

ASTON TOWNSHIP, DELAWARE COUNTY, PA.

State of Pennsylvania, County of Delaware

(My commission expires)

APPLICANT CERTIFICATION

Also, I acknowledge that the stormwater controls and BMPs are fixtures that can be altered or removed only after approval by the municipality.

Applicant

DESIGN ENGINEER CERTIFICATION

Signature and Seal

CONCORD ROAD

AD

Recorder of Deeds

Delaware County Planning Commission

Signature and Seal
G.D. Houtman & Son, Inc.

The information shown on this plan is the result of a professional service rendered by G.D. Houtman & Son, Inc. Reproduction of this plan without approval of G.D. Houtman & Son, Inc. is not permitted. The reproduction of this plan for any other purpose without the written consent of G.D. Houtman & Son, Inc. is prohibited. No liability shall be assumed by G.D. Houtman & Son, Inc. for any errors or omissions on this plan, in no circumstance, be approved. Certification for the work contained herein is limited to the entity for whom the work was performed as of the date shown on the plans.

Note: All locations of existing utilities shown on the plan have been developed by visual inspection and/or ground examination of the site. Completeness or accuracy of locations and depth of underground utilities or structures cannot be guaranteed. Contractor must verify location and depth of all utilities prior to construction. This plan is subject to change without notice per the latest amendment of PA Act 287 of 1974, Effective Date: Mar. 29, 2007.

WAIVER REQUEST:
1232.02(A) Proce

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft

[illegible]

PLAN LEGEND

Sheet 1	- Land Development Plan
Sheet 2	- Overall Plan
Sheet 3	- Existing Conditions Plan
Sheet 4	- Grading Plan
Sheet 5	- Spot Elevation Plan
Sheet 6	- Sediment & Erosion Plan
Sheet 7	- Construction Details Plan
Sheet 8	- Profiles & Construction Details Plan
Sheet 9	- Landscape Plan

PROPOSE: This plan set is prepared to obtain Land Development Approval for a new Municipal Building for Aston Township including the Police Department.

PRELIMINARY/FINAL

LAND DEVELOPMENT PLAN
PROPERTY OF
ASTON TOWNSHIP
MUNICIPAL BUILDING
ASTON TOWNSHIP
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.

