

| | | | | | |
|--|-----------------------------|--|--------------------------------|--|-------------------------------|
| | Interior Elevation Number | | Window Type | | Revision Number |
| | Sheet Number | | Partition Type | | Accessory / Fixture Type |
| | Elevation or Section Number | | Working Point Or Control Point | | Plan North |
| | Sheet Number | | Magnetic North | | And |
| | Detail Number | | Room Name | | At |
| | Sheet Number | | Room Number | | Number Or Pound |
| | Door Number | | Ceiling Type | | Diameter |
| | New Column | | Ceiling Height | | Center Line |
| | Existing Column | | W: Wall Finish | | Dimension to Face of Material |
| | | | B: Base Finish | | |
| | | | F: Floor Finish | | |
| | | | C: Casework Finish | | |

| | | | | | |
|--|------------------------------|--|--------------------------|--|-------------------------------------|
| | Concrete Masonry Unit | | Insulation - Rigid | | Insulation - Batt, Blanket Or Loose |
| | Brick | | Glass In Elevation | | Plywood |
| | Concrete | | Wood - Continuous Lumber | | Gypsum Board |
| | Porous Fill, Stone Or Gravel | | Wood - Blocking | | Steel |
| | Earth | | Wood - Finish | | Stone |

ARCHITECTURAL STANDARD ABBREVIATIONS

| | | | | | |
|--------|--|--------|--|--------|-----------------------------------|
| ALT | Alternate | FPBI | Foam Plastic Board | PCC | Precast Concrete |
| APC | Acoustic Panel Ceiling | HC | Hollow Core | PCFS | Perimeter Fire Containment System |
| APPROX | Approximate | FRJS | Fire Resistive Joint System | PL | Plate |
| ARCH | Architectural | FRP | Fiberglass Reinforced Plastic | PLAM | Plastic Laminate |
| | | FRTW | Fire Retardant Treated Wood | PLBG | Plumbing |
| BD | Board | FT | Foot/Foot | PLYWD | Plywood |
| BITUM | Bituminous | FTG | Foot/Foot | PR | Pair |
| BLDG | Building | FURR | Furring | PSF | Pounds Per Square Foot |
| BLKG | Blocking | GA | Gauge | PSL | Parallel Strand Lumber |
| BM | Beam | GALV | Galvanized | PSI | Pounds Per Square Inch |
| BRG | Bearing | GFCI | Ground Fault Circuit Interrupter | PT | Pressure Treated |
| BMT | Basement | GL | Glass | PTD | Painted |
| BTWN | Between | GR | Grade | PVMT | Pavement |
| BUR | Built-up Roofing | GYP BD | Gypsum Board | R | Riser or Radius |
| | | HB | Hose Bibb | RD | Roof Drain |
| CAB | Cabinet | HDW | Hardware | REF | Reference |
| CB | Catch Basin | HDWD | Hardwood | REFR | Refrigerator |
| CCTV | Closed Circuit Television | HM | Hollow Metal | REINF | Reinforced |
| CEM | Cement | HORIZ | Horizontal | REQD | Required |
| CF/CI | Contractor Furnished/ Contractor Installed | HP | High Point | RES | Resilient |
| | | HPC | Handicapped | RM | Room |
| CF/OI | Contractor Furnished/ Owner Installed | HR | Hour | RO | Rough Opening |
| CI | Cast Iron | HSKPG | Housekeeping | RWC | Rain Water Conductor |
| CIP | Cast-in-place | HSS | Hollow Structural Section (Tube Steel) | S | South |
| CJ | Control Joint | HT | Height | SC | Solid Core |
| CLG | Ceiling | ID | Inside Diameter | SCHED | Schedule |
| CL | Close | IN | Inch(es) | SECT | Section |
| CLR | Clear | INCL | Included | SF | Square Feet |
| CMU | Concrete Masonry Unit | INS | Insulation | SFRM | Spray Fire Resistive Materials |
| CNTR | Center | INT | Interior | SIM | Similar |
| COL | Column | JAN | Janitor | SPEC | Specification |
| CONC | Concrete | JST | Joist | SPM | Single Ply Membrane |
| CONST | Construction | JT | Joint | SQ | Square |
| CONT | Continuous | LAB | Laboratory | SS | Stainless Steel |
| CORR | Corridor | LAM | Laminate | STD | Standard |
| CPT | Carpet | LAU | Laundry | STL | Steel |
| CRS | Course(s) | LAV | Lavatory | STOR | Storage |
| CT | Ceramic Tile | LAV | Lavatory | STRUCT | Structure |
| | | LNDSCP | Landscape | SUSP | Suspended |
| DBL | Double | LP | Low Point | T | Tread |
| DEPT | Department | LTTR | Long Term Thermal Resistance | T&G | Tongue & Groove |
| DET | Detail | LVL | Laminated Veneer Lumber | TEL | Telephone |
| DF | Drinking Fountain | MAX | Maximum | THK | Thick |
| DIA | Diameter | MDF | Medium Density Fiberboard | TO | Top Of |
| DIM | Dimension | MECH | Mechanical | TOC | Top Of Concrete |
| DN | Down | MEP | Mechanical, Electrical, Plumbing | TOF | Top Of Finish |
| DS | Downspout | MFR | Manufacturer | TOM | Top Of Masonry |
| DWG | Drawing | MIN | Minimum | TOS | Top Of Steel |
| | | MISC | Miscellaneous | TPO | Thermoplastic Polyolefin |
| E | East | MO | Masonry Opening | TYP | Typical |
| EA | Each | MTD | Marble Threshold | UNO | Unless Noted Otherwise |
| EIFS | Exterior Insulation and Finish System | MTL | Mounted Metal | VCT | Vinyl Composition Tile |
| EJ | Expansion Joint | MUL | Mullion | VERT | Vertical |
| EL | Elevation | N | North | VEST | Vestibule |
| ELEC | Electrical | NA | Not Applicable | VIF | Verify In Field |
| ELEV | Elevator | NIC | Not In Contract | W | West |
| EMER | Emergency | NO | Number | W/ | With |
| EOS | Edge of Slab | NOM | Nominal | W/O | Without |
| EPDM | Ethylene Propylene Diene Monomer | NTS | Not To Scale | WC | Water Closet |
| | | OC | On Center | WD | Wood |
| EPS | Expanded Polystyrene Insulation | OCC | Occupant(s) | WH | Water Heater |
| EQ | Equal | OD | Outside Diameter | WIC | Walk-in-Closet |
| EQUIP | Equipment | OF/CI | Owner Furnished/ Contractor Installed | WP | Working Point |
| ETR | Existing to Remain | OF/OI | Owner Furnished/ Owner Installed | WRB | Water-Resistive Barrier |
| EWC | Electric Water Cooler | OH | Overhead | WSCT | Wainscot |
| EXIST | Existing | OPG | Opening | WT | Weight |
| EXP | Expansion | OPP | Opposite | WWF | Welded Wire Fabric |
| EXT | Exterior | OSB | Oriented Strand Board | XPS | Extruded Polystyrene Insulation |
| FA | Fire Alarm | | | | |
| FD | Floor Drain | | | | |
| FDN | Foundation | | | | |
| FE | Fire Extinguisher | | | | |
| FEC | Fire Extinguisher Cabinet | | | | |
| FHC | Fire Hose Cabinet | | | | |
| FIN | Finish | | | | |
| FIXT | Fixture | | | | |
| FLR | Floor | | | | |
| FLUOR | Fluorescent | | | | |
| FOC | Face Of Concrete | | | | |
| FOF | Face Of Finish | | | | |
| FOM | Face Of Masonry | | | | |
| FOS | Face Of Studs | | | | |



Illustration indicates design intent and may not reflect final details

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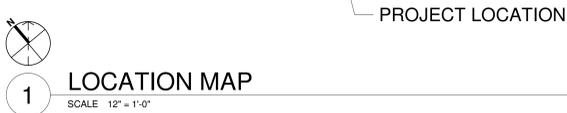
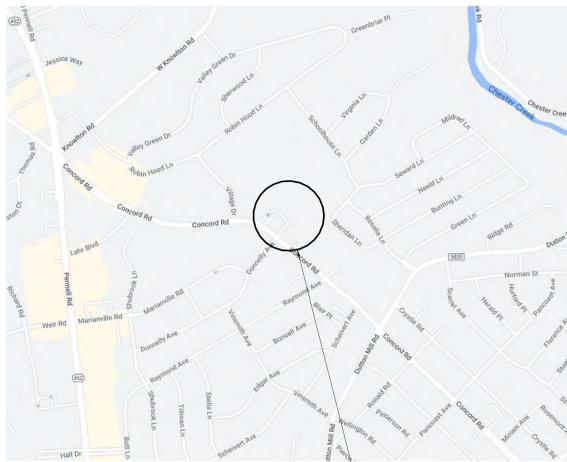
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KEY INFORMATION

- Applicable Code(s) & Regulations For This Project.

