLETED USING MATERIALS AND METHODS AS RECOMMENDED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE. WHEELED OR TRACKED VEHICLES MAY BE USED TO ASSIST WITH THESE OPERATIONS. NO SIGNIFICANT SOIL DISTURBANCE IS EXPECTED THROUGH THE USE OF THIS EQUIPMENT. ANY DAMAGE THAT MAY OCCUR TO THE GROUND LEVEL VEGETATED AREAS THAT RESULTS IN SIGNIFICANT SOIL DISTURBANCE SHALL BE REPAIRED BY THE CONTRACTOR AND SEEDED FOLLOWING THE COMPLETION OF THE FIELD ACTIVITIES AS FOLLOWS:

  - APPLY ONE (1) TON OF AGRICULTURAL GRADE LIMESTONE PER ACRE PLUS FERTILIZER (10-10-10) AT THE RATE OF 500 LBS PER ACRE AND WORK INTO SOIL WHEREVER POSSIBLE.
  - APPLY ANNUAL RYEGRASS (PENN DOT FORMULA E) SEED AT A SEEDING RATE OF 48 LBS/1,000-SF.
  - AFTER SEEDING, MULCH WITH STRAW AT A RATE OF THREE (3) TONS PER ACRE.
- TREE REMOVAL/DISPOSAL:

FOLLOWING TREE LEVELING ACTIVITIES, THE TREES THAT WERE FELLED SHALL BE PROPERLY CUT AND DOWNSEIZED TO MANAGEABLE PIECES FOR REMOVAL FROM THE SITE FOR DISPOSAL OR RECYCLING.

STUMP REMOVAL WILL BE COMPLETED AS PART OF THE BULK EARTHWORK ACTIVITIES BY OTHERS.

THE TREE REMOVAL CONTRACTOR SHALL UTILIZE THE EXISTING NURSERY ACCESS ROADS FOR STAGING AND STORING OF THE CUT TREES. TREE REMOVAL VEHICLES SHALL BE PARKED ON THE EXISTING ACCESS ROADS FOR LOADING OPERATIONS. CONTRACTOR IS TO INSTALL ROCK CONSTRUCTION ENTRANCES AS NEEDED TO PREVENT MUDDIRT ON ROADWAYS.

ANY FELLED TREE OR BRUSH DERRIS PILES THAT CURRENTLY EXIST ON SITE SHALL BE REMOVED BY THE CONTRACTOR. ALL LIMBS AND BRANCHES MAY BE CHIPPED FOR EASE OF DISPOSAL BUT SHALL NOT REMAIN ON SITE ONCE TREE LEVELING ACTIVITIES ARE COMPLETED.

VINES AND THE UNDERSTORY SHRUB LAYER OF PLANT MATERIAL THAT EXISTS ON SITE SHALL BE CONSIDERED WITHIN THE SCOPE OF WORK OF THE TREE LEVELING CONTRACTOR. THIS PLANT MATERIAL SHALL BE CUT CLOSE TO FLUSH WITH THE GROUND SURFACE. CARE SHALL BE TAKEN NOT TO EXPOSE BARE EARTH.
- WEATHER CONDITIONS:

HEAVY RAINFALL EVENTS WILL CREATE THE OPPORTUNITY FOR ACCELERATED LAND DISTURBANCE. THEREFORE, ACTIVITIES WILL BE CANCELLED ON DAYS WHERE FORECASTS PREDICT SIGNIFICANT RAINFALL. WORK WILL RESUME WHEN THE RAIN EVENT STOPS. IN ADDITION, IN THE EVENT THAT RAINFALL CONDITIONS RESULT IN RESTRICTED ACCESS TO THE SITE (AS DETERMINED IN THE FIELD), WORK ACTIVITIES WILL BE SUSPENDED UNTIL CONDITIONS IMPROVE. SIMILAR WORK RESTRICTIONS WILL APPLY DURING PERIODS OF HEAVY SNOWFALL.
- FENCE TO BE PROTECTED:

THE EXISTING CHAIN LINK FENCE WITHIN THE LIMITS OF WORK SHALL BE CAREFULLY REMOVED FROM THE POSTS PRIOR TO ANY WORK MAY COMMENCE IN THAT AREA. THE FENCE SHALL REMAIN ON SITE AND ONCE TREE FELLING ACTIVITIES CEASE IN THAT AREA, SHALL BE REATTACHED TO THE POLES WITH THE APPROPRIATE FENCE FASTENERS. IF ANY POLES ARE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPLACE THE POLE AT THEIR EXPENSE.

