

CS - COVER SHEET, GENERAL NOTES, DRAWING LIST
A1 - FLOOR PLANS AND SCHEDULES
A2 - FURNITURE PLANS DETAILS AND SCHEDULES
M1 - MECHANICAL SCHEDULE AND DETAILS

3. ALL CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS OF THE APPLICABLE CODE INDICATED IN THE BUILDING SUMMARY COLUMN AND ALL LOCAL CODES PRESENTLY IN EFFECT UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.
2. ALL NEW CONSTRUCTION SHALL COMPLY W/THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) AND CHAPTER 11 OF THE INTERNATIONAL BUILDING CODE (INCLUDES ICC A117.1 PER IBC)
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING BUILDING & SITE UTILITIES BETWEEN CIVIL & MEP DRAWINGS. THE CONTRACTOR SHALL ALSO CONTACT ALL APPLICABLE UTILITY COMPANIES & PROVIDE CONDUIT & OTHER FACILITIES AS REQUIRED.
4. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS & CONDITIONS ON THE JOB SITE PRIOR TO THE BIDDING OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. IN CASES OF DISCREPANCY CONCERNING DIMENSIONS, QUANTITIES AND LOCATION, THE CONTRACTOR SHALL, IN WRITING, CALL TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES BETWEEN SPECIFICATIONS, PLANS, DETAILS OR SCHEDULES. THE ARCHITECT WILL THEN INFORM THE CONTRACTOR, IN WRITING, WHICH DOCUMENT TAKES PRECEDENCE. THERE SHALL BE NO ADJUSTMENT TO THE COST OR TIME OF THE WORK RESULTING FROM CLARIFICATION OF SUCH DISCREPANCIES.
5. DIMENSIONS ON DRAWINGS ARE SHOWN TO FINISHED FACE OF WALLS AND PARTITIONS OF NEW CONSTRUCTION UNLESS OTHERWISE NOTED. CEILING HEIGHT
6. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD
7. EFFECTIVELY PROTECT ALL NEW MATERIALS AND EQUIPMENT FROM DUST, DIRT AND DAMAGE UNTIL FINAL INSTALLATION AND ACCEPTANCE.
8. USE TEMPORARY ENCLOSURES, OR OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT CONTAMINATION TO LOWEST PRACTICAL LEVEL OUTSIDE OF CONSTRUCTION SPACES. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
9. COMPLY WITH GUIDELINES AS REQUIRED BY THE ARCHITECT'S SCOPE OF WORK AND THE OWNER'S PROJECT REQUIREMENTS.
10. PROVIDE ADEQUATE PROTECTION WHERE REQUIRED FOR SECURITY, FIRE AND WEATHER PROTECTIVE REASONS.
11. DIMENSIONS AND ALL OTHER VERTICAL DIMENSIONS ARE TO THE FINISHED FLOOR SURFACE UNLESS OTHERWISE NOTED.
12. ALL MATERIALS SPECIFIED OR NOTED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR CASEWORK, FINISHES, DOORS, FRAMES, HARDWARE, MECHANICAL, ELECTRICAL, AND PLUMBING FIXTURES, AND OTHER ITEMS REQUIRING ARCHITECT'S REVIEW FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS, AND FOR ALL ITEMS WHICH ALLOWED CONTRACTOR OPTIONS. PRIOR TO FORWARDING TO THE ARCHITECT FOR REVIEW, THESE SUBMITTALS MUST BE REVIEWED BY THE CONTRACTOR FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND OPERATIONS OF CONSTRUCTION AND SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL AFFIX A STAMP TO SUBMITTAL INDICATING HIS REVIEW. SUBMITTALS FORWARDED WITHOUT A STAMP WILL BE RETURNED. ALL SUBMITTALS MUST BE REVIEWED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
14. CONTRACTOR SHALL COORDINATE WITH OWNER ALL ITEMS TO BE SALVAGED PRIOR TO SUBMISSION OF BIDS AND START OF CONSTRUCTION. OWNER SHALL HAVE SALVAGE RIGHTS TO RETAIN ALL REMOVED ITEMS.
15. ALL CHANGES PROPOSED DURING CONSTRUCTION WHICH RESULT IN A CHANGE TO THE CONTRACT TIME AND/OR SUM SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING AND APPROVED BY THE ARCHITECT AND OWNER BEFORE SUCH WORK SHALL COMMENCE.
16. CONTRACTOR SHALL COORDINATE CLEAR OPENINGS FOR ALL APPLIANCES PRIOR TO CONSTRUCTION OF CASEWORK.
17. CONTRACTOR SHALL COORDINATE ALL LOCK AND LATCH SETS AND FINAL KEYING WITH OWNER.
18. CONTRACTOR SHALL PREPARE ALL NEW AND EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THE SUBSTRATE & FINISH BEING APPLIED.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING CONSTRUCTION INDICATED TO REMAIN AND SHALL REPAIR AND/OR REPLACE ALL AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION AT A MINIMUM TO THE CONDITION WHICH EXISTED PRIOR TO CONSTRUCTION.
20. OWNER SHALL BE RESPONSIBLE FOR COORDINATION AND INSTALLATION OF VOICE AND DATA CABLING AND EQUIPMENT.
21. IF THE CONTRACTOR FAILS TO SUBMIT A MATERIAL FOR APPROVAL, THE MATERIAL MAY BE REQUIRED TO BE REMOVED BY THE CONTRACTOR EITHER BY DIRECTION OF THE OWNER OR ARCHITECT.
22. THE CONTRACTOR IS TO PROVIDE AS BUILT DRAWINGS IN HARD COPY & AN ELECTRONIC AUTOCAD FILE TO THE OWNER AT THE CONCLUSION OF THE PROJECT.
32. REMOVAL OF RUBBISH
 - a. AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIAL AND RUBBISH CAUSED BY AGENTS AND EMPLOYEES OF THE CONTRACTOR. PLACE RUBBISH IN AN ACCEPTABLE RECEPTACLE IN A LOCATION APPROVED BY THE OWNER AND EMPTIED AT AN APPROPRIATE FREQUENCY.
 - b. AT THE COMPLETION OF WORK, REMOVE ALL RUBBISH IN OR ABOUT THE BUILDING IN ADDITION TO TOOLS, SCAFFOLDING AND OTHER SPECIALITIES.