State:
2018 IBC (International Building Code with Amendments)
2018 IECC (International Energy Conservation Code) /OR/ASHRAE 90.1-2016 Energy Standard for Buildings Except Low Rise Residential Buildings
2021 IBC (Chapter 11 "Accessibility" and Appendix E "Supplementary Accessibility Requirements")
ICC A117.1-2009 (Accessible and Usable Buildings and Facilities)
PA Uniform Construction Code (Regulations and Statutes)

Federal:
2010 ADA (Standards for Accessible Design)

- Occupancy Use Classification(s): **B, A-3, AND I-3 (ACCESSORY TO B)**
- Construction Type(s) / Classification(s): **TYPE IIB**
- Automatic Sprinkler System: **Yes per NFPA 13**
- Building Code Details: **See Code Summary Sheet G-003**
- Climate Zone: **4A**
- Authority Having Jurisdiction: **Aston Township, Delaware County**
- UL Fire Resistance Directory: **Current Online**

STANDARD GENERAL NOTES

- The Specifications are that portion of the Contract Documents consisting of the written requirements for materials, equipment, systems, standards and workmanship for the Work, and the performance of related services. Whether printed or in portable document format (PDF), the Specifications that have been prepared as a letter-size manual complement the Drawings bound herein, and what is required by one shall be as binding as if required by all.
- All work shall be in accordance with applicable state and local building codes and all other governing agencies and regulations.
- Contractor shall verify all conditions and dimensions in the field prior to commencement of the work. Verify layout in relation to property, benchmarks, and other fixed conditions. Report discrepancies to the Architect immediately upon discovery.
- Notify Architect of discrepancies regarding the Contract Documents or design intent immediately upon discovery. Contractor shall be responsible for obtaining clarification prior to proceeding with the work or related work.
- Contractor shall obtain all required building permits and licenses.
- Contractor shall remove all rubbish and debris from the site during course of project, and dispose of legally off-site.
- Contractor shall perform all cutting, patching and protection required to complete the work indicated on the Contract Documents.
- Contractor shall provide all inspections and tests required by state and local authorities including but not limited to earthwork, concrete, steel erection, mechanical, plumbing, and electrical work. Refer to individual drawings and specifications for additional testing requirements.
- Unless indicated otherwise in Specifications, products and manufacturers are noted to establish the type and quality of materials to be provided. Contractor may submit proposed substitutions to the Architect for review, with enough supporting data provided for the Architect to make an evaluation. Contractor shall include costs associated with proposed substitution, including redesign, and alteration of adjacent work to accept substitution.
- All dimensions are either to face of masonry or the face of stud, unless noted otherwise. Drawings are not to be scaled.
- Install all equipment and materials per manufacturer's instructions and recommendations unless specifically otherwise indicated, or where local codes and regulations take precedence.
- Contractor shall provide supervision while any subcontractors or workers are on the job site and shall supervise and direct all work.
- Contractor shall be solely responsible for all construction means, methods, techniques, sequences, procedures, site safety, erosion and sedimentation control, and coordinating the work of all trades under the contract.
- No products containing asbestos or other hazardous materials shall be installed on this project or used during the construction of the project. It shall be the responsibility of the Contractor to certify to the Owner that this requirement has been met. Subcontractors shall verify to the Contractor that no asbestos or other hazardous products are used in their work.
- Locations of rated fire/smoke separations and/or fire resistive structural protection are shown on documents. Provide complete assemblies to meet fire resistive requirements of the project including protection of structural elements and fire separation assemblies. Maintain the integrity of these assemblies at openings and penetrations including but not limited to fire or smoke dampers in ductwork, light fixture protection, electrical device box ratings, expansion joints, and sealants. Provide this protection by using complete building component systems approved by recognized authorities such as Underwriters Laboratories, Inc., Factory Mutual, or other building code accepted agencies. It is the responsibility of the Contractor to coordinate subcontractors and suppliers to accomplish this work during bidding, procurement, scheduling, sequencing and construction of the project.
- Delegated Design: When professional design services or certifications related to systems, materials, or equipment are required by these documents, the Architect/Engineer will specify performance and design criteria that such services must satisfy. The Contractor shall cause such services and certifications to be provided by a properly licensed design professional, whose signature and seal shall appear on all drawings, calculations, Shop Drawings and other related submittals. The Owner and Architect/Engineer shall be entitled to rely upon the accuracy and completeness of those delegated services. The Architect/Engineer will review submittals only for the limited purpose of checking for conformance with the performance and design criteria.

Project:
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Revision/Issue:
A 05/23/23 Schematic Design
B 09/20/23 Design Development

Drawn: EHI/DP
Reviewed: PAS
Contact: Paul Andrew Sgroi
Project Number: 2301.00-22

Sheet Title:
COVER SHEET

Sheet Number:
G-001

LIST OF CONTRACT DOCUMENTS

SPECIFICATIONS

SPECIFICATIONS: REFER TO THE LETTER-SIZE MANUAL THAT HAS BEEN PREPARED FOR THIS PROJECT.

LIST OF SHEETS

Sheet No. Sheet Title

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| G-002 | LIST OF SHEETS |
| G-003 | CODE |
| G-004 | COMCHECK |
| G-005 | COMCHECK |
| 1 of 9 | LAND DEVELOPMENT PLAN |
| 2 of 9 | OVERALL PLAN |
| 3 of 9 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| 4 of 9 | GRADING PLAN |
| 5 of 9 | SPOT GRADING PLAN |
| 6 of 9 | SEDIMENT & EROSION PLAN |
| 7 of 9 | CONSTRUCTION DETAILS PLAN |
| 8 of 9 | CONSTRUCTION DETAILS PLAN |
| 9 of 9 | LANDSCAPE & LIGHTING PLAN |
| S-101 | STRUCTURAL NOTES |
| S-201 | FOUNDATION PLAN |
| S-202 | SECOND FLOOR FRAMING/LOW ROOF PLAN |
| S-203 | HIGH ROOF FRAMING PLAN |
| S-301 | FOUNDATION SECTIONS |
| S-401 | FRAMING SECTIONS |
| S-402 | FRAMING SECTIONS |
| S-403 | FRAMING SECTIONS |
| S-601 | TYPICAL DETAILS |
| S-602 | TYPICAL DETAILS |
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| A-001 | ARCHITECTURAL SITE PLAN |
| A-101 | FIRST FLOOR PLAN |
| A-102 | SECOND FLOOR PLAN AND DUMPSTER ENCLOSURE |
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| A-111 | ROOF PLAN AND DETAILS |
| A-121 | FIRST FLOOR REFLECTED CEILING PLAN |
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| A-202 | EXTERIOR MATERIAL COLOR LEGEND |
| A-301 | BUILDING SECTIONS |
| A-311 | WALL SECTIONS |
| A-312 | WALL SECTIONS |
| A-313 | WALL SECTIONS |
| A-314 | WALL SECTIONS |
| A-315 | WALL SECTIONS |
| A-316 | WALL SECTIONS |
| A-317 | WALL SECTIONS |
| A-318 | WALL SECTIONS |
| A-319 | WALL SECTIONS |
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| A-403 | FIRST FLOOR TOWNSHIP TOILET ROOMS |
| A-404 | SECOND FLOOR TOWNSHIP TOILET ROOMS |
| A-411 | MONUMENTAL STAIRS |
| A-412 | MONUMENTAL STAIR DETAILS |
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| A-501 | SECTION DETAILS |
| A-502 | SECTION DETAILS |
| A-503 | SECTION DETAILS |
| A-504 | SECTION DETAILS |
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| A-516 | CASEWORK DETAILS |
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| A-518 | CASEWORK DETAILS |
| A-519 | CASEWORK DETAILS |
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LIST OF SHEETS