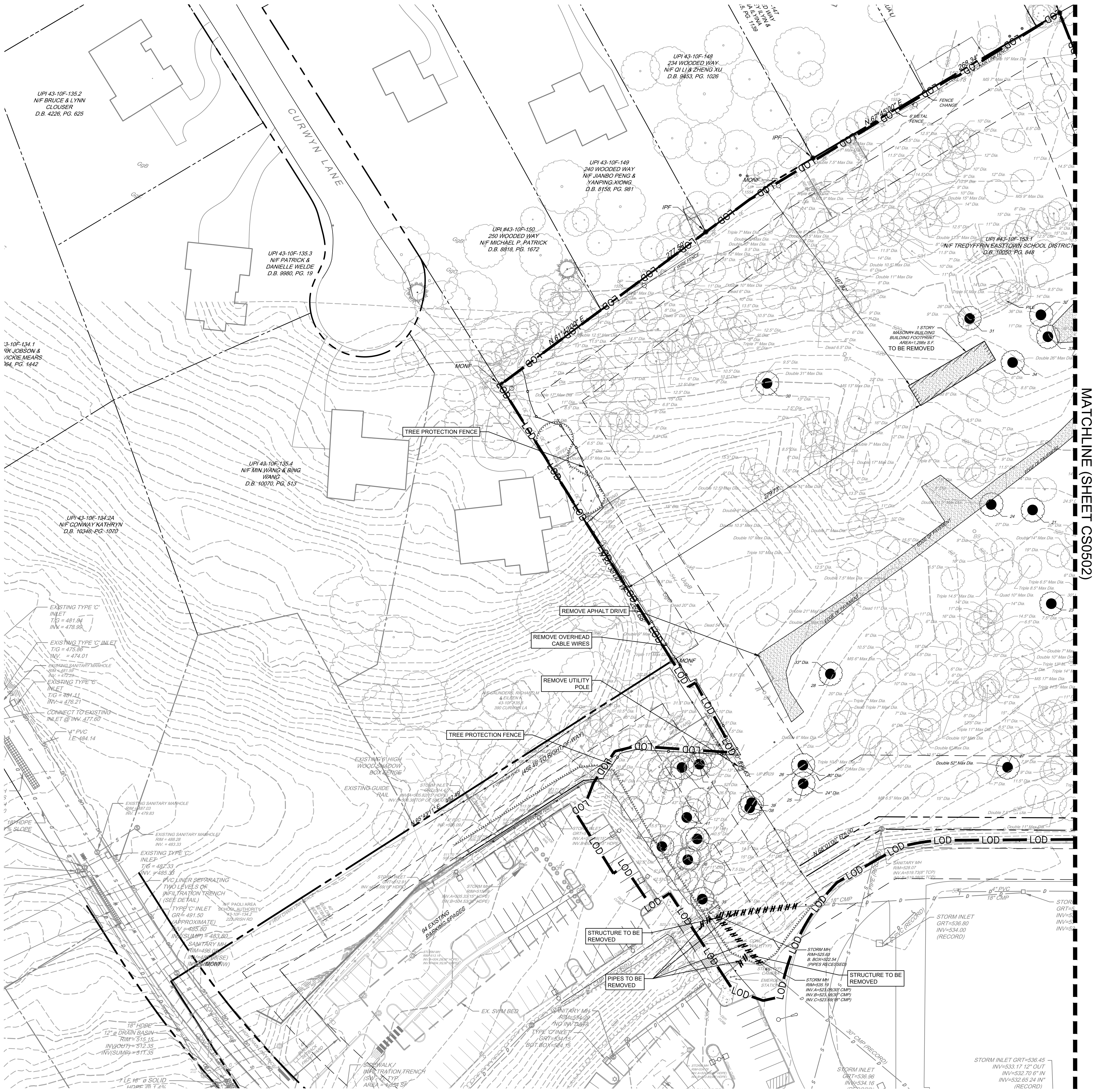
TREES TO BE REMOVED (≥ 24")			
Tree #	Diam (in)	Tree #	Diam (in)
1	26	31	30
2	31	24	31.5
3	43	25	24
4	30	26	30
5	25	27	52
6	31	28	33
7	27	29	50
8	33	30	31
9	30	31	26
10	28	32	36
11	25	33	35
12	25	34	26
13	49	35	46
14	28	36	42.5
15	24	37	40.5
16	31	38	26.5
17	31	39	52
18	34.5	40	32.5
19	43.5	41	43
20	24.5	42	24
21	27	43	42
22	24		
Total Diameter:		1478.0 inches	

- NOTES:
- THE SITE IS A FORMER NURSERY AND THERE ARE MULTIPLE POCKETS OF VEGETATION & MATERIALS. CONTRACTOR IS TO REMOVE/DEMOLISH ALL VEGETATION & ITEMS CALLED OUT WITHIN THE LOD.
  - ALL STUMPS ARE NOT TO BE GROUND. THEY SHALL BE COMPLETELY REMOVED DURING CLEARING AND GRUBBING OPERATIONS.

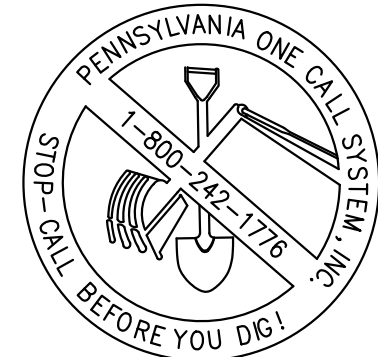
LEGEND:	
	PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EX EASEMENT
	EX BUILDING
	EX CURB
	EX EDGE OF PAVEMENT
	EX EDGE OF GRAVEL
	EX LANDSCAPING
	EX TREE ROW
	EX MINOR CONTOUR
	EX MAJOR CONTOUR
	EX STORM SEWER LINES
	EX UTILITY MANHOLE
	EX STORM SEWER INLET
	EX STORMWATER MANHOLE
	EX STORM DRAIN
	EX UNDERGROUND COMMUNICATION
	EX UTILITY POLE
	EX WATER LINES
	SOILS BOUNDARY LINES
	SOILS TEXT
	PROPOSED CURB
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED PARKING LOT LINE
	PROPOSED STORM MANHOLE

DEMOLITION LEGEND		
	EXISTING STORM/SEWER LINE TO BE REMOVED	
	EXISTING BUILDING/PAVING/GRAVEL DRIVE TO BE REMOVED	
	PROPOSED SIDEWALK REMOVAL	
	TREES ≥ 24" TO BE REMOVED	

0 40' 80'



MATCHLINE (SHEET CS0502)



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CALL 1-800-242-1776  
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS  
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR  
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.  
SERIAL NUMBER(S): 20223192994

