

**APPROVED**  
ASTON TOWNSHIP, DELAWARE COUNTY, PA.

Name of Development: \_\_\_\_\_  
Date: \_\_\_\_\_  
Township Engineer: \_\_\_\_\_  
Planning Commission: \_\_\_\_\_  
Board of Commissioners: \_\_\_\_\_ President  
Secretary

**APPLICANT CERTIFICATION**  
I, the Property Owner (Applicant), hereby acknowledge that any revision to the approved SWM site plan must be approved by the municipality, and that a revised erosion and sediment control plan must be submitted to the Conservation District for a determination of adequacy (if required).  
Also, I acknowledge that the stormwater controls and BMPs are fixtures that can be altered or removed only after approval by the municipality.

Applicant  
\_\_\_\_\_  
Signature and Seal

**DESIGN ENGINEER CERTIFICATION**  
I, Matthew R. Houtmann, P.E., on this date, hereby certify that the SWM site plan meets all design standards and criteria of the Aston Township Stormwater Management Ordinance.

Signature and Seal  
\_\_\_\_\_  
Signature and Seal

State of Pennsylvania, County of Delaware

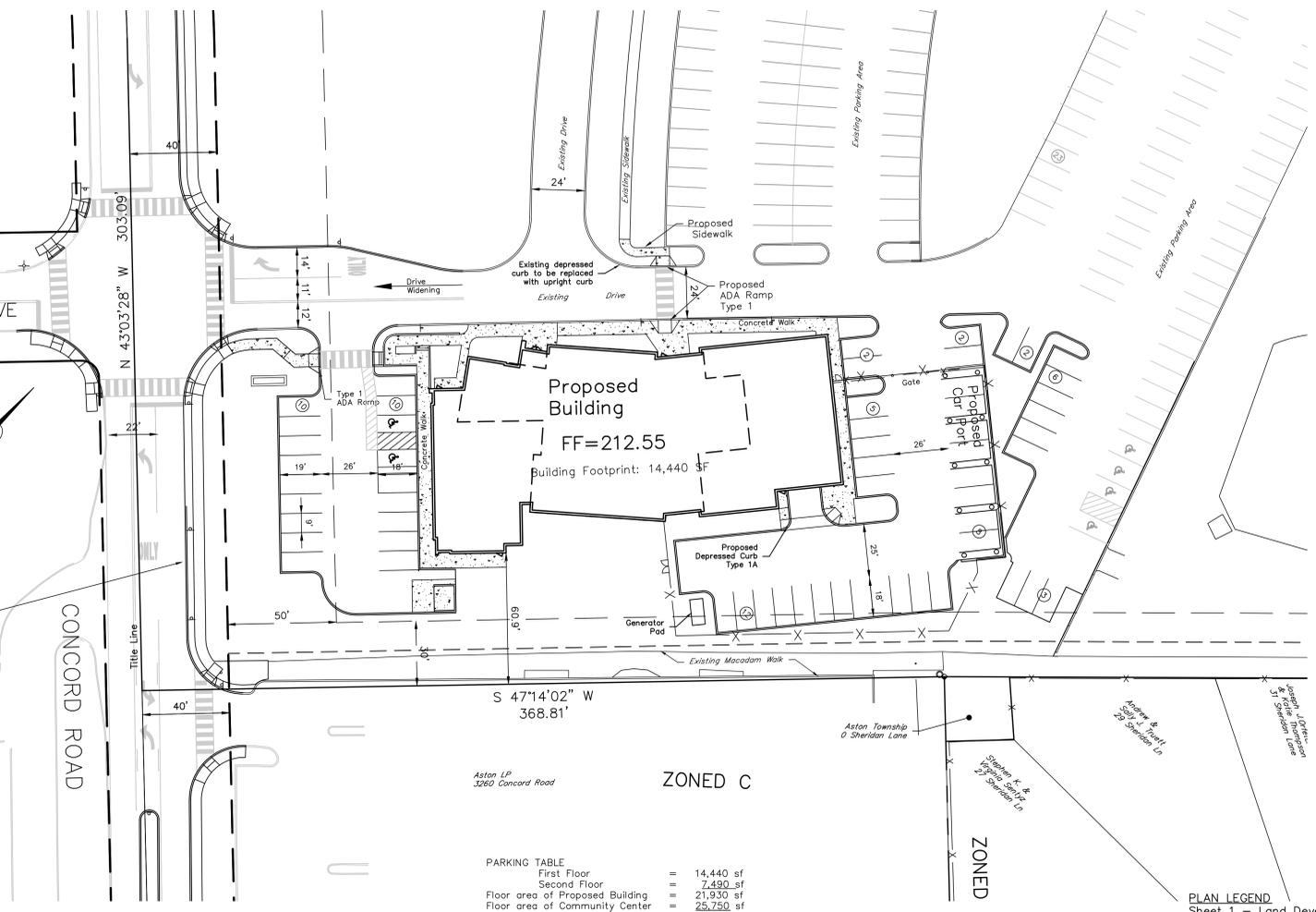
On this day of \_\_\_\_\_, 2024, before me, the undersigned officer, personally appeared \_\_\_\_\_, who being duly sworn according to law, depose and says that he is the owner (or equitable owner) of the property shown on this plan, that the subdivision plan thereof was made at his direction and that he acknowledges the same to be his act and plan and desires the same be recorded as such according to law. Witness my hand and seal the day and date above written.

(signature of individual)  
(Notary public or other officer)  
(My commission expires)

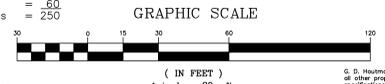
The road widening/improvements illustrated on this plan will be part of a separate and future project sponsored by Aston Township. This project does not include the improvements to Concord Road

I hereby certify, to the best of my knowledge, the accuracy of this plan and details are in accordance with Act 367, known as the Professional Engineers Registration Law (P.L. 913, No. 367.63 P.S. 151), as amended.

Recorder of Deeds  
Delaware County Planning Commission



**WAIVER REQUEST:**  
1232.02(A) Processes Application as Preliminary/Final

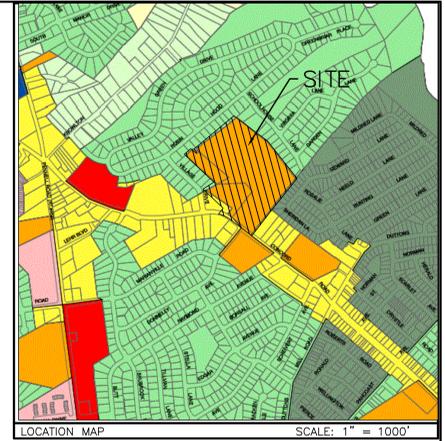


I hereby certify to my usual and customary professional care that this plan was prepared from an actual field survey performed under my immediate supervision and in accordance with the "Minimum standards of practice for professional land surveyors in the Commonwealth of Pennsylvania" as adopted by the Pennsylvania Society of Land Surveyors and that all the existing monuments, pipes, stones, etc., are shown.

The information shown on this plan is the result of a professional service rendered by G.D. Houtman & Son, Inc. Reproduction of this plan without approval of G.D. Houtman & Son, Inc. is not permitted. The reproduction of a copy of this plan for the purpose of creating additional copies or retaining said plan shall, in no circumstance, be approved. Certification for the work contained herein is limited to the entity for whom the work was performed as of the date shown on the plans.

Note: All locations of existing utilities shown on the plan have been developed from existing utility records and / or above ground examination of the site. Completeness or accuracy of locations and depth of underground utilities or structures cannot be guaranteed. Contractor must verify location and depth of all underground utilities and facilities before start of work, as per Act 18 on the part of the latest amendment of PA Act 287 of 1974, Effective Mar. 25, 2007.

G. D. Houtman & Son, Inc. reserves the common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are to remain property of G. D. Houtman & Son, Inc. They are not to be used in any project other than that for which they were prepared. No liability shall be assumed by G. D. Houtman & Son, Inc. for any errors or omissions in these plans, drawings, specifications or any other documents prepared by G. D. Houtman & Son, Inc. or any other person or entity. The user of these plans, drawings, specifications or any other documents prepared by G. D. Houtman & Son, Inc. shall assume the responsibility for verifying dimensions, elevations, presence of underground utilities, utility interference, existing site, etc. for construction. Information shown on layout plans, grading plans, utility plans, profiles and details, and for coordinating these plans with plans prepared by others such as utility companies, architecture, building plans, landscape plans, lighting plans and etc.



- GENERAL NOTES:**
- Tax Folio No. 02-00-00400-00 Tax Map No. 02-20-144 Deed of Record Bk 6232 Pg 245 Existing Lot Area 21,316 Ac.
  - Zoned ID 02-20-144 Bk 6232 Pg 245 21,316 Ac.
  - Minimum Lot Size - 2 Acre
  - Minimum Lot Width - 50'
  - at building - 200'
  - Minimum Front Yard - 50'
  - Minimum Side Yard - 30'
  - Minimum Rear Yard - 50'
  - Maximum Building Coverage - 50%
  - Maximum Impervious Coverage - 70%
  - Maximum Height - 50'
  - Lots serviced by public water & public sewage
  - Contours from field survey performed using Global Positioning System (GPS) Equipment. Elevation Per North American Vertical Datum of 1988. Benchmark Rick Owsley Fieldhouse entrance elev=212.99
  - Soils information from USDA Web Soil Survey The Soil Types are as follows:  
GWB - Gieneg-Wheaton complex, 0-8% slopes  
UwB - Urban Land-Wheaton Complex, 0-8% slopes
  - Owner/Applicant: Aston Township  
2 New Rd  
Aston, PA 19014
  - There is no 100-Year Flood Plain on this site as shown on the Flood Insurance rate Map (FIRM), Delaware County, Pa, Panel 181 of 250, Map Number 42045C0181F - Map revised November 18, 2009
  - Reference Plan: Plan of Amphitheater Phase 2 Aston Twp Community Center, prepared by Pennoni Assoc, Inc., dated March 21, 2022.
  - There are no streams or wetlands within the project area.
  - Access drives and parking areas to be owned and maintained by Aston Township.
  - A PennDOT Highway Occupancy Permit is required for proposed alterations to entrance drive and utility connections within state road Right-of-Way.
  - Plans shall be reviewed for approval by SWDCMA.
  - Public water to be provided by Chester Water Authority.
  - Pa DEP Sewage Facility Planning Module is required.
  - No Deed restrictions are proposed.