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| P-402 | RISER DIAGRAMS- DOMESTIC WATER |
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| M-001 | COVER SHEET- MECHANICAL |
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| E-105 | ROOF PLAN- ELECTRICAL |
| E-201 | DETAILS- ELECTRICAL |
| E-202 | DETAILS- ELECTRICAL |
| E-203 | DETAILS- ELECTRICAL |
| E-301 | SCHEDULES- ELECTRICAL |
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| TA-002 | LOW VOLTAGE SYSTEMS INFRASTRUCTURE DETAILS |
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| TA-005 | OVERALL SITE PLAN |
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| TA-102 | SECOND FLOOR PLAN |
| TA-121 | FIRST FLOOR REFLECTED CEILING PLAN |
| TA-122 | SECOND FLOOR REFLECTED CEILING PLAN |
| TA-300 | TELECOM ROOM DETAILS - FIRST FLOOR |
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| TA-400 | AV ELEVATIONS 1 |
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| TA-501 | ACCESS CONTROL DOOR SCHEDULE |
| TA-502 | AV SIGNAL FLOW COMMISSIONERS MEETING ROOM |
| TA-503 | AV SIGNAL FLOW CONFERENCE ROOMS |
| TA-504 | AV SIGNAL FLOW MISC SPACES |

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Revision/Issue:
0 03/29/24 Issued

Drawn: EHI/PAS
Reviewed: PAS
Contact: Paul Andrew Sgroi
Project Number: 2301.00-22

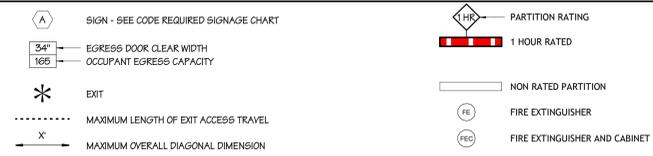
Sheet Title:
LIST OF SHEETS

Sheet Number:
G-002

CODE PLAN GENERAL NOTES

- SEE ELECTRICAL DRAWINGS FOR EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGNS.
- SEE FLOOR PLANS FOR FIRE EXTINGUISHERS.
- REFER TO FIRE EXTINGUISHER GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- COORDINATE RATED WALL CONSTRUCTION WITH PARTITION TYPES.
- REFER TO PARTITION TYPES FOR UL FIRE RATING DESIGNATIONS.
- GRAPHIC PATTERNS DEPICT AREAS ASSIGNED TO SPECIFIC OCCUPANCY CLASSIFICATIONS. SEE OCCUPANCY CHART FOR ADDITIONAL INFORMATION.
- WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SUCH IDENTIFICATION SHALL BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION. VERIFY LOCATIONS WITH AUTHORITY HAVING JURISDICTION (AHJ). INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/16" INCH STROKE IN A CONTRASTING COLOR, INCORPORATING "FIRE AND/OR SMOKE BARRIER-PROTECT OPENINGS"
- REFER TO DOOR SCHEDULE FOR RATED DOOR REQUIREMENTS.

CODE PLAN LEGEND



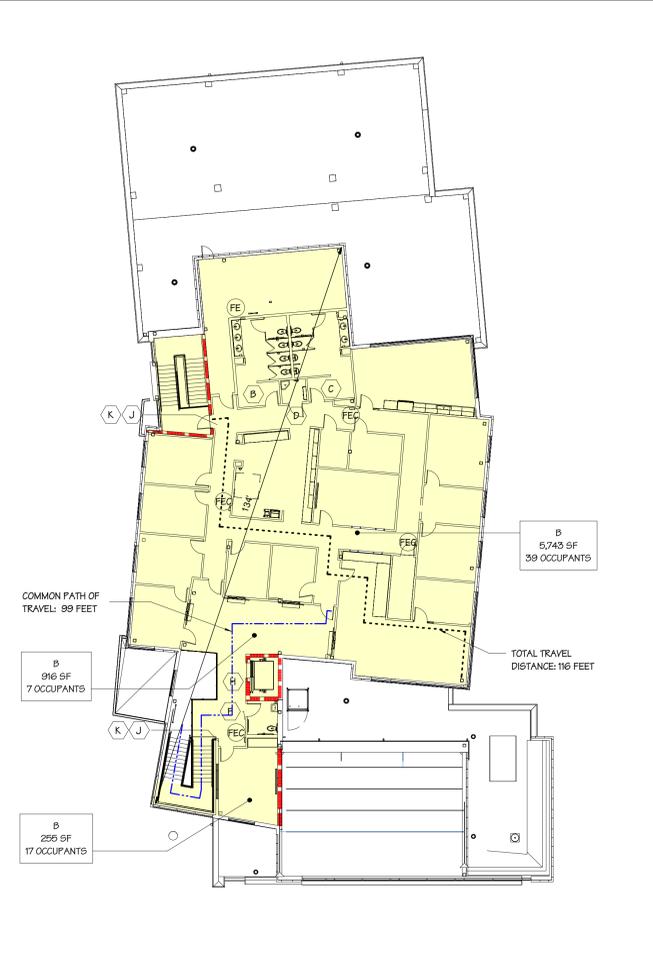
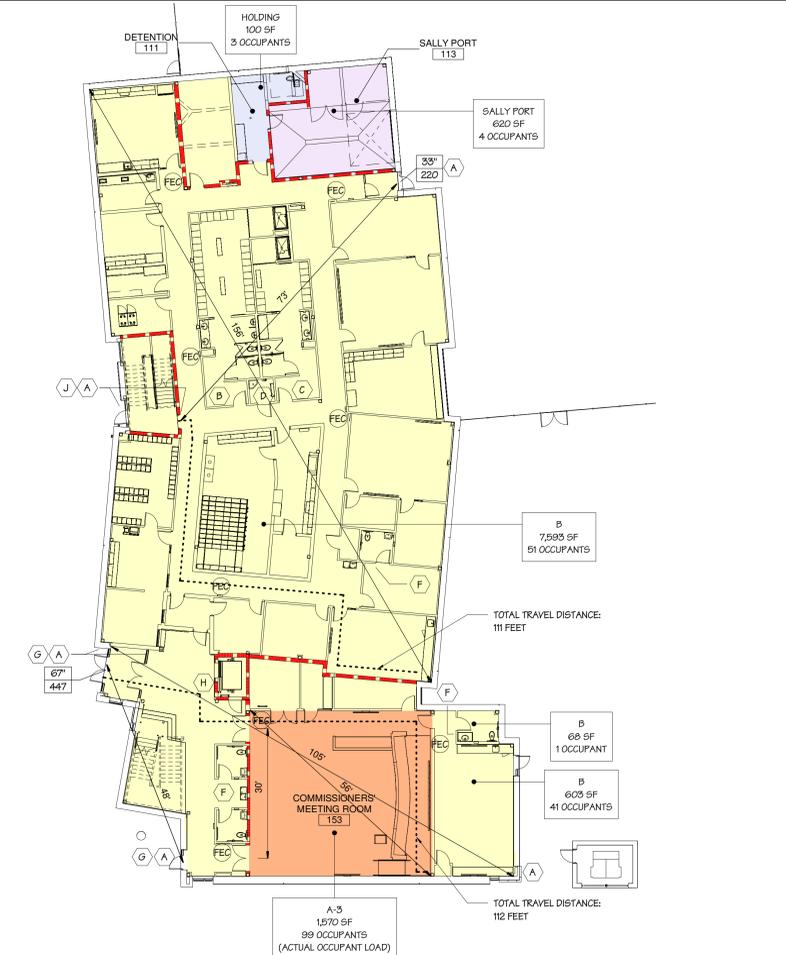
BUILDING CODE SUMMARY: IBC 2018