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THE EXTENSIVE OF THE PROJECT OR ON ANY OTHER  
PROJECT. ANY RELIANCE WITHOUT WRITTEN VERIFICATION  
OR ADAPTATION BY PENNONI ASSOCIATES FOR THE  
SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS  
SOLE RISK AND WITHOUT LIABILITY OR LEGAL  
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TREDYFFRIN TOWNSHIP  
CHESTER COUNTY, PA

## PROJECT TEAM

ARCHITECTURAL  
eckendorn Shiles Architects  
17 East Conestoga Road  
Wayne, PA 19087  
610-994-3500

**EPFP ENGINEER**  
chiller and Hersh Associates, Inc.  
36 Skippack Pike, Suite 200  
Blue Bell, PA 19422  
(610) 886-8947

ISC DISCIPLINE  
A

TREE REMOVAL NOTES:

1. TREE LEVELING:

TREE LEVELING ACTIVITIES WITHIN THE LIMITS OF THE TREE LEVELING AREAS AS SHOWN ON THESE PLANS MUST BE COMPLETED BETWEEN FEBRUARY 1, 2024 AND MAY 15, 2024. PRIOR TO TREE LEVELING ACTIVITIES MAY COMMENCE, EACH TREE IDENTIFIED TO REMAIN SHALL BE MARKED BY THE CONTRACTOR AND HAVE TREE PROTECTION FENCING PROVIDED PER THE DETAIL ON THIS SHEET. AFTER THE TREE PROTECTION FENCE HAS BEEN INSTALLED, THE CONTRACTOR SHALL CONTACT THE SITE/CIVIL ENGINEER TO PERFORM A SITE INSPECTION. ONLY AFTER THIS SITE INSPECTION, MAY TREE LEVELING OPERATIONS COMMENCE.

TREE LEVELING ACTIVITIES INCLUDE THE CUTTING OF TREES TO A MINIMUM OF 3 FEET ABOVE GROUND SURFACE AND WILL BE COMPLETED USING MATERIALS AND METHODS AS RECOMMENDED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE. WHEELED OR TRACKED VEHICLES MAY BE USED TO ASSIST WITH THESE OPERATIONS. NO SIGNIFICANT SOIL DISTURBANCE IS EXPECTED THROUGH THE USE OF THIS EQUIPMENT. ANY DAMAGE THAT MAY OCCUR TO THE GROUND LEVEL VEGETATED AREAS THAT RESULTS IN SIGNIFICANT SOIL DISTURBANCE SHALL BE REPAIRED BY THE CONTRACTOR AND SEEDED FOLLOWING THE COMPLETION OF THE FIELD ACTIVITIES AS FOLLOWS:

- A. APPLY ONE (1) TON OF AGRICULTURAL GRADE LIMESTONE PER ACRE PLUS FERTILIZER (10-10-10) AT THE RATE OF 500 LBS PER ACRE AND WORK INTO SOIL WHEREVER POSSIBLE.
- B. APPLY ANNUAL RYEGRASS (PENN DOT FORMULA E) SEED AT A SEEDING RATE OF 48 LBS/1,000-SF.
- C. AFTER SEEDING, MULCH WITH STRAW AT A RATE OF THREE (3) TONS PER ACRE.

- ## 2. TREE REMOVAL/DISPOSAL:

- A. FOLLOWING TREE LEVELING ACTIVITIES, THE TREES THAT WERE FEELLED SHALL BE PROPERLY CUT AND DOWNWOZED TO MANAGEABLE PIECES FOR REMOVAL FROM THE SITE FOR DISPOSAL OR RECYCLING.
- B. SHALL BE CONSIDERED AS PART OF THE BULK EXISTING ACTIVITIES BY OTHERS.
- C. THE TREE REMOVAL CONTRACTOR SHALL UTILIZE THE EXISTING NURSERY AREAS FOR TREE STAGING AND STORING OF THE CUT TREES. TREE REMOVAL VEHICLES SHALL BE PARKED ON THE EXISTING ACCESS ROADS FOR LOADING OPERATIONS. CONTRACTOR/OWNER IS RESPONSIBLE FOR ROCK CONSTRUCTION ENTRANCES AS NEEDED TO PREVENT MUD ON ROADWAYS.
- ANY FELLED TREE OR BRUSH DEBRIS PILES THAT CURRENTLY EXIST ON SITE SHALL BE REMOVED FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL BUT SHALL NOT REMOVE ON SITE ONCE TREE LEVELING ACTIVITIES ARE COMPLETED.
- E. THE UNDERSTORY SHRUB LAYER OR PLANT MATERIAL THAT EXISTS ON SITE SHALL BE CONSIDERED WITHIN THE SCOPE OF WORK OF THE TREE LEVELING CONTRACTOR. THIS PLANT MATERIAL SHALL BE CUT CLOSE TO FLUSH WITH THE GROUND SURFACE. THE CONTRACTOR SHALL NOT REMOVE PLANT MATERIAL FROM THE SITE.

3. WEATHER CONDITIONS:

HEAVY RAINFALL EVENTS WILL CREATE THE OPPORTUNITY FOR ACCELERATED LAND DISTURBANCE. THEREFORE, ACTIVITIES WILL BE CANCELLED ON DAYS WHERE FORECASTS PREDICT SIGNIFICANT RAINFALL. WORK WILL RESUME WHEN THE RAIN EVENT STOPS. IN ADDITION, IN THE EVENT THAT RAINFALL CONDITIONS RESULT IN RESTRICTED ACCESS TO THE SITE (AS DETERMINED IN THE FIELD), WORK ACTIVITIES WILL BE SUSPENDED UNTIL CONDITIONS IMPROVE. SIMILAR WORK RESTRICTIONS WILL APPLY DURING PERIODS OF HEAVY SNOWFALL.