PROPOSE: This plan set is prepared to obtain Land Development Approval for a new Municipal Building for Aston Township including the Police Department.

**PRELIMINARY/FINAL**

LAND DEVELOPMENT PLAN  
PROPERTY OF  
**ASTON TOWNSHIP  
MUNICIPAL BUILDING**  
ASTON TOWNSHIP  
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.  
1319 EAST BALTIMORE PIKE  
LANE PLANNERS  
MEDA, PA 19063  
(610)665-4363

Sheet 1 of 9  
PROJECT: Aston Municipal Bldg  
DATE ISSUED: 3/29/24  
FILE: 3864

DATE	REVISION	SCALE
03/29/24	0- Issued	1" = 30'
DATE March 29, 2024		

**APPROVED**  
ASTON TOWNSHIP, DELAWARE COUNTY, PA.

Name of Development: \_\_\_\_\_  
Date: \_\_\_\_\_  
Township Engineer: \_\_\_\_\_  
Planning Commission: \_\_\_\_\_  
Board of Commissioners: \_\_\_\_\_ President  
Secretary

State of Pennsylvania, County of Delaware

On this day of \_\_\_\_\_, 2024, before me, the undersigned officer, personally appeared \_\_\_\_\_, who being duly sworn according to law, depose and says that he is the true owner (or equitable owner) of the property shown on this plan, that the subdivision plan thereof was made at his direction and that he acknowledges the same to be his act and plan and desires the same be recorded as such according to law. Witness my hand and seal the day and date above written.

(signature of individual)  
(Notary public or other officer)  
(My commission expires)



I hereby certify, to the best of my knowledge, the accuracy of this plan and details are in accordance with Act 367, known as the Professional Engineers Registration Law (P.L. 913, No. 367.63 P.S. 151), as amended.

Recorder of Deeds  
Delaware County Planning Commission

I hereby certify to my usual and customary professional care that this plan was prepared from an actual field survey performed under my immediate supervision and in accordance with the "Minimum standards of practice for professional land surveyors in the Commonwealth of Pennsylvania" as adopted by the Pennsylvania Society of Land Surveyors and that all the existing monuments, pipes, stones, etc., are shown.

Signature and Seal  
G.D. Houtman & Son, Inc.

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Note: All locations of existing utilities shown on the plan have been developed from existing utility records and / or above ground examination of the site. Completeness or accuracy of locations and depth of underground utilities or structures cannot be guaranteed. Contractors must verify location and depth of underground utilities and facilities before start of work, as per the Act 88 on per the latest amendment of PA Act 287 of 1974, Effective Mar. 29, 2007.

These plans were prepared in strict Subdivision/land Development approved from the governing Municipality and to obtain certain permits from state and federal agencies. The engineer or engineer in charge other than G.D. Houtman & Son, Inc. is contracted to perform construction related services. The engineer or engineer in charge shall assume the responsibility for verifying dimensions, elevations, presence of underground utilities, and other information shown on layout plans, grading plans, utility plans, profiles and details and for coordinating these plans with plans prepared by others such as utility companies, architecture, building plans, landscape plans, lighting plans and etc.

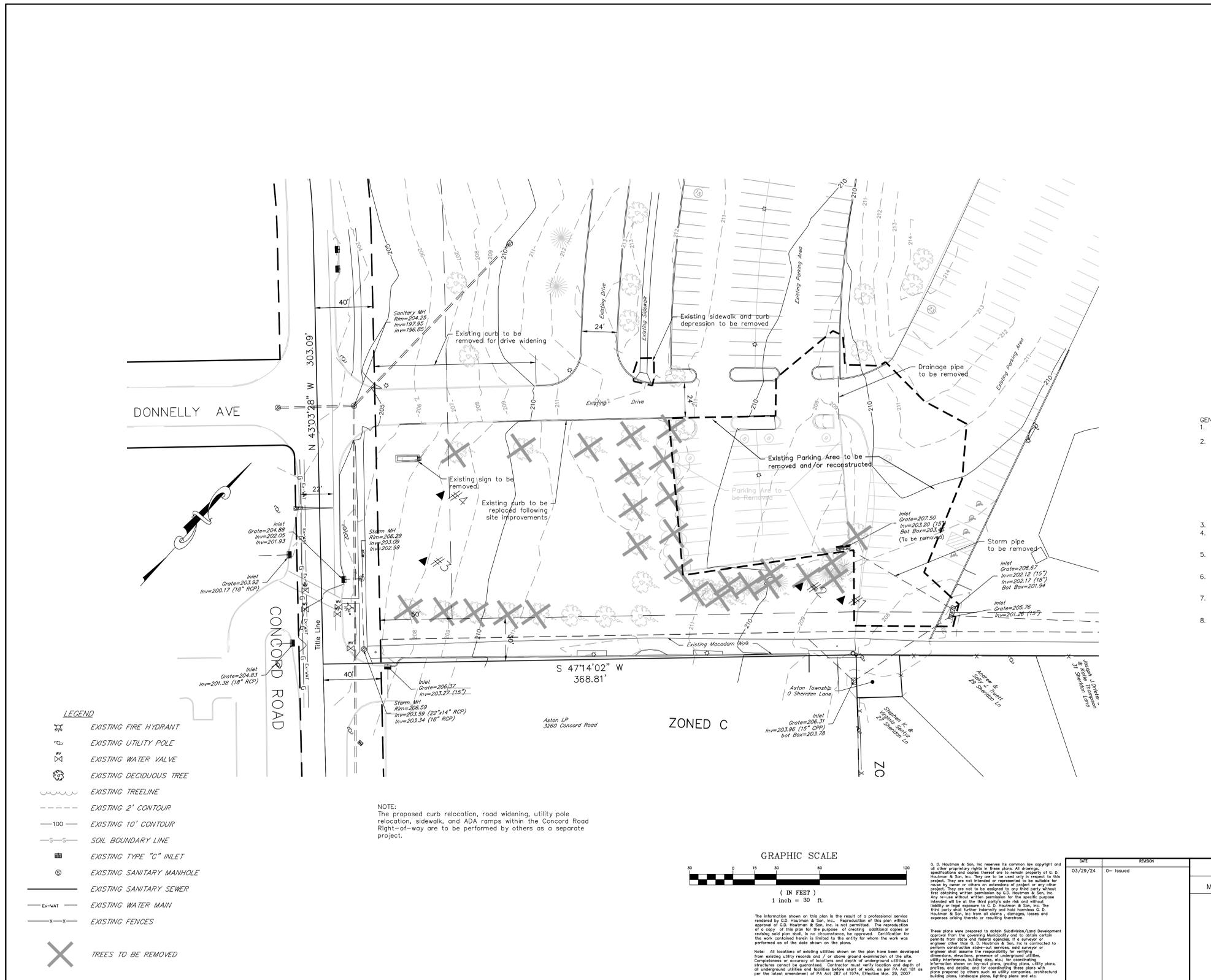
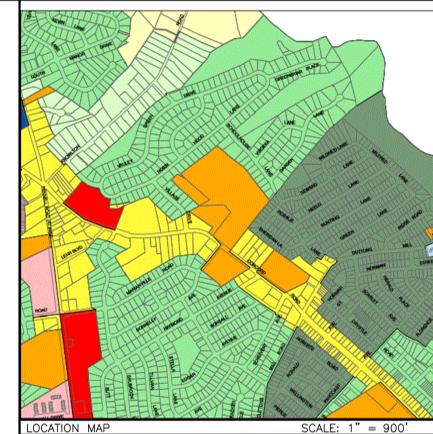
- GENERAL NOTES:
- Tax Folio No. 02-00-00400-00 Tax Map No. 02-20-144 Deed of Record Bk 6232 Pg 245 Existing Lot Area 21.316 Ac.
  - Zoned ID Minimum Lot Size - 2 Acre Minimum Lot Width - 200' at building - 50' at street - 50' Minimum Front Yard - 50' Minimum Side Yard - 30' Minimum Rear Yard - 50' Maximum Building Coverage - 50% Maximum Impervious Coverage - 70% Maximum Height - 50'
  - Lots serviced by public water & public sewage
  - Contours from field survey performed using Global Positioning System (GPS) Equipment. Elevation Per North American Vertical Datum of 1988. Benchmark Rick Owsley Fieldhouse entrance elev=212.99
  - Soils information from USDA Web Soil Survey The Soil Types are as follows:  
GWB - Glenelg-Wheaton complex, 0-8% slopes  
UWB - Urban Land-Wheaton Complex, 0-8% slopes
  - Owners/Applicant: Aston Township  
5021 Pennell Rd  
Aston, PA 19014
  - There is no 100-Year Flood Plain on this site as shown on the Flood Insurance rate Map (FIRM), Delaware County, Pa, Panel 181 of 250, Map Number 42045C0181F - Map revised November 18, 2009
  - Reference Plan: Plan of Amphitheater Phase 2 Aston Twp Community Center, prepared by Pennoni Accoc, Inc., dated March 21, 2022.