| BUILDING DATA: | IBC 2018 | ALLOWABLE OR REQUIRED | PROVIDED |
|--|---------------------------|-----------------------|--|
| USE AND OCCUPANCY CLASSIFICATION | CHAPTER 3 | | A-3, B, I-3 (Accessory to B) |
| CONSTRUCTION TYPE / CLASSIFICATION | SECTION 602 AND TABLE 601 | | IB |
| AUTOMATIC SPRINKLER SYSTEMS | SECTION 903 | | YES (NFPA 13) |
| FIRE SEPARATION DISTANCE | TABLE 602 AND TABLE 705.8 | | 30 FT |
| BUILDING PERIMETER THAT FRONTS OPEN SPACE... (F) | SECTION 506.3 | | 596 FT |
| TOTAL BUILDING PERIMETER (P) | SECTION 506.3 | | 596 FT |
| GRADE PLANE (DEFINITION) | SECTION 202 | | 211 FT |
| BUILDING HEIGHT | SECTION 503 AND 504 | | |
| BUILDING HEIGHT ABOVE GRADE PLANE (S _a) | TABLE 504.3 | 75 FT (NOTE 1) | 33 FT |
| NUMBER OF STORIES ABOVE GRADE PLANE (S _i) | TABLE 504.4 | 4 (NOTE 1) | 2 |
| BASEMENT (STORIES NOT ABOVE GRADE PLANE) | | | NA |
| BUILDING AREA | SECTION 503 AND 506 | | |
| TABULAR ALLOWABLE AREA FACTOR (A ₁) | TABLE 506.2 | 69,000 SF | |
| TABULAR ALLOWABLE NONSPRINKLERED (NS) | TABLE 506.2 | 23,000 SF | |
| AREA FACTOR INCREASE DUE TO FRONTAGE (I _f) | SECTION 5.6.3.3 | 75.0% | |
| FRONTAGE INCREASE | SECTION 506.3 | NOT TAKEN | AREA PER FLOOR |
| TOTAL ALLOWABLE AREA OF EACH STORY ABOVE GRADE PLANE | | 69,000 SF | FIRST FLOOR 13,655 SF SECOND FLOOR 7,108 SF |
| TOTAL BUILDING AREA (A _m) | SECTION 506.2 | 138,000 SF | 20,763 SF |

| FIRE RESISTANCE RATINGS: | IBC 2018 | ALLOWABLE OR REQUIRED | PROVIDED |
|----------------------------------|-------------------------------------|-----------------------|--------------------|
| PRIMARY STRUCTURAL FRAME | TABLE 601 AND SECTION 704.10 | 0 HR | 0 HR |
| BEARING WALLS: | | | |
| EXTERIOR | TABLE 601, 602, AND SECTION 704.10 | 0 HR | 0 HR |
| INTERIOR | TABLE 601 | 0 HR | 0 HR |
| NONBEARING WALLS AND PARTITIONS: | | | |
| EXTERIOR | TABLE 601 AND 602 | 0 HR | 0 HR |
| INTERIOR | TABLE 601 | 0 HR | 0 HR |
| FLOOR CONSTRUCTION | TABLE 601 AND SECTION 711 | 0 HR | 0 HR |
| ROOF CONSTRUCTION | TABLE 601 AND SECTION 711 | 0 HR | 0 HR |
| EXTERIOR WALL OPENINGS: | SECTION 705.8 | | |
| ALLOWABLE AREA | SECTION 705.8.1 / TABLE 705.8 | NO LIMIT | SEE COMCHECK G-004 |
| PROTECTED | SECTION 705.8.2 | NA | NA |
| UNPROTECTED | SECTION 705.8.3 | NA | NA |
| MIXED | SECTION 705.8.4 | NA | NA |
| VERTICAL SEPARATION | SECTION 705.8.5 | NA | NA |
| VERTICAL EXPOSURE | SECTION 705.8.6 | NA | NA |
| FIRE WALLS | SECTION 706 | NA | NA |
| FIRE BARRIERS | SECTION 707 | 1 HR | 1 HR |
| FIRE PARTITIONS | SECTION 708 | NA | NA |
| SMOKE BARRIERS | SECTION 709 | NA | NA |
| SMOKE PARTITIONS | SECTION 710 | NA | NA |
| SHAFT ENCLOSURES: | SECTION 713 | | |
| EXIT (STAIR) ENCLOSURES | SECTION 1023.2 | 1 HR | 1 HR |
| ELEVATOR ENCLOSURES | SECTION 713.14 AND 713.4 | 1 HR | 1 HR |
| MECHANICAL SHAFTS | SECTION 713.4 | 1 HR | 1 HR |
| WASTE AND LINEN CHUTES | SECTION 713.13 AND 713.4 | NA | NA |
| CHUTE ACCESS ROOMS | SECTION 713.13.3 | NA | NA |
| CHUTE DISCHARGE ROOMS | SECTION 713.13.4 | NA | NA |
| CORRIDOR FIRE RESISTIVE RATING | SECTION 706, 1020.1, & TABLE 1020.1 | 0 HR | 0 HR |
| EXIT PASSAGEWAYS | SECTION 1024 | NA | NA |
| HORIZONTAL EXITS | SECTION 1026 | NA | NA |
| OPENING PROTECTIVES | SECTION 716 AND TABLE 716.1(2) | | |
| FIRE DOOR ASSEMBLIES | SECTION 716.2 | SEE TABLE 716.1(2) | 1 HR |
| FIRE WINDOW ASSEMBLIES | SECTION 716.2 AND 716.3 | SEE TABLE 716.1(3) | NA |

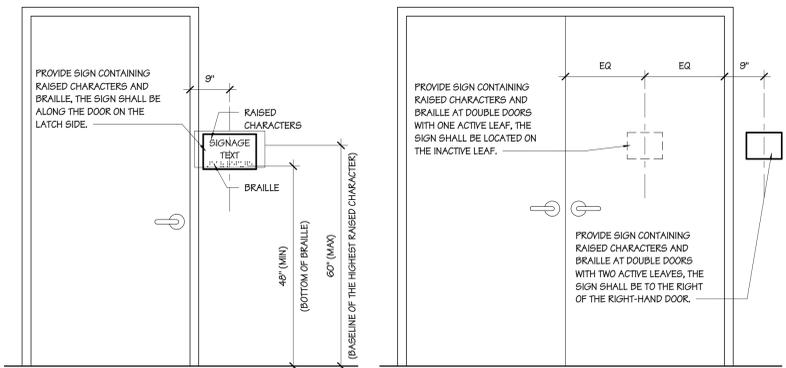
| MEANS OF EGRESS | IBC 2018 | ALLOWABLE OR REQUIRED | PROVIDED |
|--------------------------------------|--------------------------------------|-----------------------|---------------|
| OCCUPANT LOAD | SECTION 1004 AND TABLE 1004.5 | | 359 OCCUPANTS |
| STAIRWAYS: | SECTION 1011 | | |
| STAIRWAY WIDTH | SECTION 1009.3 AND 1011.2 | 44 INCHES | > 44 INCHES |
| AREA OF REFUGE | SECTION 1009.3, 1009.3.3, AND 1009.6 | NO | NO |
| EXTERIOR AREA FOR ASSISTED RESCUE | SECTION 1009.7 | NO | NO |
| MAXIMUM COMMON PATH OF EGRESS TRAVEL | SECTION 1006 AND TABLE 1006.2.1 | 100 FT | 99 FT |
| MAXIMUM EXIT ACCESS TRAVEL DISTANCE | SECTION 1017 AND TABLE 1017.2 | 250 FT | ? |
| MINIMUM CORRIDOR WIDTH | SECTION 1020.2 AND TABLE 1020.2 | 44 INCHES | > 44 INCHES |
| MAXIMUM DEAD END | SECTION 1020.4 | -20 FT | 5 |
| MINIMUM NUMBER OF BUILDING EXITS | SECTION 1006 AND TABLE 1006.3.2 | 2 | 5 |
| MAXIMUM OVERALL DIAGONAL DIMENSION | SECTION 1007.1.1 | | 156 FT |
| MINIMUM DISTANCE BETWEEN EXITS | SECTION 1007.1.1.1 | 52 FT | 74 FT |

