

SYMBOLS

	Interior Elevation Number		Window Type		Revision Number
	Sheet Number		Partition Type		Accessory / Fixture Type
	Elevation or Section Number		Working Point Or Control Point		Plan North
	Detail Number		Room Name Room Number		Magnetic North
	Door Number		Ceiling Type Ceiling Height		And
	New Column		W: Wall Finish B: Base F: Floor Finish		At
	Existing Column		Casework Finish		Number Or Pound
					Diameter
					Center Line
					Dimension to Face of Material

MATERIALS

	Concrete Masonry Unit		Insulation - Rigid		Insulation - Batt, Blanket Or Loose
	Brick		Glass In Elevation		Plywood
	Concrete		Wood - Continuous Lumber		Gypsum Board
	Porous Fill, Stone Or Gravel		Wood - Blocking		Steel
	Earth		Wood - Finish		Stone

ARCHITECTURAL STANDARD ABBREVIATIONS

ALT	Alternate	FPBI	Foam Plastic Board	PCC	Precast Concrete
APC	Acoustic Panel Ceiling		Insulation	PCFS	Perimeter Fire Containment System
APPROX	Approximate	FRJS	Fire Resistive Joint System	PL	Plate
ARCH	Architectural	FRP	Fiberglass Reinforced Plastic	PLAM	Plastic Laminate
		FRTW	Fire Retardant Treated Wood	PLBG	Plumbing
BD	Board	FT	Foot/Foot	PLYWD	Plywood
BITUM	Bituminous	FTG	Foot/Foot	PR	Pair
BLDG	Building	FURR	Furring	PSF	Pounds Per Square Foot
BLKG	Blocking			PSL	Parallel Strand Lumber
BM	Beam	GA	Gauge	PSI	Pounds Per Square Inch
BRG	Bearing	GALV	Galvanized	PT	Pressure Treated
BSMT	Basement	GFCI	Ground Fault Circuit Interrupter	PTD	Painted
BTWN	Between	GL	Glass	PVMT	Pavement
BUR	Built-up Roofing	GR	Grade		
		GYP BD	Gypsum Board	R	Riser or Radius
CAB	Cabinet	HB	Hose Bibb	RD	Roof Drain
CB	Catch Basin	HC	Hollow Core	REF	Reference
CCTV	Closed Circuit Television	HDW	Hardware	REFR	Refrigerator
CEM	Cement	HDWD	Hardwood	REINF	Reinforced
CF/CI	Contractor Furnished/ Contractor Installed	HM	Hollow Metal	REQD	Required
CF/OI	Contractor Furnished/ Owner Installed	HORIZ	Horizontal	RES	Resilient
CI	Cast Iron	HP	High Point	RM	Room
CIP	Cast-in-place	HPC	Handicapped	RO	Rough Opening
CJ	Control Joint	HR	Hour	RWC	Rain Water Conductor
CLG	Ceiling	HSKPG	Housekeeping		
CL	Closet	HSS	Hollow Structural Section (Tube Steel)	S	South
CLR	Clear	HT	Height	SC	Solid Core
CMU	Concrete Masonry Unit	ID	Inside Diameter	SCHED	Schedule
CNTR	Center	IN	Inch(es)	SECT	Section
COL	Column	INCL	Included	SF	Square Feet
CONC	Concrete	INS	Insulation	SFRM	Spray Fire Resistive Materials
CONST	Construction	INT	Interior	SIM	Similar
CONT	Continuous	JAN	Janitor	SPEC	Specification
CORR	Corridor	JST	Joist	SPM	Single Ply Membrane
CPT	Carpet	JT	Joint	SQ	Square
CRS	Course(s)	LAB	Laboratory	SS	Stainless Steel
CT	Ceramic Tile	LAM	Laminate	STD	Standard
		LAU	Laundry	STL	Steel
DBL	Double	LAV	Lavatory	STOR	Storage
DEPT	Department	LNDSCP	Landscape	STRUCT	Structure
DET	Detail	LP	Low Point	SUSP	Suspended
DF	Drinking Fountain	LTTR	Long Term Thermal Resistance	T	Tread
DIA	Diameter	LVL	Laminated Veneer Lumber	T&G	Tongue & Groove
DIM	Dimension			TEL	Telephone
DN	Down	MAX	Maximum	THK	Thick
DS	Downspout	MDF	Medium Density Fiberboard	TO	Top Of
DWG	Drawing	MECH	Mechanical	TOF	Top Of Finish
		MEP	Mechanical, Electrical, Plumbing	TOM	Top Of Masonry
E	East	MFR	Manufacturer	TOS	Top Of Steel
EA	Each	MIN	Minimum	TPO	Thermoplastic Polyolefin
EIFS	Exterior Insulation and Finish System	MISC	Miscellaneous	TYP	Typical
EJ	Expansion Joint	MO	Masonry Opening	UNO	Unless Noted Otherwise
EL	Elevation	MT	Marble Threshold		
ELEC	Electrical	MTD	Mounted	VCT	Vinyl Composition Tile
ELEV	Elevator	MTL	Metal		
EMER	Emergency	MUL	Mullion	VERT	Vertical
EOS	Edge of Slab			VEST	Vestibule
EPDM	Ethylene Propylene Diene Monomer	N	North	VIF	Verify In Field
		NA	Not Applicable		
EPS	Expanded Polystyrene	NIC	Not In Contract	W	West
		NO	Number	W/	With
EQ	Equipment	NOM	Nominal	W/O	Without
EQUIP	Existing to Remain	NTS	Not To Scale	WC	Water Closet
ETR	Electric Water Cooler			WD	Wood
EWC	Existing Water Cooler	OC	On Center	WH	Water Heater
EXIST	Existing	OCC	Occupant(s)	WIC	Walk-in-Closet
EXP	Expansion	OD	Outside Diameter	WP	Working Point
EXT	Exterior	OF/CI	Owner Furnished/ Contractor Installed	WRB	Water-Resistive Barrier
		OF/OI	Owner Furnished/ Owner Installed	WSCT	Wainscot
FA	Fire Alarm	OH	Overhead	WT	Weight
FD	Floor Drain	OPG	Opening	WWF	Welded Wire Fabric
FDN	Foundation	OPP	Opposite		
FE	Fire Extinguisher	OSB	Oriented Strand Board	XPS	Extruded Polystyrene Insulation
FEC	Fire Extinguisher Cabinet				
FHC	Fire Hose Cabinet				
FIN	Finish				
FXT	Fixture				
FLR	Floor				
FLUOR	Fluorescent				
FOC	Face Of Concrete				
FOF	Face Of Finish				
FOM	Face Of Masonry				
FOS	Face Of Studs				