PRELIMINARY/FINAL

OVERALL PLAN  
PROPERTY OF  
**ASTON TOWNSHIP  
MUNICIPAL BUILDING**  
ASTON TOWNSHIP  
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.  
CIVIL ENGINEERS-LAND SURVEYORS  
LAND PLANNERS  
139 EAST BALTIMORE PIKE  
MIDDLETOWN, PA 17057  
(610)565-4363

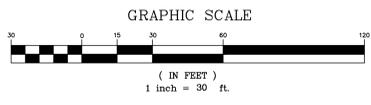
Sheet 2 of 9  
PROJECT: Aston Municipal Bldg  
DATE ISSUED: 03/29/24  
DATE: March 29, 2024  
SCALE: 1" = 80'



- GENERAL NOTES:**
- Tax Folio No. 02-00-00400-00 Tax Map No. 02-20-144 Deed of Record Bk 6232 Pg 245 Existing Lot Area 21,316 Ac.
  - Zoned ID Minimum Lot Size - 2 Acre Minimum Lot Width - 20' at building - 50' at street - 50' Minimum Front Yard - 30' Minimum Side Yard - 50' Minimum Rear Yard - 50' Maximum Building Coverage - 50% Maximum Impervious Coverage - 70% Maximum Height - 50'
  - Lots serviced by public water & public sewage
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  - Soils information from USDA Web Soil Survey The Soil Types are as follows: GwB - Glenelg-Wheaton complex, 0-8% slopes Uwb - Urban Land-Wheaton Complex, 0-8% slopes
  - Owners/Applicant: Aston Township 5021 Pennell Rd Aston, PA 19014
  - There is no 100-Year Flood Plain on this site as shown on the Flood Insurance rate Map (FIRM), Delaware County, Pa, Panel 181 of 250, Map Number 42045C0181F - Map revised November 18, 2009
  - Reference Plan: Plan of Amphitheater Phase 2 Aston Twp Community Center, prepared by Pennoni Accoc, Inc., dated March 21, 2022.

- LEGEND**
- EXISTING FIRE HYDRANT
  - EXISTING UTILITY POLE
  - EXISTING WATER VALVE
  - EXISTING DECIDUOUS TREE
  - EXISTING TREELINE
  - EXISTING 2' CONTOUR
  - EXISTING 10' CONTOUR
  - SOIL BOUNDARY LINE
  - EXISTING TYPE "C" INLET
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY SEWER
  - EXISTING WATER MAIN
  - EXISTING FENCES
  - TREES TO BE REMOVED

**NOTE:**  
The proposed curb relocation, road widening, utility pole relocation, sidewalk, and ADA ramps within the Concord Road Right-of-way are to be performed by others as a separate project.



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These plans were prepared in strict Substantial/Field Development approved from the governing Municipality and to obtain certain permits from state and federal agencies. Field survey or engineer other than G. D. Houtman & Son, Inc. is authorized to perform construction related services, field survey or engineer shall assume the responsibility for verifying dimensions, elevations, presence of underground utilities, utility interference, existing etc. All construction information shown on layout plans, grading plans, utility plans, profiles and details, and/or coordinating these plans with plans prepared by others such as utility companies, architecture building plans, landscape plans, lighting plans and etc.

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DATE	REVISION	SCALE
03/29/24	0- Issued	1" = 30'
		DATE
		March 29, 2024

**PRELIMINARY/FINAL**

EXISTING CONDITIONS AND DEMOLITION PLAN  
PROPERTY OF  
**ASTON TOWNSHIP MUNICIPAL BUILDING**  
ASTON TOWNSHIP  
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.  
CIVIL ENGINEERS—LAND SURVEYORS  
LAND PLANNERS  
139 EAST BALTIMORE PIKE (610)666-4363 MEDIA, PA 19063

Sheet 3 of 9  
PROJECT: Aston Municipal Bldg  
DRAWING NO.: 39561  
DATE: 3/26/24

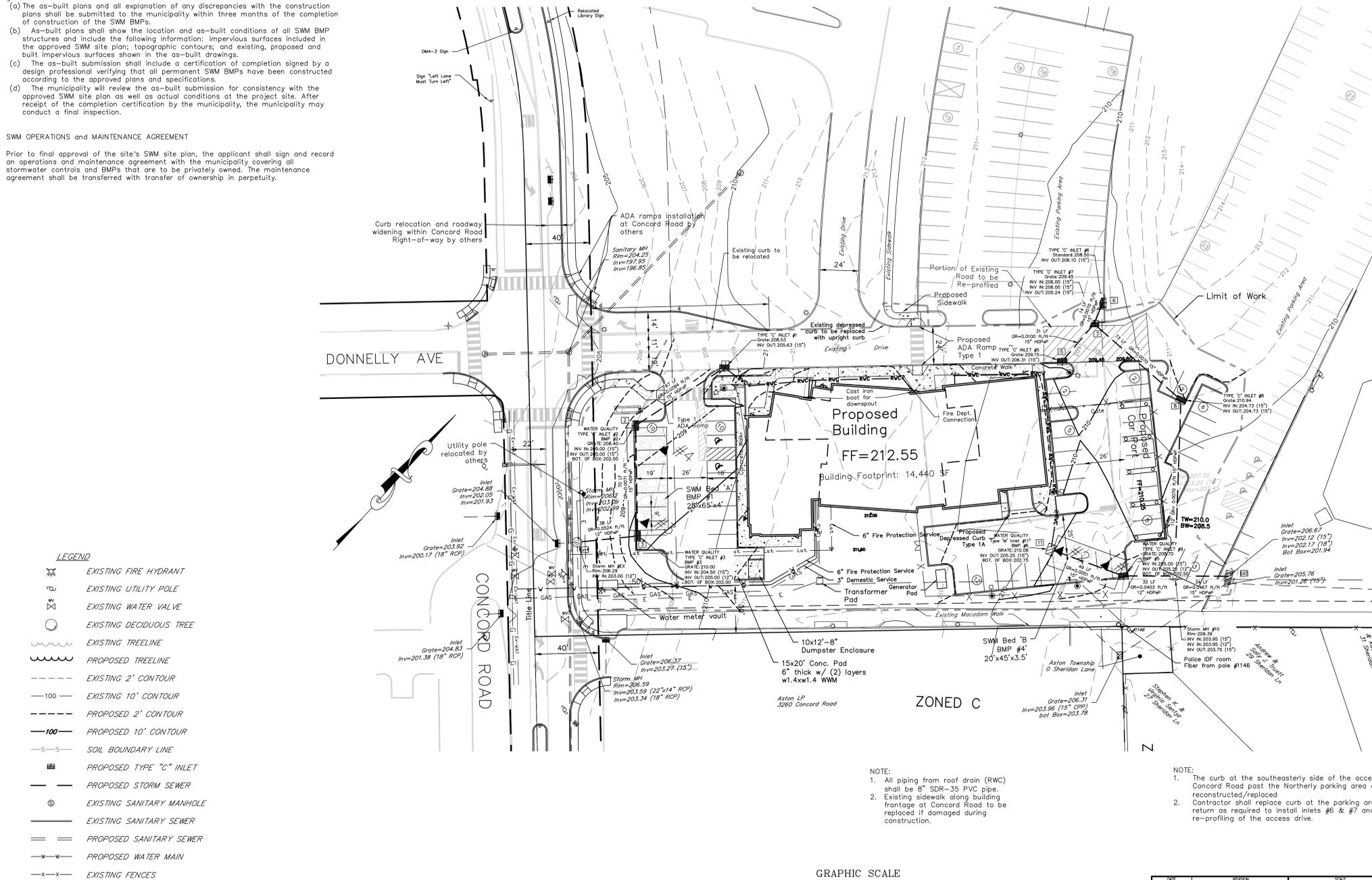
**AS-BUILT PLANS**

The developer shall be responsible for providing as-built plans of all SWM BMPs included in the approved SWM site plan for activities involving proposed impervious surfaces 1,000 square feet or greater and for earth disturbances 5,000 square feet or greater:

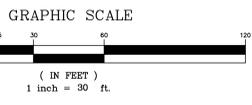
- (a) The as-built plans and all explanation of any discrepancies with the construction plans shall be submitted to the municipality within three months of the completion of construction of the SWM BMPs.
- (b) As-built plans shall show the location and as-built conditions of all SWM BMP structures and include the following information: impervious surfaces included in the approved SWM site plan; topographic contours; and existing, proposed and built impervious surfaces shown in the as-built drawings.
- (c) The as-built submission shall include a certification of completion signed by a design professional verifying that all permanent SWM BMPs have been constructed according to the approved plans and specifications.
- (d) The municipality will review the as-built submission for consistency with the approved SWM site plan as well as actual conditions at the project site. After receipt of the completion certification by the municipality, the municipality may conduct a final inspection.

**SWM OPERATIONS and MAINTENANCE AGREEMENT**

Prior to final approval of the site's SWM site plan, the applicant shall sign and record an operations and maintenance agreement with the municipality covering all stormwater controls and BMPs that are to be privately owned. The maintenance agreement shall be transferred with transfer of ownership in perpetuity.