Project:
ASTON TOWNSHIP MUNICIPAL COMPLEX
3264 Concord Road
Aston, PA 19014



1 1ST FLOOR CODE PLAN
SCALE 1/16" = 1'-0"

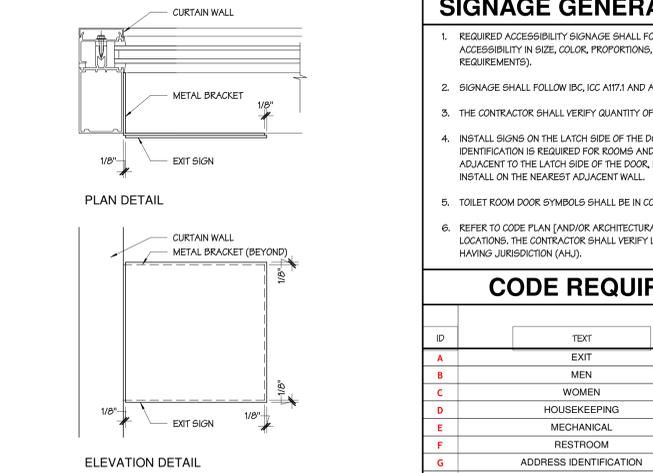
2 2ND FLOOR CODE PLAN
SCALE 1/16" = 1'-0"



CODE REQUIRED SIGN LOCATION AT SINGLE DOOR

CODE REQUIRED SIGN LOCATION AT DOUBLE DOOR

- NOTES:
- SIGNAGE SHALL COMPLY WITH REQUIREMENTS OF APPLICABLE CODES OUTLINED IN THE KEY INFORMATION.
 - WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLED DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL.



ELEVATION DETAIL

SIGNAGE GENERAL NOTES

- REQUIRED ACCESSIBILITY SIGNAGE SHALL FOLLOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN SIZE, COLOR, PROPORTIONS, AND TEXT (TACTILE AND BRAILLE TEXT REQUIREMENTS).
- SIGNAGE SHALL FOLLOW IBC, ICC A117.1 AND ADA STANDARDS REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY QUANTITY OF SIGNAGE REQUIRED.
- INSTALL SIGNS ON THE LATCH SIDE OF THE DOOR WHERE PERMANENT IDENTIFICATION IS REQUIRED FOR ROOMS AND SPACES. IF THERE IS NO WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, INCLUDING DOUBLE LEAF DOORS, INSTALL ON THE NEAREST ADJACENT WALL.
- TOILET ROOM DOOR SYMBOLS SHALL BE IN CONTRASTING COLOR.
- REFER TO CODE PLAN (AND/OR ARCHITECTURAL SITE PLAN) FOR ACCESSIBLE SIGN LOCATIONS. THE CONTRACTOR SHALL VERIFY LOCATIONS WITH THE AUTHORITY HAVING JURISDICTION (AHJ).

CODE REQUIRED SIGNAGE

| ID | TEXT | RAISED CHARACTERS AND BRAILLE | ISA |
|----|------------------------|-------------------------------|-----|
| A | EXIT | YES | NO |
| B | MEN | YES | YES |
| C | WOMEN | YES | YES |
| D | HOUSEKEEPING | YES | NO |
| E | MECHANICAL | YES | NO |
| F | RESTROOM | YES | YES |
| G | ADDRESS IDENTIFICATION | NO | NO |
| H | ELEVATOR | YES | NO |
| J | STAIR | YES | NO |
| K | STAIR EXIT | YES | NO |

3 SIGN LOCATION AT DOORS
SCALE 3/4" = 1'-0"

4 CURTAIN WALL SIGNAGE
SCALE 3" = 1'-0"

OCCUPANCY CHART

| OCCUPANCY | AREA | FUNCTION OF SPACE | OCCUPANT LOAD FACTOR | OCCUPANTS |
|-------------|-----------|---|----------------------|-----------|
| A-3 | 1,570 SF | ASSEMBLY WITHOUT FIXED SEATS - "ACTUAL OCCUPANT LOAD" | 16 SF NET | 99 |
| B | 18,159 SF | BUSINESS AREAS (IBC 2018 AND NEWER) | 150 SF GROSS | 127 |
| HOLDING | 214 SF | INSTITUTIONAL AREAS - OUTPATIENT AREAS | 100 SF GROSS | 3 |
| SALLY PORT | 620 SF | ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM | 300 SF GROSS | 3 |
| GRAND TOTAL | 20,563 SF | | | 232 |

PLUMBING FIXTURES

| OCCUPANCY | WATER CLOSETS (URINALS) | | | | LAVATORIES | | | | DRINKING FOUNTAINS | |
|------------|-------------------------|---------------|-----------------|-----------------|---------------|---------------|-----------------|-----------------|--------------------|----------|
| | MALE REQUIRED | MALE PROVIDED | FEMALE REQUIRED | FEMALE PROVIDED | MALE REQUIRED | MALE PROVIDED | FEMALE REQUIRED | FEMALE PROVIDED | REQUIRED | PROVIDED |
| A-3 | 0.40 | | 0.76 | | 0.25 | | 0.25 | | 0.20 | |
| B | 2.54 | | 2.54 | | 1.59 | | 1.59 | | 1.27 | |
| HOLDING | 0.10 | | 0.10 | | 0.10 | | 0.10 | | 0.03 | |
| SALLY PORT | 0.02 | | 0.02 | | 0.02 | | 0.02 | | 0.00 | |
| TOTALS | 3.06 | 11 | 3.42 | 9 | 1.96 | 9 | 1.95 | 8 | 1.50 | 2 |

NOTES: ONE (1) SERVICE SINK IS REQUIRED. ONE (1) SERVICE SINK IS PROVIDED PER FLOOR.