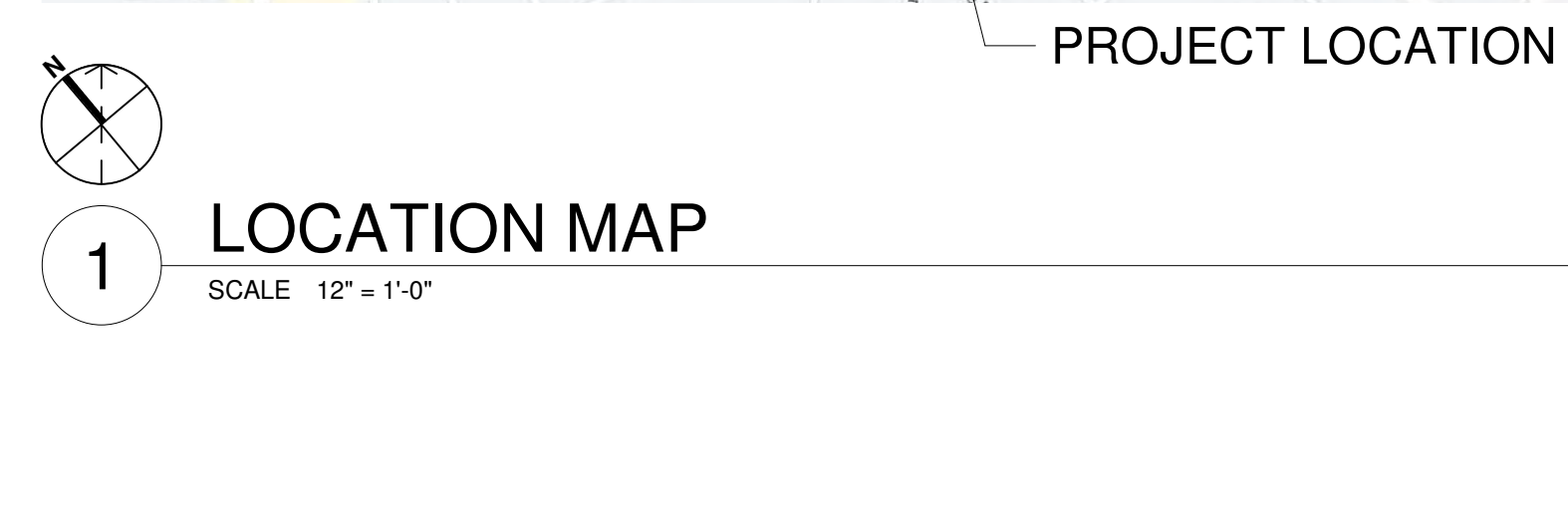
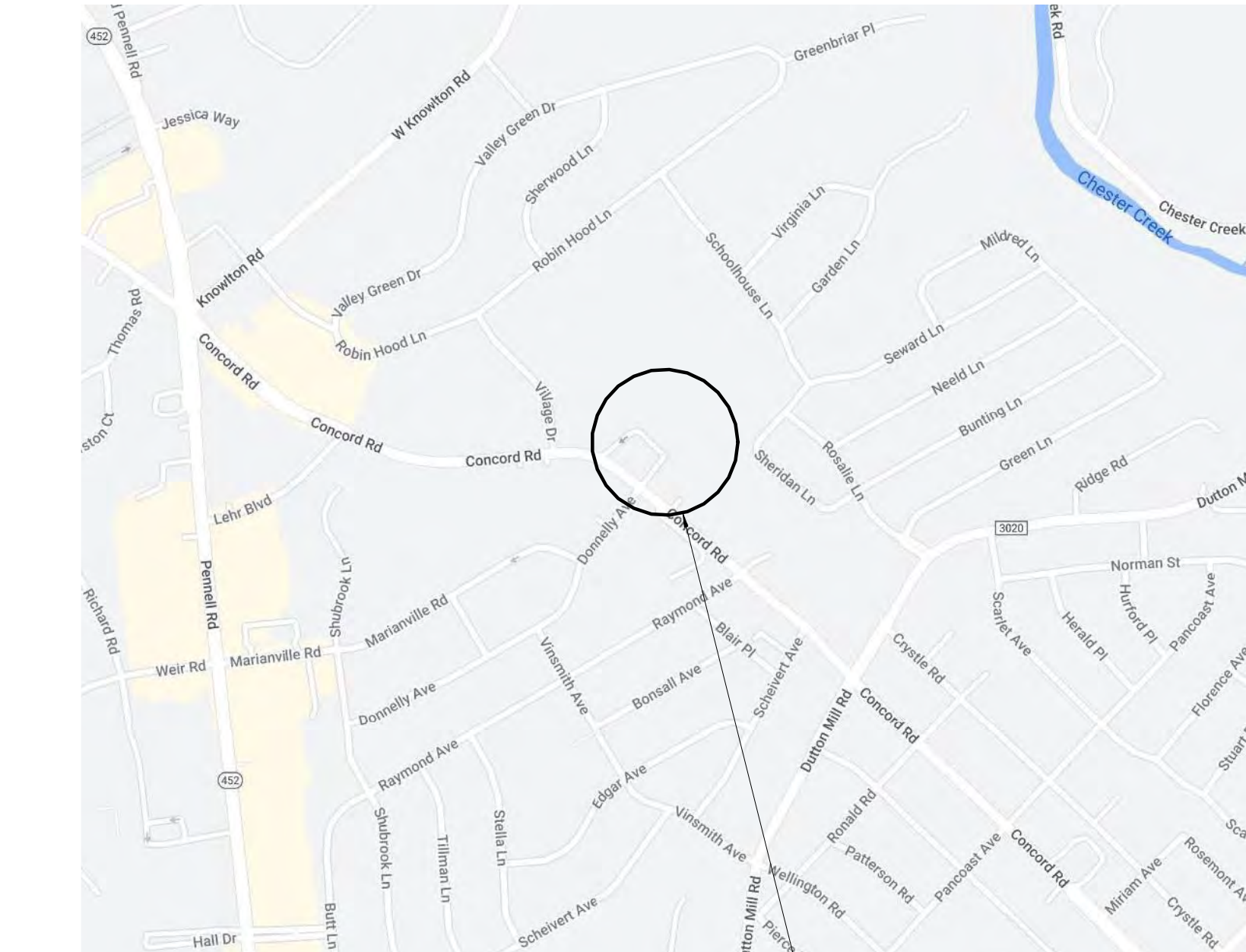
Illustration indicates design intent and may not reflect final details

ASTON TOWNSHIP MUNICIPAL COMPLEX

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KEY INFORMATION

- Applicable Code(s) & Regulations For This Project.