- LEGEND**
- ⊗ EXISTING FIRE HYDRANT
  - ⊕ EXISTING UTILITY POLE
  - ⊗ EXISTING WATER VALVE
  - EXISTING DECIDUOUS TREE
  - ~ EXISTING TREELINE
  - ~ PROPOSED TREELINE
  - EXISTING 2' CONTOUR
  - 100 EXISTING 10' CONTOUR
  - PROPOSED 2' CONTOUR
  - 100 PROPOSED 10' CONTOUR
  - - - SOIL BOUNDARY LINE
  - PROPOSED TYPE "C" INLET
  - PROPOSED STORM SEWER
  - ⊙ EXISTING SANITARY MANHOLE
  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - PROPOSED WATER MAIN
  - - - EXISTING FENCES



- NOTE:**
- All piping from roof drain (RWC) shall be 8" SDR-35 PVC pipe.
  - Existing sidewalk along building frontage at Concord Road to be replaced if damaged during construction.

- NOTE:**
- The curb at the southeasterly side of the access drive from Concord Road past the Northern parking area access shall be reconstructed/replaced.
  - Contractor shall replace curb at the parking area island and return as required to install inlets #6 & #7 and perform the re-profiling of the access drive.

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These plans were prepared in strict accordance with the requirements of the Pennsylvania Department of Transportation (PennDOT) and the Pennsylvania Department of Environmental Protection (PA DEP) and the Pennsylvania Department of Public Safety (PA DPS). The engineer shall assume the responsibility for verifying dimensions, elevations, presence of underground utilities, information shown on topographic plans, grading plans, utility plans, profiles and details, and for coordinating these plans with plans prepared by others such as utility companies, architectural building plans, landscape plans, lighting plans and etc.

DATE	REVISION	SCALE
03/29/24	0- Issued	1" = 30'
		DATE
		March 29, 2024

**PRELIMINARY/FINAL**

GRADING PLAN  
PROPERTY OF  
**ASTON TOWNSHIP MUNICIPAL BUILDING**  
ASTON TOWNSHIP  
DELAWARE COUNTY, PA

**G.D. HOUTMAN & SON, INC.**  
CIVIL ENGINEERS—LAND SURVEYORS  
LAND PLANNERS  
139 EAST BALTIMORE PIKE  
MIDDLETOWN, PA 17058  
(610)866-4363

Sheet 4 of 9  
PROJECT: Aston Municipal Bldg  
DATE: 03/29/24  
FILE: 39561



SEQUENCE OF CONSTRUCTION

This Project is proposed to be constructed in one Phase.

The NPDES Project Site Area is approximately 2.3 Ac. The Disturbed Area is not expected to exceed 1.9 Ac +/-.

At least 7 days before starting any earth moving activities, a Pre-construction meeting between the Delaware County Conservation District, the Developer, Borough representatives and all Contractors must be held at the site.

Before initiating any revision to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved E & S control plan, the operator must receive approval of the revisions from the Delaware County Conservation District. The operator shall ensure that the approved erosion and sediment control plan is properly and completely implemented. Immediately upon discovering unforeseen circumstances posing potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential accelerated erosion and/or sediment pollution.

All erosion and sediment control facilities shall be inspected after every rain event and on a weekly basis. Any deficiencies or repairs shall be immediately addressed. Sediment shall be removed from facilities in accordance with the maintenance notes associated with each construction detail. Removed sediment shall be placed in an area not subject to accelerated erosion and immediately stabilized. The maintenance inspections shall be logged onto DEP form 3500-FM-BOW02710 Rev. 1/2019 and kept on site at all times.

Upon completion or temporary cessation of the earth disturbance activity that exceeds 4 days, or any stage thereof, the project site shall be immediately stabilized with appropriate temporary or permanent stabilization.

All preventative and remedial maintenance work, including clean-out, repair, replacement, re-grading, re-seeding, re-mulching and re-netting, must be performed immediately if erosion and sedimentation BMP's fail to perform as expected, replacement BMP's or modifications to those installed will be needed.

After final site stabilization has been achieved, temporary erosion and sediment BMP's must be removed. Areas disturbed during removal of BMP's must be stabilized immediately.

The Contractor is advised to become familiar with the provisions of the Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article III, Water Resources, Chapter 102, Erosion Control.

Prior to commencement of earthwork or ground disturbance activity, all erosion control facilities required pursuant to the approved permit plan must be installed. All measures to prevent sediment from leaving the site must be taken by the applicant and builder/contractor throughout the entire period of construction until the site is permanently stabilized, regardless of whether or not such measures are specifically shown on the plan. Sediment from this site may not contaminate onsite or offsite waterways.

CRITICAL STAGES

The Design Engineer and the Township shall be notified a minimum of 3 days prior to the construction of the underground stormwater management Infiltration Basins for oversight and inspection to satisfy the requirements of the NPDES Notice of Termination (NOT) requirements.

If additional material is required or additional material is available on-site, then material will have to be obtained or removed to an off-site permitted source. All imported fill material shall be certified as clean fill.

All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed before any following stage is initiated. Clearing and grubbing shall be limited to those areas described in each stage. The Sequence of construction is a critical step process. Each item must be completed before proceeding to the next item in the sequence.

- 1. Install Construction Entrance at the location shown on the plans. The access drive, parking lots & Concord Road shall remain driveway free at all times.
2. Install orange construction fencing around proposed underground basins A and B as shown on the plans. Fencing shall remain in place until infiltration bed is constructed. At no time will construction traffic be permitted over the underground infiltration bed area.
3. Install all silt socks as shown on the plans. Silt socks shall be maintained until construction has been completed.
4. Begin site grading. Strip topsoil and place in location shown on the plans.
5. Begin building construction. As soon as first floor decking is in place, backfill foundation and begin grading surrounding area.
6. Begin installation of all utilities.
7. Critical Stage: Install Underground Infiltration Basin A, all inlets in the front of the building and connecting pipe as shown. Inlet filter bags shall be installed within each new inlet and maintained until the drainage area to the inlets has been stabilized.
8. Begin Curb Installation on the front parking lot.
9. Critical Stage: Install underground Infiltration Basin B, all connecting inlets and storm sewer as shown. Inlet filter bags shall be installed within each new inlet and maintained until the tributary area to the inlets are stabilized.
10. Install remaining curb.
11. Perform final grading to parking lot areas, stabilize with a layer of crushed stone and pave.
12. Perform any final grading to the surround area, re-apply the topsoil and stabilize in accordance with the seeding specifications.
13. After 75% uniform grass cover has been established over the entire project area & permission has been granted by the Delaware County Conservation District, remove filter bags from and blockages within inlet grates and any remaining silt socks. Silt socks may be cut open and abandoned in place or removed at the contractor's discretion. Accumulated sediment may be stored at the site in areas not subject to erosion and immediately stabilized as specified.
14. Technical advice for the implementation of this program may be obtained by contacting Mr. Edward Magaree, District Manager, Delaware County Conservation District at (610) 892-9464.
15. Copies of these plans must be available on site throughout construction.

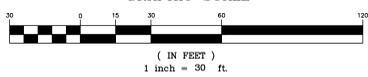
STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

- 1. All Vehicles and equipment entering and existing the construction area must pass through the proposed construction entrance. All drives, parking lots & Concord Road shall remain driveway free at all times.
2. Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter.
3. The operator shall ensure that the property and completed implemented.
4. Until the site achieves final stabilization, the operator shall ensure that the best management practices are implemented, operated, and maintained properly and completely. Maintenance records shall be maintained and made available to local Conservation District.
5. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.
6. Before initiating any revision to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from the local Conservation District, and it being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their location.
7. The operator shall ensure that an erosion and sediment control plan has been approved by the local Conservation District, and it being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their location.
8. Erosion and sediment BMP's must be constructed, stabilized, and functional before site disturbance begins within the tributary areas of those BMP's.
9. After final site stabilization has been achieved, temporary erosion and sediment BMP's must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately.
10. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
11. Immediately after earth disturbance activities cease, the operator shall stabilize any areas disturbed by the activities. During non-permitting periods, much must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be redistributed within 1 year must be stabilized in accordance with the permanent vegetative stabilization specifications.
12. Hay or straw mulch must be applied at 3.0 tons per acre.
13. Mulch with mesh control netting or erosion control blankets must be installed on all slopes 3:1 and steeper.
14. Straw mulch shall be applied in long strands, not chopped or finely baled.
15. Until the site is stabilized, all erosion and sediment BMP's must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMP's after each rainfall event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, re-seeding, re-mulching, and re-netting, must be performed immediately if erosion and sediment control BMP's fail to perform as expected, replacement BMP's, or modifications of those installed will be required.
16. Sediment removed from BMP's shall be disposed of in landscaped areas outside of steep slopes, wetlands, floodplains or drainage swales and immediately stabilized, or placed in topsoil stockpiles.
17. The operator's receiving watercourse is Unimproved tributary to the Chester Creek. The Chapter 93 Agricultural Conservation and Reopening Areas are TSP, WF. The Existing and Discharged use is Trout Stocked Fishery with Migratory Fishes.
18. All Earth Disturbance activities shall proceed in accordance with the sequence. Each stage shall be completed before any following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage.
19. At Least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities including but not limited to the landscaper and all appropriate municipal officials, a representative for the Delaware County Conservation District for an on-site pre-construction meeting.
20. Before initiating any revision to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from the Delaware County Conservation District. The operator shall ensure that the approved erosion and sediment control plan is properly and completely implemented. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.
21. The contractor is advised to become thoroughly familiar with the provisions of the Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article III, Water Resources, Chapter 102, Erosion Control.
22. The operator shall remove from the site, repair or dispose of building materials and wastes in accordance with Department's Solid Waste Management at 25 Pa. Code 2601 et seq. and 2871 et seq. The contractor shall not illegally bury, dump, or discharge any building materials or wastes at the site.
23. A copy of the approved erosion and sediment control plan must be available at the project site at all times. The operator shall ensure that on erosion and sediment control plan has been prepared, approved by the Delaware County District, and it being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their location.
24. An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist sliding and other movements. Immediately after earth disturbance activities cease, the operator shall stabilize any areas disturbed by the activities. During non-permitting periods, much must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be redistributed within 1 year must be stabilized in accordance with the permanent vegetative stabilization specifications. Disturbed areas which are not at finished grade and which will not be redistributed within 1 year must be stabilized in accordance with the permanent vegetative stabilization specifications.
25. Upon completion or temporary cessation of the earth disturbance activity that will exceed 4 days, or any stage thereof, the project site shall be immediately stabilized with appropriate temporary or permanent stabilization.
26. The limit of disturbance will be staked with Construction Flag.
27. Additional erosion control devices may be required during the building permit approval process.
28. Contractor shall use environmental due diligence to ensure that the fill material associated with this project qualifies as clean fill and Environmental Due Diligence are provided below. All fill material must be used in accordance with the PA DEP's policy "Management of Fill", document 258-2182-773. Clean fill is defined as uncontaminated, non-water soluble, non-toxic, inert solid material. The term includes soil, rock, stone, dredged material, used asphalt and brick, block or concrete from construction or demolition activities and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. The term used asphalt does not include milled asphalt or asphalt that has been processed for reuse. From 27-2001 must be retained by the property owner for any fill material affected by any spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
29. Areas which shall be stabilized to a minimum of 4 inches of topsoil to 5 inches on loose soil and to 12 inches on compacted soil prior to the placement of topsoil. Area to be vegetated shall have a minimum of 4 inches of topsoil to seed and mulch.
30. Areas which shall be stabilized during construction shall be handled in accordance with the standard and specification for subsurface drains or other approved methods.
31. All construction wastes including but not limited to asphalt, concrete, rubble, wood, plastic, metal, asphalt, asbestos, bricks, block and ungrouted concrete etc shall be removed from the site and placed in an appropriate location or receptacle where the material can be recycled to the maximum extent practical. The operator shall remove all debris and materials from the site, repair or dispose of building materials and wastes in accordance with Department's Solid Waste Management at 25 Pa. Code 2601 et seq. and 2871 et seq. The contractor shall not illegally bury, dump, or discharge any building material or wastes at the site.
32. Sediment or debris shall be stabilized or placed in an area not subject to accelerated erosion and immediately seeded and mulch.
33. All other waste products from the proposed construction that will be disposed of off-site shall be disposed of in an approved permitted site.
34. The operator shall ensure that the proposed construction plan is properly and completely implemented. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.
35. The NPDES permitted area is equal to the limits of disturbance for the site, and any off-site area within the limits of disturbance that are the responsibility of the developer to install. Other facilities such as: ditches and roadway improvements.
36. Construction is not permitted outside the limits of disturbance shown on these plans without obtaining a modified NPDES permit from PaDEP.