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TOWNSHIP OF CHESTER
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ALL DOCUMENTS PREPARED BY MG ENGINEERING ASSOCIATES
L.L.C. ARE INSTRUMENTS OF SERVICE IN RESPECT
OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED
TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON
EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT.

ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY MG ENGINEERING ASSOCIATES, LLC, FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO MG ENGINEERING ASSOCIATES, LLC; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS MG ENGINEERING ASSOCIATES, LLC FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

[illegible]

COVER SHEET, GENERAL NOTES
DRAWING LIST

PLAN FOR:
POLICE STATION INTERIOR RENOVATIONS
1840 HARRIS STREET, CHESTER, PA 19013

TOWNSHIP OF CHESTER, DELAWARE COUNTY, PENNSYLVANIA

<u>DRAWN BY :</u> MM	<u>DESIGN BY :</u> M.D.G.	<u>CHECKED BY :</u> M.D.G.	<u>SCALE :</u> AS NOTED
<u>DATE :</u> 2..16.2024		<u>SHEET No. :</u> CS	
<u>JOB No. :</u> CT-2024-01			

334 W. FRONT STREET
MEDIA, PA 19063
PHONE: 1-856-404-0540

TOWNSHIP OF CHESTER
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CHESTER, PA 19013

BID SET

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PLAN FOR:
POLICE STATION INTERIOR RENOVATIONS
1840 HARRIS STREET, CHESTER, PA 19013

TOWNSHIP OF CHESTER, DELAWARE COUNTY, PENNSYLVANIA

<u>DRAWN BY :</u>	<u>DESIGN BY :</u>	<u>CHECKED BY :</u>	<u>SCALE :</u> AS NOTED
<u>DATE :</u> 2..16.2024		<u>SHEET No. :</u> A1	
<u>JOB No. :</u> CT-2024-01			