- State:
2018 IBC (International Building Code with Amendments)
2018 IECC (International Energy Conservation Code) /OR/ASHRAE 90.1-2016 Energy Standard for Buildings Except Low Rise Residential Buildings
2021 IBC (Chapter 11 "Accessibility" and Appendix E "Supplementary Accessibility Requirements"
ICC A117.1-2009 (Accessible and Usable Buildings and Facilities)
PA Uniform Construction Code (Regulations and Statutes)
- Federal:
2010 ADA (Standards for Accessible Design)
- Occupancy Use Classification(s): **B, A-3, AND I-3 (ACCESSORY TO B)**
 - Construction Type(s) / Classification(s): **TYPE IIB**
 - Automatic Sprinkler System: **Yes per NFPA 13**
 - Building Code Details: **See Code Summary Sheet G-003**
 - Climate Zone: **4A**
 - Authority Having Jurisdiction: **Aston Township, Delaware County**
 - UL Fire Resistance Directory: **Current Online**

STANDARD GENERAL NOTES

- The Specifications are that portion of the Contract Documents consisting of the written requirements for materials, equipment, systems, standards and workmanship for the Work, and the performance of related services. Whether printed or in portable document format (PDF), the Specifications that have been prepared as a letter-size manual complement the Drawings bound herein, and what is required by one shall be as binding as if required by all.
- All work shall be in accordance with applicable state and local building codes and all other governing agencies and regulations.
- Contractor shall verify all conditions and dimensions in the field prior to commencement of the work. Verify layout in relation to property, benchmarks, and other fixed conditions. Report discrepancies to the Architect immediately upon discovery.
- Notify Architect of discrepancies regarding the Contract Documents or design intent immediately upon discovery. Contractor shall be responsible for obtaining clarification prior to proceeding with the work or related work.
- Contractor shall obtain all required building permits and licenses.
- Contractor shall remove all rubbish and debris from the site during course of project, and dispose of legally off-site.
- Contractor shall perform all cutting, patching and protection required to complete the work indicated on the Contract Documents.
- Contractor shall provide all inspections and tests required by state and local authorities including but not limited to earthwork, concrete, steel erection, mechanical, plumbing, and electrical work. Refer to individual drawings and specifications for additional testing requirements.
- Unless indicated otherwise in Specifications, products and manufacturers are noted to establish the type and quality of materials to be provided. Contractor may submit proposed substitutions to the Architect for review, with enough supporting data provided for the Architect to make an evaluation. Contractor shall include costs associated with proposed substitution, including redesign, and alteration of adjacent work to accept substitution.
- All dimensions are either to face of masonry or the face of stud, unless noted otherwise. Drawings are not to be scaled.
- Install all equipment and materials per manufacturer's instructions and recommendations unless specifically otherwise indicated, or where local codes and regulations take precedence.
- Contractor shall provide supervision while any subcontractors or workers are on the job site and shall supervise and direct all work.
- Contractor shall be solely responsible for all construction means, methods, techniques, sequences, procedures, site safety, erosion and sedimentation control, and coordinating the work of all trades under the contract.
- No products containing asbestos or other hazardous materials shall be installed on this project or used during the construction of the project. It shall be the responsibility of the Contractor to certify to the Owner that this requirement has been met. Subcontractors shall verify to the Contractor that no asbestos or other hazardous products are used in their work.
- Locations of rated fire/smoke separations and/or fire resistive structural protection are shown on documents. Provide complete assemblies to meet fire resistive requirements of the project including protection of structural elements and fire separation assemblies. Maintain the integrity of these assemblies at openings and penetrations including but not limited to fire or smoke dampers in ductwork, light fixture protection, electrical device box ratings, expansion joints, and sealants. Provide this protection by using complete building component systems approved by recognized authorities such as Underwriters Laboratories, Inc., Factory Mutual, or other building code accepted agencies. It is the responsibility of the Contractor to coordinate subcontractors and suppliers to accomplish this work during bidding, procurement, scheduling, sequencing and construction of the project.
- Delegated Design: When professional design services or certifications related to systems, materials, or equipment are required by these documents, the Architect/Engineer will specify performance and design criteria that such services must satisfy. The Contractor shall cause such services and certifications to be provided by a properly licensed design professional, whose signature and seal shall appear on all drawings, calculations, Shop Drawings and other related submittals. The Owner and Architect/Engineer shall be entitled to rely upon the accuracy and completeness of those delegated services. The Architect/Engineer will review submittals only for the limited purpose of checking for conformance with the performance and design criteria.

Project:

**ASTON TOWNSHIP
MUNICIPAL COMPLEX**
3264 Concord Road
Aston, PA 19014

Owner:

ASTON TOWNSHIP
2 New Road
Suite 123
Aston, PA 19014

Revision/Issue:

- A 05/23/23 Schematic Design
B 09/20/23 Design Development

Drawn: EHI/DP

Reviewed: PAS

Contact: Paul Andrew Sgroi

Project Number: 2301.00-22

Sheet Title:

COVER SHEET

Sheet Number:

G-001

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LIST OF CONTRACT DOCUMENTS

SPECIFICATIONS

SPECIFICATIONS: REFER TO THE LETTER-SIZE MANUAL THAT HAS BEEN PREPARED FOR THIS PROJECT.

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G-002	LIST OF SHEETS
G-003	CODE
G-004	COMCHECK
G-005	COMCHECK
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2 of 9	OVERALL PLAN
3 of 9	EXISTING CONDITIONS AND DEMOLITION PLAN
4 of 9	GRADING PLAN
5 of 9	SPOT GRADING PLAN
6 of 9	SEDIMENT & EROSION PLAN
7 of 9	CONSTRUCTION DETALS PLAN
8 of 9	CONSTRUCTION DETALS PLAN
9 of 9	LANDSCAPE & LIGHTING PLAN
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S-202	SECOND FLOOR FRAMING/LOW ROOF PLAN
S-203	HIGH ROOF FRAMING PLAN
S-301	FOUNDATION SECTIONS
S-401	FRAMING SECTIONS
S-402	FRAMING SECTIONS
S-403	FRAMING SECTIONS
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S-602	TYPICAL DETAILS
S-603	TYPICAL COLD-FORMED DETAILS
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A-102	SECOND FLOOR PLAN AND DUMPSTER ENCLOSURE
A-103	VEHICLE SHELTER
A-111	ROOF PLAN AND DETAILS
A-121	FIRST FLOOR REFLECTED CEILING PLAN
A-122	SECOND FLOOR REFLECTED CEILING PLAN
A-201	ELEVATIONS
A-202	EXTERIOR MATERIAL COLOR LEGEND
A-301	BUILDING SECTIONS
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A-312	WALL SECTIONS
A-313	WALL SECTIONS
A-314	WALL SECTIONS
A-315	WALL SECTIONS
A-316	WALL SECTIONS
A-317	WALL SECTIONS
A-318	WALL SECTIONS
A-319	WALL SECTIONS
A-401	POLICE STATION TOILET ROOMS
A-402	POLICE STATION LOCKER ROOMS
A-403	FIRST FLOOR TOWNSHIP TOILET ROOMS
A-404	SECOND FLOOR TOWNSHIP TOILET ROOMS
A-411	MONUMENTAL STAIRS
A-412	MONUMENTAL STAIR DETAILS
A-413	POLICE DEPARTMENT STAIRS
A-421	ELEVATOR
A-501	SECTION DETAILS
A-502	SECTION DETAILS
A-503	SECTION DETAILS
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A-513	POLICE STATION - ENLARGED PLANS AND ELEVATIONS
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A-515	TOWNSHIP - ENLARGED PLANS AND ELEVATIONS
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A-517	CASEWORK DETAILS
A-518	CASEWORK DETAILS
A-519	CASEWORK DETAILS
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A-801	EXTERIOR WALL TYPES
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P-102	FIRST FLOOR PLAN- DOMESTIC WATER
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P-203	DETAILS- PLUMBING
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M-102	SECOND FLOOR PLAN- MECHANICAL DUCTWORK
M-103	FIRST FLOOR PLAN- MECHANICAL PIPING
M-104	SECOND FLOOR PLAN- MECHANICAL PIPING
M-105	ROOF PLAN- MECHANICAL
M-201	DETAILS- MECHANICAL
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E-301	SCHEDULES- ELECTRICAL
TA-001	LOW VOLTAGE SYSTEMS TTLESHEET
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TA-005	OVERALL SITE PLAN
TA-010	TELECOM RISER DIAGRAM
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TA-121	FIRST FLOOR REFLECTED CEILING PLAN
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TA-300	TELECOM ROOM DETAILS - FIRST FLOOR
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TA-400	AV ELEVATIONS 1
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TA-501	ACCESS CONTROL DOOR SCHEDULE
TA-502	AV SIGNAL FLOW COMMISSIONERS MEETING ROOM
TA-503	AV SIGNAL FLOW CONFERENCE ROOMS
TA-504	AV SIGNAL FLOW MISC SPACES