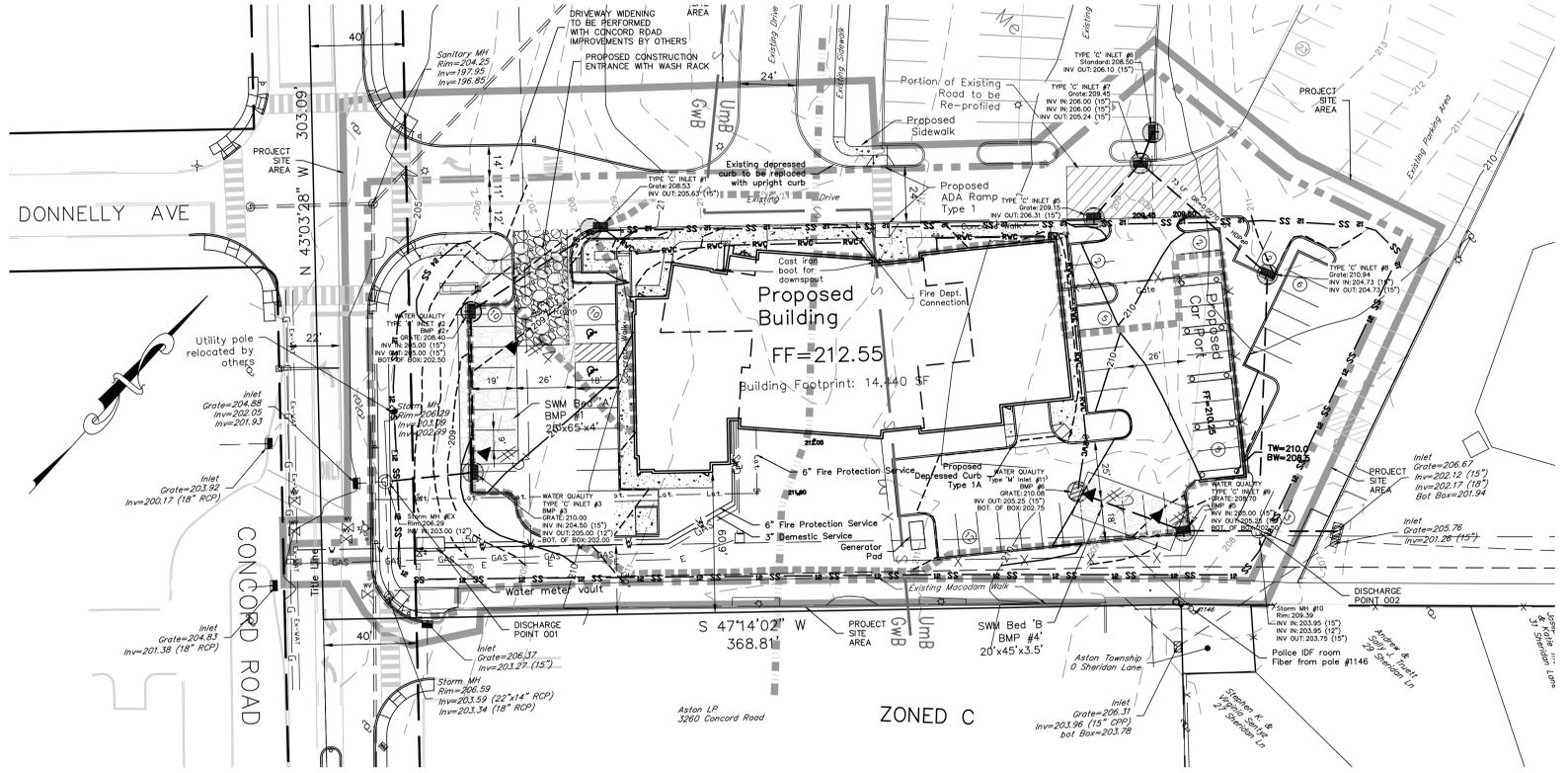
LEGEND

- EXISTING UTILITY POLE
EXISTING WATER VALVE
EXISTING 2' CONTOUR
EXISTING 10' CONTOUR
PROPOSED 2' CONTOUR
PROPOSED 10' CONTOUR
SOIL BOUNDARY LINE
PROPOSED TYPE 'C' INLET
PROPOSED STORM SEWER
EXISTING SANITARY MANHOLE
PROPOSED SANITARY MANHOLE
EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER MAIN
EXISTING FENCES
PROPOSED 12" SILT SOCK
PROPOSED 24" SILT SOCK
LIMITS OF DISTURBANCE
WATERSHED BOUNDARY
PROJECT SITE AREA
TREE PROTECTION
INLET PROTECTION
INFILTRATION TEST LOCATION

GRAPHIC SCALE



( IN FEET ) 1 inch = 30 ft.



SEEDING SPECIFICATIONS

NOTE: ALL GRASS SEED SHALL CONFORM TO THE SPECIFIED MINIMUM PURE LIVE SEED OR GREATER. PURE LIVE SEED = (SEED PURITY %) x (SEED GERMINATION %) 100

Disturbed areas on which activities have ceased must be stabilized immediately.

Prior to seeding, topsoil shall be placed in accordance with the topsoil application notes found on this sheet.

- I. Growing Season (March Through November 15)
A. Temporary Cover - for disturbed areas which are not at finished grade and which will be redistributed within 1 year.
1. Site Preparation: Apply 1 ton/acre of Agricultural Grade Limestone, plus 500 lbs Fertilizer (10-10-10) per acre and work in where possible.
2. Seeding: 50% Annual Ryegrass 50% Winter Rye. Apply at rate of 3lb/1000 SF (25% Pure Live Seed or Greater).
3. Mulch: 3 tons per acre of small grain straw.
B. Permanent Cover - for disturbed areas of finish grade or will not be redistributed within 1 year.
1. Site Preparation: Apply 6 tons/acre of Agricultural Grade Limestone plus 1000 lb per Ac. Fertilizer (10-20-20) and work in where possible.
2. Seeding: 60% Kentucky Bluegrass (8% Pure Live Seed or Greater), 10% Perennial Ryegrass (20% Pure Live Seed or Greater), 30% Perennial Rye Fescue (25% Pure Live Seed or Greater).
3. Mulch: 3 tons per acre of small grain straw.
II. Non-permitting Period (Nov 15 Through March 1)
1. Apply mulch (3 tons per acre of small grain straw) to disturbed areas.
2. Those areas that were stabilized by mulching only are to be limed, fertilized, seeded and mulched according to permanent or temporary seeding specifications at the end of the non-permitting period.
III. CRITICAL SLOPE PROTECTION - EROSION CONTROL BLANKET TO BE USED ON ALL SLOPES
1. Seeded Protection: Loosen Top 1 to 3 inches of Soil.
2. Site Preparation: Apply 2 tons of Agricultural Grade Limestone Per Acre plus Fertilizer 50-50-50 per acre (50 lbs of N, 50 lbs of P2O5 and 50 lbs of K2O per acre) and work in where possible.
3. Treatment: Apply Straw With Mulch Binder.
4. Anchor Straw With Mulch Binder.
5. Apply Mulch at Rates Stated.
6. Anchor with Erosion Control Blanket North American Green 575 or approved equivalent.
7. Wood Cellulose Fiber 1500 Lb/Acre.
8. Mulch - Netting May be Used on Much Anchor-Refer to 6.c. & d.
9. Erosion Control Blanket 200 Gallons/Acre or Tero Tack Used at Manufacturer's Recommended Rates.
10. Wood Cellulose 500 Lb/Acre.
11. If persistent erosion occurs on steep slopes, Erosion Control Blanket shall be used.
12. Repair any Gullies Areas.
13. Reseed and Refertilize Affected Area.
14. Apply Mulch at Rates Stated.
15. Anchor with Erosion Control Blanket North American Green 575 or approved equivalent.