2'-10"

7'-2"

DOOR EVIDENCE 2

2'-10"

7'-2"

1'-0"

DOOR STORAGE 2

2"

2'-10"

2"

HOLLOW METAL FRAMES

6" CMU

HORIZONTAL JOINT REINFORCEMENT

BOND BEAM, SEE STRUCTURAL

CONTINUOUS SEALANT EACH SIDE OF WALL

GROUT HEAD FULL

4" HEAD

JAMB ANCHOR 3 PER JAMB TYPICAL

CONTINUOUS SEALANT EACH SIDE OF WALL

GROUT JAMB FULL

5 3/4"

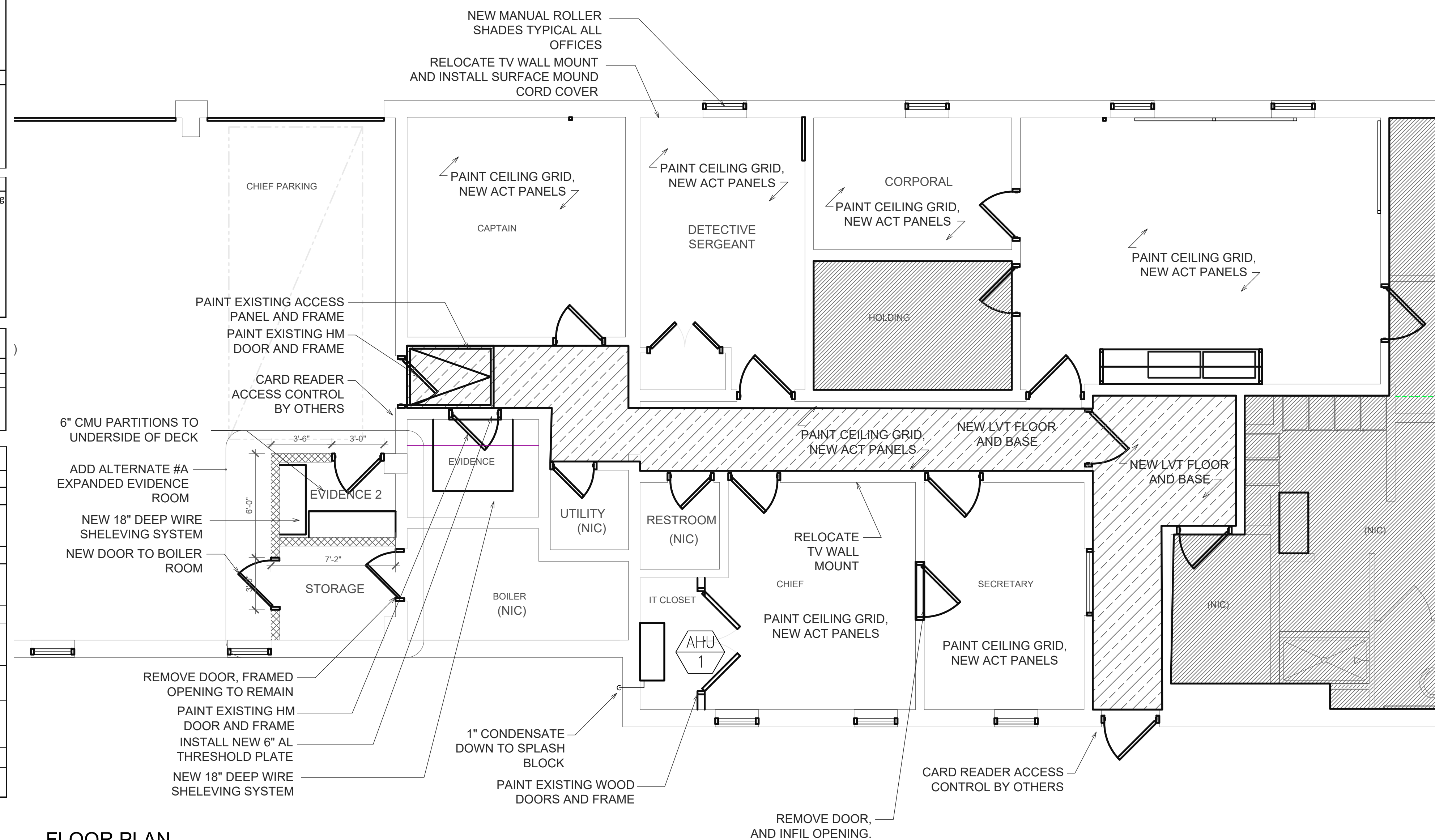
TYP. INTERIOR HM FRAME @ CMU HEAD

INTERIOR HM FRAME @ CMU JAMB

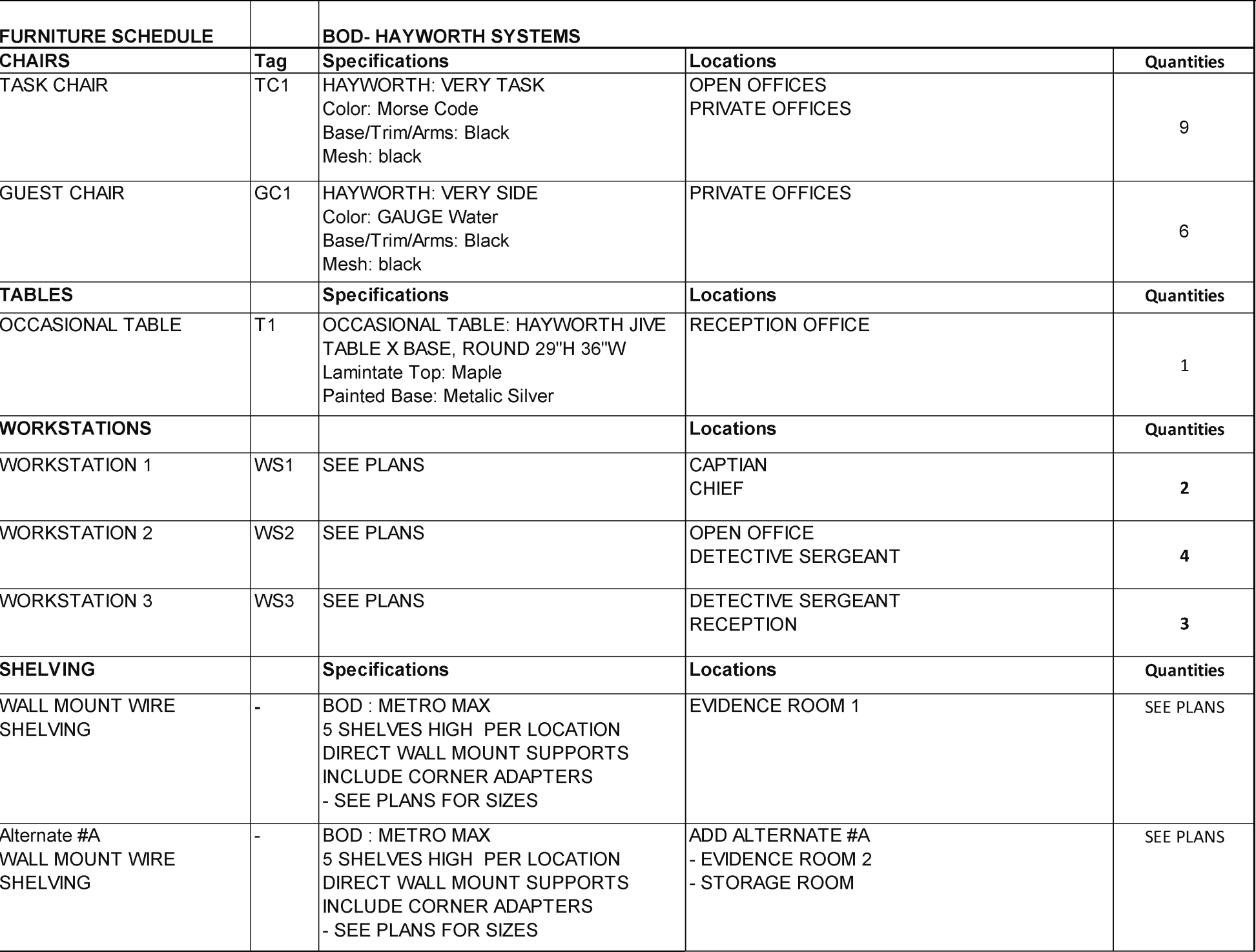
ALTERNATE #A - EVIDENCE ROOM 2 AND STORAGE