4. FENCE TO BE PROTECTED:






















THE EXISTING CHAIN LINK FENCE WITHIN THE LIMITS OF WORK SHALL BE CAREFULLY REMOVED FROM THE POSTS PRIOR TO ANY WORK MAY COMMENCE IN THAT AREA. THE FENCE SHALL REMAIN ON SITE AND ONCE TREE FELLING ACTIVITIES CEASE IN THAT AREA, SHALL BE REATTACHED TO THE POLES WITH THE APPROPRIATE FENCE FASTENERS. IF ANY POLES ARE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPLACE THE POLE AT THEIR EXPENSE.

NOTES:





1. THE SITE IS A FORMER NURSERY AND THERE ARE MULTIPLE POCKETS OF VEGETATION & MATERIALS. CONTRACTOR IS TO REMOVE/DEMOLISH ALL VEGETATION & ITEMS CALLED OUT WITHIN THE LOD.

2. ALL STUMPS ARE NOT TO BE GROUND. THEY SHALL BE COMPLETELY REMOVED DURING CLEARING AND GRUBBING OPERATIONS.

LEGEND:

	PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EX EASEMENT
	EX BUILDING
	EX CURB
	EX EDGE OF PAVEMENT
	EX EDGE OF GRAVEL
	EX LANDSCAPING
	EX TREE ROW
	EX MINOR CONTOUR
	EX MAJOR CONTOUR
	EX STORM SEWER LINES
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	EX STORM SEWER INLET
	EX STORMWATER MANHOLE
	EX STORM DRAIN
	EX UNDERGROUND COMMUNICATION
	EX UTILITY POLE
	EX WATER LINES
	SOLS BOUNDARY LINES
	SOLS TEXT

### DEMOLITION LEGEND

	EXISTING STORM/SEWER LINE TO BE REMOVED
	PROPOSED CURB REMOVAL
	EXISTING BUILDING/PAVING/GRAVEL DRIVE TO BE REMOVED
	PROPOSED SIDEWALK REMOVAL
	TREES ≥ 24" TO BE REMOVED

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**SHEET TITLE**

## DEMOLITION PLAN

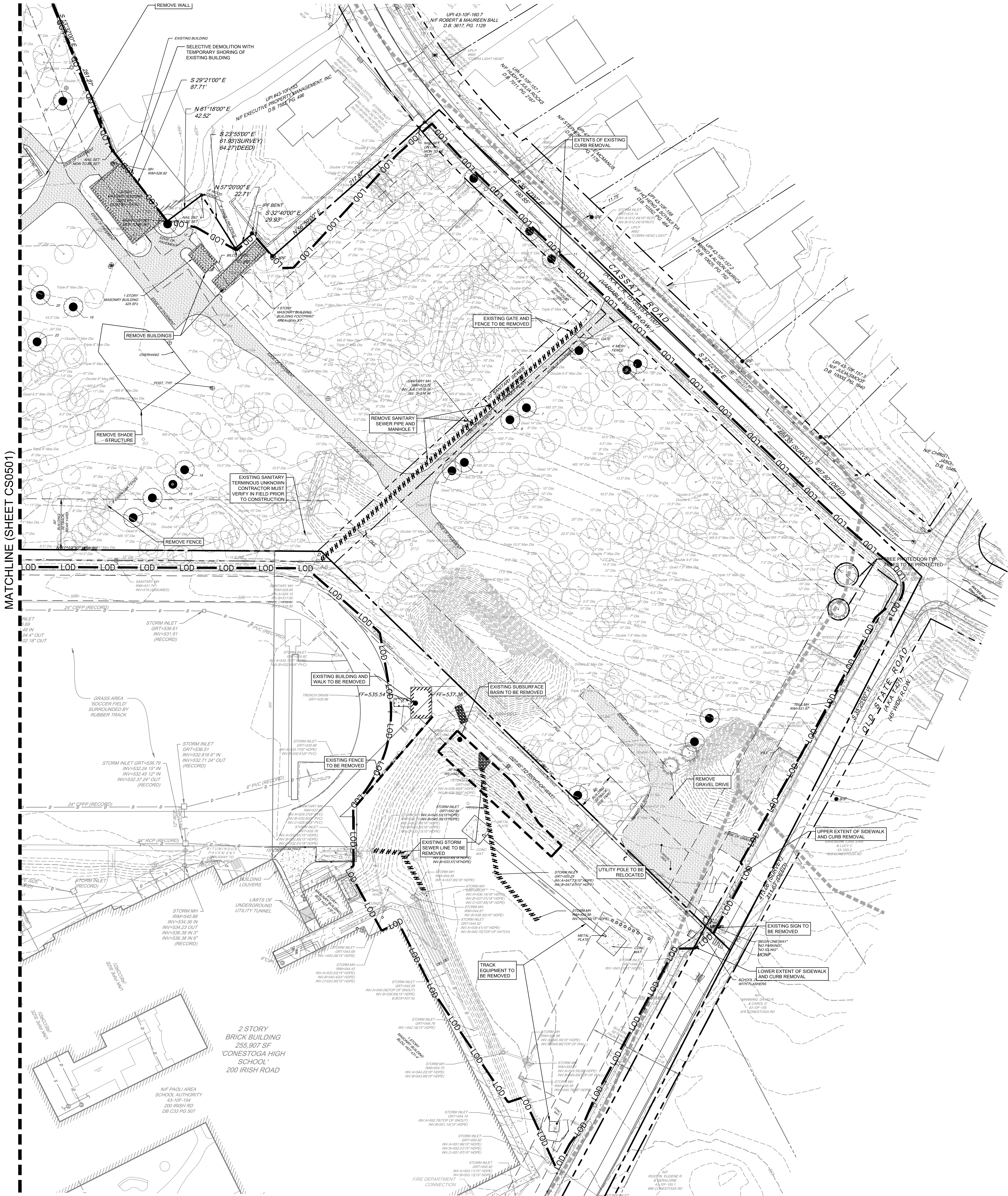
DRAWING NUMBER

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SHEET 8 OF 51



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TESD CONESTOGA  
ATHLETIC FIELDS