(CRITICAL STAGE) UNDERGROUND INFILTRATION/RETENTION BASIN CONSTRUCTION NOTES:

- 1. INSTALLATION OF THE UNDERGROUND INFILTRATION/RETENTION BASIN IS A CRITICAL STEP THAT REQUIRES ENGINEERING OVERSIGHT IN ORDER TO SATISFY THE REQUIREMENTS OF THE NPDES NOTICE OF TERMINATION.
2. Contact the Township Engineer and the Design Engineer a minimum of 3 days prior to the installation of the underground infiltration basin.
3. Excavate area for underground system to the dimensions shown on the plans.
4. Scatterly soil at bottom of system prior to placement of stone.
5. Install geotextile on sides of excavation.
6. Install stone and distribution pipes as shown. Inlet filter bags shall be installed within each new inlet and maintained until the site has stabilize with 70% uniform grass cover.
7. Place geotextile on top of infiltration bed and cover with a minimum of 12" of soil.
8. Stabilize all disturbed areas with seed and mulch in accordance with the permanent vegetative stabilization specifications.
9. Filter Bags may be removed from inlet grates when 70% uniform grass cover has been established over the tributary area to the inlet and approval has been obtained from the Delaware County Conservation District.

Erosion and Sediment Control Maintenance Program:

Sediment has the potential to cause pollution if allowed to be discharged into the stream. The following sediment and erosion control facilities associated with the development at the property consist of:
1. Construction Entrance
2. Compartment Filter Sock
3. Inlet Filter Bag
4. Compartment Sock Washout

During construction while site is disturbed E&S facilities are to be inspected weekly and after all rain events that produce runoff.

Construction Entrance:

Replace rock as necessary to provide uniform thickness. Dirt, sediment or debris which is tracked onto adjacent roadways shall be removed at the end of each work day.

Compartment Filter Sock:

Inspect for depth of sediment at silt fence. Remove sediment when it has reached a depth of 1/2 the fabric height. Spread sediment on in an area not subject to accelerated erosion and stabilize with seeding and mulch. Any silt fencing which has been topped or undermined shall be replaced with Rock Filter Outlet immediately.

Inlet Filter Bag:

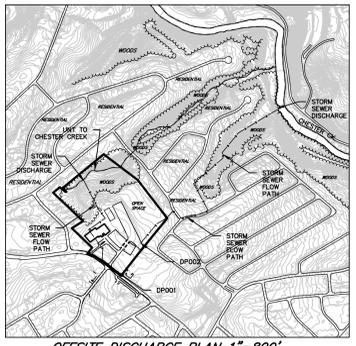
Filter bags shall be installed in all new inlets and checked weekly and after all storm events. Filter bags shall be removed and replaced when sediment and debris has accumulated to 1/2 the filter bag depth. Sediment shall be removed from filter bag and placed in an area not subject to accelerated erosion and stabilized with seed and mulch as specified in the seeding specifications.

Compartment Sock Washout:

Washout shall be installed in locations where concrete is being poured at least 50' from inlets or receiving storm sewer. Socks may be stacked to provide additional storage. Socks shall be installed in accordance with manufacturer's recommendations. Washout area shall be removed and replaced when accumulations reach 2/3 of the storage height.

A log book shall be kept on-site detailing all inspections and maintenance required for all erosion and sediment control facilities.

Table with 2 columns: DATE, REVISION. Row 1: 03/29/24, 0- Issued. Row 2: March 29, 2024.



OFFSITE DISCHARGE PLAN 1\"/>

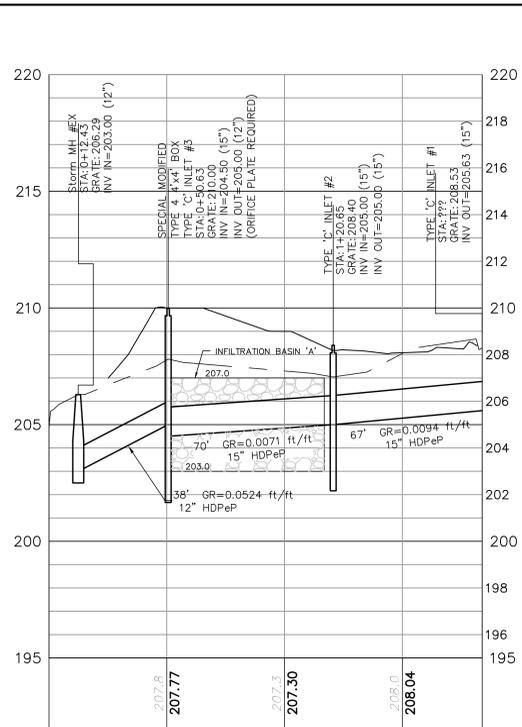
PRELIMINARY/FINAL

SEDIMENT & EROSION PLAN PROPERTY OF ASTON TOWNSHIP MUNICIPAL BUILDING ASTON TOWNSHIP DELAWARE COUNTY, PA

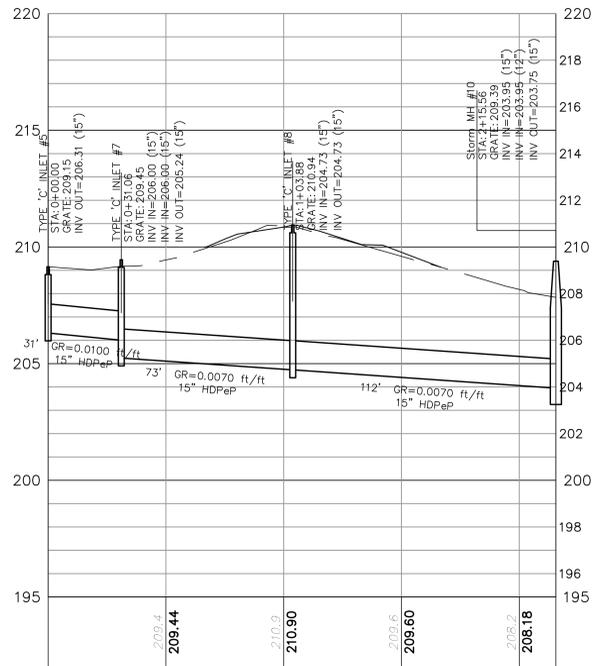
G.D. HOUTMAN & SON, INC. CIVIL ENGINEERS-LAND SURVEYORS LAND PLANNERS 139 EAST BALTHAMOR PIKE (610)566-4363 MEDA, PA 19063

Table with 2 columns: SHEET NO., PROJECT. Row 1: 9 of 9, Aston Municipal Bldg. Row 2: 39561, 39561. Row 3: 39561, 39561.

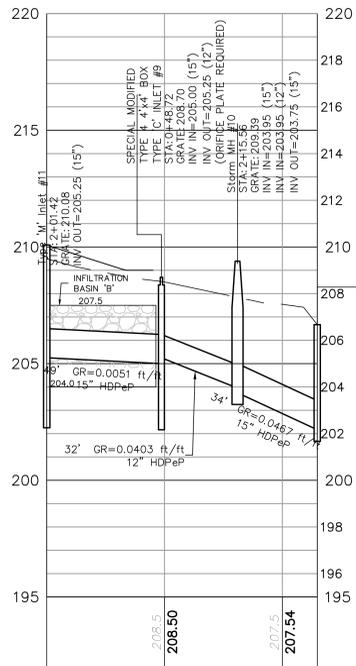




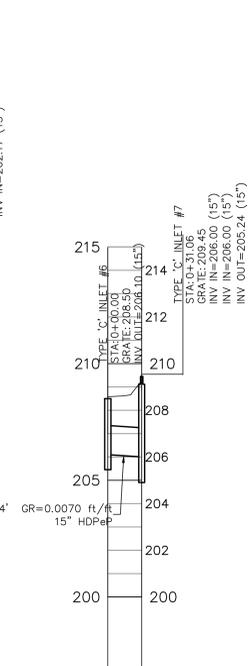
PROFILE STORM-FRONT



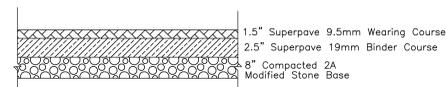
PROFILE INLET 5-10



PROFILE INLET 11-EX12

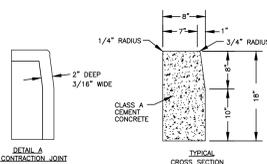


PROFILE INLET 6-7

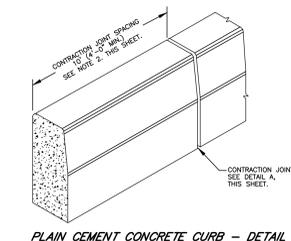


ON-SITE PAVING DETAIL

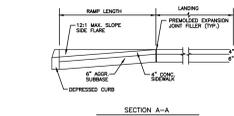
Wearing Course - 1.5" Superpave Volumetric Asphalt Mixture Design, 9.5mm, PG 64-22, HMA Wearing Course, 0.3-3 M Esals, SR-11  
 Binder Course - 2.5" Superpave Volumetric Asphalt Mixture Design, 19mm, PG 64-22, HMA Binder Course, 0.3-3 M Esals  
 Subbase - 8.0" Subbase (No. 2A) Match existing depth if greater than 6"