ALTERNATE #A - EVIDENCE ROOM 2 AND STORAGE

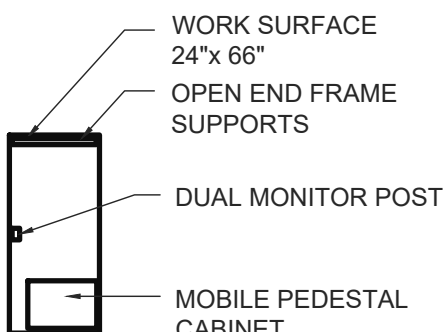
FINISH SCHEDULE			
Finish Type	Tag	Product Specifications	Repair and Finish Notes
Resilient Flooring 09 30 13			
New Luxury Vinyl Tile	LVT1	-	Install in hallway and open office, remove and reinstall baseboard heating covers for installation
Resilient Base 09 65 13			
New Luxury Vinyl Tile	B1	-	Install in hallway and open office
Maintenance Repainting 09 01 90.52			
EXISTING CEILING GRIDS EXISTING CEILING ACCESS PANELS	P1	SW 7005 Pure White	Refer to Maintenance Painting spec for surface prep procedures.
OPEN OFFICE, OFFICES AND HALLWAY	P4	SW 9137 Niebla Azul	Refer to Maintenance Painting spec for surface prep procedures.
Doors and Frame and Window Trim	P5	SW 9071 Dyers Woad	All Frames within Contract area
Acoustical Tile Ceiling 09 29 00			
Ceilings ACT	ACT	Armstrong Ceiling Solutions Ultima 2x4	Install new panels in existing repainted grid.



FLOOR PLAN
SCALE 1/4" = 1'-0"