CIVIL ENGINEERS—LAND SURVEYORS

LAND PLANNERS
130 EAST BALTIMORE PIKE METLA, PA 19063

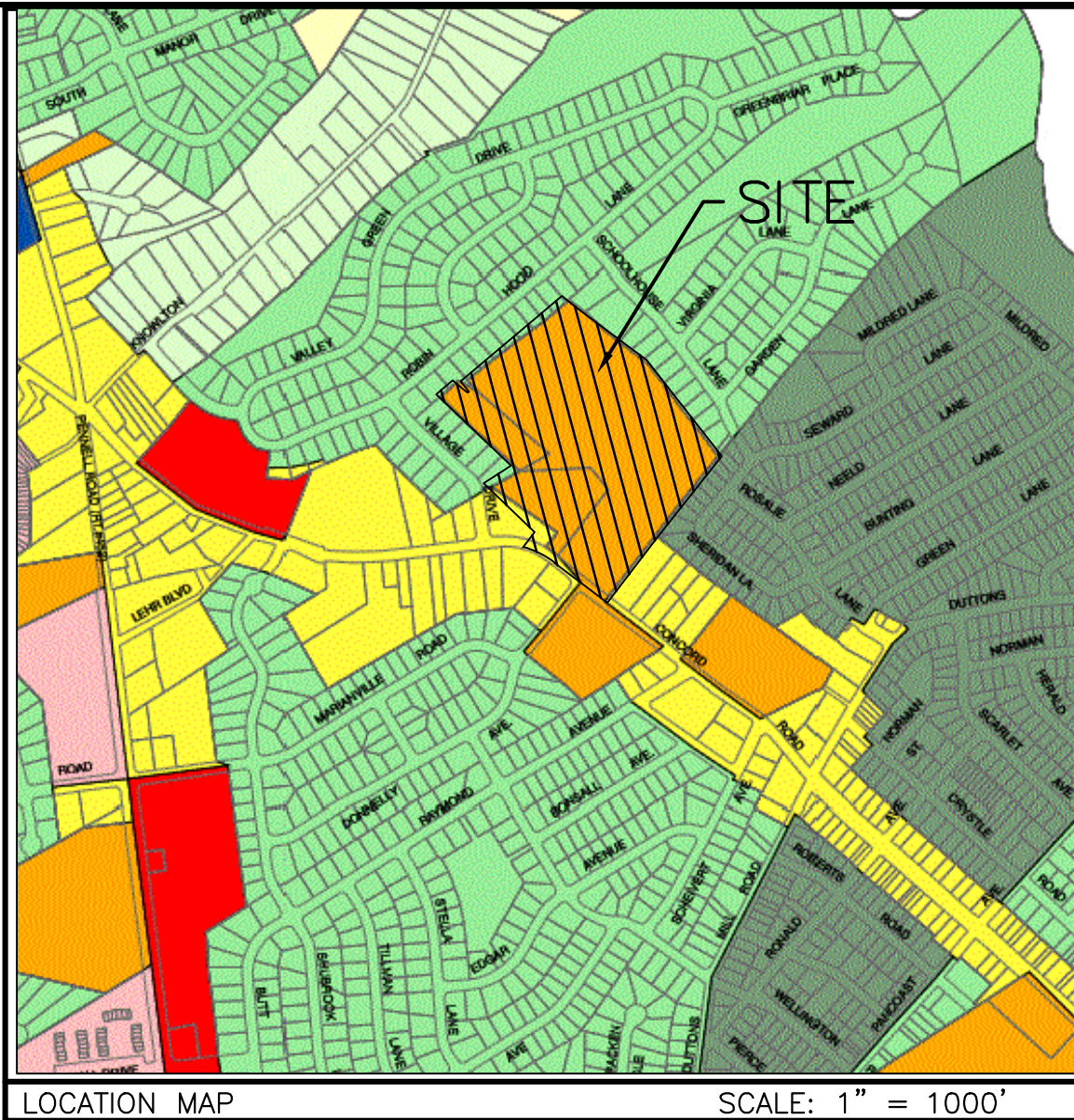
(610)565-6363

Sheet 1 of 9
PROJECT Aston Municipal Bldg

WORK ORDER
39561

FILE	3864
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\\ACAD 2000\ASTON TWP\03884-39561-ASTON MUNICIPAL BLDG\DWG\39561-3.DWG2024-03-2



GENERAL NOTES:

- | | | | | |
|-----|--|---|----------------|-------------------|
| 1. | Tax Folio No. | Tax Map No. | Deed of Record | Existing Lot Area |
| | 02-00-00400-00 | 02-20-144 | Bk 6232 Pg 245 | 21,316 Ac. |
| 2. | Zoned ID | | | |
| | Minimum Lot Size | - | 2 Acre | |
| | Minimum Lot Width | - | 50' | |
| | at street | - | 200' | |
| | Minimum Front Yard | - | 50' | |
| | Minimum Side Yard | - | 30' | |
| | Minimum Rear Yard | - | 50' | |
| | Maximum Building Coverage | - | 50% | |
| | Maximum Impervious Coverage | - | 70% | |
| | Maximum Height | - | 50' | |
| 3. | Lots serviced by public water & public sewage | | | |
| 4. | Contours from field survey performed using Global Positioning System (GPS) | | | |
| 5. | Elevation, Elevation or North American Vertical Datum of 1988, Benchmark | | | |
| 6. | Rick Wade Fieldhouse entrance, 212-9 | | | |
| 7. | Soils information from USDA Web Soil Survey The Soil Types are as follows: | | | |
| | GwB - | Glenieg-Wheaton complex, 0-8% slopes | | |
| | UwB - | Urban Land-Wheaton complex, 0-8% slopes | | |
| 6. | Owner/Applicant: | Aston Township | | |
| | | 2 New Rd | | |
| | | Aston, PA 19014 | | |
| 7. | There is no 100-Year Flood Plain on this site as shown on the Flood Insurance Rate Map (FIRM), Delaware County, Pa, Panel 181 of 250, Map Number 42405C0181F - Map revised November 18, 2009 | | | |
| 8. | Reference Plan: Plan of Amphitheater Phase 2 Aston Twp Community Center, prepared by Pennoni Assoc., Inc., dated March 21, 2022. | | | |
| 9. | There are no streams or wetlands within the project area. | | | |
| 10. | Access drives and parking areas to be owned and maintained by Aston Township. | | | |
| 11. | A PennDOT Highway Occupancy Permit is required for proposed alterations to entrance drive and utility connections within state road Right-of-Way. | | | |
| 12. | Plans shall be reviewed for approval by SWDCMA. | | | |
| 13. | Public water to be provided by Chester Water Authority. | | | |
| 14. | Pa DEP Sewage Facility Planning Module is required. | | | |
| 15. | No Deed restrictions are proposed. | | | |

PROPOSE: This plan set is prepared to obtain Land Development Approval for a new Municipal Building for Aston Township including the Police Department.

APPROVED

ASTON TOWNSHIP, DELAWARE COUNTY, PA.

Name of Development:

Date:

Township Engineer:

Planning Commission:

Board of Commissioners:

President

Secretary

State of Pennsylvania, County of Delaware

On this day of , 2024, before me, the undersigned officer, personally appeared , who being duly sworn according to law, depose and says that he is the owner (or equitable owner) of the property shown on this plan, that the subdivision plan thereof was made at his direction and that he acknowledges the same to be his act and plan and desires the same be recorded as such according to law. Witness my hand and seal the day and date above written.

(signature of individual)

(Notary public or other officer)

(My commission expires)

I hereby certify, to the best of my knowledge, the accuracy of this plan and details are in accordance with Act 367, known as the Professional Engineers Registration Law (P.L. 913, No. 367.63 P.S. 151), as amended.