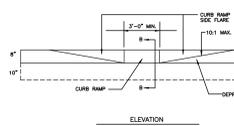
DETAIL A CONTRACTION JOINT



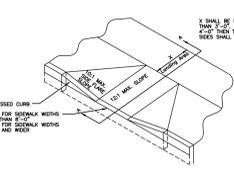
PLAIN CEMENT CONCRETE CURB - DETAIL



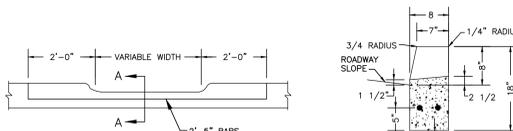
SECTION A-A



ELEVATION



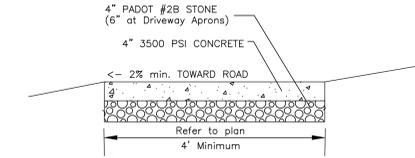
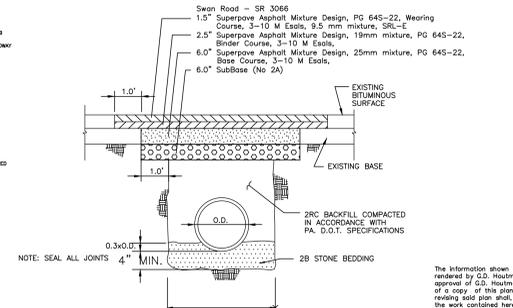
TYPE 'C' CURB RAMP



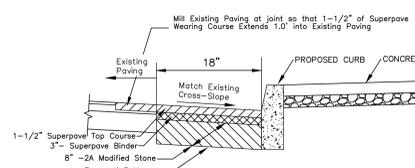
DEPRESSED CURB FOR DRIVES



SECTION A-A



SIDEWALK DETAIL



CURB INSTALLATION ADJACENT TO EXISTING PAVING - DETAIL

- NOTE: Use this detail where proposed curb is to be installed adjacent to existing paving.
- Saw cut existing paving 18 inches from face of proposed curb.
  - Mill existing paving as indicated.
  - Remove existing paving cross-section for curb installation.
  - Place full depth forms at front curb.
  - Pour concrete curb.
  - Reconstruct roadway within the 18 inch region removed for curb installation.
  - Seal all joints with bituminous sealer.
  - Restore & stabilize all yards & drive areas.
  - Match existing curb reveal.

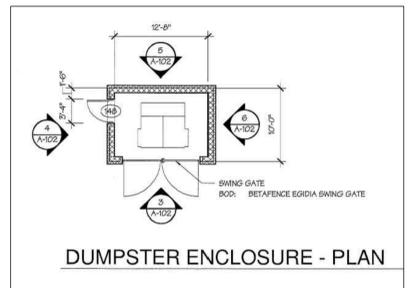
CURB INSTALLATION ADJACENT TO EXISTING PAVING - DETAIL

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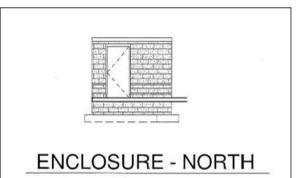
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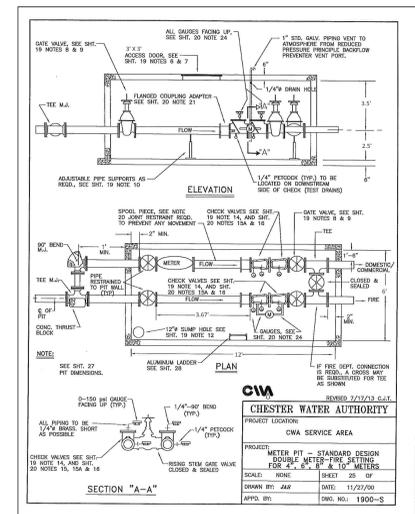
NOTE: All locations of existing utilities shown on the plan have been developed from existing utility records and / or above ground examination of the site. Compliance or accuracy of locations and depth of underground utilities or structures cannot be guaranteed. Contractor must verify location and depth of all underground utilities and facilities before start of work, as per PA Act 181 on per the latest amendment of PA Act 287 of 1974, Effective Mar. 29, 2007.



DUMPSTER ENCLOSURE - PLAN



ENCLOSURE - NORTH



SECTION 'A-A'

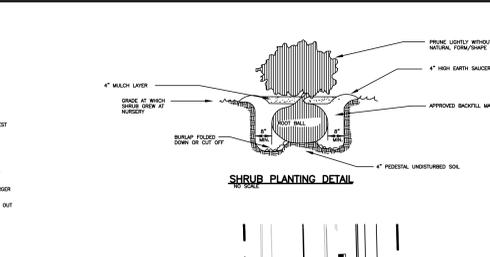
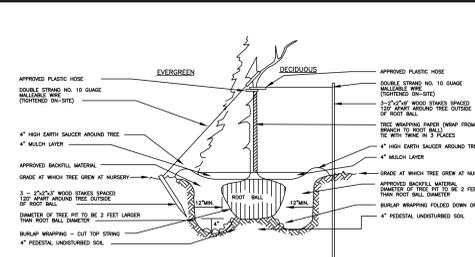
PRELIMINARY/FINAL

CONSTRUCTION DETAILS PLAN  
 PROPERTY OF  
**ASTON TOWNSHIP  
 MUNICIPAL BUILDING**  
 ASTON TOWNSHIP  
 DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.  
 CIVIL ENGINEERS-LAND SURVEYORS  
 LAND PLANNERS  
 139 EAST BALTIMORE PIKE  
 (610)566-4363

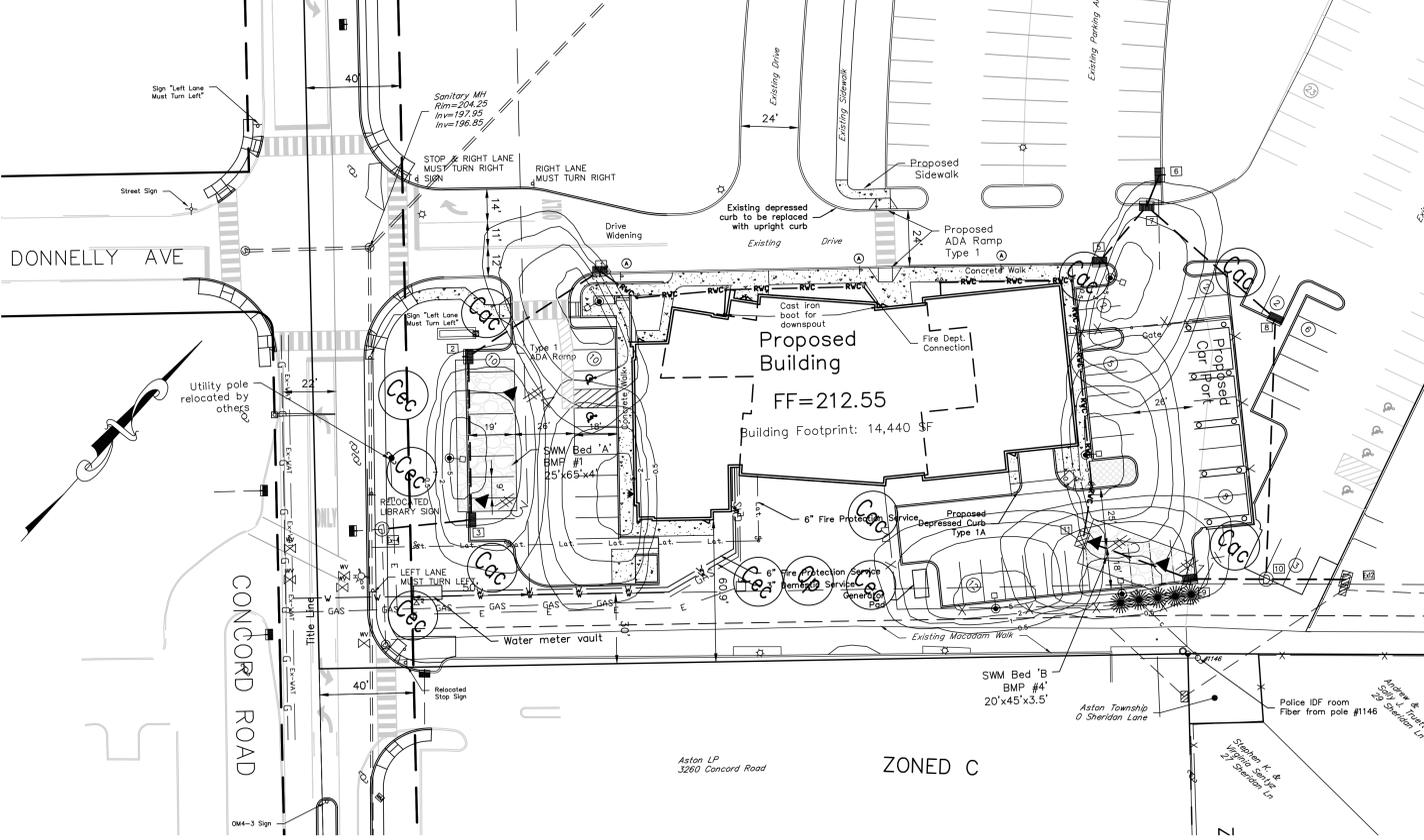
Sheet 8 of 9  
 PROJECT: Aston Municipal Bldg  
 SHEET: 39561  
 DATE: 11/22/20  
 DATE: 3/29/24