Owner:
ASTON TOWNSHIP
2 New Road
Suite 123
Aston, PA 19014

Revision/Issue:
0 03/29/24 Issued

Drawn: EBJ
Reviewed: PAS
Contact: Paul Andrew Sgroi
Project Number: 2301.00-22

Sheet Title:
CODE

Sheet Number:

G-003

Project Information
Energy Code: 2018 IECC
Project Title: Aston Township Municipal Complex IMP
Location: Chester, Pennsylvania
Climate Zone: 4a
Project Type: New Construction
Vertical Glazing / Wall Area: 20%

Construction Site: 3270 Concord Road, Aston 19014
Owner/Agent: Bill Detco, Aston Township, 2 New Rd, Suite 123, Aston 19014, 484-769-6633, wdefeo@astontwp.net
Designer/Contractor: Paul Andrew Sgroi, Bernardon, 10 North High Street, Suite 310, West Chester 19380, 610-785-4854, psgr@bernardon.com

Additional Efficiency Package(s)
Credits: 1.0 Required, 1.0 Proposed
Enhanced Envelope Performance, 1.0 credit

| Building Area | Floor Area |
|---|------------|
| 1-Police Station (Police) - Nonresidential | 10256 |
| 2-Municipal Building (Town Hall) - Nonresidential | 11707 |

| Envelope Assemblies | Assembly | Gross Area or Perimeter | Cavity R-Value | Cont. R-Value | Proposed U-Factor | Budget U-Factor |
|--|----------|-------------------------|----------------|---------------|-------------------|-----------------|
| Slab-on-grade: Slab-On-Grade/Unheated, Vertical 3 ft., (Bldg. Use 1 - Police Station) (d) | | 371 | — | 18.0 | 0.478 | 0.540 |
| Roof: Insulation Entirely Above Deck, (Bldg. Use 1 - Police Station) | | 3887 | — | 30.0 | 0.032 | 0.032 |
| Slab-on-grade: Slab-On-Grade/Unheated, Vertical 3 ft., (Bldg. Use 2 - Municipal Building) (d) | | 219 | — | 16.0 | 0.478 | 0.540 |
| Roof: Insulation Entirely Above Deck, (Bldg. Use 2 - Municipal Building) | | 8924 | — | 30.0 | 0.032 | 0.032 |
| Roof: Metal Building, Standing Seam, Double Insulation Layer with Thermal Blocks (c), (Bldg. Use 2 - Municipal Building) | | 1265 | 0.0 | 30.0 | 0.032 | 0.035 |
| NORTH | | | | | | |
| North - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, (Bldg. Use 1 - Police Station) | | 1786 | — | 15.0 | 0.058 | 0.104 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 1 - Police Station) (c) | | 134 | — | — | 0.370 | 0.380 |
| Door - Swing Type AL: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID P-A-KAW-64014, SHGC 0.28, VT 0.39, (Bldg. Use 1 - Police Station) (c) | | 73 | — | — | 0.650 | 0.770 |
| North - MTL STUD: Steel-Framed, 16in. o.c., (Bldg. Use 1 - Police Station) | | 115 | 25.0 | 7.5 | 0.054 | 0.064 |
| North - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: Metal, (Bldg. Use 1 - Police Station) | | 144 | 0.0 | 26.9 | 0.033 | 0.104 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 1 - Police Station) (c) | | 106 | — | — | 0.370 | 0.380 |
| Door - Swing Type AL: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID P-A-KAW-64014, SHGC 0.28, VT 0.39, (Bldg. Use 1 - Police Station) (c) | | 24 | — | — | 0.650 | 0.770 |
| North - MTL STUD: Steel-Framed, 16in. o.c., (Bldg. Use 2 - Municipal Building) | | 104 | 25.0 | 7.5 | 0.054 | 0.064 |
| North - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: Metal, (Bldg. Use 2 - Municipal Building) | | 158 | 0.0 | 26.9 | 0.033 | 0.104 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 95 | — | — | 0.370 | 0.380 |
| North - IMWP: Steel-Framed, 16" o.c., (Bldg. Use 2 - Municipal Building) | | 1029 | 0.0 | 26.2 | 0.034 | 0.064 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 237 | — | — | 0.370 | 0.380 |
| North - IMWP: Steel-Framed, 16" o.c., (Bldg. Use 2 - Municipal Building) | | 965 | 0.0 | 26.9 | 0.034 | 0.064 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 556 | — | — | 0.370 | 0.380 |
| EAST | | | | | | |
| East - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, (Bldg. Use 1 - Police Station) | | 1157 | — | 15.0 | 0.058 | 0.104 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 1 - Police Station) (c) | | 24 | — | — | 0.370 | 0.380 |
| East - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, (Bldg. Use 2 - Municipal Building) | | 148 | — | 26.9 | 0.034 | 0.104 |
| East - IMWP: Steel-Framed, 16" o.c., (Bldg. Use 2 - Municipal Building) | | 965 | 0.0 | 26.2 | 0.034 | 0.064 |
| Door - Swing Type AL: Insulated Metal, Non-Swinging, (Bldg. Use 2 - Municipal Building) | | 20 | — | — | 0.056 | 0.179 |
| East - IMWP: Steel-Framed, 16" o.c., (Bldg. Use 2 - Municipal Building) | | 367 | 0.0 | 26.9 | 0.034 | 0.064 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 113 | — | — | 0.370 | 0.380 |
| SOUTH | | | | | | |
| South - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, (Bldg. Use 1 - Police Station) | | 1522 | — | 15.0 | 0.058 | 0.104 |
| Door - Swing Type AL: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID P-A-KAW-64014, SHGC 0.28, VT 0.39, (Bldg. Use 1 - Police Station) (c) | | 24 | — | — | 0.650 | 0.770 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 1 - Police Station) (c) | | 256 | — | — | 0.370 | 0.380 |
| Door - Non-swing Type: Other Door, Non-Swinging, (Bldg. Use 1 - Police Station) | | 120 | — | — | 0.220 | 0.179 |
| South - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: Metal, (Bldg. Use 1 - Police Station) | | 205 | 0.0 | 26.9 | 0.033 | 0.104 |
| South - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, (Bldg. Use 2 - Municipal Building) | | 394 | — | 15.0 | 0.058 | 0.104 |
| Door - Swing Type AL: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID P-A-KAW-64014, SHGC 0.28, VT 0.39, (Bldg. Use 2 - Municipal Building) (c) | | 88 | — | — | 0.370 | 0.380 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 221 | — | 26.9 | 0.034 | 0.104 |
| South - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, (Bldg. Use 2 - Municipal Building) | | 1387 | 0.0 | 26.2 | 0.034 | 0.064 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 297 | — | — | 0.370 | 0.380 |
| South - IMWP: Steel-Framed, 16" o.c., (Bldg. Use 2 - Municipal Building) | | 418 | 0.0 | 26.9 | 0.034 | 0.064 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 71 | — | — | 0.370 | 0.380 |
| WEST | | | | | | |
| West - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, (Bldg. Use 1 - Police Station) | | 102 | — | 15.0 | 0.058 | 0.104 |
| West - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, (Bldg. Use 2 - Municipal Building) | | 289 | — | 15.0 | 0.058 | 0.104 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 20 | — | — | 0.370 | 0.380 |
| West - CMU: Concrete Block-12in, Partially Grouted, Cells Empty, Normal Density, Furring: None, (Bldg. Use 2 - Municipal Building) | | 913 | — | 15.0 | 0.057 | 0.104 |
| West - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, (Bldg. Use 2 - Municipal Building) | | 27 | — | 26.9 | 0.034 | 0.104 |
| West - MTL STUD: Steel-Framed, 16" o.c., (Bldg. Use 2 - Municipal Building) | | 90 | 19.0 | 0.0 | 0.109 | 0.064 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 45 | — | — | 0.370 | 0.380 |
| West - IMWP: Steel-Framed, 16" o.c., (Bldg. Use 2 - Municipal Building) | | 759 | 0.0 | 26.2 | 0.034 | 0.064 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 287 | — | — | 0.370 | 0.380 |
| West - IMWP: Steel-Framed, 16" o.c., (Bldg. Use 2 - Municipal Building) | | 718 | 0.0 | 26.9 | 0.034 | 0.064 |
| Storefront: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, (Bldg. Use 2 - Municipal Building) (c) | | 368 | — | — | 0.370 | 0.380 |

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
(b) Other components require supporting documentation for proposed U-factors.
(c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.
(d) Slab-On-Grade proposed and budget U-factors shown in table are R-factors.
(e) Thermal spacer block with minimum R-3.5 must be installed above the purlin/batt, and the roof deck secured to the purlins.