TREDYFFRIN TOWNSHIP  
CHESTER COUNTY, PA

HSA PROJECT #: 21-019  
Heckendorn Shiles Architects

PROJECT TEAM

CLIENT  
Tredyffrin/Easttown School District  
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(610) 240-1900

ARCHITECTURAL  
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610-994-3500

STRUCTURAL ENGINEER  
N/A

MEPPF ENGINEER  
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SITE / CIVIL  
Pennoni Associates, Inc.  
158 W Gay Street, Suite 300  
West Chester, PA 19380  
(610) 429-8907

MISC DISCIPLINE  
N/A

NOT FOR  
CONSTRUCTION

ZONING REQUIREMENTS UPI #43-10F-153.1, UPI #43-10F-154 and UPI #43-10F-117

TREDYFFRIN TOWNSHIP ZONING ORDINANCE, ZONED: RESIDENCE DISTRICT (R-1)				
GROSS TRACT AREA: 1,965,487 SF; 44.89 ACRES LOT AREA: 1,732,021 SF; 39.17 ACRES MEAN GROUND LEVEL AT ADDITION: 551.0				
SECTION	PERMITTED USES	REQUIRED/PERMITTED	EXISTING	PROPOSED
208-21 D (5) 208-99 B (2)		PUBLIC AGENCY (PUBLIC SCHOOL) (SE)	PUBLIC AGENCY (PUBLIC SCHOOL) (SE)	PUBLIC AGENCY (PUBLIC SCHOOL) (SE)
208-23 (APPENDIX I)	DIMENSIONAL REQUIREMENTS			
	LOT AREA (MIN.)	80,000 SF	1,699,278 SF (39.01 AC)	1,732,021 SF (39.77 AC)
	LOT WIDTH (MIN.)	200 FT (AT BUILDING LINE)	329.77 FT	329.77 FT
	BUILDING COVERAGE (MAX.)	10%	19% (263,809 SF)	16% (272,769 SF) (V)
	IMPERVIOUS COVERAGE (MAX.)	25%	37% (642,359 SF)	55% (952,298 SF) (V)
	FRONT YARD	50 FT	HISTORIC CONDITION - 20' (NC) 52.54 FT*	HISTORIC CONDITION - 20' (NC) 52.54 FT*
	SIDE YARDS (2)	40 FT	461.61 FT	>40 FT
	REAR YARD	50 FT	0 FT ** (NC)	123 FT
	HEIGHT (MAX.)	35 FT	VARIES	35 FT
	BUFFER (ALONG RESIDENTIAL)	25 FT	NOT PROVIDED (0 FT)	25 FT
208-99 B (3)	ALTERATIONS/ENLARGEMENTS OF EXISTING NONCONFORMING BUILDINGS SHALL MEET ALL DISTRICT REQUIREMENTS			
208-102 C (1)	(2) ACCESSWAYS TO ONE STREET PER 300 LF OF FRONTAGE, ACCESSWAY TO BE 20 FT - 30 FT WIDE		COMPLIANT	COMPLIANT
208-102 H.	RESTRICTED GLARE AND HOLE HEIGHT 18 FT NOT TO EXCEED 26 FT IS SPECIFICALLY APPROVED BY THE PLANNING COMMISSION AT THE TIME OF THE LAND DEVELOPMENT APPROVAL		COMPLIANT	70 FT (V)
208-103 A (2)	PARKING LOCATED IN A FRONT YARD IN A RESIDENTIAL DISTRICT		NON-COMPLIANT	NON-COMPLIANT (SE)
208-103 C (11)	(10) SPACES PER CLASSROOM, PLUS (1) SPACE PER (3) SEATS IN AUDITORIUM/GYMNASIUM, PLUS OFF-STREET LOADING FOR (7) SCHOOL BUSES	126 CLASSROOMS, 840 SEATS 1,540 SPACES REQUIRED***	685	766 (V)
	7 SCHOOL BUS LOADING SPACES	PROVIDED		PROVIDED
208-104	ACCESSIBLE PARKING (500-1000) SPACES 2% OF TOTAL PARKING, 16 TO BE VAN	685 SPACES 14 SPACES (3 VAN) REQUIRED***	14 SPACES (4 VAN)	23 SPACES (8 VAN)
	OFF-STREET LOADING SPACES	MINIMUM OF (1) SPACE	COMPLIANT	COMPLIANT
208-118	STEEP SLOPE REGULATIONS			
208-119	FENCING	4 FT / 7 FT ****	-	6 FT (V)

(V) VARIANCE RECEIVED  
(SE) ALLOWED BY SPECIAL EXCEPTION  
(NC) EXISTING NON-COMFORMING  
\* FROM HIGH SCHOOL EXPANSION PROJECT  
\*\* NO REAR SETBACK EXISTS FOR PARCELS 43-10F-153.1 & 43-10F-153  
\*\*\*NO NEW PARKING REQUIRED WITH THIS PROJECT  
\*\*\*\*PER SLD CODE 161-52 E(3)(6)