DATE	REVISION	SCALE
03/29/24	0- Issued	1" = 30'
		DATE: March 29, 2024

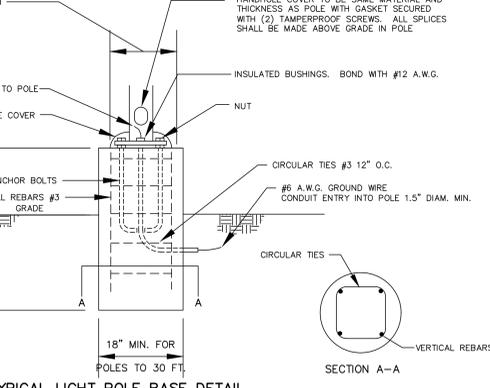


**TREE PLANTING DETAIL**  
NOTE: QM1 STAKING FOR EVERGREENS PLANTED IN CONTINUOUS ROW AT 10 FEET SPACING OR LESS

- Planting Specification & Notes**
- The contractor shall furnish, deliver and install plant material. The term plant material shall mean trees, shrubs, ground cover, and other growing plants to the extent of the Plant List shown on Drawings.
  - Inspection of Planting Beds - the contractor shall inspect all planting area before any top soiling of planting is begun to insure adequate drainage exists. If any areas to be landscaped show evidence of poor drainage, the contractor shall notify the owner immediately for corrective action. Any plant material that dies due to poor or inadequate drainage shall be the responsibility of the Landscape contractor.
  - If requested by the owner the contractor shall notify the landscape architect to select and seal all plant material at the nursery and stake all plant material locations of the site before delivery.
  - All trees shrubs and ground cover shall be as specified and installed in accordance with the details and commentated of the drawings. All such plant material shall conform to the American Standard for Nursery Stock of the American Association of Nurserymen (A.A.N.).
  - All shrubs and ground cover shall be placed in continuous mulched beds 3" in depth. Mulch shall be shredded oak bark.
  - All plant material shall be guaranteed for one (1) calendar year from date of completion of installation.
  - Pre-emergent herbicide such as "Treflan" or "Eptam" shall be applied to all planting beds according to manufacturer's recommendation (prior to placement of mulch). A second application of pre-emergent herbicide shall be included as a part of this work.
  - Backfill material for backfill around tree balls shall be a mixture of volume of the following materials in quantities specified: 1/5 peat moss, 4/5 topsoil. Add 15 lbs. of 20-10-5 fertilizer per cubic yard of backfill or Agriform tablets as specified below. backfill material by analysis shall have at least 15% organic matter.
  - The contractor shall maintain all plantings prior to the beginning of the guarantee period by watering.
  - Inspection of the work to determine its completion for beginning the one-year guarantee period will be made by the owner and/or landscape architect upon written notice requesting such inspection submitted by the contractor at least ten (10) days prior to the anticipated date.
  - After inspection the contractor will be notified of the date that the work has been approved for beginning the guarantee period or, if there are any deficiencies, a list to be corrected prior to the beginning of the guarantee period.
  - The contractor shall guarantee the plants shall be in a vigorous and thriving condition at the end of the guarantee period. Should any plants appear to be in poor health or lack normal growth habit, they shall be removed a once and replaced in a manner and time as herein before specified.
  - Within the guarantee period the contractor will notify the owner of any maintenance practices being filled or omitted which would be detrimental to the health vigorous growing condition of plants.
  - The contractor shall notify owner and landscape architect upon completion of guarantee and request final inspection prior to acceptance of work.



- LEGEND**
- EXISTING FIRE HYDRANT
  - EXISTING UTILITY POLE
  - EXISTING WATER VALVE
  - EXISTING DECIDUOUS TREE
  - EXISTING TREELINE
  - PROPOSED TREELINE
  - EXISTING 2' CONTOUR
  - EXISTING 10' CONTOUR
  - PROPOSED 2' CONTOUR
  - PROPOSED 10' CONTOUR
  - SOIL BOUNDARY LINE
  - PROPOSED TYPE "C" INLET
  - PROPOSED STORM SEWER
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - PROPOSED WATER MAIN
  - EXISTING FENCES

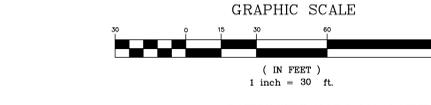


**TYPICAL LIGHT POLE BASE DETAIL**  
NOTE: 1) ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED IN COMPLETE ACCORDANCE WITH NATIONAL ELECTRIC CODE  
2) SONOTUBE MAY BE USED FOR POLE BASE FORMATION  
3) ALL CONCRETE COVER ON REBAR 3 INCHES MINIMUM

- TRAFFIC CONTROL SIGNS**
- 1) Stop Sign - R1-1, 30"x30"
  - 2) Right Turn Must Turn Right - R3-7R, 30"x30"
  - 3) (A) - No Parking - Fire Lane 18"x24"

**PLANTING SCHEDULE**

KEY QUANTITY	BOTANIC NAME	COMMON NAME	SIZE	SPECS
Op 1	Quercus palustris	Pin Oak	3" caliper	B&B
Cec 5	Cercis Canadensis	Eastern Redbud	3" caliper	B&B
Coc 6	Carpinus caroliniana	American Hornbeam	3" caliper	B&B
Ts 5	Thuja Standishii x Plicata	Green Giant Arborvitae	8 ft	B&B



**PRELIMINARY/FINAL**  
LANDSCAPE & LIGHTING PLAN  
PROPERTY OF  
**ASTON TOWNSHIP MUNICIPAL BUILDING**  
ASTON TOWNSHIP  
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.  
CIVIL ENGINEERS-LAND SURVEYORS  
LAND PLANNERS  
130 EAST BALTIMORE AVE  
PHILADELPHIA, PA 19103  
(610)585-6363

**ALEDM3TNB**

**NO PARKING FIRE LANE**

Project: \_\_\_\_\_ Type: \_\_\_\_\_  
Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

**Driver Info**

Type	Constant Current	Watts	110W
120V	1.31A	Color	4000K (Neutral)
200V	0.67A	Temp	4000K (Neutral)
240V	0.55A	Color	4000K (Neutral)
277V	0.52A	Beam Angle	120°
Input Watts	162.63/141.7W	L70	100,000 Hours
		Lumen	12700/12900/13622 lm
		Beam Spread	144°/139°/131.5°
		Efficiency	100 lm/W

**Technical Specifications**

**Field Adjustability**  
LED color temperature is guaranteed to shift no more than 200K in color temperature over a 5 year period.

**Color Stability**  
LED color temperature is guaranteed to shift no more than 200K in color temperature over a 5 year period.

**Surge Protection**  
Line to Line 1000V  
Line to Ground 600V

**Performance**  
100,000 Hour LED lifespan based on ENEC LM-80 results and TM-21 lab data.

**Compliance**  
This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Declared to meet DLC E-11 requirements.

**Electrical Driver**  
90W Constant Current, Class 2, 120-277V, 50/60Hz, 120V/0.6A, 200V/0.3A, 240V/0.25A, 277V/0.24A  
150W Constant Current, Non-Class 2, 120-277V, 50/60Hz, 120V/1.2A, 200V/0.7A, 240V/0.58A, 277V/0.55A

**ES Classification**  
The product is designed to be installed in the area of an area, protecting the light output to the LED area. Must be installed in a protected area. No other applications and where a large amount of light is required.

**Dimming Driver**  
Other includes dimming control wiring for 0-10V dimming system. Dimmers required 0-10V/0.5V dimming circuit. Dimmer down to 10%.

**LED Characteristics**  
Long life, high-efficiency, dimmable, surface mount, LED.

**LEDs**  
4.13W x 130W, 8.27W x 277V

**Color Consistency**  
Foster-McClellan Emission Testing to achieve consistent color and color consistency.

**Power Factor**  
100% at 120V, 95.9% at 277V

**Construction**  
Equipment to meet local codes.

**Cold Weather Start-up**  
The maximum operating temperature is 40°C (104°F).

**Ambient Temperature**  
Max Power Temp Rating: 40°C (104°F)  
Middle Power Temp Rating: 35°C (95°F)  
Low Power Temp Rating: 30°C (86°F)

**Housing**  
Die-cast aluminum.

**Dimensions**  
0-100% dimmable standard  
Flux Rated  
100,000 Hour LED lifespan  
10 Year, Non-Contingent Warranty

**Ordering Matrix**

Family	Housing Size	Distribution	Mounting	Color Temp	Finish	Voltage	Options
ALED	M	3T	N	B	B		

NOTE: Mounting Height = 18'

**PRELIMINARY/FINAL**  
LANDSCAPE & LIGHTING PLAN  
PROPERTY OF  
**ASTON TOWNSHIP MUNICIPAL BUILDING**  
ASTON TOWNSHIP  
DELAWARE COUNTY, PA

G.D. HOUTMAN & SON, INC.  
CIVIL ENGINEERS-LAND SURVEYORS  
LAND PLANNERS  
130 EAST BALTIMORE AVE  
PHILADELPHIA, PA 19103  
(610)585-6363

Sheet 9 of 9  
PROJECT: Aston Municipal Bldg  
WORK ORDER: 39561  
DATE: 03/29/24  
MEDIA: PA 19063  
3864