Envelope PASSES: Design 3% better than code

Envelope Compliance Statement
Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2018 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Paul Andrew Sgroi, Sr. Operations Director
Name - Title: Paul Andrew Sgroi, Sr. Operations Director
Signature: [Signature]
Date: March 28, 2024

10 North High Street, Suite 310
West Chester, Pennsylvania 19380
p. 610-444-2500

www.bernardon.com

Project:
ASTON TOWNSHIP
MUNICIPAL COMPLEX
3264 Concord Road
Aston, PA 19014

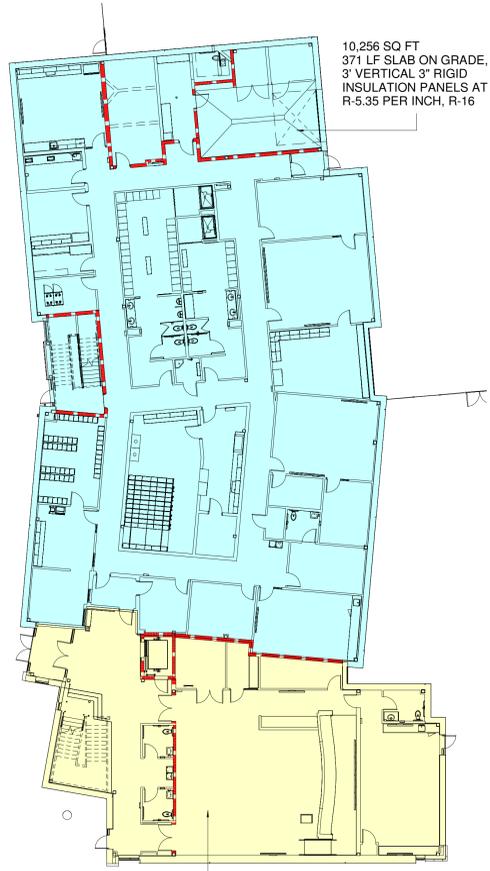
Owner:
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2 New Road
Suite 123
Aston, PA 19014

Revision/Issue:
0 03/29/24 Issued

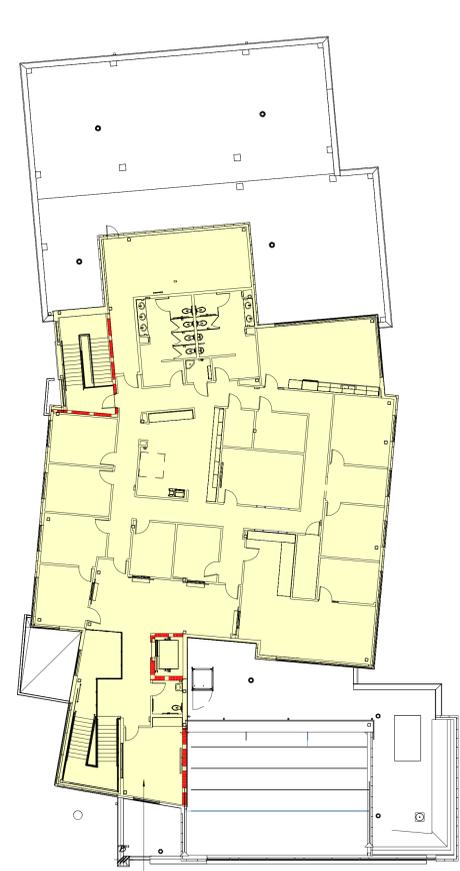
Drawn: EHI/DP
Reviewed: PAS
Contact: Paul Andrew Sgroi
Project Number: 2301.00-22

Sheet Title:
COMCHECK

Sheet Number:
G-004



1 COMCHECK PLAN - 1ST FLOOR
SCALE 1/16" = 1'-0"
0' 8' 16' 32'



3 COMCHECK PLAN - 2ND FLOOR
SCALE 1/16" = 1'-0"
0' 8' 16' 32'



2 COMCHECK ROOF PLAN
SCALE 1/16" = 1'-0"

Project:
**ASTON TOWNSHIP
MUNICIPAL COMPLEX**
3264 Concord Road
Aston, PA 19014

Owner:
ASTON TOWNSHIP
2 New Road
Suite 123
Aston, PA 19014

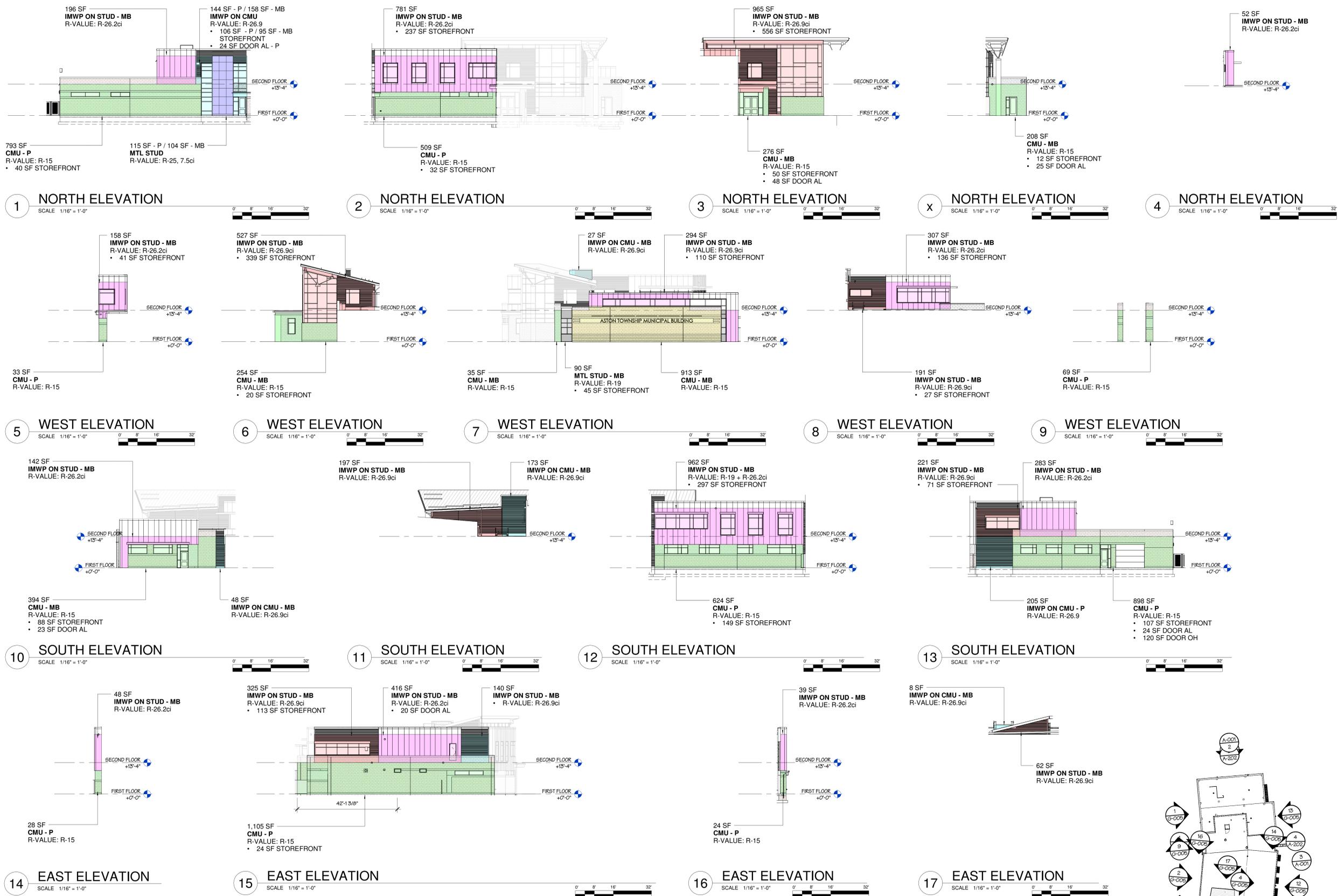
Revision/Issue:
0 03/29/24 Issued

Drawn: EHI/DP
Reviewed: PAS
Contact: Paul Andrew Sgroi
Project Number: 2301.00-22