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING ADJACENT PROPERTY LINE
---	EXISTING RIGHT OF WAY LINE
---	EXISTING SOIL BOUNDARY
---	EXISTING BUILDING
---	EXISTING TUNNEL
---	EXISTING CURB
---	EXISTING EDGE OF SIDEWALK
---	EXISTING EDGE OF PAVEMENT
---	EXISTING GRAVEL PAVEMENT
---	EXISTING CONCRETE PAVEMENT
---	EXISTING SLATE SIDEWALK
---	EXISTING WALL
---	EXISTING HANDRAIL
---	EXISTING PEDESTRIAN STREET LIGHT
---	EXISTING WINDOW WELL
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING SPOT ELEV.
---	EXISTING BOTTOM OF CURB ELEV.
---	EXISTING FENCE
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING DOWNSPOUT
---	EXISTING WATER LINE
---	EXISTING UNDERGROUND NATURAL GAS LINE
---	EXISTING UNDERGROUND STEAM LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND COMMUNICATION LINE
---	EXISTING UTILITY STRUCTURE
---	EXISTING TREE

IMPERVIOUS AREA SUMMARY TABLE (UPI #43-10F-153.1, UPI #43-10F-154 AND UPI #43-10F-117)

COVER TYPE	EXISTING CONDITIONS (SF)	PROPOSED CONDITIONS (SF)
BUILDINGS	263,809	272,769
TURF	0	194,801
PAVEMENT (ASPHALT & CONCRETE)	378,550	454,330
TENNIS COURTS	0	30,398
TOTAL	642,359	952,298

LOT AREA CALCULATION UPI #43-10F-153.1

	EXISTING (SF)	EXISTING (AC)
GROSS LOT AREA	577,448	13.26
WATERS OF THE US	0	0.00
TREDYFFRIN FLOOD HAZARD DISTRICT	0	0.00
STEEP SLOPES (15%-25%)	7,153	0.16
VERY STEEP SLOPES (25% +)	3,611	0.08
SEWER AND DRAINAGE EASEMENTS	7,264	0.17
PORTIONS OF LAND LESS THAN 50-FT WIDE	0	0.00
EXISTING ROAD RIGHT OF WAY	29,911	0.69
NET LOT AREA	529,509	12.16

LOT AREA CALCULATION UPI #43-10F-154

	EXISTING (SF)	EXISTING (AC)
GROSS LOT AREA	933,675	21.43
WATERS OF THE US	0	0.00
TREDYFFRIN FLOOD HAZARD DISTRICT	0	0.00
STEEP SLOPES (15%-25%)	28,704	0.66
VERY STEEP SLOPES (25% +)	36,468	0.84
SEWER AND DRAINAGE EASEMENTS	5,339	0.12
PORTIONS OF LAND LESS THAN 50-FT WIDE	0	0.00
EXISTING ROAD RIGHT OF WAY	67,655	1.55
NET LOT AREA	795,509	18.26

LOT AREA CALCULATION UPI #43-10F-117

	EXISTING (SF)	EXISTING (AC)
GROSS LOT AREA	444,343	10.20
WATERS OF THE US	0	0.00
TREDYFFRIN FLOOD HAZARD DISTRICT	0	0.00
STEEP SLOPES (15%-25%)	5,830	0.13
VERY STEEP SLOPES (25% +)	5,710	0.13
SEWER AND DRAINAGE EASEMENTS	0	0.00
PORTIONS OF LAND LESS THAN 50-FT WIDE	0	0.00
EXISTING ROAD RIGHT OF WAY	25,800	0.59
NET LOT AREA	407,003	9.34

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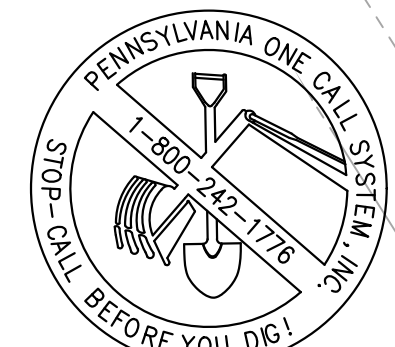
CONSOLIDATION  
PLAN

DRAWING NUMBER

CS0901

0 80' 160'

SHEET 9 OF 51



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# CS1001

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SYMBOL	SIGN CHARACTERISTICS	PENNDOT #	SIZE
	STOP	R-1	30"X30"
	PEDESTRIAN CROSSING / DOWNWARD POINTED ARROW PLAQUE	S-1 / W16-7P	30"X30" / 24"X12"
	RESERVED PARKING	R-7	12"X18"
	VAN ACCESSIBLE	R7-8P	12"X6"

SHEET 11 OF 51



TESD CONESTOGA  
ATHLETIC FIELDS

TREDYFFRIN TOWNSHIP  
CHESTER COUNTY, PA

HSA PROJECT # : 21-019  
Heckendorn Shiles Architects

PROJECT TEAM  
CLIENT  
Tredyffrin/Easttown School District  
940 West Valley Road, Suite 1700  
Wayne, PA 19087  
(610) 240-1900

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N/A

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636 Skippack Pike, Suite 200  
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(215) 886-8847

SITE / CIVIL  
Pennoni Associates, Inc  
158 W Gay Street, Suite 300  
West Chester, PA 19380  
(610) 429-8907

MISC DISCIPLINE  
N/A

NOT FOR  
CONSTRUCTION

GENERAL NOTES:

- SITE ADDRESS:  
CONESTOGA HIGH SCHOOL  
200 IRISH ROAD  
BERWYN, PA 19312
- OWNER / APPLICANT:  
TREDYFFRIN EASTTOWN SCHOOL DISTRICT  
940 WEST VALLEY ROAD, SUITE 1700  
WAYNE, PA 19087  
(610) 240-1900
- CONTACT INFORMATION  
NAME: ART MCCONNELL  
EMAIL: MCDONNELLA@TESD.NET  
PHONE NUMBER: 610-240-1900
- ARCHITECT:  
HECKENDORN AND SHILES  
347 EAST CONESTOGA ROAD, #1  
WAYNE, PA 19087  
(610) 994-3500
- ENGINEER:  
PENNONI ASSOCIATES INC.  
ONE SOUTH CHURCH STREET, 2ND FLOOR  
WEST CHESTER, PA 19382  
(610) 429-8907