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Suite 123
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Revision/Issue:

0 03/29/24 Issued

Drawn: EHI/PAS
Reviewed: PAS
Contact: Paul Andrew Sgroi
Project Number: 2301.00-22

Sheet Title:

LIST OF SHEETS

Sheet Number:

G-002

CODE PLAN GENERAL NOTES

- SEE ELECTRICAL DRAWINGS FOR EMERGENCY LIGHTING AND ILLUMINATED EXIT SIGNS.
- SEE FLOOR PLANS FOR FIRE EXTINGUISHERS.
- REFER TO FIRE EXTINGUISHER GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- COORDINATE RATED WALL CONSTRUCTION WITH PARTITION TYPES.
- REFER TO PARTITION TYPES FOR UL FIRE RATING DESIGNATIONS.
- GRAPHIC PATTERNS DEPICT AREAS ASSIGNED TO SPECIFIC OCCUPANCY CLASSIFICATIONS. SEE OCCUPANCY CHART FOR ADDITIONAL INFORMATION.
- WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SUCH IDENTIFICATION SHALL BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION. VERIFY LOCATIONS WITH AUTHORITY HAVING JURISDICTION (AHJ). INCLUDE LETTERINGS NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/16 INCH STROKE IN A CONTRASTING COLOR, INCORPORATING "FIRE AND/OR SMOKE BARRIER-PROTECT OPENINGS"
- REFER TO DOOR SCHEDULE FOR RATED DOOR REQUIREMENTS.

CODE PLAN LEGEND

- A** SIGN - SEE CODE REQUIRED SIGNAGE CHART
- 34"** EGRESS DOOR CLEAR WIDTH
- 165** OCCUPANT EGRESS CAPACITY
- *** EXIT
- X** MAXIMUM LENGTH OF EXIT ACCESS TRAVEL
- X** MAXIMUM OVERALL DIAGONAL DIMENSION
- 1 HR** PARTITION RATING
- 1 HOUR RATED**
- FE** NON RATED PARTITION
- FE** FIRE EXTINGUISHER
- FEC** FIRE EXTINGUISHER AND CABINET

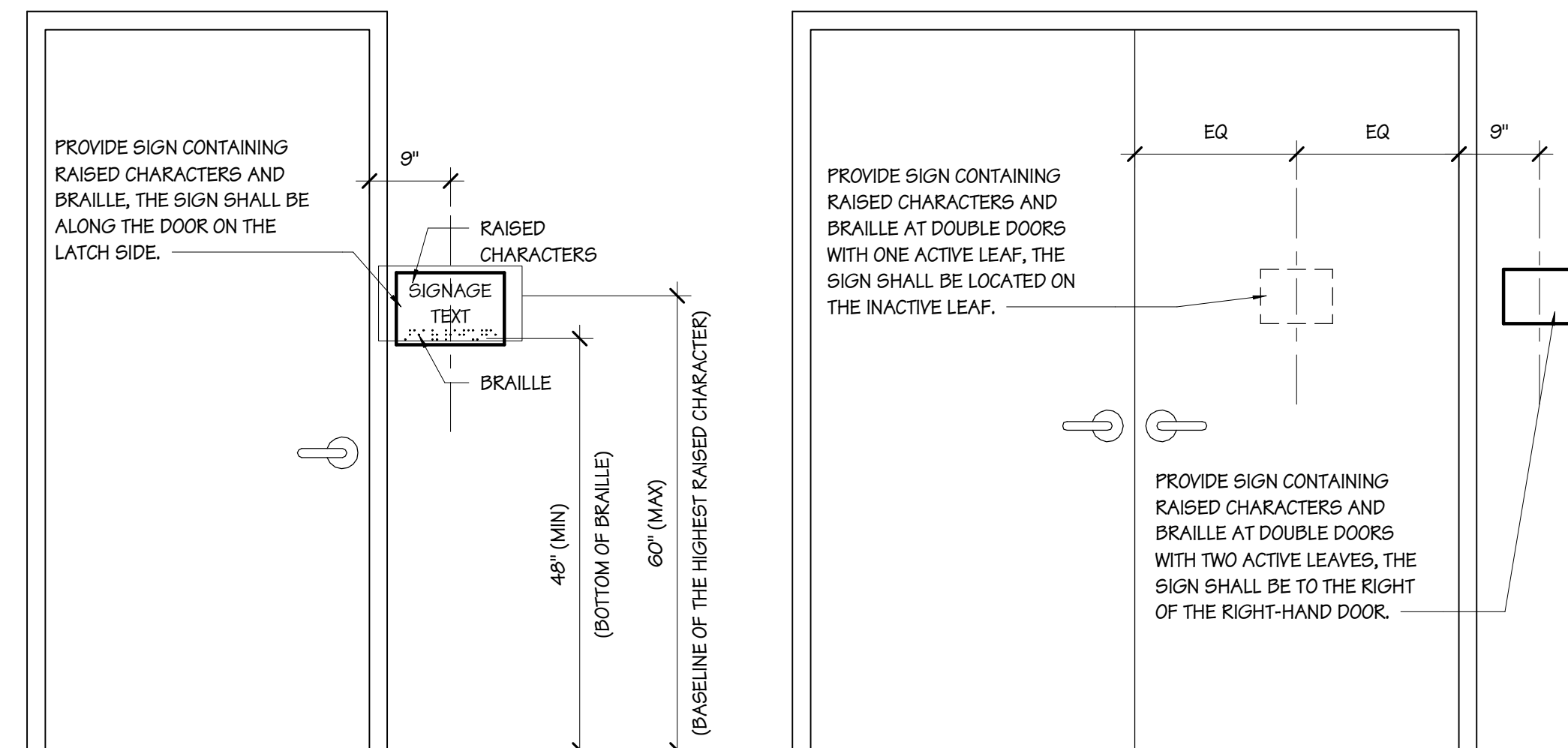
BUILDING CODE SUMMARY:

IBC 2018

BUILDING DATA:	IBC 2018	ALLOWABLE OR REQUIRED	PROVIDED
USE AND OCCUPANCY CLASSIFICATION	CHAPTER 3		A-3, B, I-3 (Accessory to B)
CONSTRUCTION TYPE / CLASSIFICATION	SECTION 602 AND TABLE 601		IB
AUTOMATIC SPRINKLER SYSTEMS	SECTION 903		YES (NFPA 13)
FIRE SEPARATION DISTANCE	TABLE 602 AND TABLE 705.8		30 FT
BUILDING PERIMETER THAT FRONTS OPEN SPACE...(F)	SECTION 506.3		596 FT
TOTAL BUILDING PERIMETER (P)	SECTION 506.3		596 FT
GRADE PLANE (DEFINITION)	SECTION 202		211 FT
BUILDING HEIGHT	SECTION 503 AND 504		
BUILDING HEIGHT ABOVE GRADE PLANE (Sa)	TABLE 504.3	75 FT (NOTE 1)	33 FT
NUMBER OF STORIES ABOVE GRADE PLANE (Si)	TABLE 504.4	4 (NOTE 1)	2
BASEMENT (STORIES NOT ABOVE GRADE PLANE)			NA
BUILDING AREA	SECTION 503 AND 506		
TABULAR ALLOWABLE AREA FACTOR (Ai)	TABLE 506.2	69,000 SF	
TABULAR ALLOWABLE NONSPRINKLERED (NS)	TABLE 506.2	23,000 SF	
AREA FACTOR INCREASE DUE TO FRONTAGE (If)	SECTION 5.6.3.3	75.0%	
FRONTAGE INCREASE	SECTION 506.3	NOT TAKEN	AREA PER FLOOR
TOTAL ALLOWABLE AREA OF EACH STORY ABOVE GRADE PLANE		69,000 SF	FIRST FLOOR 13,655 SF SECOND FLOOR 7,108 SF
TOTAL BUILDING AREA (Aa)	SECTION 506.2	138,000 SF	20,763 SF
FIRE RESISTANCE RATINGS:	IBC 2018	ALLOWABLE OR REQUIRED	PROVIDED
PRIMARY STRUCTURAL FRAME	TABLE 601 AND SECTION 704.10	0 HR	0 HR
BEARING WALLS:			
EXTERIOR	TABLE 601, 602, AND SECTION 704.10	0 HR	0 HR
INTERIOR	TABLE 601	0 HR	0 HR
NONBEARING WALLS AND PARTITIONS:			
EXTERIOR	TABLE 601 AND 602	0 HR	0 HR
INTERIOR	TABLE 601	0 HR	0 HR
FLOOR CONSTRUCTION	TABLE 601 AND SECTION 711	0 HR	0 HR
ROOF CONSTRUCTION	TABLE 601 AND SECTION 711	0 HR	0 HR
EXTERIOR WALL OPENINGS:	SECTION 705.8		
ALLOWABLE AREA	SECTION 705.8.1 / TABLE 705.8	NO LIMIT	SEE COMCHECK G-004
PROTECTED	SECTION 705.8.2	NA	NA
UNPROTECTED	SECTION 705.8.3	NA	NA
MIXED	SECTION 705.8.4	NA	NA
VERTICAL SEPARATION	SECTION 705.8.5	NA	NA
VERTICAL EXPOSURE	SECTION 705.8.6	NA	NA
FIRE WALLS	SECTION 706	NA	NA
FIRE BARRIERS	SECTION 707	1 HR	1 HR
FIRE PARTITIONS	SECTION 708	NA	NA
SMOKE BARRIERS	SECTION 709	NA	NA
SMOKE PARTITIONS	SECTION 710	NA	NA
SHAFT ENCLOSURES:	SECTION 713		
EXIT (STAIR) ENCLOSURES	SECTION 1023.2	1 HR	1 HR
ELEVATOR ENCLOSURES	SECTION 713.14 AND 713.4	1 HR	1 HR
MECHANICAL SHAFTS	SECTION 713.4	1 HR	1 HR
WASTE AND LINEN CHUTES	SECTION 713.13 AND 713.4	NA	NA
CHUTE ACCESS ROOMS	SECTION 713.13.3	NA	NA
CHUTE DISCHARGE ROOMS	SECTION 713.13.4	NA	NA
CORRIDOR FIRE RESISTIVE RATING	SECTION 706, 1020.1, & TABLE 1020.1	0 HR	0 HR
EXIT PASSAGEWAYS	SECTION 1024	NA	NA
HORIZONTAL EXITS	SECTION 1026	NA	NA
OPENING PROTECTIVES	SECTION 716 AND TABLE 716.1(2)		
FIRE DOOR ASSEMBLIES	SECTION 716.2	SEE TABLE 716.1(2)	1 HR
FIRE WINDOW ASSEMBLIES	SECTION 716.2 AND 716.3	SEE TABLE 716.1(3)	NA
MEANS OF EGRESS	IBC 2018	ALLOWABLE OR REQUIRED	PROVIDED
OCCUPANT LOAD	SECTION 1004 AND TABLE 1004.5		399 OCCUPANTS
STAIRWAYS:	SECTION 1011		
STAIRWAY WIDTH	SECTION 1009.3 AND 1011.2	44 INCHES	> 44 INCHES
AREA OF REFUGE	SECTION 1009.3, 1009.3.3, AND 1009.6	NO	NO
EXTERIOR AREA FOR ASSISTED RESCUE	SECTION 1009.7	NO	NO
MAXIMUM COMMON PATH OF EGRESS TRAVEL	SECTION 1006 AND TABLE 1006.2.1	100 FT	99 FT
MAXIMUM EXIT ACCESS TRAVEL DISTANCE	SECTION 1017 AND TABLE 1017.2	250 FT	?
MINIMUM CORRIDOR WIDTH	SECTION 1020.2 AND TABLE 1020.2	44 INCHES	> 44 INCHES
MAXIMUM DEAD END	SECTION 1020.4	20 FT	<20 FT
MINIMUM NUMBER OF BUILDING EXITS	SECTION 1006 AND TABLE 1006.3.2	2	5
MAXIMUM OVERALL DIAGONAL DIMENSION	SECTION 1007.1.1		156 FT
MINIMUM DISTANCE BETWEEN EXITS	SECTION 1007.1.1.1	52 FT	74 FT

1 1ST FLOOR CODE PLAN

SCALE: 1/16" = 1'-0"



CODE REQUIRED SIGN LOCATION AT SINGLE DOOR

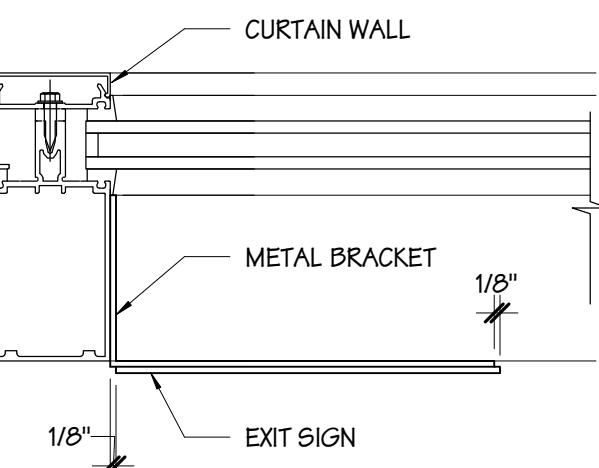
CODE REQUIRED SIGN LOCATION AT DOUBLE DOOR

NOTES:

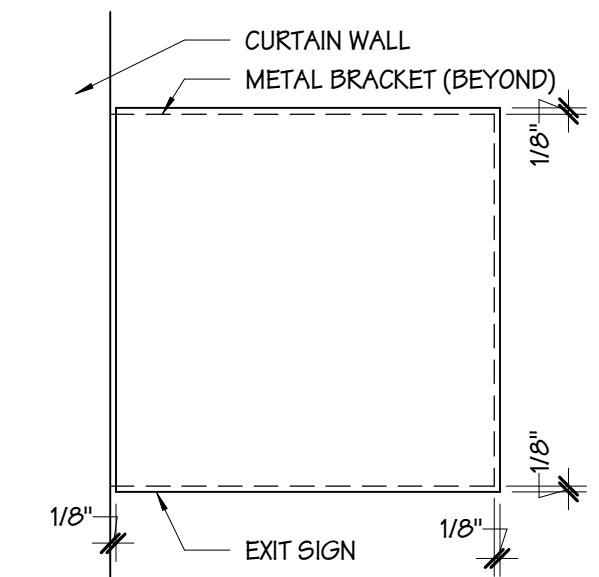
- SIGNAGE SHALL COMPLY WITH REQUIREMENTS OF APPLICABLE CODES OUTLINED IN THE KEY INFORMATION.
- WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLED DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL.

2 2ND FLOOR CODE PLAN

SCALE: 1/16" = 1'-0"



PLAN DETAIL



ELEVATION DETAIL

SIGNAGE GENERAL NOTES

- REQUIRED ACCESSIBILITY SIGNAGE SHALL FOLLOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN SIZE, COLOR, PROPORTIONS, AND TEXT (TACTILE AND BRAILLE TEXT REQUIREMENTS).
- SIGNAGE SHALL FOLLOW IBC, ICC A117.1 AND ADA STANDARDS REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY QUANTITY OF SIGNAGE REQUIRED.
- INSTALL SIGNS ON THE LATCH SIDE OF THE DOOR WHERE PERMANENT IDENTIFICATION IS REQUIRED FOR ROOMS AND SPACES. IF THERE IS NO WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, INCLUDING DOUBLE LEAF DOORS, INSTALL ON THE NEAREST ADJACENT WALL.
- TOILET ROOM DOOR SYMBOLS SHALL BE IN CONTRASTING COLOR.
- REFER TO CODE PLAN (AND/OR ARCHITECTURAL SITE PLAN) FOR ACCESSIBLE SIGN LOCATIONS. THE CONTRACTOR SHALL VERIFY LOCATIONS WITH THE AUTHORITY HAVING JURISDICTION (AHJ).

CODE REQUIRED SIGNAGE

ID	TEXT	RAISED CHARACTERS AND BRAILLE	ISA
A	EXIT	YES	NO
B	MEN	YES	YES
C	WOMEN	YES	YES
D	HOUSEKEEPING	YES	NO
E	MECHANICAL	YES	NO
F	RESTROOM	YES	YES
G	ADDRESS IDENTIFICATION	NO	NO
H	ELEVATOR	YES	NO
J	STAIR	YES	NO
K	STAIR EXIT	YES	NO

OCCUPANCY CHART

OCCUPANCY	AREA	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	OCCUPANTS
A-3	1,570 SF	ASSEMBLY WITHOUT FIXED SEATS - "ACTUAL OCCUPANT LOAD"	16 SF NET	99
B	18,159 SF	BUSINESS AREAS (IBC 2018 AND NEWER)	150 SF GROSS	127
HOLDING	214 SF	INSTITUTIONAL AREAS - OUTPATIENT AREAS	100 SF GROSS	3
SALLY PORT	620 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 SF GROSS	3
GRAND TOTAL	20,563 SF			232

PLUMBING FIXTURES

OCCUPANCY	WATER CLOSETS (URINALS)		LAVATORIES		DRINKING FOUNTAINS	
	MALE REQUIRED	MALE PROVIDED	FEMALE REQUIRED	FEMALE PROVIDED	REQUIRED	PROVIDED
A-3	0.40		0.76		0.25	0.20
B	2.54		2.54		1.59	1.27
HOLDING	0.10		0.10		0.10	0.03
SALLY PORT	0.02		0.02		0.02	0.00
TOTALS	3.05	11	3.42	9	1.95	1.50

NOTES: ONE (1) SERVICE SINK IS REQUIRED. ONE (1) SERVICE SINK IS PROVIDED PER FLOOR.

BERNARDON

ARCHITECTURE
INTERIOR DESIGN
LANDSCAPE ARCHITECTURE

10 North High Street, Suite 310
West Chester, Pennsylvania 19380
p. 610 444 2900

www.bernardon.com

Project:
**ASTON TOWNSHIP
MUNICIPAL COMPLEX**
3264 Concord Road
Aston, PA 19014

Owner:
ASTON TOWNSHIP
2 New Road
Suite 123
Aston, PA 19014

Revision/Issue:
0 03/29/24 Issued

Drawn: EHJ
Reviewed: PAS
Contact: Paul Andrew Sgroi
Project Number: 2301.00-22

Sheet Title:
CODE

Sheet Number:

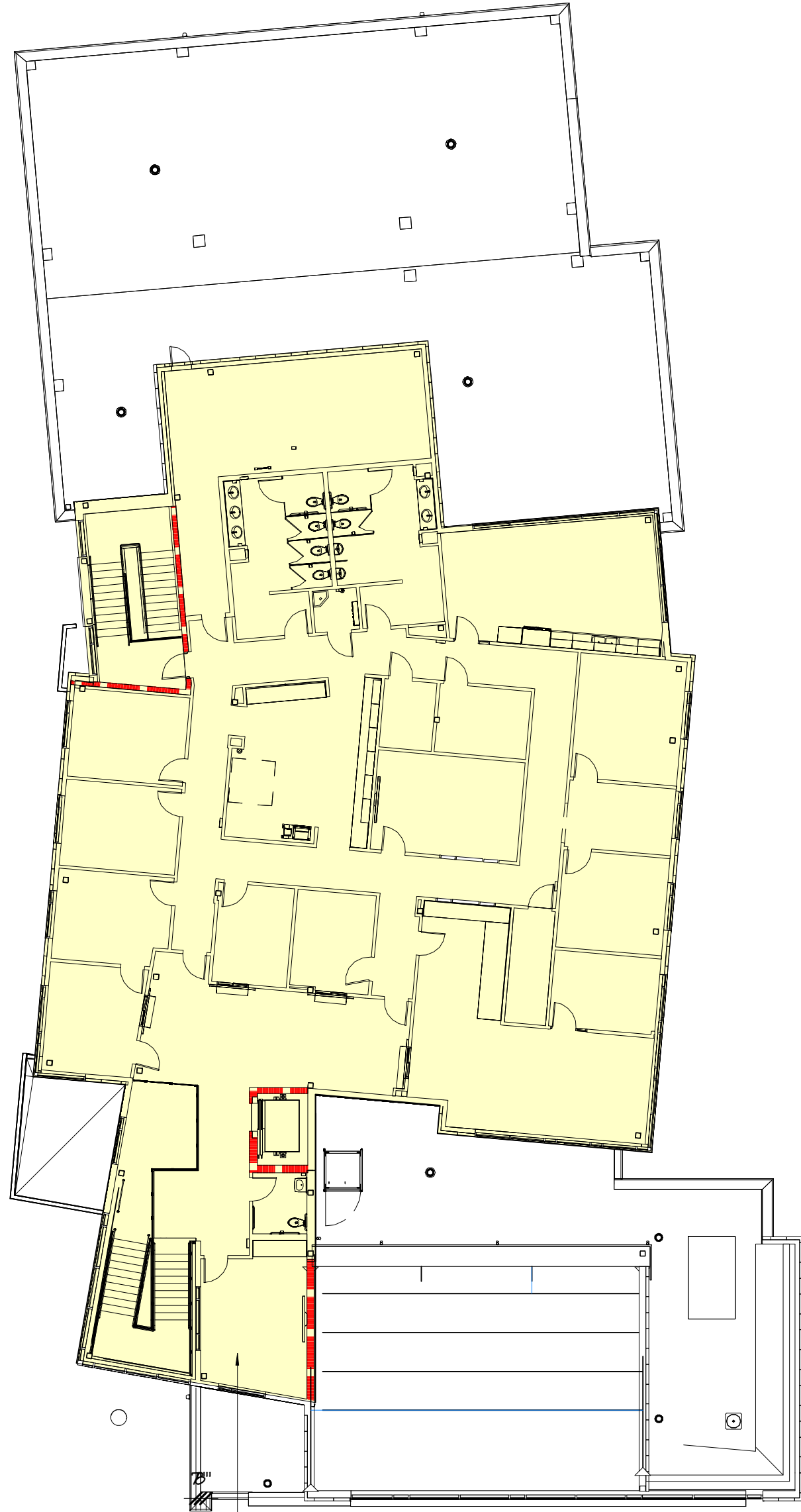
G-003

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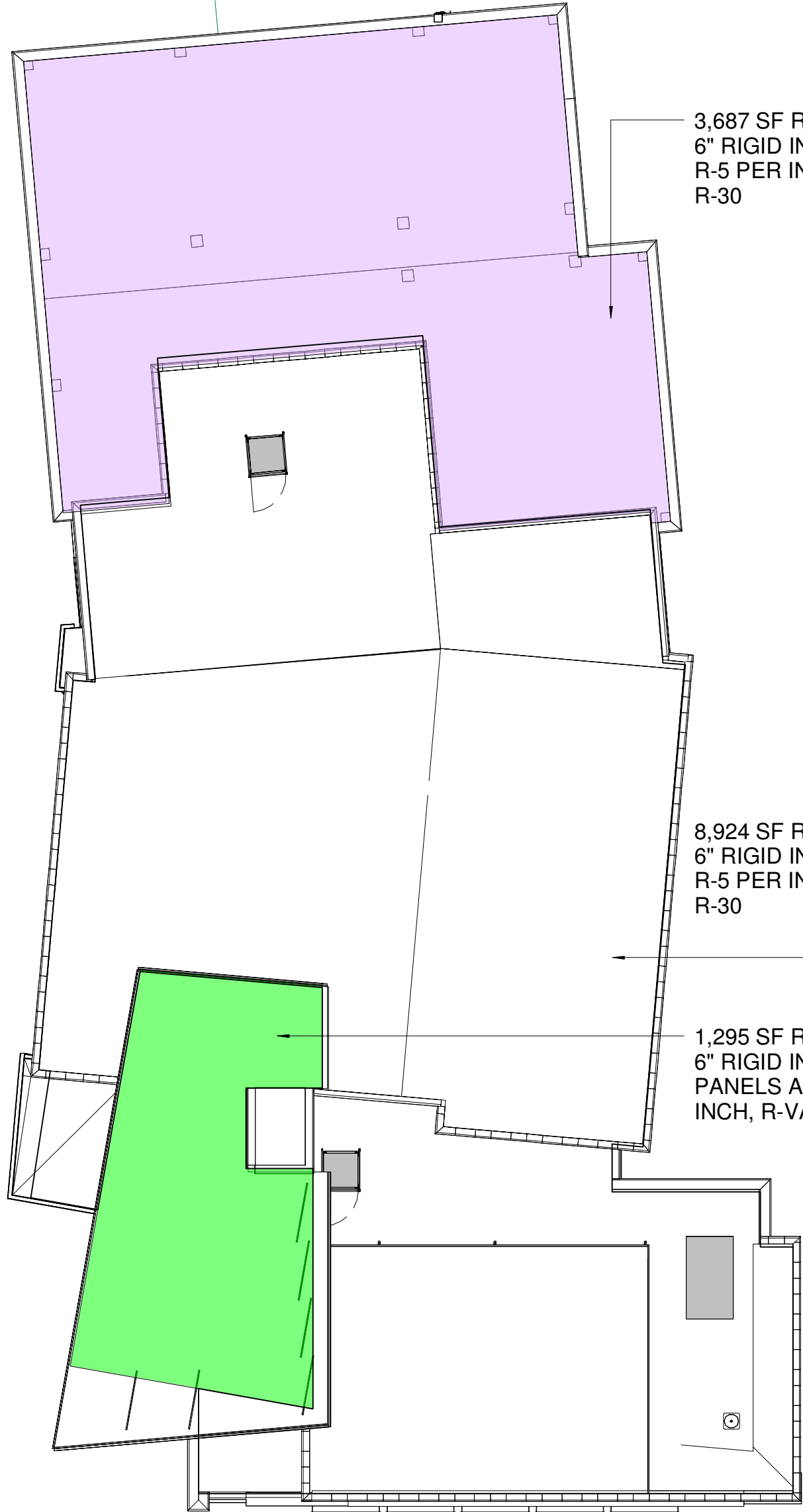
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1 COMCHECK PLAN - 1ST FLOOR
SCALE 1/16" = 1'-0"



3 COMCHECK PLAN - 2ND FLOOR
SCALE 1/16" = 1'-0"



2 COMCHECK ROOF PLAN
SCALE 1/16" = 1'-0"

COMcheck Software Version COMcheckWeb
Envelope Compliance Certificate

Project Information		
Energy Code:	2018 IECC	
Project Title:	Aston Township Municipal Complex IMP	
Location:	Chester, Pennsylvania	
Climate Zone:	4a	
Project Type:	New Construction	
Vertical Glazing / Wall Area:	20%	
Construction Site:	Owner/Agent:	Designer/Contractor:
3270 Concord Road	Bill Defeo	Paul Andrew Sgroi
Aston 19014	Aston Township	Bernardon
	2 New Rd.	10 North High Street
	Suite 123	Suite 310
	Aston 19014	West Chester 19380
	484-768-6633	610-765-4854
	wdefeo@astontwp.net	psgroi@bernardon.com

Additional Efficiency Package(s)
Credits: 1.0 Required 1.0 Proposed
Enhanced Envelope Performance, 1.0 credit

Building Area	Floor Area
1-Police Station (Police) : Nonresidential	10256
2-Municipal Building (Town Hall) : Nonresidential	11707

Envelope Assemblies	Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor ^(a)
Slab-on-grade: Slab-On-Grade:Unheated, Vertical 3 ft., [Bldg. Use 1 - Police Station] (d)		371	—	18.0	0.478	0.540
Roof: Insulation Entirely Above Deck, [Bldg. Use 1 - Police Station]		3887	—	30.0	0.032	0.032
Slab-on-grade: Slab-On-Grade:Unheated, Vertical 3 ft., [Bldg. Use 2 - Municipal Building] (d)		219	—	18.0	0.478	0.540
Roof: Insulation Entirely Above Deck, [Bldg. Use 2 - Municipal Building]		8924	—	30.0	0.032	0.032
Roof: Metal Building, Standing Seam, Double Insulation Layer with Thermal Blocks (c), [Bldg. Use 2 - Municipal Building]		1265	0.0	30.0	0.032	0.035
NORTH						
North - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, [Bldg. Use 1 - Police Station]		1786	—	15.0	0.058	0.104
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 1 - Police Station] (c)		134	—	—	0.370	0.380
Door - Swing Type AL: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID P-KAW-64014, SHGC 0.28, VT 0.39, [Bldg. Use 1 - Police Station] (c)		73	—	—	0.650	0.770
North - MTL STUD: Steel-Framed, 16in. o.c., [Bldg. Use 1 - Police Station]		115	25.0	7.5	0.054	0.064
North - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: Metal, [Bldg. Use 1 - Police Station]		144	0.0	26.9	0.033	0.104
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 1 - Police Station] (c)		106	—	—	0.370	0.380
Door - Swing Type AL: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID P-KAW-64014, SHGC 0.28, VT 0.39, [Bldg. Use 1 - Police Station] (c)		24	—	—	0.650	0.770
North - MTL STUD: Steel-Framed, 16in. o.c., [Bldg. Use 2 - Municipal Building]		104	25.0	7.5	0.054	0.064
North - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: Metal, [Bldg. Use 2 - Municipal Building]		158	0.0	26.9	0.033	0.104
Storefront: Metal Frame with Thermal Break: Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		95	—	—	0.370	0.380
North - IMWP: Steel-Framed, 16" o.c., [Bldg. Use 2 - Municipal Building]		1029	0.0	26.2	0.034	0.064
Storefront: Metal Frame with Thermal Break: Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		237	—	—	0.370	0.380
North - IMWP: Steel-Framed, 16" o.c., [Bldg. Use 2 - Municipal Building]		965	0.0	26.9	0.034	0.064
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		556	—	—	0.370	0.380
EAST						
East - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, [Bldg. Use 1 - Police Station]		1157	—	15.0	0.058	0.104
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 1 - Police Station] (c)		24	—	—	0.370	0.380
East - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, [Bldg. Use 2 - Municipal Building]		148	—	26.9	0.034	0.104
East - IMWP: Steel-Framed, 16" o.c., [Bldg. Use 2 - Municipal Building]		965	0.0	26.2	0.034	0.064
Door - Swing Type AL: Insulated Metal, Non-Swinging, [Bldg. Use 2 - Municipal Building]		20	—	—	0.058	0.179
East - IMWP: Steel-Framed, 16" o.c., [Bldg. Use 2 - Municipal Building]		367	0.0	26.9	0.034	0.064
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		113	—	—	0.370	0.380
SOUTH						
South - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, [Bldg. Use 1 - Police Station]		1522	—	15.0	0.058	0.104
Door - Swing Type AL: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID P-KAW-64014, SHGC 0.28, VT 0.39, [Bldg. Use 1 - Police Station] (c)		24	—	—	0.650	0.770
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 1 - Police Station] (c)		256	—	—	0.370	0.380
Door - Non-swing Type: Other Door, Non-Swinging, [Bldg. Use 1 - Police Station]		120	—	—	0.220	0.179
South - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: Metal, [Bldg. Use 1 - Police Station]		205	0.0	26.9	0.033	0.104
South - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, [Bldg. Use 2 - Municipal Building]		394	—	15.0	0.058	0.104
Door - Swing Type AL: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID P-KAW-64014, SHGC 0.28, VT 0.39, [Bldg. Use 2 - Municipal Building] (c)		88	—	—	0.370	0.380
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		221	—	26.9	0.034	0.104
South - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, [Bldg. Use 2 - Municipal Building]		1387	0.0	26.2	0.034	0.064
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		297	—	—	0.370	0.380
South - IMWP: Steel-Framed, 16" o.c., [Bldg. Use 2 - Municipal Building]		418	0.0	26.9	0.034	0.064
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		71	—	—	0.370	0.380
WEST						
West - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, [Bldg. Use 1 - Police Station]		102	—	15.0	0.058	0.104
West - CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, [Bldg. Use 2 - Municipal Building]		289	—	15.0	0.058	0.104
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		20	—	—	0.370	0.380
West - CMU: Concrete Block, 12in, Partially Grouted, Cells Empty, Normal Density, Furring: None, [Bldg. Use 2 - Municipal Building]		913	—	15.0	0.057	0.104
West - IMWP ON CMU: Concrete Block-8", Partially Grouted, Cells Empty, Normal Density, Furring: None, [Bldg. Use 2 - Municipal Building]		27	—	26.9	0.034	0.104
West - MTL STUD: Steel-Framed, 16" o.c., [Bldg. Use 2 - Municipal Building]		90	19.0	0.0	0.109	0.064
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		45	—	—	0.370	0.380
West - IMWP: Steel-Framed, 16" o.c., [Bldg. Use 2 - Municipal Building]		759	0.0	26.2	0.034	0.064
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		287	—	—	0.370	0.380
West - IMWP: Steel-Framed, 16" o.c., [Bldg. Use 2 - Municipal Building]		718	0.0	26.9	0.034	0.064
Storefront: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID P-KAW-5641, SHGC 0.34, VT 0.62, [Bldg. Use 2 - Municipal Building] (c)		368	—	—	0.370	0.380

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
(b) 'Other' components require supporting documentation for proposed U-factors.
(c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.
(d) Slab-On-Grade proposed and budget U-factors shown in table are R-factors.
(e) Thermal spacer block with minimum R-3.5 must be installed above the purlin/batt, and the roof deck secured to the purlins.

Envelope PASSES: Design 3% better than code.

Envelope Compliance Statement
Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2018 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Paul Andrew Sgroi, Sr. Operations Director
Name - Title
Signature
March 28, 2024
Date

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West Chester, Pennsylvania 19380
p. 610-444-2900

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Reviewed: PAS
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Project Number: 2301.00-22

Sheet Title:
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Sheet Number:
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