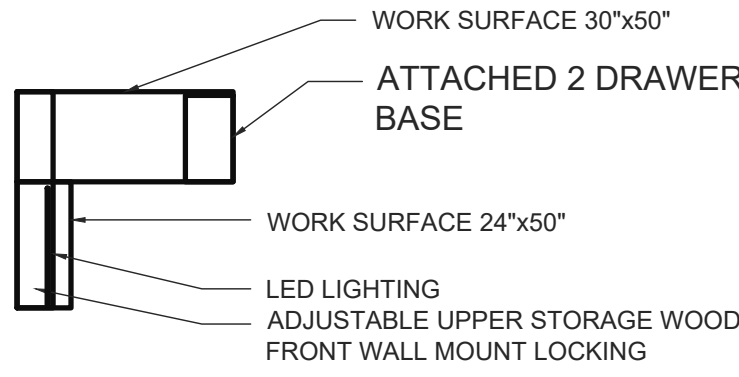


WS 3 : TYPICAL WORKSTATION



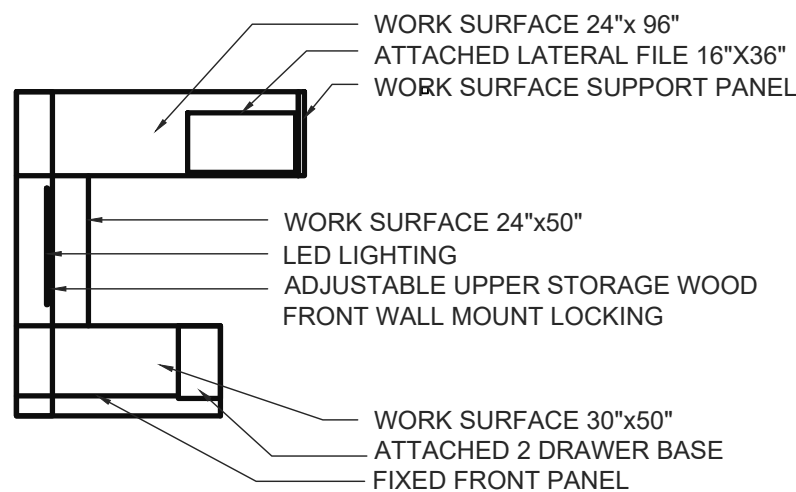
WS 2 : TYPICAL WORKSTATION

BASIS OF DESIGN: HAYWORTH 'COMPOSE'

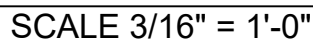


WS 1: TYPICAL OFFICE

BASIS OF DESIGN: HAYWORTH 'COMPOSE'



SCALE 3/16" = 1'-0"



SCALE 3/16" = 1'-0"

DATE:

BID SET

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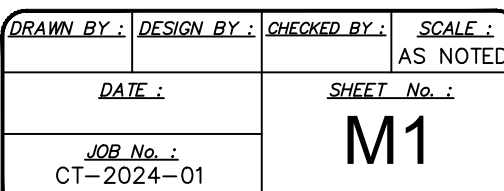
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[illegible]

TOWNSHIP OF CHESTER, DELAWARE COUNTY, PENNSYLVANIA

DRAWN BY :	DESIGN BY :	CHECKED BY :	SCALE :
			AS NOTED
DATE :		SHEET No. :	
JOB No. :		A2	
CT-2024-01			

DUCTLESS SPLIT SYSTEM SCHEDULE (AC / CU)																				
TAG	STYLE	SERVES	REFRIGERANT	SUPPLY AIR CFM	REFRIGERANT PIPING SIZE (IN.)	CONDENSATE PIPING SIZE (IN.)	(AC)		(CU)			COOLING			ELECTRICAL 208/1/60			BASIS OF DESIGN	MODEL	COMMENTS
							UNIT DIMENSIONS (L X W X H) (IN.)	WEIGHT (LBS.)	UNIT DIMENSIONS (L X W X H) (IN.)	WEIGHT (LBS.)	SOUND RATING (DBA)	NOM. TONNAGE	TOTAL / MIN COOLING CAPACITY (MBH)	EER / SEER	V / Ø	RECCOMENDED WIRE SIZE	UNIT FLA / MCA / MCOP			
AHU-1 / CU-1	WALL MTD.	IT ROOM	R-410A	335	1/4 1/2	1	35 X 10 X 11	28	32 X 12 X 24	100	44	1.5	18 / 5.6	10.7 / 20.2	208 / 1	14	- / - / 15	mitsubishi	PKA-A18LA1 PUY-A18NKA7	1 THROUGH 9
<div>COMMENTS:</div> <div><div>1. 1 YEAR MANUFACTURER'S WARRANTY AND START-UP.</div><div>2. 5 YEAR COMPRESSOR WARRANTY</div><div>3. UNIT MOUNTED DISCONNECT SWITCH ON OUTDOOR UNIT (PROVIDED BY THE EC).</div><div>4. SINGLE POINT POWER CONNECTION. INDOOR UNIT DERIVES POWER FROM THE ASSOCIATED OUTDOOR UNIT (CU)</div><div>5. LOW AMBIENT CONTROL KIT. 14F MINIMUM OUTDOOR OPERATING TEMPERATURE</div><div>6. WALL BRACKET KIT.</div><div>7. REFRIGERANT SIZES TO BE CONFIRMED BY EQUIPMENT MANUFACTURER.</div><div>8. WIRELESS PROGRAMMABLE THERMOSTAT.</div><div>9. CONDENSING UNIT COIL GUARD.</div></div>																				



THIS SET IS FOR BIDDING PURPOSES ONLY