- NOTES:
- LOCATION: THE PROJECT SITE SPANS OVER TWO ADJACENT PARCELS. ONE LOCATED ON THE NORTHEAST CORNER OF CONESTOGA ROAD, THE OTHER ON THE NORTHWEST CORNER OF CASSATT ROAD AND OLD STATE ROAD. THE SITE IS BOUND BY RESIDENTIAL PROPERTIES TO THE NORTH, CASSATT ROAD TO THE EAST, CONESTOGA ROAD TO THE SOUTH, AND IRISH ROAD TO THE WEST.
  - THE SITE TRACT, KNOWN AS "CONESTOGA HIGH SCHOOL", CONTAINS A TOTAL AREA OF 31.63 AC. COMPRISED OF INSTITUTIONAL BUILDINGS, SUPPORTING FACILITIES, AND ASSOCIATED SITE FEATURES. THE SITE TRACT ADJACENT FORMALLY THE HOST OF DOYLE & MCDONNELL INC. NURSERIES & CONTRACTING CONTAINS A TOTAL AREA OF 13.26 AC. COMPRISED OF BUILDINGS, NURSERY PLANTINGS, AND ASSOCIATED SITE FEATURES.
  - PUBLIC RECORD INFORMATION  
PARCEL ID: 43-10F-153.1  
AREA: 13.26 AC  
OWNED BY: TREDYFFRIN EASTTOWN SCHOOL DISTRICT  
PARCEL ID: 43-10F-154  
AREA: 21.43 AC  
OWNED BY: PAOLI AREA SCHOOL AUTHORITY  
CONTACT INFO: SAME AS TREDYFFRIN EASTTOWN SCHOOL DISTRICT ENTITY (SEE ABOVE)  
PARCEL ID: 43-10F-117  
AREA: 10.29 AC  
OWNED BY: PAOLI AREA SCHOOL AUTHORITY  
CONTACT INFO: SAME AS TREDYFFRIN EASTTOWN SCHOOL DISTRICT ENTITY (SEE ABOVE)
  - THE PROJECT SITE IS LOCATED ENTIRELY WITHIN THE RESIDENTIAL (R-1) ZONING DISTRICT.
  - THE INTENT OF THIS PLAN IS TO DEPICT THE DEVELOPMENT OF ATHLETIC FIELDS, TWO NEW BUILDINGS AND RELATED SITE IMPROVEMENTS.
  - LOT CONSOLIDATION FOR PROPERTIES 43-10F-153.1 AND 43-10F-154 WILL BE OWNED BY TREDYFFRIN EASTTOWN SCHOOL DISTRICT.
  - CURRENTLY THERE ARE NO OFFERS OF DEDICATION TO TREDYFFRIN TOWNSHIP.
  - UNLESS SPECIFICALLY STATED OR SHOWN HEREON TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:  
A. RIGHTS OR INTERESTS OF THE UNITED STATES OF AMERICA OR COMMONWEALTH OF PENNSYLVANIA OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER, BUT NO LONGER VISIBLE OR PHYSICALLY EVIDENT, OR LANDS CONTAINING ANY ANIMAL, MARINE, OR BOTANICAL SPECIES REGULATED BY OR UNDER THE JURISDICTION OF ANY FEDERAL, STATE, OR LOCAL AGENCY.  
B. BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE, OR LOCAL AGENCY, WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.  
C. ANY SUBSURFACE OR SUBTERRANEAN CONDITION, EASEMENTS OR RIGHTS, INCLUDING, BUT NOT LIMITED TO MINERAL OR MINING RIGHTS, OR THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.

- UTILITY NOTES:
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SITE.
  - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
  - IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 50 OF 2017, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776).
  - THE CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
  - IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
  - REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM, ASSIGNED SERIAL NUMBER 2023192994 IN ACCORDANCE WITH PA ACT 287 AS OF 1974 AS AMENDED BY ACT 50 OF 2017 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". (800-242-1776)
  - THE SITE IS TO BE SERVED BY PUBLIC SEWER AND WATER SERVICE.

- REFERENCE:
- TOPOGRAPHIC SURVEY PERFORMED BY SAS GEOSPATIAL, LLC. IN JUNE 2021 WITHOUT THE BENEFIT OF A TITLE REPORT.
  - EXISTING UNDERGROUND UTILITIES WERE LOCATED BY MASTER LOCATORS IN SEPTEMBER 2018.
  - ADDITIONAL EXISTING TOPOGRAPHIC, BOUNDARY, AND SUBSURFACE INFORMATION OBTAINED FROM PLANS PREPARED BY CHESTER VALLEY ENGINEERS, INC., ENTITLED "OVERALL SITE PLAN", DATED 11/20/01.
  - RAW INFORMATION AND BOUNDARY SURVEY PERFORMED BY SAS GEOSPATIAL, LLC, PLAN ENTITLED "CONESTOGA HIGH SCHOOL, UPI 443-10F-117 & UPI 443-10F-154, 200 IRISH ROAD, BOUNDARY SURVEY PLAN", DATED 05/16/23 LAST REVISED 07/04/23, AND A PLAN ENTITLED "CONESTOGA HIGH SCHOOL, TAX PARCEL NUMBER 43-10F-153.1, 250 CASSATT ROAD, BOUNDARY/TOPOGRAPHIC SURVEY PLAN", DATED 10/09/22, LAST REVISED 08/29/2023.
  - HORIZONTAL GEOMETRY IS REFERENCED TO PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, ZONE SOUTH, NAD 83 AND THE VERTICAL DATUM IS BASED ON NAVD 88.
- FLOOD ZONE INFORMATION:
- BY GRAPHIC PLOTTING ONLY, SUBJECT PARCEL AREA IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) OF THE FLOOD INSURANCE RATE MAP NO. 4202C01050, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 20, 2017. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