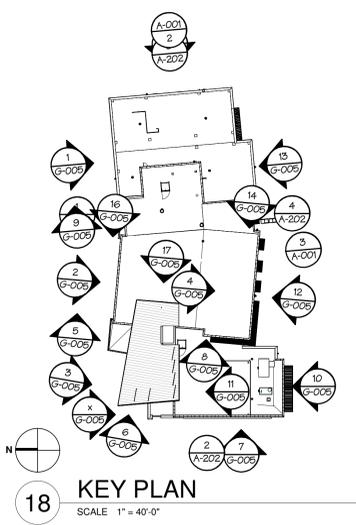
Sheet Title:
COMCHECK

Sheet Number:

G-005



| NORTH ELEVATION TOTALS - MUNICIPAL | | NORTH ELEVATION TOTALS - POLICE | | WEST ELEVATION TOTALS - MUNICIPAL | | WEST ELEVATION TOTALS - POLICE | | SOUTH ELEVATION TOTALS - MUNICIPAL | | SOUTH ELEVATION TOTALS - POLICE | | EAST ELEVATION TOTALS - MUNICIPAL | | EAST ELEVATION TOTALS - POLICE | |
|---|--|--|---------------------------------|---|--|--|---|---|---|---|---|--|--|--|---|
| 1,029 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 237 SF STOREFRONT | 1,786 SF CMU - P R-VALUE: R-15 • 134 SF STOREFRONT • 73 SF DOOR AL | 759 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 102 SF CMU - P R-VALUE: R-15 | 965 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 556 SF STOREFRONT | 718 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 366 SF STOREFRONT | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 287 SF STOREFRONT | 1,522 SF CMU - P R-VALUE: R-15 • 256 SF STOREFRONT • 24 SF DOOR AL • 120 SF DOOR OH | 965 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 20 SF SOLID DOOR AL | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 418 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 95 SF - MB STOREFRONT | 144 SF - P IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT |
| 196 SF IMWP ON STUD - MB R-VALUE: R-26.2ci | 144 SF - P / 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 SF - P / 95 SF - MB STOREFRONT • 24 SF DOOR AL - P | 781 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 237 SF STOREFRONT | 102 SF CMU - P R-VALUE: R-15 | 965 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 556 SF STOREFRONT | 718 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 366 SF STOREFRONT | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 287 SF STOREFRONT | 965 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 20 SF SOLID DOOR AL | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 418 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 95 SF - MB STOREFRONT | 144 SF - P IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT |
| 793 SF CMU - P R-VALUE: R-15 • 40 SF STOREFRONT | 115 SF - P / 104 SF - MB MTL STUD R-VALUE: R-25, 7.5ci | 509 SF CMU - P R-VALUE: R-15 • 32 SF STOREFRONT | 102 SF CMU - P R-VALUE: R-15 | 276 SF CMU - MB R-VALUE: R-15 • 50 SF STOREFRONT • 48 SF DOOR AL | 27 SF - MB IMWP ON CMU R-VALUE: R-26.9 | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 287 SF STOREFRONT | 965 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 20 SF SOLID DOOR AL | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 418 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 95 SF - MB STOREFRONT | 144 SF - P IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT |
| 158 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 41 SF STOREFRONT | 527 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 339 SF STOREFRONT | 27 SF IMWP ON CMU - MB R-VALUE: R-26.9ci | 102 SF CMU - P R-VALUE: R-15 | 307 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 136 SF STOREFRONT | 27 SF - MB IMWP ON CMU R-VALUE: R-26.9 | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 287 SF STOREFRONT | 965 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 20 SF SOLID DOOR AL | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 418 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 95 SF - MB STOREFRONT | 144 SF - P IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT |
| 33 SF CMU - P R-VALUE: R-15 | 254 SF CMU - MB R-VALUE: R-15 • 20 SF STOREFRONT | 90 SF MTL STUD - MB R-VALUE: R-19 | 102 SF CMU - P R-VALUE: R-15 | 191 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 27 SF STOREFRONT | 221 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 287 SF STOREFRONT | 965 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 20 SF SOLID DOOR AL | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 418 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 95 SF - MB STOREFRONT | 144 SF - P IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT |
| 142 SF IMWP ON STUD - MB R-VALUE: R-26.2ci | 197 SF IMWP ON STUD - MB R-VALUE: R-26.9ci | 173 SF IMWP ON CMU - MB R-VALUE: R-26.9ci | 102 SF CMU - P R-VALUE: R-15 | 283 SF IMWP ON STUD - MB R-VALUE: R-26.2ci | 283 SF IMWP ON STUD - MB R-VALUE: R-26.2ci | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 287 SF STOREFRONT | 965 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 20 SF SOLID DOOR AL | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 418 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 95 SF - MB STOREFRONT | 144 SF - P IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT |
| 394 SF CMU - MB R-VALUE: R-15 • 88 SF STOREFRONT • 23 SF DOOR AL | 48 SF IMWP ON CMU - MB R-VALUE: R-26.9ci | 624 SF CMU - P R-VALUE: R-15 • 149 SF STOREFRONT | 102 SF CMU - P R-VALUE: R-15 | 205 SF IMWP ON CMU - P R-VALUE: R-26.9 | 205 SF IMWP ON CMU - P R-VALUE: R-26.9 | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 287 SF STOREFRONT | 965 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 20 SF SOLID DOOR AL | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 418 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 95 SF - MB STOREFRONT | 144 SF - P IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT |
| 48 SF IMWP ON STUD - MB R-VALUE: R-26.2ci | 325 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 113 SF STOREFRONT | 39 SF IMWP ON STUD - MB R-VALUE: R-26.2ci | 102 SF CMU - P R-VALUE: R-15 | 8 SF IMWP ON CMU - MB R-VALUE: R-26.9ci | 8 SF IMWP ON CMU - MB R-VALUE: R-26.9ci | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 287 SF STOREFRONT | 965 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 20 SF SOLID DOOR AL | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 418 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 95 SF - MB STOREFRONT | 144 SF - P IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT |
| 28 SF CMU - P R-VALUE: R-15 | 1,105 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 62 SF IMWP ON STUD - MB R-VALUE: R-26.9ci | 102 SF CMU - P R-VALUE: R-15 | 62 SF IMWP ON STUD - MB R-VALUE: R-26.9ci | 62 SF IMWP ON STUD - MB R-VALUE: R-26.9ci | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 287 SF STOREFRONT | 965 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 20 SF SOLID DOOR AL | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 418 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 95 SF - MB STOREFRONT | 144 SF - P IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT |
| 289 SF CMU - MB R-VALUE: R-15 • 20 SF STOREFRONT | 913 SF CMU - MB R-VALUE: R-15 | 24 SF CMU - P R-VALUE: R-15 | 102 SF CMU - P R-VALUE: R-15 | 24 SF CMU - P R-VALUE: R-15 | 24 SF CMU - P R-VALUE: R-15 | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 287 SF STOREFRONT | 965 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 20 SF SOLID DOOR AL | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 418 SF IMWP ON STUD - MB R-VALUE: R-26.9ci • 71 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 158 SF - MB IMWP ON CMU R-VALUE: R-26.9 • 95 SF - MB STOREFRONT | 144 SF - P IMWP ON CMU R-VALUE: R-26.9 • 106 STOREFRONT • 24 SF DOOR AL | 1,387 SF IMWP ON STUD - MB R-VALUE: R-26.2ci • 297 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT | 1,157 SF CMU - P R-VALUE: R-15 • 24 SF STOREFRONT |



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