Recorder of Deeds

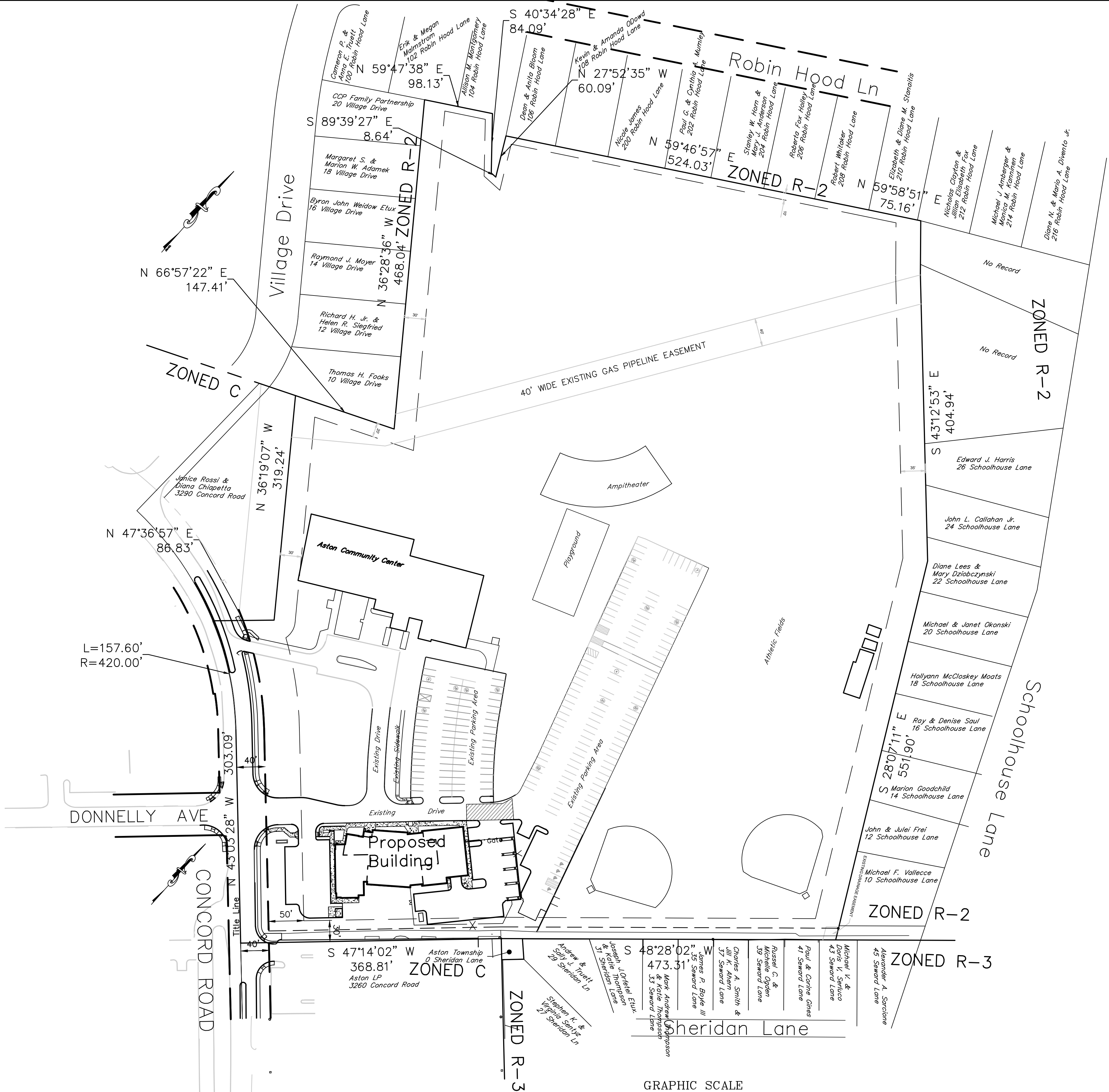
Delaware County Planning Commission

I hereby certify to my usual and customary and professional care that this plan was prepared from an actual field survey performed under my immediate supervision and is in accordance with the "Minimum standards of practice for professional land surveyors in the Commonwealth of Pennsylvania" as adopted by the Pennsylvania Society of Land Surveyors and that all the existing monuments, pipes, stones, etc., are as shown.

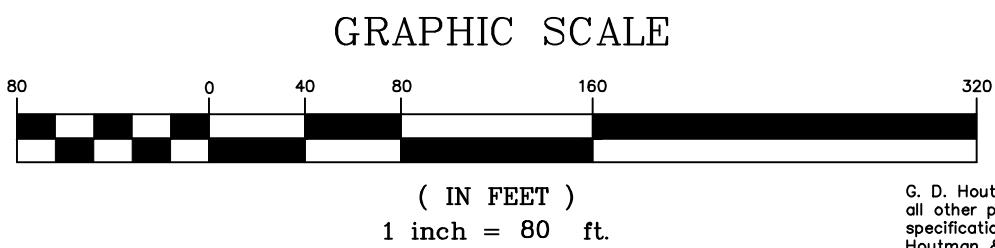
Signature and Seal
G.D. Houtman & Son, Inc.

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Note: All locations of existing utilities shown on the plan have been developed from existing utility records and / or above ground examination of the site. Completeness or accuracy of locations and depth of underground utilities or structures cannot be guaranteed. Contractor must verify location and depth of all underground utilities and facilities before start of work, as per the Act 188 as per the latest amendment of PA Act 287 of 1974, Effective Mar. 29, 2007



- GENERAL NOTES:
- Tax Folio No. 02-00-00400-00 Tax Map No. 02-20-144 Deed of Record Bk 6232 Pg 245 Existing Lot Area 21.316 Ac.
 - Zoned ID 02-20-144 Minimum Lot Size 2 Acre Minimum Lot Width at street 50' at building 200' Minimum Front Yard 50' Minimum Side Yard 30' Minimum Rear Yard 50' Maximum Building Coverage 50% Maximum Impervious Coverage 70% Maximum Height 50'
 - Lots serviced by public water & public sewage
 - Contours from field survey performed using Global Positioning System (GPS) Equipment. Elevation Per North American Vertical Datum of 1988. Benchmark Rick Owsley Fieldhouse entrance elev=212.89
 - Soils information from USDA Web Soil Survey The Soil Types are as follows: GwB - Glenelg-Wheaton complex, 0-8% slopes UvB - Urban Land-Wheaton Complex, 0-8% slopes
 - Owners/Applicant: Aston Township 5021 Pennell Rd Aston, PA 19014
 - There is no 100-Year Flood Plain on this site as shown on the Flood Insurance rate Map (FIRM), Delaware County, Pa, Panel 181 of 250, Map Number 42045C0181F - Map revised November 18, 2009
 - Reference Plan: Plan of Amphitheater Phase 2 Aston Twp Community Center, prepared by Pennoni Accoc, Inc., dated March 21, 2022.



G. D. Houtman & Son, Inc. reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and codes thereof are to remain property of G. D. Houtman & Son, Inc. They are to be used only in respect to the project. They are not to be assigned to any third party without first obtaining written permission from G.D. Houtman & Son, Inc. Any reuse without written permission for the specific purpose intended shall be at the third party's sole risk and without liability or legal exposure to G.D. Houtman & Son, Inc. The first party shall further indemnify and hold harmless G.D. Houtman & Son, Inc. from all claims, damages, losses and expenses arising thereon or resulting therefrom.

These plans were prepared to obtain Subdivision/Land Development approval from the governing Municipality and to obtain certain permits from the governing Municipality. The design engineer or engineer other than G. D. Houtman & Son, Inc. is contracted to perform construction stake-out services, field survey or engineer shall assume the responsibility for verifying dimensions, elevations, presence of underground utilities, utility interference, existing and new, etc., for coordination. Information shown on layout plans, grading plans, utility plans, profiles and details and for coordinating these plans with plans prepared by others such as utility companies, architecture building plans, landscape plans, lighting plans and etc.

DATE	REVISION	SCALE	
		1" = 80'	DATE
03/29/24	0- Issued	March 29, 2024	

PRELIMINARY/FINAL

OVERALL PLAN
PROPERTY OF
ASTON TOWNSHIP
MUNICIPAL BUILDING
ASTON TOWNSHIP
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.

CIVIL ENGINEERS—LAND SURVEYORS
LAND PLANNERS

139 EAST BALTIMORE PARK
(610)605-4363

Sheet 2 of 9

PROJECT
Aston Municipal Bldg

PLAN
39561

FILE
3864

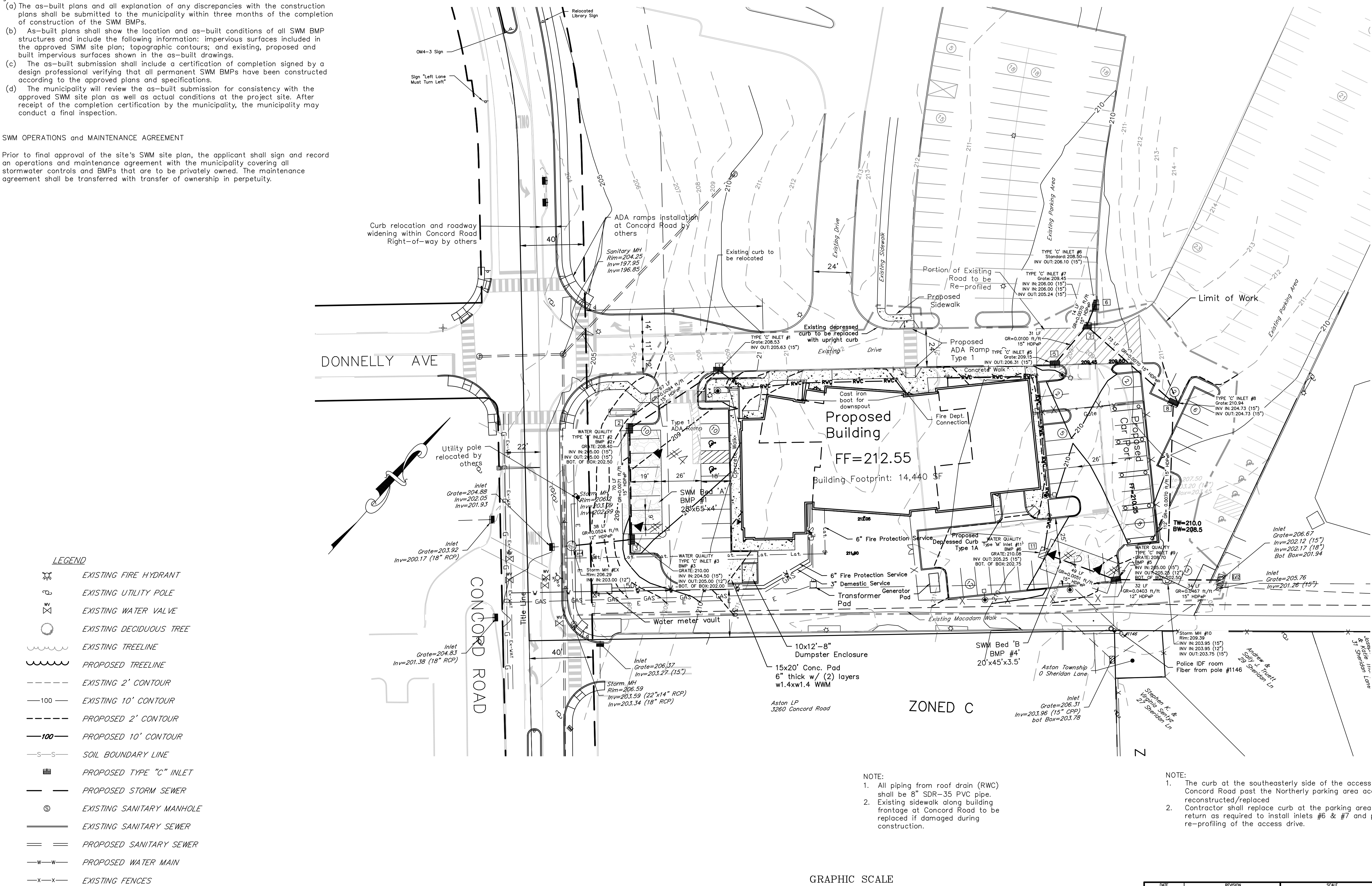
AS-BUILT PLANS

The developer shall be responsible for providing as-built plans of all SWM BMPs included in the approved SWM site plan for activities involving proposed impervious surfaces 1,000 square feet or greater and for earth disturbances 5,000 square feet or greater.

- (a) The as-built plans and all explanation of any discrepancies with the construction plans shall be submitted to the municipality within three months of the completion of construction of the SWM BMPs.
- (b) As-built plans shall show the location and as-built conditions of all SWM BMP structures and include the following information: impervious surfaces included in the approved SWM site plan; topographic contours; and existing, proposed and built impervious surfaces shown in the as-built drawings.
- (c) The as-built submission shall include a certification of completion signed by a design professional verifying that all permanent SWM BMPs have been constructed according to the approved plans and specifications.
- (d) The municipality will review the as-built submission for consistency with the approved SWM site plan as well as actual conditions at the project site. After receipt of the completion certification by the municipality, the municipality may conduct a final inspection.

SWM OPERATIONS and MAINTENANCE AGREEMENT

Prior to final approval of the site's SWM site plan, the applicant shall sign and record an operations and maintenance agreement with the municipality covering all stormwater controls and BMPs that are to be privately owned. The maintenance agreement shall be transferred with transfer of ownership in perpetuity.



PRELIMINARY/FINAL

GRADING PLAN
PROPERTY OF
**ASTON TOWNSHIP
MUNICIPAL BUILDING**
ASTON TOWNSHIP
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.

CIVIL ENGINEERS—LAND SURVEYORS
LAND PLANNERS

139 EAST BALTIMORE PIKE
MIDDLETOWN, PA 17053
(610)665-4363

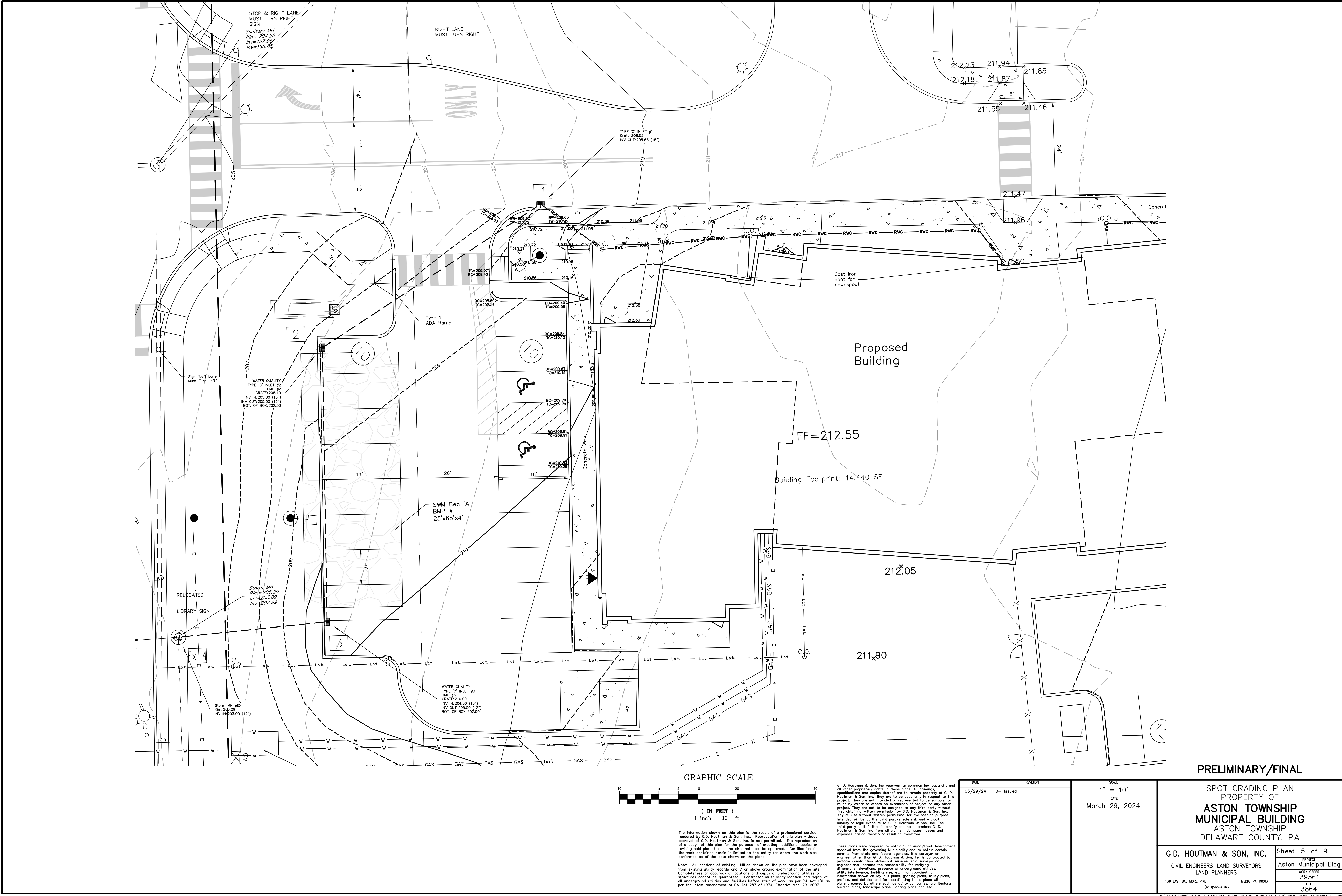
Sheet 4 of 9

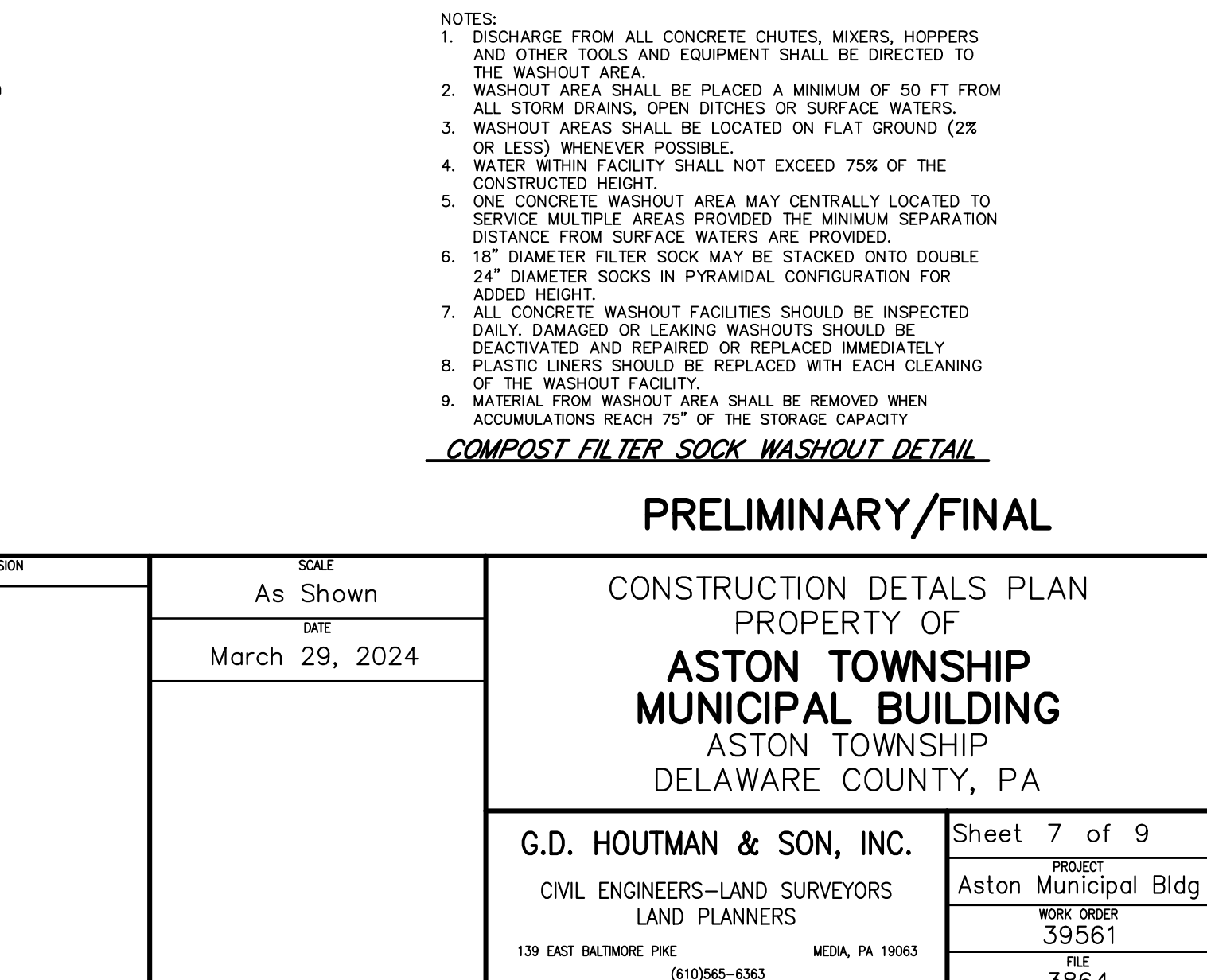
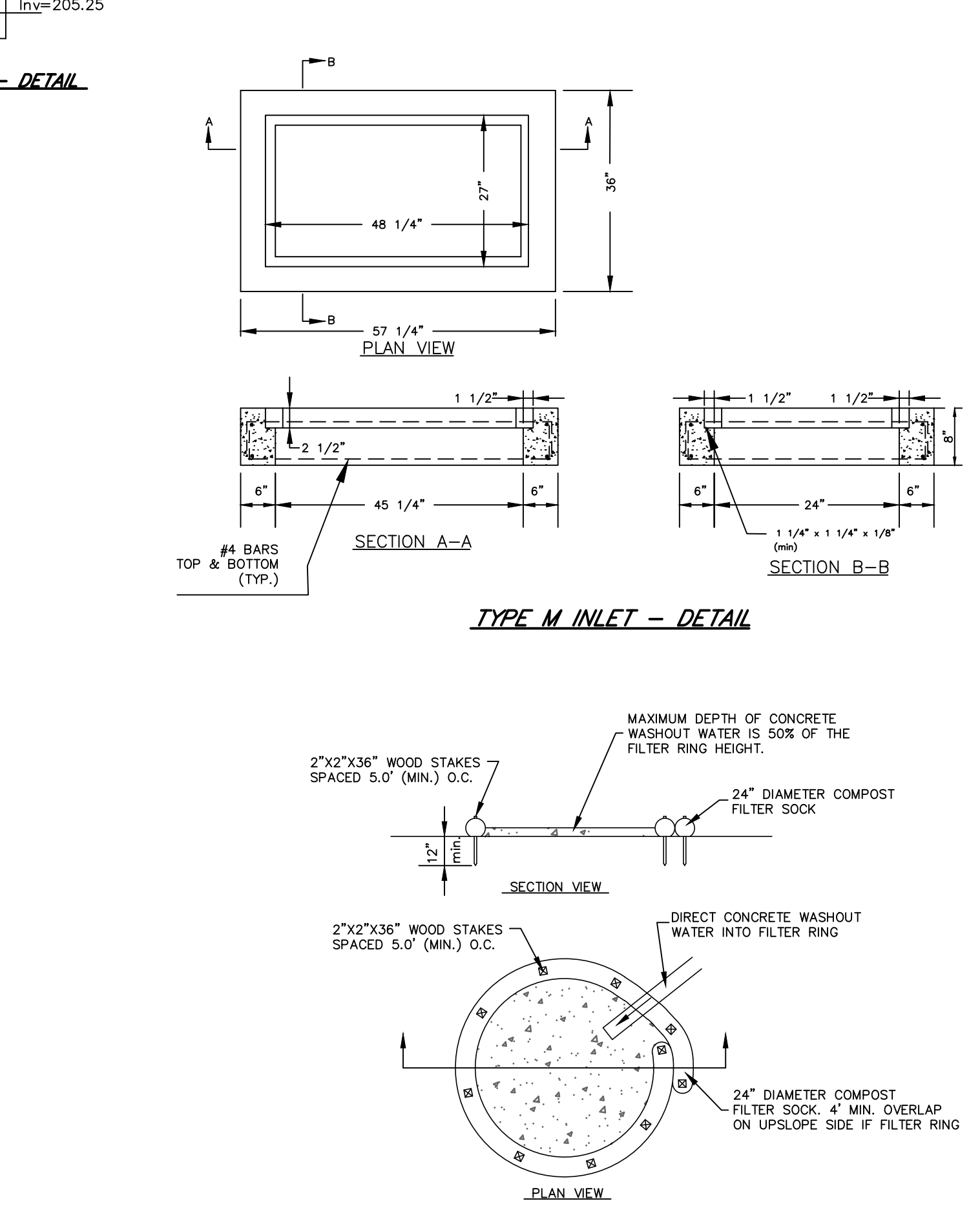
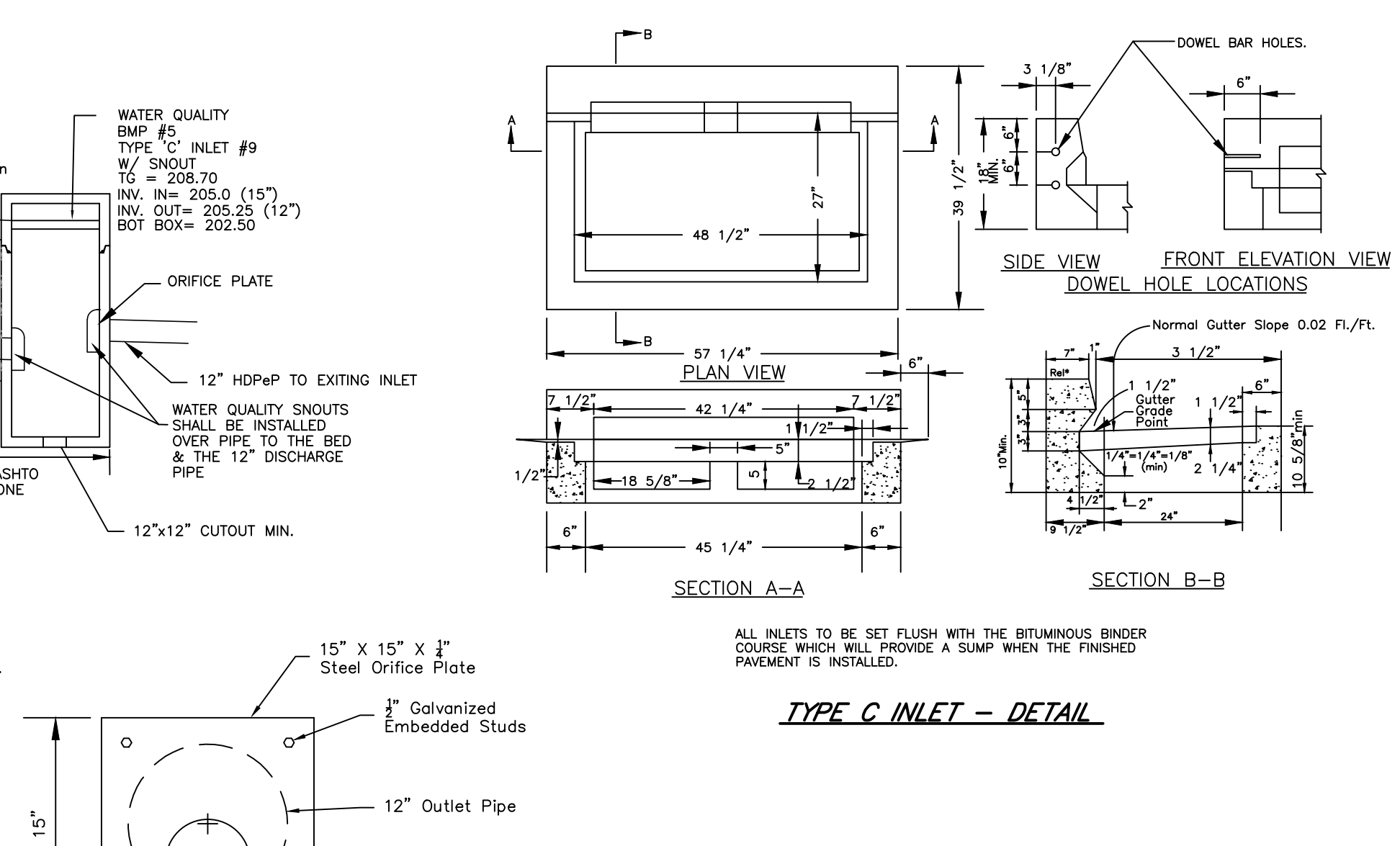
PROJECT
Aston Municipal Bldg

DATE
3/28/2024

FILE
39561

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DATE	REVISION	SCALE	CONSTRUCTION DETAILS PLAN PROPERTY OF ASTON TOWNSHIP MUNICIPAL BUILDING ASTON TOWNSHIP DELAWARE COUNTY, PA
03/29/24	0- Issued	As Shown	
		DATE March 29, 2024	
			G.D. HOUTMAN & SON, INC. CIVIL ENGINEERS—LAND SURVEYORS LAND PLANNERS 139 EAST BALTIMORE PARK MEDA, PA 19063 (610)995-6363
			Sheet 7 of 9 Aston Municipal Bldg WORK SHEET 39561 FILE 3864



DETAIL A
CONTRACTION JOINT

2" DEEP
3/16" WIDE

1/4" RADIUS

8"

7"

1"

3/4" RADIUS

CLASS A CEMENT CONCRETE

5"

10"

10"

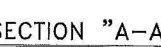
TYPICAL CROSS SECTION



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CURB INSTALLATION ADJACENT TO EXISTING PAVING – DETAIL



PRELIMINARY/FINAL

CONSTRUCTION DETAILS PLAN
PROPERTY OF
ASTON TOWNSHIP
MUNICIPAL BUILDING
ASTON TOWNSHIP
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.

CIVIL ENGINEERS—LAND SURVEYORS

LAND PLANNERS
430 E. FACE GATEWAY DR. MESA, AZ 85203

(610)563-6363

Sheet 8 of 9

PROJECT
Aston Municipal Block

WORK ORDER
39561

FILE
3864

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