- SITE NOTES:
- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS PRIOR TO START OF WORK.
  - THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN THE PLAN.
  - DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE REJECTED.
  - ALL MATERIALS SHALL BE NEW AND SHALL BE ASBESTOS AND VERMICULITE FREE.
  - SIDEWALK CONSTRUCTION SHOWN IN THESE PLANS SHALL MEET ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF JULY 1991 AS AMENDED, TITLE II, TITLE III, AND ANY STATE, COUNTY, LOCAL OR OTHER APPLICABLE LAWS.
  - PROPOSED UTILITIES ARE SUBJECT TO FINAL DESIGN AND APPROVAL BY THE LOCAL UTILITY COMPANIES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PROTECTION OF WORK AREAS DURING CONSTRUCTION.
  - PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD LOCATE AND RECORD ANY DAMAGE TO EXISTING PAVING, SIDEWALK, CURB, OR STRUCTURES NOT TO BE REMOVED OR REPLACED, ENGINEER TO VERIFY LOCATION AND EXTENT OF DAMAGE.
  - DAMAGE TO EXISTING PAVING, SIDEWALK, CURB, OR STRUCTURES NOT TO BE REPLACED OR REMOVED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO ENGINEER. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGE WORK WITHOUT CHARGE TO THE OWNER.
  - CURB RAMPS TO BE CONSTRUCTED IN ACCORDANCE TO PENNDOT RC-67M.
  - NO STORAGE OF TRASH, GARBAGE, REFUSE, EXPLOSIVE OR FLAMMABLE MATERIALS, HAZARDOUS SUBSTANCES, ANIMALS, ANIMAL CARCASSES OR SKINS, OR SIMILAR ITEMS ARE PERMITTED ON SITE.
  - CONTRACTOR TO REFER TO ARCHITECTURAL, MEP, STRUCTURAL, AND LANDSCAPE PLANS.
  - CONTRACTOR TO MAINTAIN FIRE DEPARTMENT ACCESS TO THE SITE AT ALL TIMES AND EXISTING FIRE HYDRANTS ARE TO REMAIN UNOBTSTRUCTED.
  - THE PROPOSED BUILDING SHALL BE STAKED IN THE LOCATION AS SHOWN ON THE PLAN AND APPROVED BY THE BUILDING INSPECTOR/ZONING OFFICER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALSO, SETBACK OR SEPARATION DIMENSIONS AS INDICATED ON THE PLAN SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION. FIELD ADJUSTMENTS FOR BUILDING LOCATION MAY REQUIRE AN AMENDED PLAN, SUBJECT TO THE DISCRETION OF THE TOWNSHIP OR ITS REPRESENTATIVES.
  - ALL RADII SHOWN ARE 5 FT UNLESS OTHERWISE SPECIFIED.
  - A SURVEYORS CERTIFICATION STATEMENT SHALL BE PROVIDED TO TREDYFFRIN TOWNSHIP UPON INSTALLATION OF PROPOSED MONUMENTS AT LOCATIONS SPECIFIED ON THE PLANS.
  - NO VEGETATION, FENCE, BRIDGE STRUCTURE, SIGN, OR OTHER OBSTRUCTION SHALL BE PERMITTED IN THE SIGHT TRIANGLE AREA AND IT IS THE OWNER'S RESPONSIBILITY IN

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR RELIANCE BY OTHERS OTHER THAN THE EXTENSIVE OF THE PROJECT OR ON ANY OTHER PROJECT. ANY RELIANCE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

Δ	DATE	ISSUED FOR
	03/16/2023	LAND DEVELOPMENT SUBMISSION
1	05/18/2023	REVISED PER TWP COMMENTS
2	06/14/2023	REVISED PER COCD COMMENTS
3	07/20/2023	REVISED PER TWP REVIEW
4	09/26/2023	REV. PER TWP & MDS REVIEW
5	09/29/2023	REVISED PER ISM REVIEW
6	01/17/2024	ISSUED FOR FINAL SUBMISSION
7	03/18/2024	BID ISSUE

SHEET TITLE

SITE PLAN

DRAWING NUMBER

CS1002

SIGN TABLE:

SYMBOL	SIGN CHARACTERISTICS	PENNDOT #	SIZE
A	STOP	R1-1	30"x30"
B	PEDESTRIAN CROSSING / DOWNWARD POINTED ARROW PLAQUE	S1-1 / W16-7P	30"x30" / 24"x12"
C	RESERVED PARKING	R7-5	12"x18"
D	VAN ACCESSIBLE	R7-8P	12"x8"

0 40' 80'

SHEET 12 OF 51

MATCHLINE (SHEET CS1001)

2 STORY  
BRICK BUILDING  
255,907 SF  
"CONESTOGA HIGH  
SCHOOL"  
200 IRISH ROAD

NIP PAOLI AREA  
SCHOOL AUTHORITY  
43-10F-154  
200 IRISH RD  
DB C33 PG 507

\\ms01h01\shared\CS1002\005\_TESD\_Nursey\Project\Drawings\CS1002\005\_TESD\_CS1002\_S01.dwg PLOTTED: 03/20/24 11:34 AM BY: Camille Wilson PROJECT STATUS: PROJECT FILES: PLOTTED: 03/20/24 11:34 AM BY: Camille Wilson PROJECT STATUS: PROJECT FILES: